

## **NOTICE OF PUBLIC HEARING** **Minor Variance**

---

**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
  - Applicant/agent on file, or
  - Person likely to be interested in this application
- 

**APPLICATION NO.:** HM/A-21:267

**APPLICANTS:** Agent R. & R. Designs  
Owners R & R Property Holdings

**SUBJECT PROPERTY:** Municipal address **209 Grenfell St., Hamilton**

**ZONING BY-LAW:** Zoning By-law 6593, as Amended

**ZONING:** "D" (Urban Protected Residential - 1 & 2 Family Dwellings, etc.) district

**PROPOSAL:** To permit alterations to the existing single family dwelling including the replacement of a front uncovered porch and associated stairs, the construction of a new rear unenclosed deck as well as the construction of two additions; one at the front and one at the rear, notwithstanding that;

1. A minimum front yard depth of 0.86 metres shall be permitted instead of the minimum 6.0 metres front yard depth required.
2. A minimum 0.39 metre westerly side yard width shall be permitted instead of the minimum 0.9 metre side yard width required.
3. The gross area of the front yard shall be permitted to contain a minimum 29.0 percent landscaped area whereas the zoning By-law requires a minimum 50.0 percent of the gross area of the front yard to be provided as landscaped area.
4. An eave or gutter may be permitted to project the entire width of the westerly side yard whereas the zoning by-law states that an eave or gutter may project into a required side yard not more than one-half of its width or 1.0 metre whichever is the lesser.
5. An uncovered porch including associated stairs shall be permitted to be located as close as 0.0 metres from the nearest street line instead of the minimum 1.5 metre setback required from the nearest street line.
6. An unenclosed rear deck including eaves and gutters shall be permitted to project 0.6 metres into the required westerly side yard, and 0.3 metres into the required easterly side yard, whereas an unenclosed porch/deck is not permitted to project into a required side yard.

Note:

1. The applicant requested a variance to reduce the required parking space size; however, the proposed car parking is located mostly on the Grenfell Street road allowance
- .../2

and therefore, cannot be considered parking provided on site.

2. As a significant portion of the parking spaces shown on the Site Plan are located off-site, they are not considered parking spaces for zoning purposes; however, this is an existing condition which was established prior to the passing of the zoning By-law 6593. The proposed alterations and additions do not trigger the requirement for parking on this property.

3. Please note that no part of the eave/gutter shall encroach onto the adjacent private property. Otherwise, an Encroachment Agreement and a Maintenance Easement shall be required which shall be entered into and registered on title for both the lot upon which the eave is encroaching onto and the subject lot.

4. The stairs provided for the front porch are shown to encroach beyond the front lot line into the public road allowance. Please note that should the proposed porch encroach beyond the lot line additional approvals such as an Encroachment Agreement and Maintenance Easement may be required.

This application will be heard by the Committee as shown below:

---

|               |   |
|---------------|---|
| <b>DATE:</b>  | <b>Thursday, August 26th, 2021</b>  |
| <b>TIME:</b>  | <b>2:55 p.m.</b>  |
| <b>PLACE:</b> | <b>Via video link or call in (see attached sheet for details)</b>                                       |
|               | <b>To be streamed at</b>  |
|               | <b><a href="http://www.hamilton.ca/committeeofadjustment">www.hamilton.ca/committeeofadjustment</a></b> |
|               | <b>for viewing purposes only</b>  |

---

## **PUBLIC INPUT**

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

## **MORE INFORMATION**

For more information on this matter, including access to drawings illustrating this request:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

DATED: August 10th, 2021.

---

Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

***Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.***

## An aerial map of a residential neighborhood. A black rectangle highlights a property at 209. A black arrow points from the bottom center towards the highlighted property. The map shows street names Grenfell Street and Martins Avenue, and various house numbers.



### PROPOSED FRONT FACADE



### PROPOSED FRONT FACADE



## CONSULTANTS

1. RECONSTRUCTION OF EXISTING SINGLE FAMILY HOUSE,  
EXISTING BASEMENT TO REMAIN AS IS.

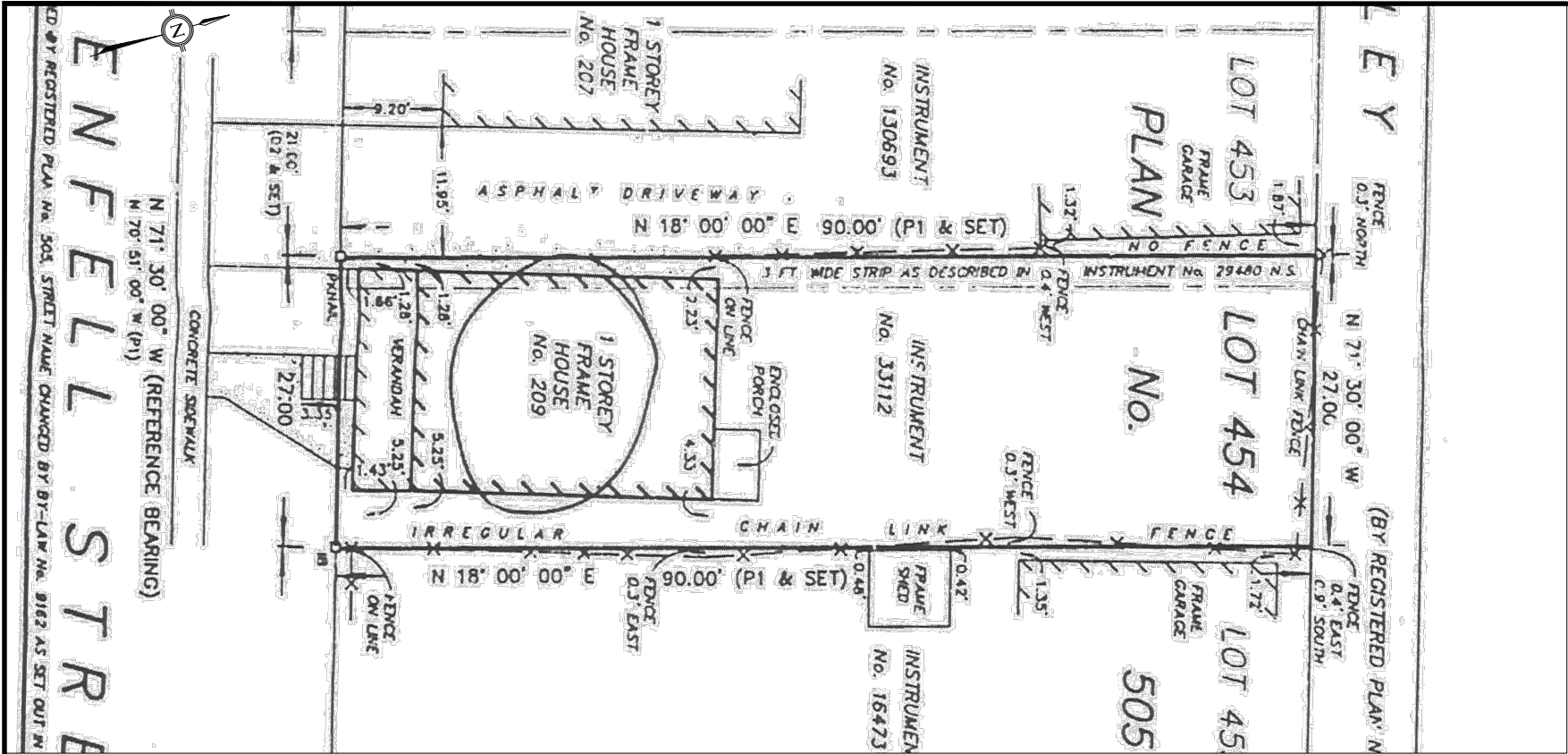
| TITLE   | REVISIONS   |  |  |  |  |  |
|---|-------------|--|--|--|--|--|
| ARCHITECTURAL                                 |             |  |  |  |  |  |
| A0.01 COVER PAGE                              |             |  |  |  |  |  |
| SP1.01 SITE PLAN                              |             |  |  |  |  |  |
| A1.01 EXISTING & PROPOSED BASEMENT FLOOR PLAN |             |  |  |  |  |  |
| A1.02 EXISTING & PROPOSED GROUND FLOOR PLAN   |             |  |  |  |  |  |
| A1.03 EXISTING EXTERIOR ELEVATIONS            |             |  |  |  |  |  |
| A1.04 PROPOSED EXTERIOR ELEVATIONS            |             |  |  |  |  |  |
| EXISTING SURVEY PLAN                          |             |  |  |  |  |  |
|   | SHEET INDEX |  |  |  |  |  |



