

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: HM/A-21:262

APPLICANTS: Owner Chris Donaldson

SUBJECT PROPERTY: Municipal address **99 Kimberly Dr., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended

ZONING: C district (Urban Protected Residential, etc.)

PROPOSAL: To permit the construction of a single family dwelling notwithstanding that:

1. The roofed-over unenclosed one-storey porch at the first storey level, including the stairs, eaves and gutters, shall be permitted to project entirely into the required front yard (being 1.9m) and shall be distant 0.0m from the front lot line instead of the requirement that a roofed-over or screened but otherwise unenclosed one-storey porch at the first storey level, including eaves and gutters, may project into a required front yard or rear yard to a distance of not more than 3.0m and every such projecting porch shall be distant at least 1.5m from the front lot line.
2. Eaves and gutters may project into the required front yard and shall be as close as 1.3m from the street line instead of the requirement that an eave or gutter may project into a required front yard provided that no such projection shall be closer to a street line than 1.5m.
3. One (1) parking space shall be permitted instead of the minimum required two (2) parking spaces.
4. A minimum aisle width manoeuvring space of 1.9m shall be provided instead of the minimum required aisle width manoeuvring space of 6.0m.
5. The finished level of the garage floor shall be permitted to be a minimum of 0.2m above grade instead of the requirement that where a dwelling is constructed with an attached garage, then the finished level of the garage floor shall be a minimum of 0.3 metres above grade.

NOTE:

- i) Variance No. 3 of Minor Variance File No. HM/A-19:391 was granted to permit a minimum front yard of 1.9m for this lot which was severed from lands known municipally as 106 Ferndale Avenue, Hamilton pursuant to Consent File No. HM/B-19:38.

This application will be heard by the Committee as shown below:

DATE:	Thursday, August 26th, 2021
TIME:	3:00 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	To be streamed at
	www.hamilton.ca/committeeofadjustment
	for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: August 10th, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

A street map showing the intersection of Montrose Ave., Ferndale Ave., and Dundonald Ave. Kimberly Dr. runs vertically through the center. A north arrow is in the top left, and a street sign for 99 is on Kimberly Dr.

LOT 240

KEY PLAN
N.T.S.

LOT 241

LOT 242

LOT 12

99 KIMBERLY DR. PROPOSED BUILDING ENVELOPE (101.82m²)
GARAGE F.F. 119.29m
MAIN F.F. 119.49m
BSMT F.F. 116.91m
ROOF LEADERS TO DISCHARGE TOWARD KIMBERLY DR.
LOT AREA: 261M²

NOTES:
AVE. GRADE ALONG CURB IS 119.06M
GARAGE F.F. IS 119.29M (0.23M ABOVE GRADE)

FRONT LANDSCAPE AREA:
(10.91 + 3.36) = 14.27m²
NON-LANDSCAPED AREA: 12.39m²
PERCENTAGE LANDSCAPED = 14.27/(14.27+12.39) = 53.5%

LEGEND
PROPOSED GEODETIC ELEVATION
EXISTING GEODETIC ELEVATION
PROPOSED DIRECTION AND SLOPE OF SHEET FLOW
SILTATION CONTROL FENCE PER OPSD 219.110
PROPERTY LINE

NOTES:
CITY OF HAMILTON REG. PLAN NO. 62R-21358 (RIGHT-OF-WAY WIDENING PLAN)
REFER TO C000 FOR NOTES AND C001 FOR TYPICAL DETAILS
OWNER ACKNOWLEDGES THERE MAY BE STANDING WATER IN THE REAR YARD IF INFILTRATION GALLERY DOES NOT PERFORM PER ASSUMED PERCOLATION RATE FOR EXISTING SOIL CONDITIONS

100% PERF. PIPE OBSERVATION WELL
ELEV. 117.73-118.07
ELEV. 117.43-117.77
GROUND WATER <116.43

UNDISTURBED SOIL
FILTER FABRIC
50MM CLEAR STONE

NOTES:
(1) UNDISTURBED SOIL HAS PERCOLATION RATE OF 0.2M/HR

FRONT LANDSCAPE AREA:
 $(10.91 + 3.36) = 14.27\text{m}^2$
 NON-LANSCAPED AREA: 12.39m^2
 PERCENTAGE LANDSCAPED = $14.27 / (14.27 + 12.39) = 53.5\%$

UNDISTURBED SOIL (3)

FILTER FABRIC (2)

50MM CLEAR STONE (1)

0.30

ELEV. 117.73~118.07











ELEV. 117.43~117.77

▽ GROUND WATER <116.43

INFILTRATION TRENCH DETAIL

NOTES:

1. CITY OF HAMILTON REG. PLAN NO. 62R-21358 (RIGHT-OF-WAY WIDENING PLAN)
2. REFER TO C000 FOR NOTES AND C001 FOR TYPICAL DETAILS
3. OWNER ACKNOWLEDGES THERE MAY BE STANDING WATER IN THE REAR YARD IF INFILTRATION GALLERY DOES NOT PERFORM PER ASSUMED PERCOLATION RATE FOR EXISTING SOIL CONDITIONS

	PROPOSED GEODETIC ELEVATION
	EXISTING GEODETIC ELEVATION
	PROPOSED DIRECTION AND SLOPE OF SHEET FLOW
	SILTATION CONTROL FENCE PER OPSD 219.110
	PROPERTY LINE
	EXISTING COMBINED SEWER MANHOLE
	STORM MANHOLE (E=EXISTING)
	SANITARY MANHOLE (E=EXISTING)
	OVERLAND FLOW ROUTE
	HIGH POINT

A diagram of a 10m road. The road is represented as a horizontal bar. The first 5m of the road is divided into alternating 1m black and 1m white segments. The remaining 5m of the road is a solid black segment. The total length is labeled as 10m, and the first 5m segment is labeled as 5m.