**R&R Designs Inc.**  
92 Stapleton Ave, Hamilton, ON, L8H 3N6  
(905) 547 8668  
Richie Khanna | [richie@r-rdesigns.net](mailto:richie@r-rdesigns.net)  
[www.r-rdesigns.net](http://www.r-rdesigns.net)

1. CONTRACTOR SHALL CHECK DIMENSIONS AND REPORT DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
2. DO NOT SCALE DRAWINGS.
3. THE DESIGN AND DRAWINGS WERE DEVELOPED FOR A SPECIFIC PURPOSE AND MAY NOT BE ALTERED , ISSUED, OR REPRODUCED FOR ANY OTHER PURPOSE.

| 3                        | 2021.05.19 | ISSUED - MINOR VARIANCE                   | EH |
|--------------------------|------------|---|----|
| 2                        | 20-09-16   | MINOR VARIANCE                            | EH |
| 1                        | 20-09-09   | PRELIMINARY                               | OL |
| NO.                      | DATE       | DESCRIPTION                               | BY |
| REVISIONS                |            |   |    |
| PROJECT ADDRESS          |            | 209 GRENFELL ST.,<br>HAMILTON, ON L8P 3J6 |    |
| SCALE                    |            | AS NOTED                                  |    |
| DATE                     |            | 2021.05.19                                |    |
| PAGE TITLE               |            | COVER PAGE                                |    |
| PROJECT NO.<br>RR63-2020 |            | DRAWING NO.<br><br><b>A0.01</b>           |    |
| DRAWN BY EH              |            |   |    |
| REVIEWED BY RK           |            | 1 OF 6                                    |    |



1

EXISTING SURVEY PLAN (SEE SEPARATE PAGE ATTACHED)

Scale: 1/16" = 1'-0"

| SITE STATISTICS - 209 GRENFELL ST. |                      |                           |            |
|------------------------------------|----------------------|---------------------------|------------|
| --                                 | EXISTING             | PROPOSED                  | REQUIRED   |
| SITE LOT                           | 0.06 ACRE (225.8 m²) | (NO CHANGE)               | --         |
| FRONTAGE                           | 27'-0" (8.23 m)      | (NO CHANGE)               | --         |
| DEPTH                              | 90'-0" (27.43 m)     | (NO CHANGE)               | --         |
| WARD                               | HAMILTON (4)         | (NO CHANGE)               | --         |
| ZONING CODE                        | D                    | (NO CHANGE)               | --         |
| parallel                           | E52                  | (NO CHANGE)               | --         |
| PARENT BY-LAW                      | 6593                 | (NO CHANGE)               | --         |
| FRONT YARD LANDSCAPING             | 42%                  | 29.7%                     | MIN. 50%   |
| PARKING                            | --                   | 1 SPOT                    | --         |
| BUILDING SETBACKS                  |                      |                           |            |
| --                                 | EXISTING             | PROPOSED                  | REQUIRED   |
| FRONT                              | 1.43' (0.43 m)       | 2.82' (0.86 m)            | MIN. 6 m   |
| REAR                               | 54.25' (16.54 m)     | 42.38(12.92 m)            | MIN. 7.5 m |
| SIDE WEST                          | 1.26' (0.39 m)       | (NO CHANGE)               | MIN. 2.7 m |
| SIDE EAST                          | 4.33 (1.32 m)        | 4.16' (1.27 m)            | MIN. 1.2 m |
| BUILDING STATISTICS                |                      |                           |            |
| --                                 | EXISTING             | PROPOSED                  | REQUIRED   |
| HEIGHT                             | 20'-9" (6.33 m)      | 22'-2" (6.76 m)           | MAX. 14 m  |
| WIDTH                              | 20.33' (6.20 m)      | (NO CHANGE)               | --         |
| DEPTH                              | 33'-7" (10.24 m)     | 44.06' (13.43 m)          | --         |
| # OF STOREYS                       | 1                    | 1                         | --         |
| GROSS AREA                         | 53.5 m²              | 71.1 m²                   | --         |
| BASEMENT AREA                      | 562 P (52.2 m²)      | (NO CHANGE)               | --         |
| FIRST FLOOR AREA                   | 576 P (53.5 m²)      | 576+189 = 765 P (71.1 m²) | --         |
| TOTAL FLOOR AREA                   | 105.7 m²             | 123.3 m²                  | --         |

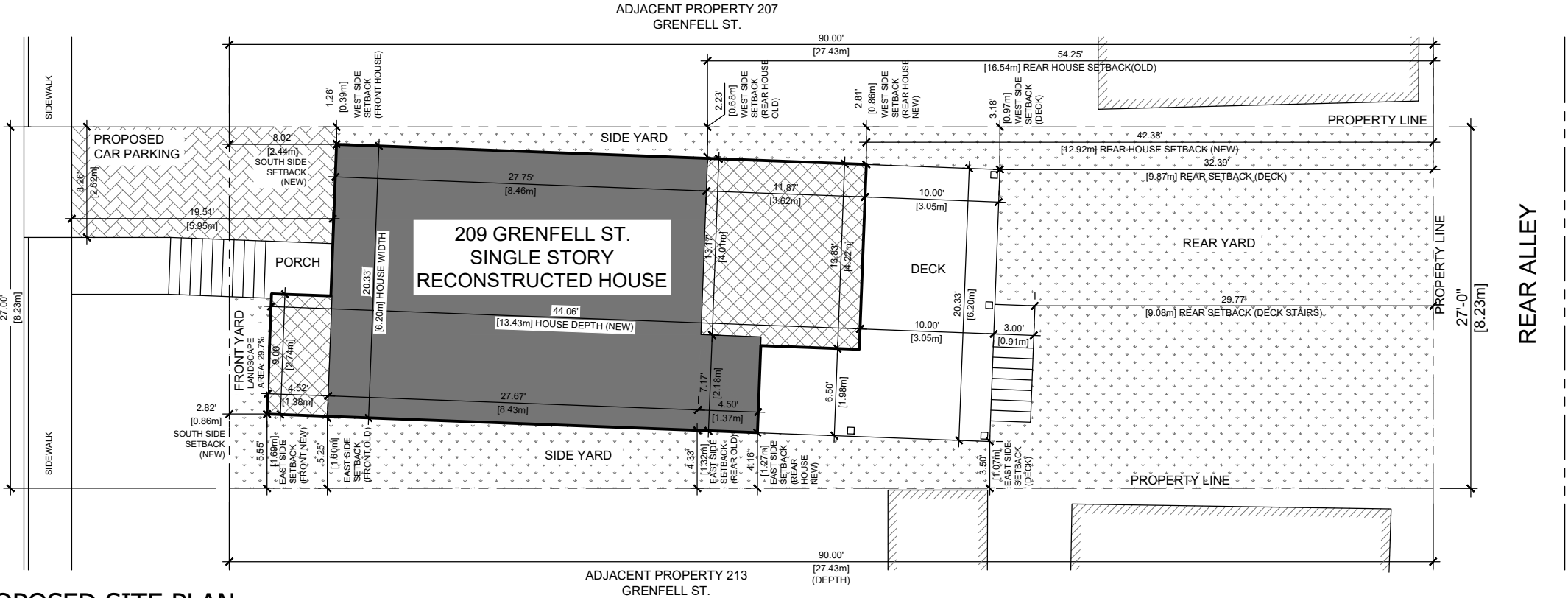


**R&R Designs Inc.**  
92 Stapleton Ave, Hamilton, ON, L8H 3N6  
(905) 547 8668  
Richie Khanna | richie@r-rdesigns.net  
www.r-rdesigns.net

- CONTRACTOR SHALL CHECK DIMENSIONS AND REPORT DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- DO NOT SCALE DRAWINGS.
- THE DESIGN AND DRAWINGS WERE DEVELOPED FOR A SPECIFIC PURPOSE AND MAY NOT BE ALTERED , ISSUED, OR REPRODUCED FOR ANY OTHER PURPOSE.

GRENFELL ST.