[illegible]

155 Lexington Court
Waterloo, Ontario, N2J 4R2
Canada
Phone (519) 884-4840
Fax (519) 884-4843
Internet www.schorn.ca
E-mail tech@schorn.ca



SCHORN CONSULTANTS INC.
engineers • managers • consultants

PROJECT FOR:
PROPOSED RESIDENCE
99 KIMBERLY DR
HAMILTON, ONTARIO

STRUCTURAL DESIGN IS BASED ON THE FULL INTERACTION OF ALL COMPONENT PARTS. NO PROVISIONS HAVE BEEN MADE FOR CONDITIONS OCCURRING DURING CONSTRUCTION

ALL INFORMATION ON THIS
DRAWING IS THE PROPERTY OF
SCHORN CONSULTANTS INC.



DRAWING NOT TO BE USED FOR
CONSTRUCTION UNLESS SIGNED

ISSUED FOR:
☒ SITE PLAN APR'VL
☐ BUILDING PERMIT
☐ CONSTRUCTION
☐ TENDER

CONTRACTOR TO CHECK
& VERIFY DIMENSIONS
DO NOT SCALE DRAWINGS

TITLE:
SITE GRADING
PLAN

DRAWN:	K.SCHORN
CHECKED:	G. SCHORN
SCALE:	AS NOTED
DATE:	APRIL 23, 2021
PROJECT NUMBER:	

DRAWING. NO.:	REV.:
C100	2

FILE PATH: D:\SCHORN DROPBOX\KEVIN SCHORN\03 - PROJECTS\106 FERDALE AVE\19-148_99_KIMBERLY DWG
PLOTTED BY: KEVIN SCHORN
PLOT DATE: Thursday, July 29, 2021 10:23:34 AM



99 KIMBERLY DR.
PROPOSED
BUILDING ENVELOPE
(101.82m²)
MAIN F.F. 119.49m
BSMT F.F. 116.91m
ROOF LEADERS TO
DISCHARGE TOWARD
KIMBERLY DR.

SITE BENCHMARK
CUT CROSS IN ASPHALT
ELEVATION = 119.24

LEGEND:
DENOTES
MONUMENT SET
IRON BAR
ROUND IRON BAR
PLASTIC BAR
IRON PIPE
STANDARD IRON BAR
SHORT STANDARD IRON BAR
AT PETERS' O.L.S.
AT PETERS' O.L.S.
AT PETERS' O.L.S.
J.P. WOOLLEY O.L.S.
ORIGIN UNKNOWN
MEASURED
62R-21358
METAL FENCE
RETAINING WALL
NOT TO SCALE



SITE GRADING

- NOTES:
1. CITY OF HAMILTON REG. PLAN (ZONING PLAN)
 2. REFER TO 0000 FOR NOT
 3. OWNER ACKNOWLEDGES T
 - REAR YARD IF INFILTRATION

A street map showing the intersection of Montrose Ave., Ferndale Ave., Dundonald Ave., and Kimberly Dr. A north arrow is in the top left, and a '99' street sign is on Kimberly Dr.

LOT 240

LOT 241

LOT 242

LOT 12

KEY PLAN
N.T.S.

SITE GRADING PLAN 1:100

NOTES:

- CITY OF HAMILTON REG. PLAN NO. 62R-21358 (RIGHT-OF-WAY WIDENING PLAN)
- REFER TO C000 FOR NOTES AND C001 FOR TYPICAL DETAILS
- OWNER ACKNOWLEDGES THERE MAY BE STANDING WATER IN THE REAR YARD IF INFILTRATION GALLERY DOES NOT PERFORM PER ASSUMED PERCOLATION RATE FOR EXISTING SOIL CONDITIONS

LEGEND

- PROPOSED GEODETIC ELEVATION
- EXISTING GEODETIC ELEVATION
- PROPOSED DIRECTION AND SLOPE OF SHEET FLOW
- SILTATION CONTROL FENCE PER OPSD 219.110
- PROPERTY LINE

LANDSCAPED AREA: 6.30+13.33 = 19.63 M²
NON-LANDSCAPED AREA: 16.65 M²
LANDSCAPED AREA = 19.63/(16.65+19.63) = 54%
K. SCHORN
2021-06-25

NOTES:

(1) UNDISTURBED SOIL HAS PERCOLATION RATE OF 0.2M/HR

CROSS-SECTION:

- UNDISTURBED SOIL (1)
- FILTER FABRIC
- 50MM CLEAR STONE (2)
- 100Ø PERF. PIPE OBSERVATION WELL (3)
- ELEV. 117.73-118.07
- ELEV. 117.43-117.77
- GROUND WATER <116.43

UNDISTURBED SOIL

FILTER FABRIC (1)

50MM CLEAR STONE (2)




100Ø PERF. PIPE OBSERVATION WELL (3)

ELEV. 117.73-118.07

ELEV. 117.43-117.77

GROUND WATER <116.43

INFILTRATION TRENCH DETAIL

<u>LEGEND</u>	
PROPOSED GEODETIC ELEVATION	
EXISTING GEODETIC ELEVATION	
PROPOSED DIRECTION AND SLOPE OF SHEET FLOW	
—X—	SILTATION CONTROL FENCE PER OPSD 219.110
---	PROPERTY LINE
 E	EXISTING COMBINED SEWER MANHOLE
 E	STORM MANHOLE (E=EXISTING)
 E	SANITARY MANHOLE (E=EXISTING)
OVERLAND FLOW ROUTE	
H.P.	HIGH POINT

PROJECT FOR:
PROPOSED RESIDENCE
99 KIMBERLY DR
HAMILTON, ONTARIO

RAWING. NO.:	REV.:
C100	1

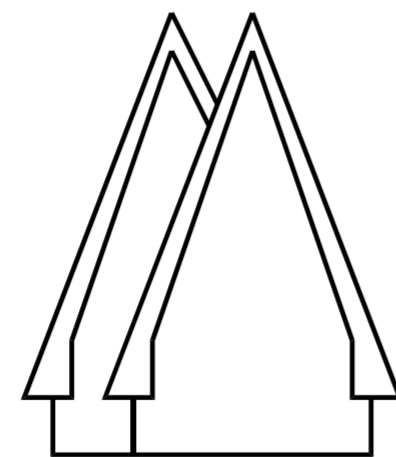
FILE PATH: D:\SCHORN DROPBOX\KEVIN SCHORN\03 - PROJECTS\106 FERNDALE AVE\19-148_99 KIMBERLY.DWG
PLOTTED BY: KEVIN SCHORN
PLOT DATE: Friday, June 25, 2021 11:02:58 AM

PROPOSED RESIDENCE

99 KIMBERLY DRIVE
HAMILTON, ONTARIO

LIST OF DRAWINGS:

- A0.01 – COVER SHEET
- A1.01 – BASEMENT FLOOR PLAN
- A1.02 – GROUND FLOOR PLAN
- A1.03 – UPPER FLOOR PLAN
- A4.01 – SECTION THROUGH
- A2.01 – FRONT ELEVATION
- A2.02 – REAR ELEVATION
- A2.03 – RIGHT SIDE ELEVATION
- A2.04 – LEFT SIDE ELEVATION