REAR ALLEY



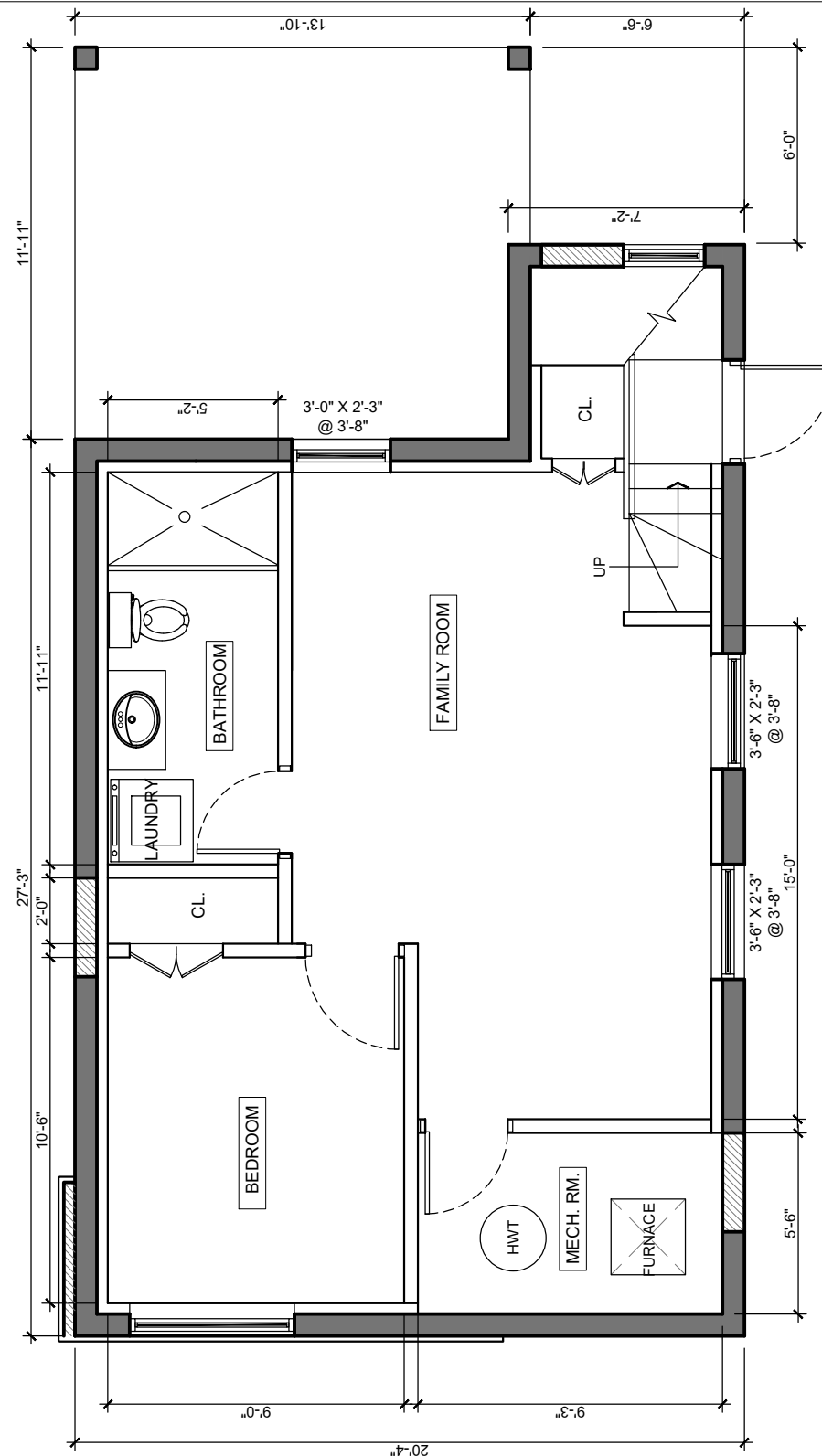
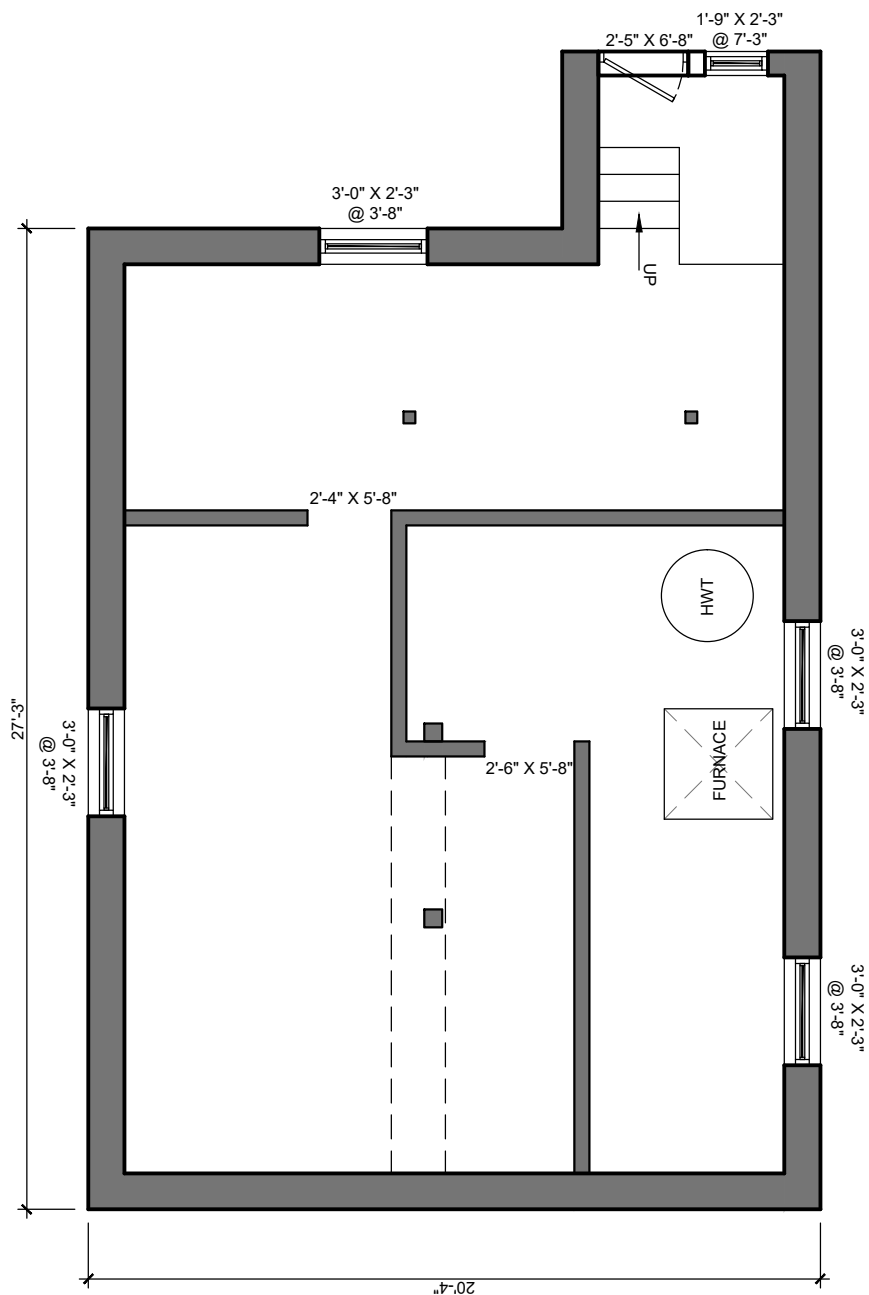
2

PROPOSED SITE PLAN

Scale: 3/32"=1'-0"

| 3                        | 2021.05.19                                | ISSUED - MINOR VARIANCE | EH     |
|--------------------------|---|-------------------------|--------|
| 2                        | 20-09-16                                  | MINOR VARIANCE          | EH     |
| 1                        | 20-09-09                                  | PRELIMINARY             | OL     |
| NO.                      | DATE                                      | DESCRIPTION             | BY     |
| REVISIONS                |   |                         |        |
| PROJECT ADDRESS          | 209 GRENFELL ST.,<br>HAMILTON, ON L8P 3J6 |                         |        |
| SCALE                    | AS NOTED                                  |                         |        |
| DATE                     | 2021.05.19                                |                         |        |
| PAGE TITLE               | SITE PLAN                                 |                         |        |
| PROJECT NO.<br>RR63-2020 | DRAWING NO.                               |                         |        |
| DRAWN BY<br>EH           | SP 1.01                                   |                         |        |
| REVIEWED BY<br>RK        |   |                         |        |
|                          |   |                         | 2 OF 6 |