established
1983

SAGITTARIUS

design & drafting

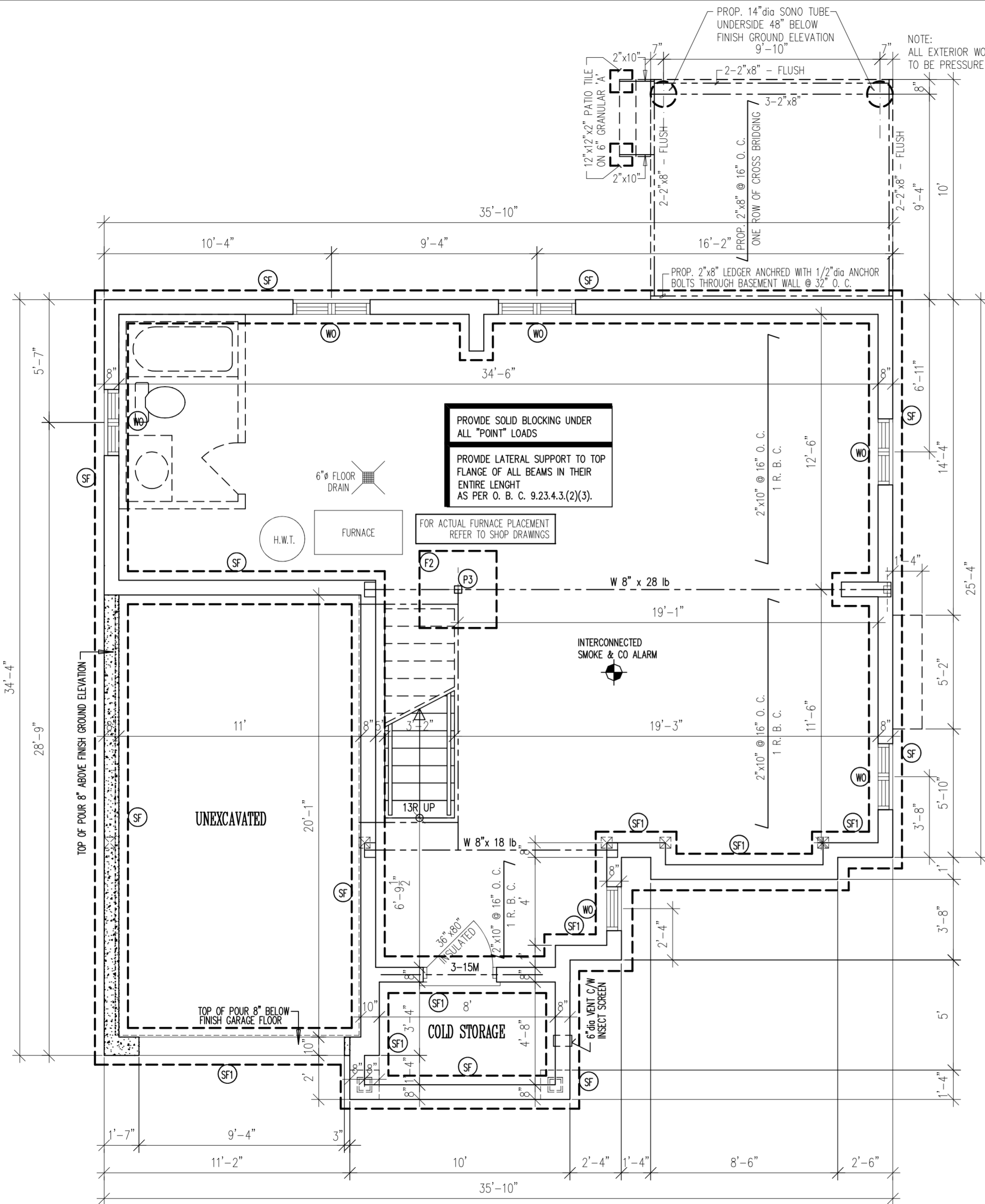
99 HANOVER PLACE

HAMILTON, ONTARIO

L8K – 5X7

Phone: (905) 973-9839

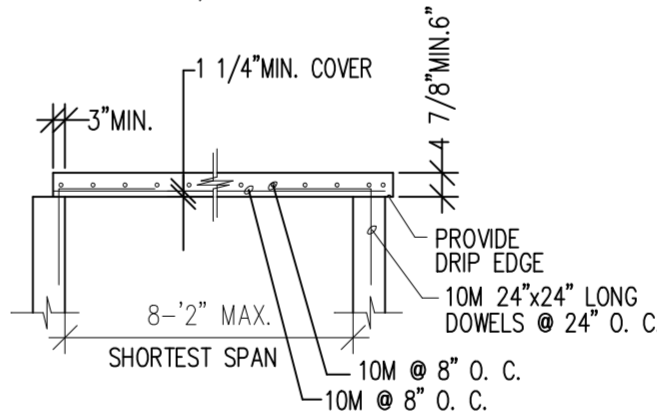
e-mail: sagit1129@rogers.com



GENERAL NOTES:

1. ALL CONSTRUCTION SHALL CONFORM TO THE O.B.C. AND LOCAL AUTHORITY HAVING JURISDICTION.
2. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION.
3. ALL WOOD MEMBERS TO BE CONSTRUCTION SPRUCE No.2, UNLESS NOTED OTHERWISE.
4. INSTALL DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS.
5. ALL CONSTRUCTION BETWEEN GARAGE AND DWELLING UNIT SHALL PROVIDE AN EFFECTIVE BARRIER FROM GAS AND EXHAUST. DOOR TO HAVE WEATHER STRIP'G AND SELF CLOSER.
6. HEAT TRANSFER, AIR LEAKAGE & CONDENSATION CONTROL TO CONFORM TO SECTION 9.25. OF THE O.B.C.
7. MECHANICAL VENTILATION TO CONFORM TO SECTION 9.32.3 OF THE O.B.C.
8. RESISTANCE TO FORCED ENTRY TO CONFORM TO SECTION 9.6.8. OF THE O.B.C.
9. FIREPLACE TO CONFORM TO SEC. 9.22 OF THE O.B.C. CHIMNEY TO CONFORM TO SEC. 9.21 OF THE O.B.C.
10. ANY DEVIATION FROM APPROVED PLAN MUST BE APPROVED BY LOCAL BUILDING DEPARTMENT.
11. SIZES OF ALL BEAMS AND LINTELS MUST BE CONFIRMED UPON FINAL TRUSS LAY OUT.
12. STEEL : G40.21-M 300W; $\phi=0.90$
STEEL BEAM WITH WELDED PLATE $\neq 6"x1/2"$ & $3/8"$ THICK BRACKETS @ 24" O.C. TO SUPPORT BRICK. ALL BRICK VENEER ANGEL IRON LINTELS TO BE ANCHORED AT 24" O.C. TO PREVENT TWISTING.
13. THERMAL DESIGN & INSULATION AS PER SECTIONS SB-12, TABLE 3.1.1.2A PACKAGE A1
14. STAIRS, RAMPS, HANDRAILS & GUARDS AS PER SECTION 9.8. OF THE O. B. C.
ATTACHMENT OF HANDRAILS AS PER SUPPLEMENTARY STANDARDS TO THE O. B. C. SB-7
15. ALL WORKS SHALL BE PERFORMED BY QUALIFIED AND LICENCED CONTRACTORS
16. ALL CONCRETE MATERIALS AND WORKMANSHIP TO SCA A23.1, 2 & 3.
17. THERMAL RESISTANCE OF WINDOWS AND DOORS AS PER SB-12, TABLE 3.1.1.2A PACKAGE A1

SLAB OVER FRONT PORCH
TYPICAL DETAIL AS PER O. B. C. 9.40.
SCALE: 1/4" = 1'-0"



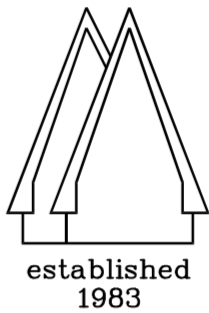
CONCRETE: 32 MPa - CAN/CSA-A23.1-M
STEEL: 400 MPa - CAN/SCA-G30.18-M

REGISTRATION INFORMATION

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

MILOS TRKULJA
SAGITTARIUS DESIGNS

BCIN: **24457**
BCIN: **30427**



SAGITTARIUS
design & drafting
99 HANOVER PLACE
HAMILTON, ONTARIO
L8K - 5X7
Phone: (905) 973-9839
FAX: (905) 538-0587
e-mail: sagit1129@rogers.com

NOTE: PROVIDE MIN. 4'-0" FROST PROTECTION
STEP FOOTING AS PER SEC. 9.15.3.9
AND AS PER "LOT GRADING PLAN"
STEP TOP OF EXTERIOR FOUNDATION WALLS AS PER "LOT GRADING PLAN"
MAXIMUM BACKFILL = 7'-7" MEASURED FROM FINISH BASEMENT FLOOR
ALL FOOTINGS TO BEAR ON NATIVE SOIL.
ASSUMED SOIL BEARING CAPACITY : 3000 lb/sq.ft. TO BE VERIFIED BY GEOTECHNICAL ENGINEER
ALL FOUNDING SURFACES SHALL BE INSPECTED BY GEOTECHNICAL ENGINEER PRIOR TO POURING CONCRETE
ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 25 MPa AT 28 DAYS.
75 MM MINIMUM CONCRETE COVER ON REINFORCING STEEL FOR FOUNDATIONS.