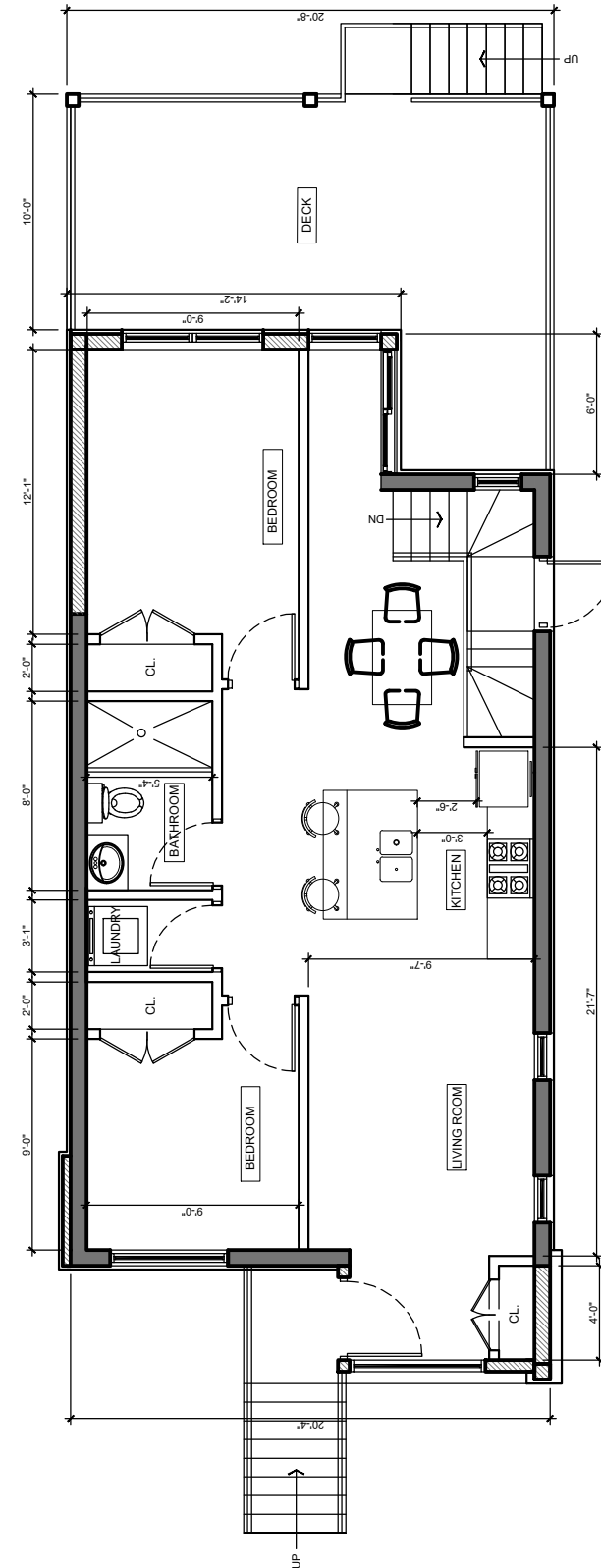
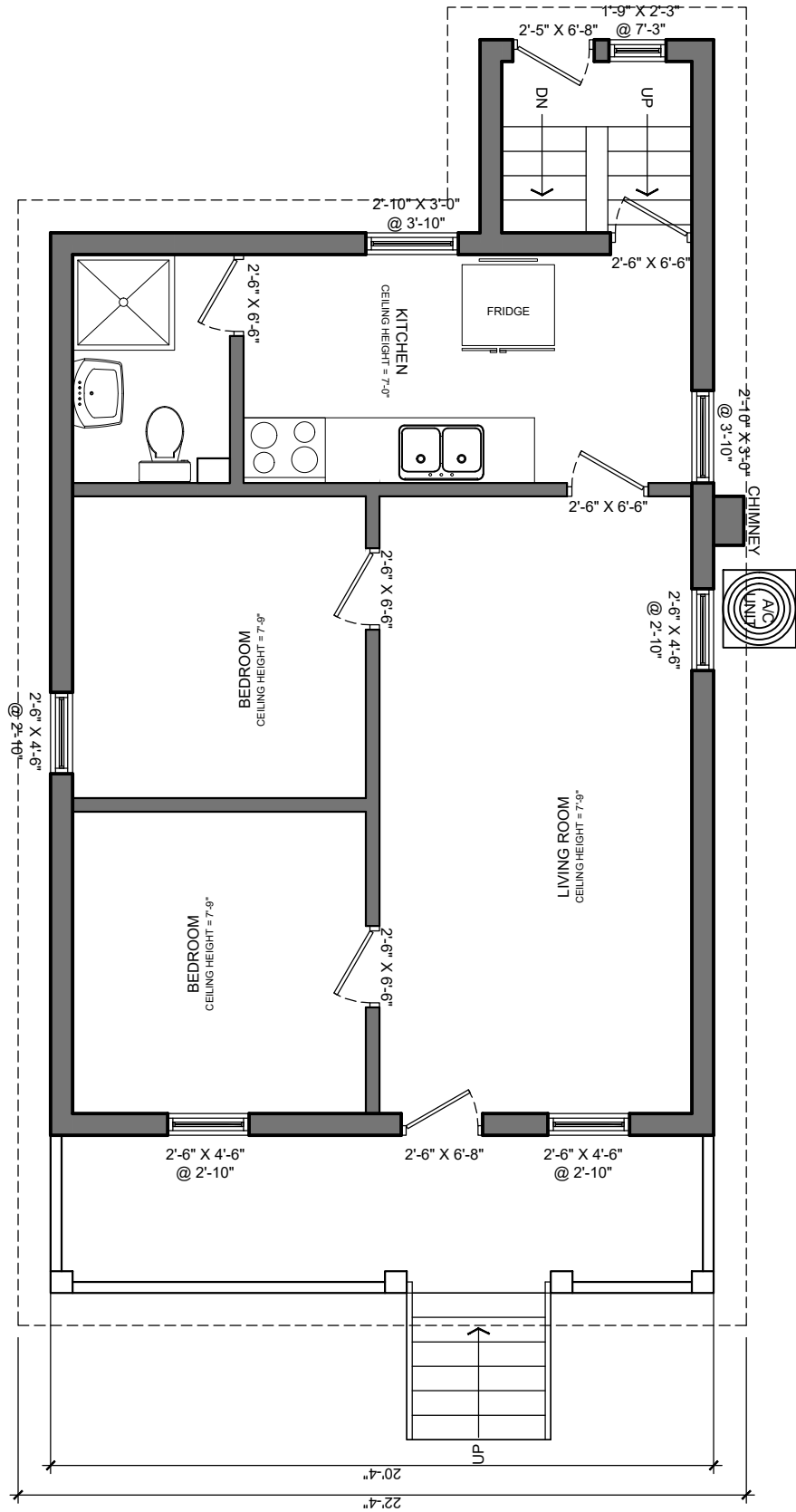




**R&R Designs Inc.**  
92 Stapleton Ave, Hamilton, ON, L8H 3N6  
(905) 547 8668  
Richie Khanna | richie@r-rdesigns.net  
www.r-rdesigns.net

1. CONTRACTOR SHALL CHECK DIMENSIONS AND REPORT DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
2. DO NOT SCALE DRAWINGS.
3. THE DESIGN AND DRAWINGS WERE DEVELOPED FOR A SPECIFIC PURPOSE AND MAY NOT BE ALTERED, ISSUED, OR REPRODUCED FOR ANY OTHER PURPOSE.