- P3 HSS-4"x4"x0.25" C/W 6"x4"x0.375 TOP PLATE & 8"x4"x0.375" BOTTOM PLATE ANCHORED INTO FOUNDATION WALL WITH 2 0.5" dia "HILTI" BOLTS
- F2 42"x42"x20" FOOTING PAD
- SF1 20"x8" STRIP FOOTING REINFORCED WITH 3-15M CONTINUOUS
- SF 18"x8" STRIP FOOTING REINFORCED WITH 3-15M CONTINUOUS
- WO EACH SIDE OF WINDOW TO BE REINFORCED WITH 3-15M VERTICALLY C/W DOWELS & 15M @ 12" O. C. BELOW WINDOWS EXTENDING 36" BEYOND EACH SIDE OF THE OPENING

PROPOSED RESIDENCE
99 KIMBERLY DRIVE
HAMILTON, ONTARIO

BASEMENT FLOOR PLAN

DATE:	APRIL 12, 2021
SCALE:	1/4"=1'-0"
DWG BY:	M.T.
FILE:	2101

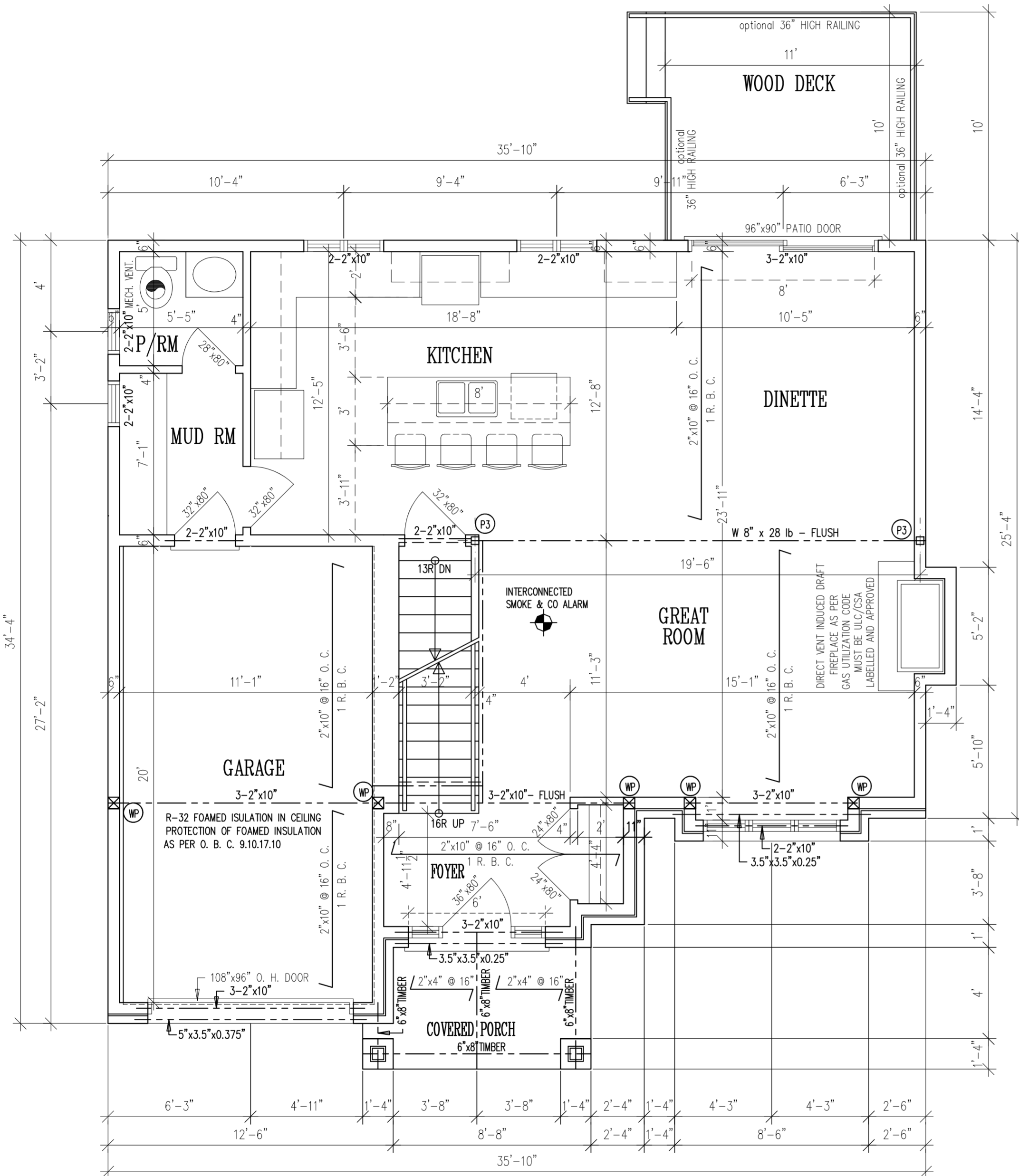
DWG No.

A1.01

TO PERFORM ACTUAL CONSTRUCTION THE BUILDER SHALL USE SET OF DRAWINGS
SEALED – THEREFORE APPROVED – BY THE LOCAL BUILDING DEPARTMENT

Signature: _____

NOT ISSUED FOR CONSTRUCTION
UNTIL SIGNED AND DATED



GENERAL NOTES:

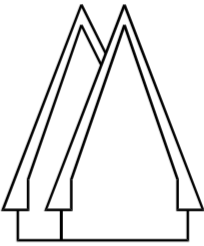
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3. ALL WOOD MEMBERS TO BE CONSTRUCTION SPRUCE No.2, UNLESS NOTED OTHERWISE.
4. INSTALL DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS.
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8. RESISTANCE TO FORCED ENTRY TO CONFORM TO SECTION 9.6.8. OF THE O.B.C.
9. FIREPLACE TO CONFORM TO SEC. 9.22 OF THE O.B.C. CHIMNEY TO CONFORM TO SEC. 9.21 OF THE O.B.C.
10. ANY DEVIATION FROM APPROVED PLAN MUST BE APPROVED BY LOCAL BUILDING DEPARTMENT.
11. SIZES OF ALL BEAMS AND LINTELS MUST BE CONFIRMED UPON FINAL TRUSS LAY OUT.
12. STEEL : G40.21-M 300W; $\phi=0.90$
STEEL BEAM WITH WELDED PLATE \neq 6"x1/2" & 3/8" THICK BRACKETS @ 24" O.C.TO SUPPORT BRICK. ALL BRICK VENEER ANGEL IRON LINTELS TO BE ANCHORED AT 24" O.C. TO PREVENT TWISTING.
13. THERMAL DESIGN & INSULATION AS PER SECTIONS SB-12, TABLE 3.1.1.2A PACKAGE A1
14. STAIRS, RAMPS, HANDRAILS & GUARDS AS PER SECTION 9.8. OF THE O. B. C.
ATTACHMENT OF HANDRAILS AS PER SUPPLEMENTARY STANDARDS TO THE O. B. C. SB-7
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BCIN: 24457
BCIN: 30427



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design & drafting
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L8K - 5X7
Phone: (905) 973-9839
FAX: (905) 538-0587
e-mail: sagit1129@rogers.com

- WP 6"x6" WOOD POST
- P2 HSS-3"x3"x0.25" C/W 6"x6"x0.375 TOP PLATE & 8"x8"x0.375" BOTTOM PLATE ANCHORED INTO FOUNDATION WALL WITH 4-0.5"dia "HILTI" BOLTS C/W CLADDING AS PER BUILDER'S SELECTION
- P3 HSS-4"x4"x0.25" C/W 5.5"x5.5"x0.375 TOP PLATE & 8"x8"x0.375" BOTTOM PLATE ANCHORED INTO FOUNDATION WALL WITH 4-0.5"dia "HILTI" BOLTS

PROPOSED RESIDENCE
99 KIMBERLY DRIVE
HAMILTON, ONTARIO

GROUND FLOOR PLAN 843.4 sq.ft.

DATE:	APRIL 12, 2021
SCALE:	1/4"=1'-0"
DWG BY:	M.T.
FILE:	2101

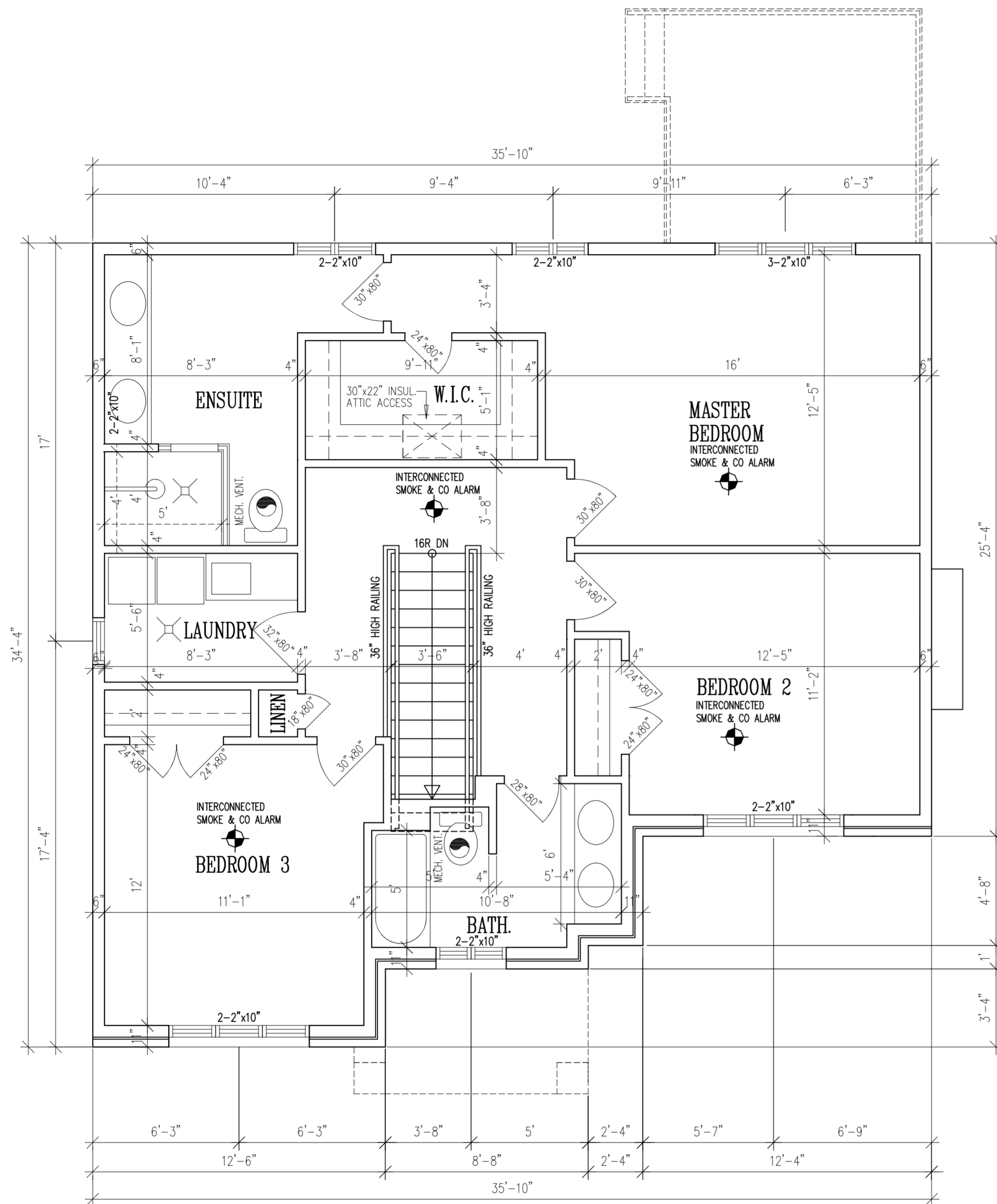
DWG No.