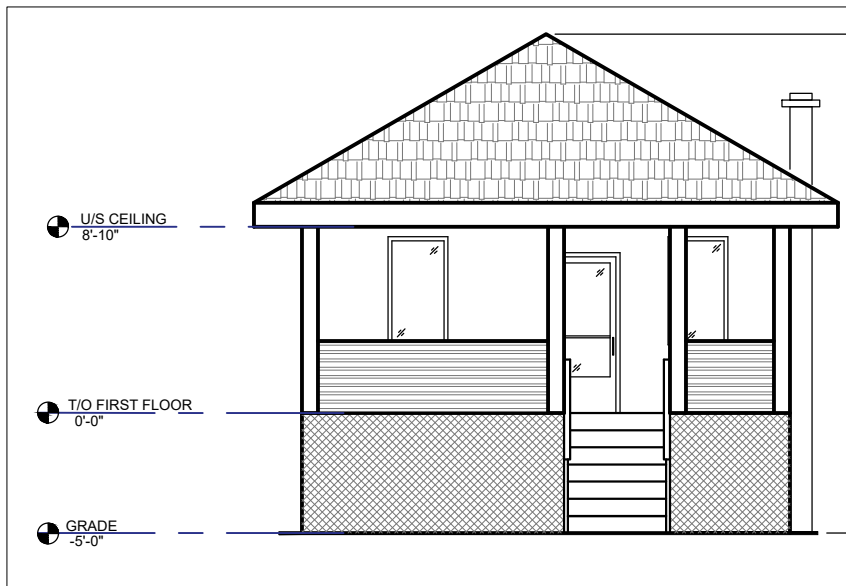
|                          |            |   |    |
|--------------------------|------------|---|----|
|                          |            |   |    |
|                          |            |   |    |
|                          |            |   |    |
|                          |            |   |    |
|                          |            |   |    |
| 3                        | 2021.05.19 | ISSUED - MINOR VARIANCE                   | EH |
| 2                        | 20-09-16   | MINOR VARIANCE                            | EH |
| 1                        | 20-09-09   | PRELIMINARY                               | OL |
| NO.                      | DATE       | DESCRIPTION                               | BY |
| REVISIONS                |            |   |    |
| PROJECT ADDRESS          |            | 209 GRENFELL ST.,<br>HAMILTON, ON L8P 3J6 |    |
| SCALE                    |            | AS NOTED                                  |    |
| DATE                     |            | 2021.05.19                                |    |
| PAGE TITLE               |            | BASEMENT FLOOR PLAN                       |    |
| PROJECT NO.<br>RR63-2020 |            | DRAWING NO.<br><br>A1.01                  |    |
| DRAWN BY                 |            | EH  |    |
| REVIEWED BY              |            | RK  |    |
|                          |            | 3 OF 6                                    |    |



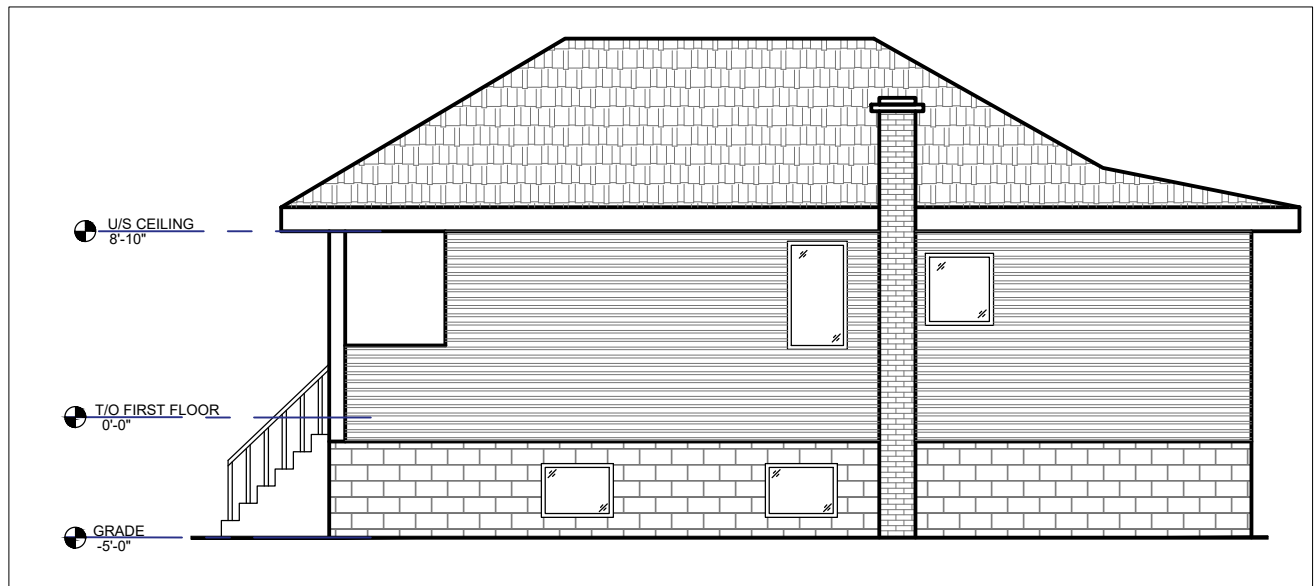
**R&R Designs Inc.**  
 92 Stapleton Ave, Hamilton, ON, L8H 3N6  
 (905) 547 8668  
 Richie Khanna | richie@r-designs.net  
 www.r-designs.net

1. CONTRACTOR SHALL CHECK DIMENSIONS AND REPORT DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
2. DO NOT SCALE DRAWINGS.
3. THE DESIGN AND DRAWINGS WERE DEVELOPED FOR A SPECIFIC PURPOSE AND MAY NOT BE ALTERED, ISSUED, OR REPRODUCED FOR ANY OTHER PURPOSE.

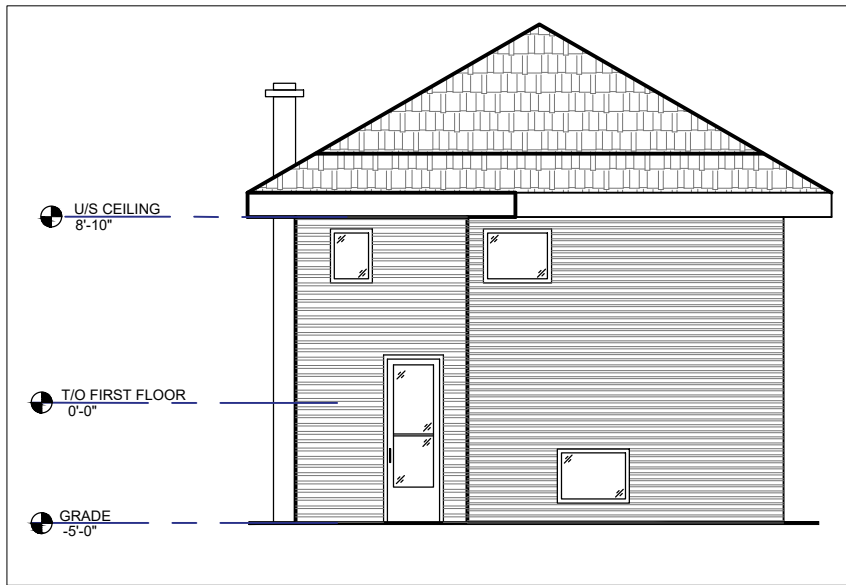
| NO.                   | DATE       | DESCRIPTION                            | BY |
|-----------------------|------------|--|----|
| 3                     | 2021.05.19 | ISSUED - MINOR VARIANCE                | EH |
| 2                     | 20-09-16   | MINOR VARIANCE                         | EH |
| 1                     | 20-09-09   | PRELIMINARY                            | OL |
| REVISIONS             |            |  |    |
| PROJECT ADDRESS       |            | 209 GRENFELL ST., HAMILTON, ON L8P 3J6 |    |
| SCALE                 |            | AS NOTED                               |    |
| DATE                  |            | 2021.05.19                             |    |
| PAGE TITLE            |            | GROUND FLOOR PLAN                      |    |
| PROJECT NO. RR63-2020 |            | DRAWING NO. A1.02                      |    |
| DRAWN BY EH           |            |  |    |
| REVIEWED BY RK        |            |  |    |