A1.02

TO PERFORM ACTUAL CONSTRUCTION THE BUILDER SHALL USE SET OF DRAWINGS
SEALED – THEREFORE APPROVED – BY THE LOCAL BUILDING DEPARTMENT

Signature: _____

NOT ISSUED FOR CONSTRUCTION
UNTIL SIGNED AND DATED



GENERAL NOTES:

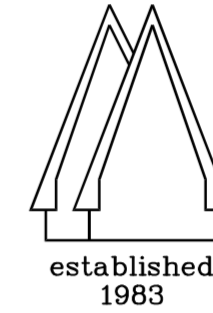
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MILOS TRKULJA
SAGITTARIUS DESIGNS

BCIN: **24457**
BCIN: **30427**



SAGITTARIUS

design & drafting
99 HANOVER PLACE
HAMILTON, ONTARIO
L8K - 5X7
Phone: (905) 973-9839
FAX: (905) 538-0587
e-mail: sagit1129@rogers.com

PROPOSED RESIDENCE
99 KIMBERLY DRIVE
HAMILTON, ONTARIO

UPPER FLOOR PLAN 1080.3 sq.ft.

DATE:	APRIL 12, 2021
SCALE:	1/4"=1'-0"
DWG BY:	M.T.
FILE:	2101

DWG No.

A1.03

TO PERFORM ACTUAL CONSTRUCTION THE BUILDER SHALL USE SET OF DRAWINGS
SEALED - THEREFORE APPROVED - BY THE LOCAL BUILDING DEPARTMENT

Signature: _____

NOT ISSUED FOR CONSTRUCTION
UNTIL SIGNED AND DATED



GENERAL NOTES:

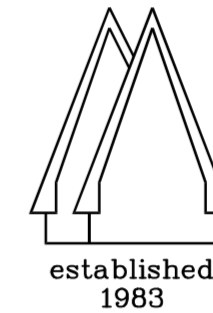
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REGISTRATION INFORMATION

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MILOS TRKULJA
SAGITTARIUS DESIGNS

BCIN: **24457**
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HAMILTON, ONTARIO

FRONT ELEVATION

DATE:	APRIL 12, 2021
SCALE:	1/4"=1'-0"
DWG BY:	M.T.
FILE:	2101

DWG No.

A2.01

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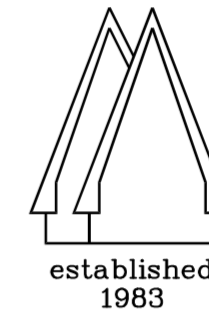
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HAMILTON, ONTARIO

REAR ELEVATION

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SCALE:	1/4"=1'-0"
DWG BY:	M.T.
FILE:	2101

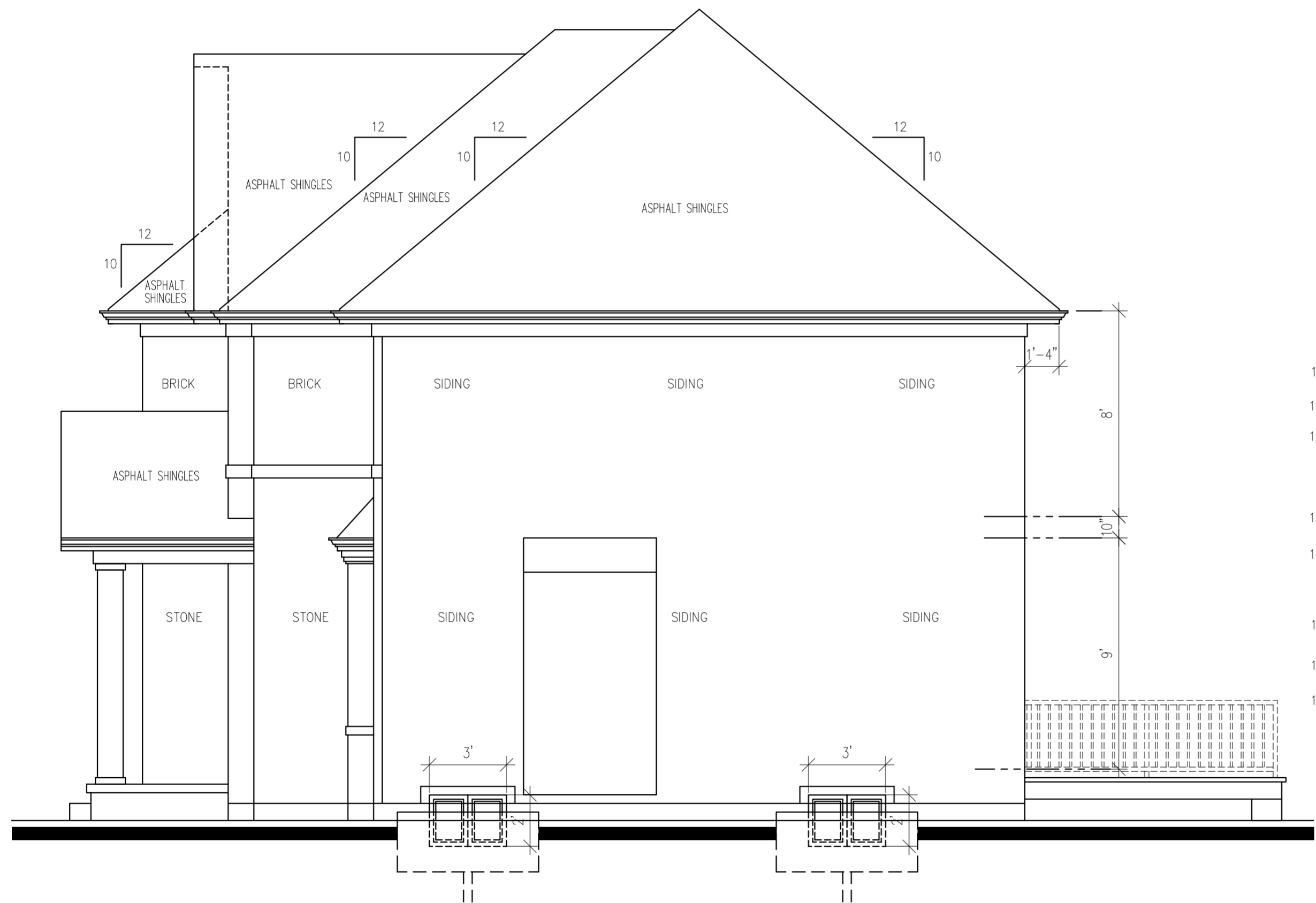
DWG No.