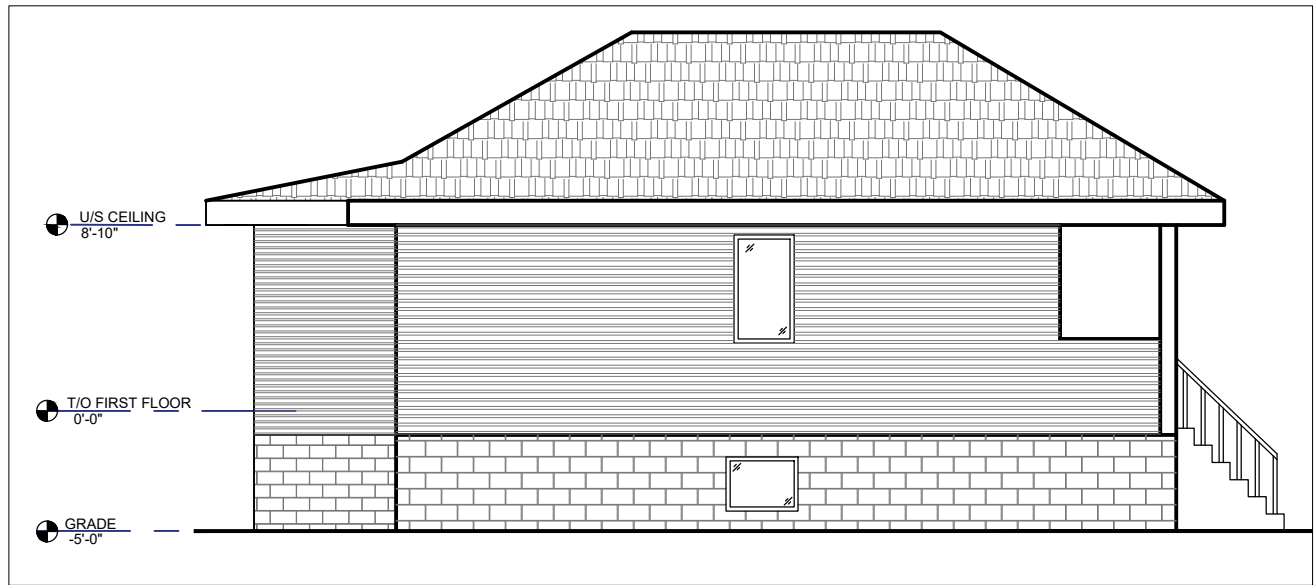
1 EXISTING SOUTH (FRONT) ELEVATION  
Scale: 1/8"=1'-0"



2 EXISTING EAST SIDE ELEVATION  
Scale: 1/8"=1'-0"



3 EXISTING NORTH (REAR) ELEVATION  
Scale: 1/8"=1'-0"



4 EXISTING WEST SIDE ELEVATION  
Scale: 1/8"=1'-0"

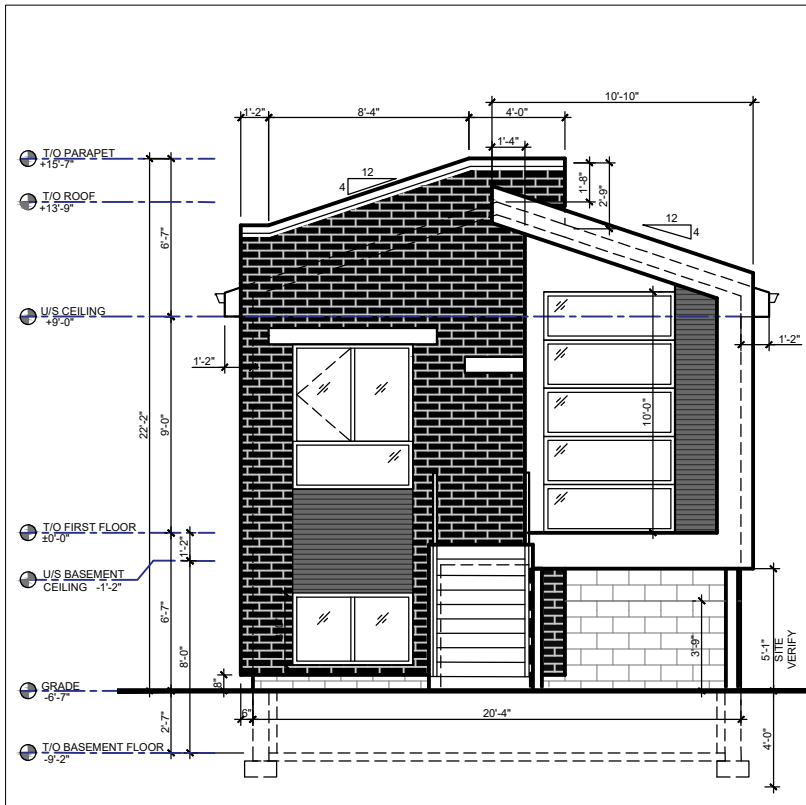


R&R Designs Inc.  
92 Stapleton Ave, Hamilton, ON, L8H 3N6  
(905) 547 8668  
Richie Khanna | richie@r-rdesigns.net  
www.r-rdesigns.net

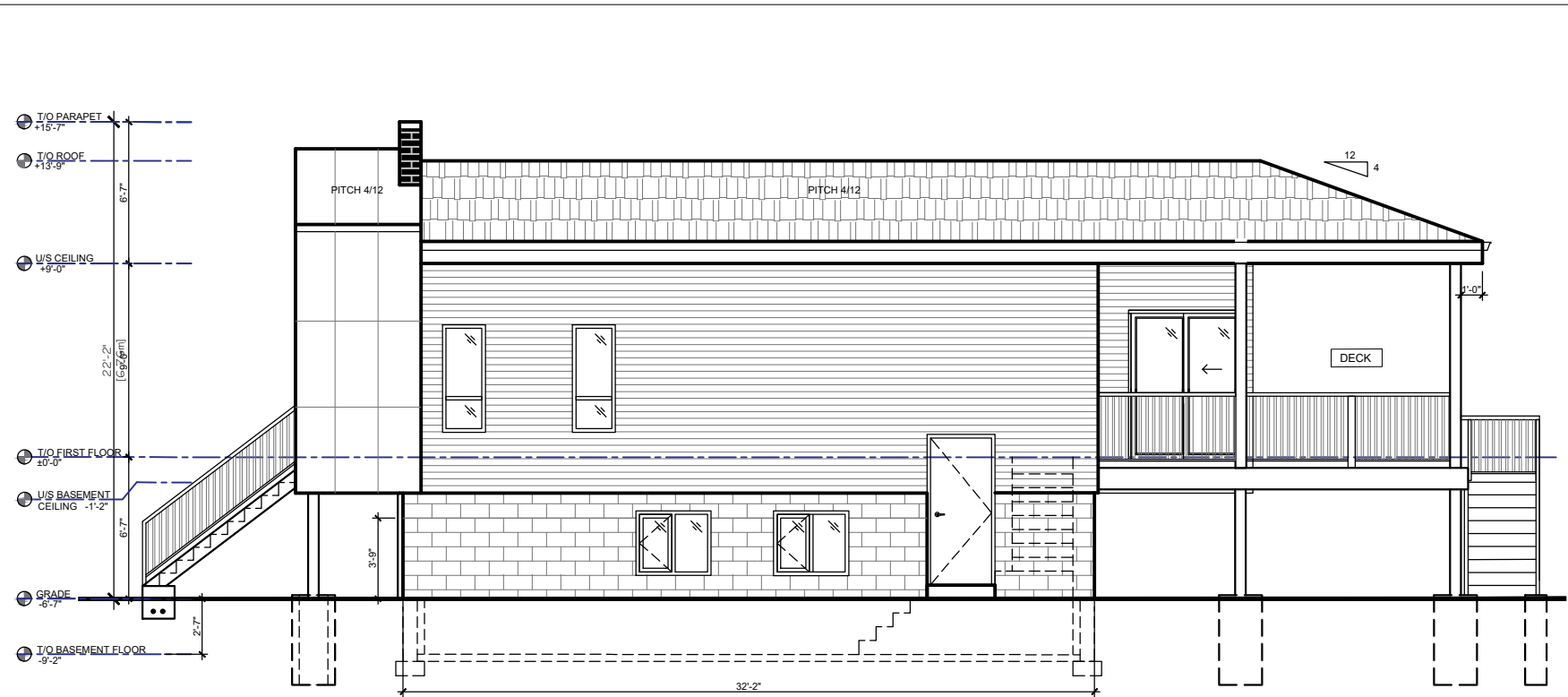
1. CONTRACTOR SHALL CHECK DIMENSIONS AND REPORT DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
2. DO NOT SCALE DRAWINGS.
3. THE DESIGN AND DRAWINGS WERE DEVELOPED FOR A SPECIFIC PURPOSE AND MAY NOT BE ALTERED, ISSUED, OR REPRODUCED FOR ANY OTHER PURPOSE.

| NO. | DATE       | DESCRIPTION             | BY |
|-----|------------|-------------------------|----|
| 3   | 2021.05.19 | ISSUED - MINOR VARIANCE | EH |
| 2   | 20-09-16   | MINOR VARIANCE          | EH |
| 1   | 20-09-09   | PRELIMINARY             | OL |

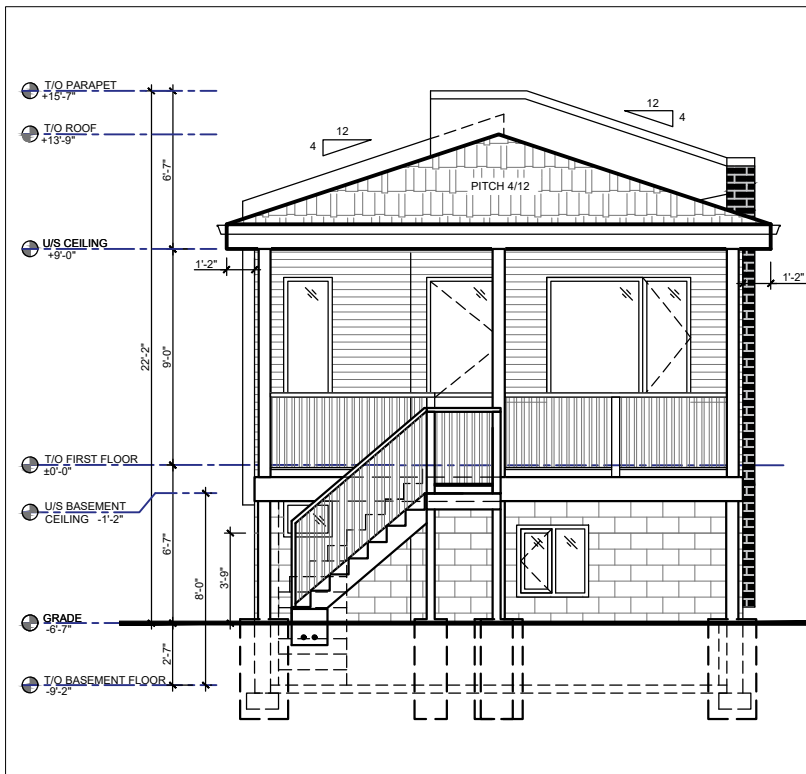
| REVISIONS                |   |
|--------------------------|---|
| PROJECT ADDRESS          | 209 GRENFELL ST.,<br>HAMILTON, ON L8P 3J6 |
| SCALE                    | AS NOTED                                  |
| DATE                     | 2021.05.19                                |
| PAGE TITLE               | EXISTING EXTERIOR<br>ELEVATIONS           |
| PROJECT NO.<br>RR63-2020 | DRAWING NO.<br><br>A1.03                  |
| DRAWN BY EH              | 5 OF 6                                    |
| REVIEWED BY RK           |   |



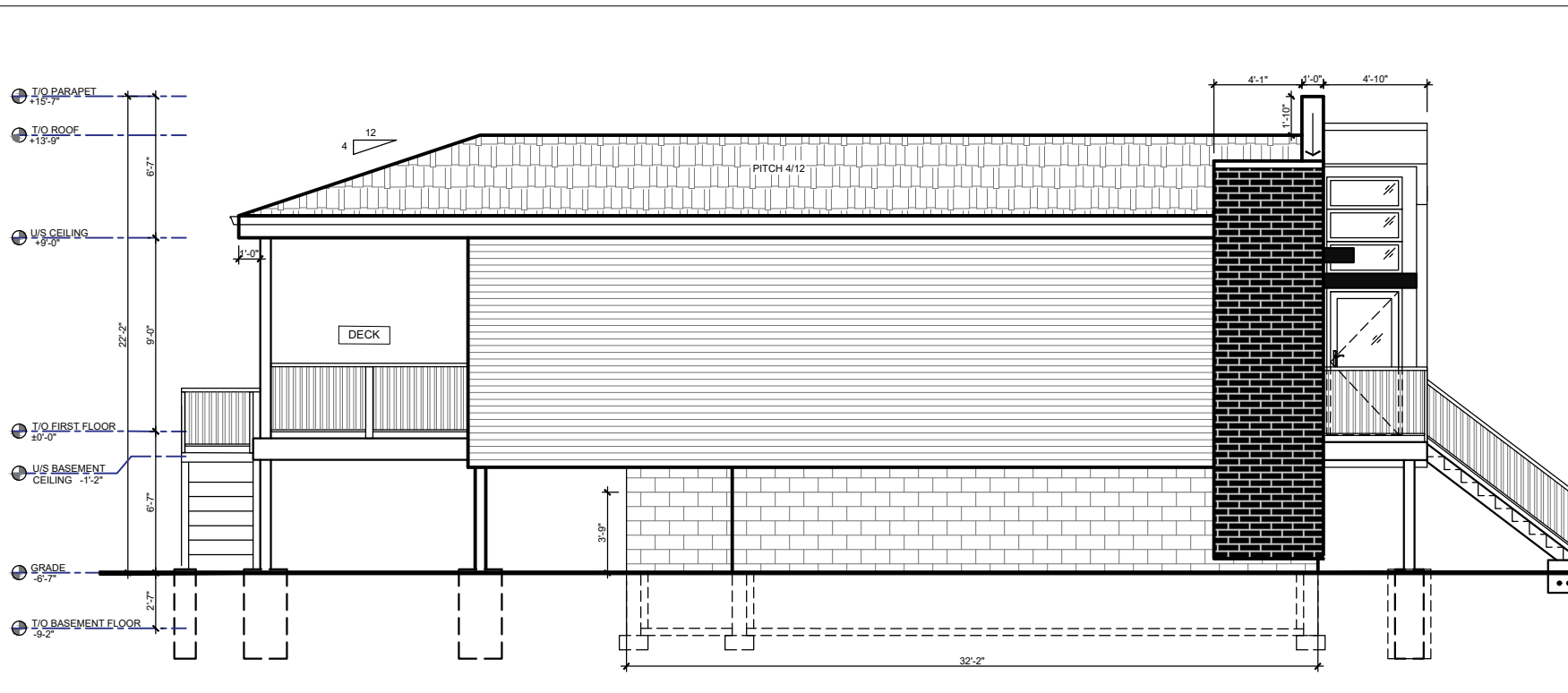
1 PROPOSED SOUTH (FRONT) ELEVATION  
Scale: 1/8"=1'-0"



2 PROPOSED EAST SIDE ELEVATION  
Scale: 1/8"=1'-0"



3 PROPOSED NORTH (REAR) ELEVATION  
Scale: 1/8"=1'-0"



4 PROPOSED WEST SIDE ELEVATION  
Scale: 1/8"=1'-0"

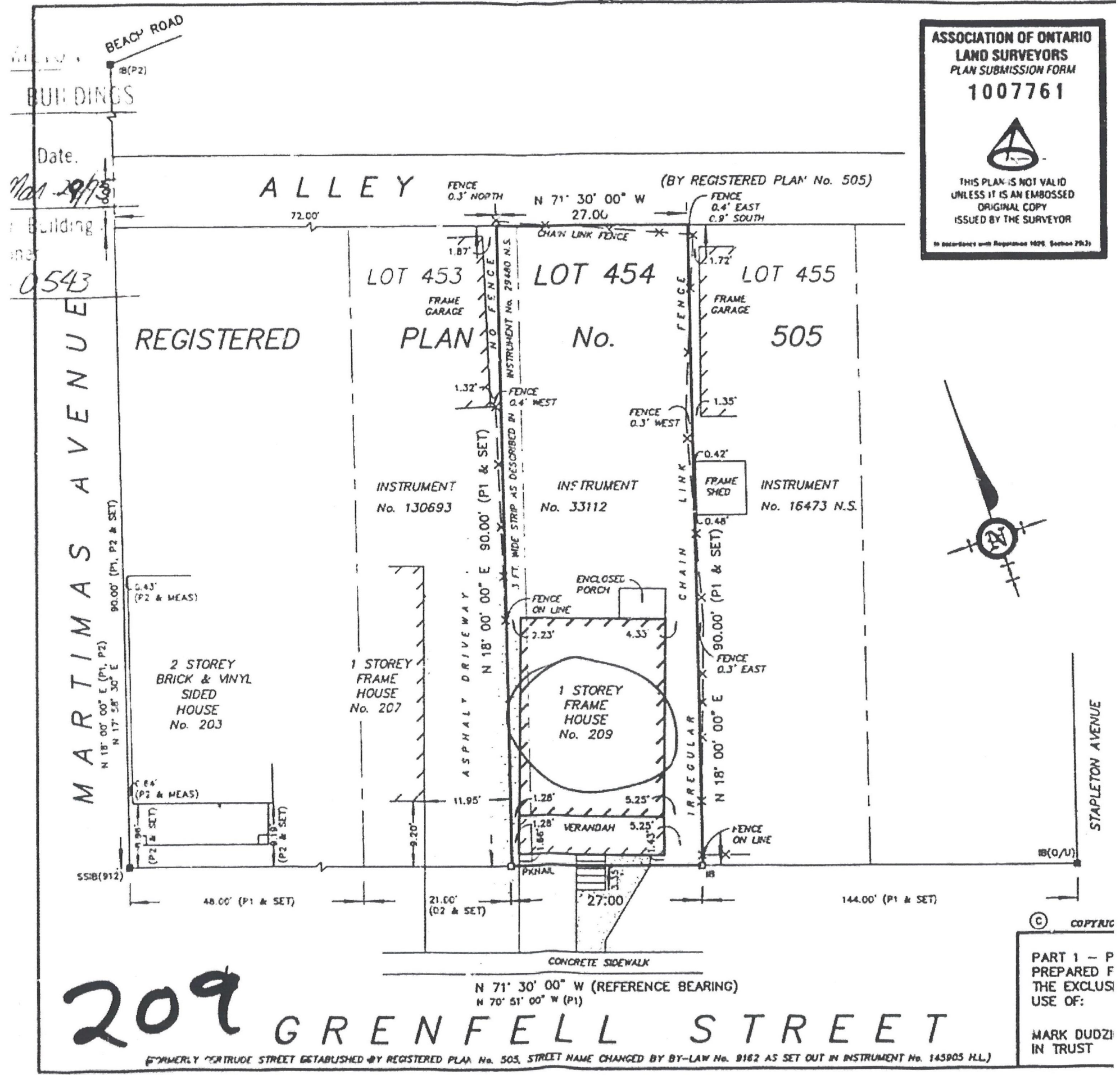


R&R Designs Inc.  
92 Stapleton Ave, Hamilton, ON, L8H 3N6  
(905) 547 8668  
Richie Khanna | richie@r-designs.net  
www.r-designs.net

1. CONTRACTOR SHALL CHECK DIMENSIONS AND REPORT DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
2. DO NOT SCALE DRAWINGS.
3. THE DESIGN AND DRAWINGS WERE DEVELOPED FOR A SPECIFIC PURPOSE AND MAY NOT BE ALTERED, ISSUED, OR REPRODUCED FOR ANY OTHER PURPOSE.

|                          |            |   |    |
|--------------------------|------------|---|----|
|                          |            |   |    |
|                          |            |   |    |
|                          |            |   |    |
|                          |            |   |    |
|                          |            |   |    |
|                          |            |   |    |
| 3                        | 2021.05.19 | ISSUED - MINOR VARIANCE                   | EH |
| 2                        | 20-09-16   | MINOR VARIANCE                            | EH |
| 1                        | 20-09-09   | PRELIMINARY                               | OL |
| NO.                      | DATE       | DESCRIPTION                               | BY |
| REVISIONS                |            |   |    |
| PROJECT ADDRESS          |            | 209 GRENFELL ST.,<br>HAMILTON, ON L8P 3J6 |    |
| SCALE                    |            | AS NOTED                                  |    |
| DATE                     |            | 2021.05.19                                |    |
| PAGE TITLE               |            | PROPOSED EXTERIOR<br>ELEVATIONS           |    |
| PROJECT NO.<br>RR63-2020 |            | DRAWING NO.<br><br>A1.04                  |    |
| DRAWN BY    EH           |            | 6 OF 6                                    |    |
| REVIEWED BY RK           |            |   |    |





ASSOCIATION OF ONTARIO  
LAND SURVEYORS  
PLAN SUBMISSION FORM  
1007761

THIS PLAN IS NOT VALID  
UNLESS IT IS AN EMBOSSED  
ORIGINAL COPY  
ISSUED BY THE SURVEYOR

In accordance with Regulation 1626, Section 29(3)

The CITY OF HAMILTON disclaims any liability as to the current accuracy of the contents of this document and advises that no reliance can be placed upon the current accuracy of the contents herein.

© COPYRIGHT  
PART 1 - P  
PREPARED FOR  
THE EXCLUSIVE  
USE OF:  
MARK DUDZI  
IN TRUST



Hamilton

Committee of Adjustment  
City Hall, 5<sup>th</sup> Floor,  
71 Main St. W.,  
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221  
Email: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

## APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. \_\_\_\_\_ DATE APPLICATION RECEIVED \_\_\_\_\_


PAID \_\_\_\_\_ DATE APPLICATION DEEMED COMPLETE \_\_\_\_\_

SECRETARY'S  
SIGNATURE \_\_\_\_\_

### The Planning Act

#### Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

| 1, 2                 | NAME                 | MAILING ADDRESS  |                   |
|----------------------|----------------------|--|-------------------|
| Registered Owners(s) | R&R Property Holding |  |                   |
| Applicant(s)*        | Richie Khanna        |  |                   |
| Agent or Solicitor   |                      |  | Phone:<br>E-mail: |

**Note:** Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:  
N/A

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

1)Building front setback 0.86m; 2)building west side setback 0.39m; 3)rear deck east side setback 1.07m; 4)front yard landscaping 29.7%; 5)proposed front parking 2.52m x5.95m.

☐ Secondary Dwelling Unit ☒ Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

Existing conditions.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

209 Grenfell Street, Hamilton, ON L8P 3J6  
Zone 'D' urban Protected Residential, one and two family dwellings.

7. PREVIOUS USE OF PROPERTY

Residential ☒ Industrial ☐ Commercial ☐

Agricultural ☐ Vacant ☐ Other ☐

Other \_\_\_\_\_

8.1 If Industrial or Commercial, specify use n/a

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐ No ☒ Unknown ☐

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐ No ☒ Unknown ☐

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐ No ☒ Unknown ☐

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐ No ☒ Unknown ☐

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐ No ☒ Unknown ☐

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes ☐ No ☒ Unknown ☐

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ☐ No ☒ Unknown ☐

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

Online research, neighbor consultations.

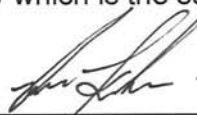
8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ☐ No ☐

## 9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

May. 25/21.  
Date

  
Signature Property Owner(s)

Richie Khanna  
Print Name of Owner(s)

10. Dimensions of lands affected:

|                 |                            |
|-----------------|----------------------------|
| Frontage        | <u>8.23m (27'-0")</u>      |
| Depth           | <u>27.43m (90'-0")</u>     |
| Area            | <u>225.8 m<sup>2</sup></u> |
| Width of street | <u>3.8m</u>                |

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: \_

Ground floor area: 53.5 m<sup>2</sup>; basement area: 52.2 m<sup>2</sup>; gross floor area: 53.5 m<sup>2</sup>; one story house; building width: 6.20m; building length: 10.24m; height: 6.33m.

Proposed

Ground floor area: 71.1 m<sup>2</sup>; basement area: 52.2 m<sup>2</sup>; gross floor area: 71.1 m<sup>2</sup>; proposed one storey house; building width: 6.20m; building length: 12.92m; proposed height: 6.76m.

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

n/a

Proposed:

n/a

13. Date of acquisition of subject lands:  
\_\_\_\_\_
14. Date of construction of all buildings and structures on subject lands:  
\_\_\_\_\_
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):  
Residential. Single family.
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):  
Residential. Single family.
17. Length of time the existing uses of the subject property have continued:
18. Municipal services available: (check the appropriate space or spaces)
- |                |                                     |           |                                     |
|----------------|-------------------------------------|-----------|-------------------------------------|
| Water          | <input checked="" type="checkbox"/> | Connected | <input checked="" type="checkbox"/> |
| Sanitary Sewer | <input checked="" type="checkbox"/> | Connected | <input checked="" type="checkbox"/> |
| Storm Sewers   | <input checked="" type="checkbox"/> |           |                                     |
19. Present Official Plan/Secondary Plan provisions applying to the land:
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:  
Zone 'D' , 6593 Former Hamilton.
21. Has the owner previously applied for relief in respect of the subject property?  
Yes ☐ No ☒  
If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?  
Yes ☐ No ☒
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.