A2.02

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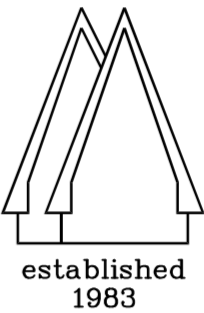
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HAMILTON, ONTARIO

RIGHT SIDE ELEVATION

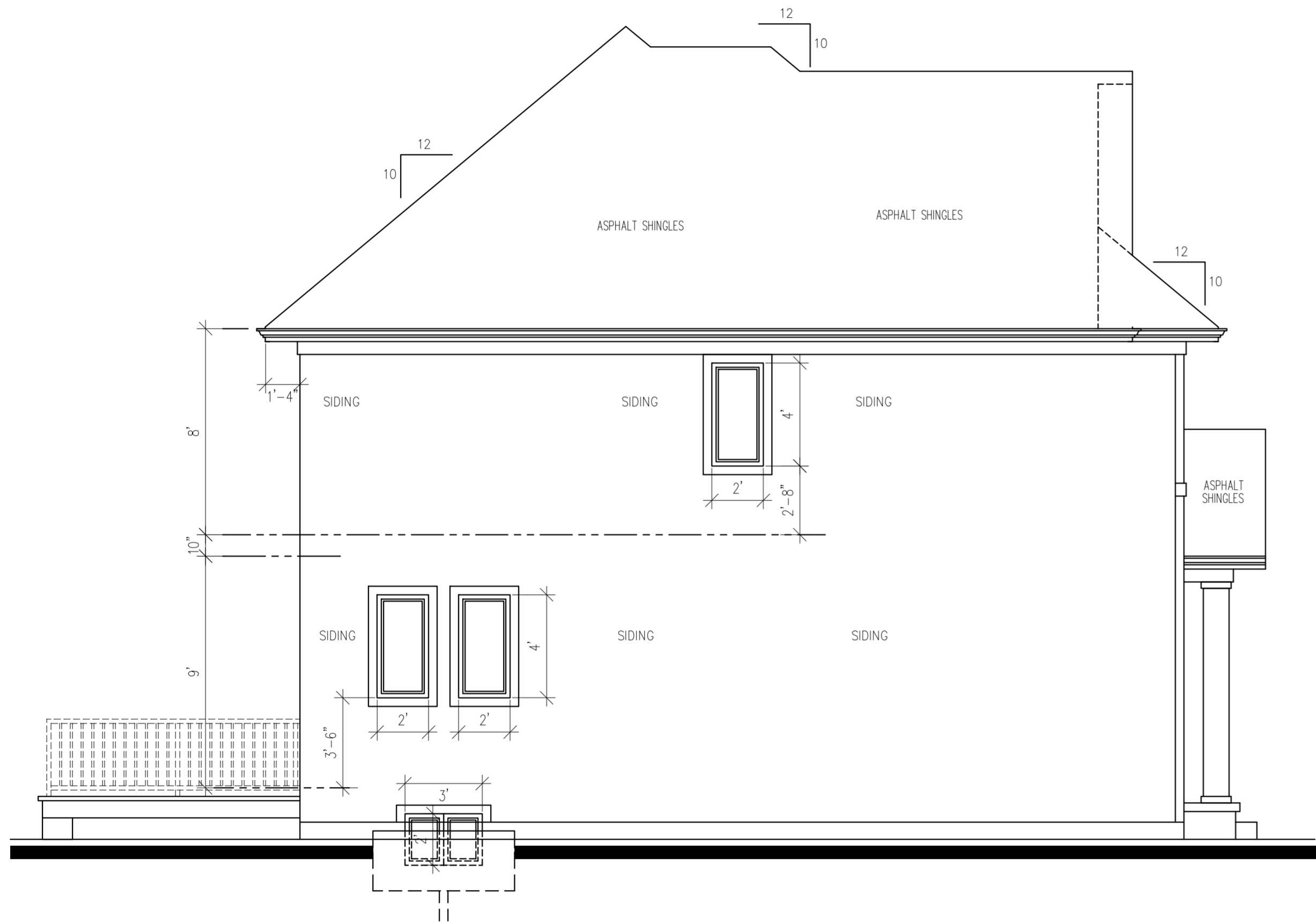
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DWG BY:	M.T.
FILE:	2101

DWG No.

A2.03

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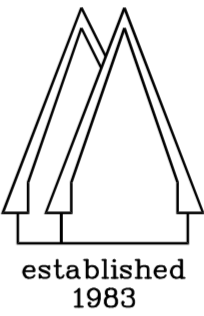
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LEFT SIDE ELEVATION

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FILE:	2101

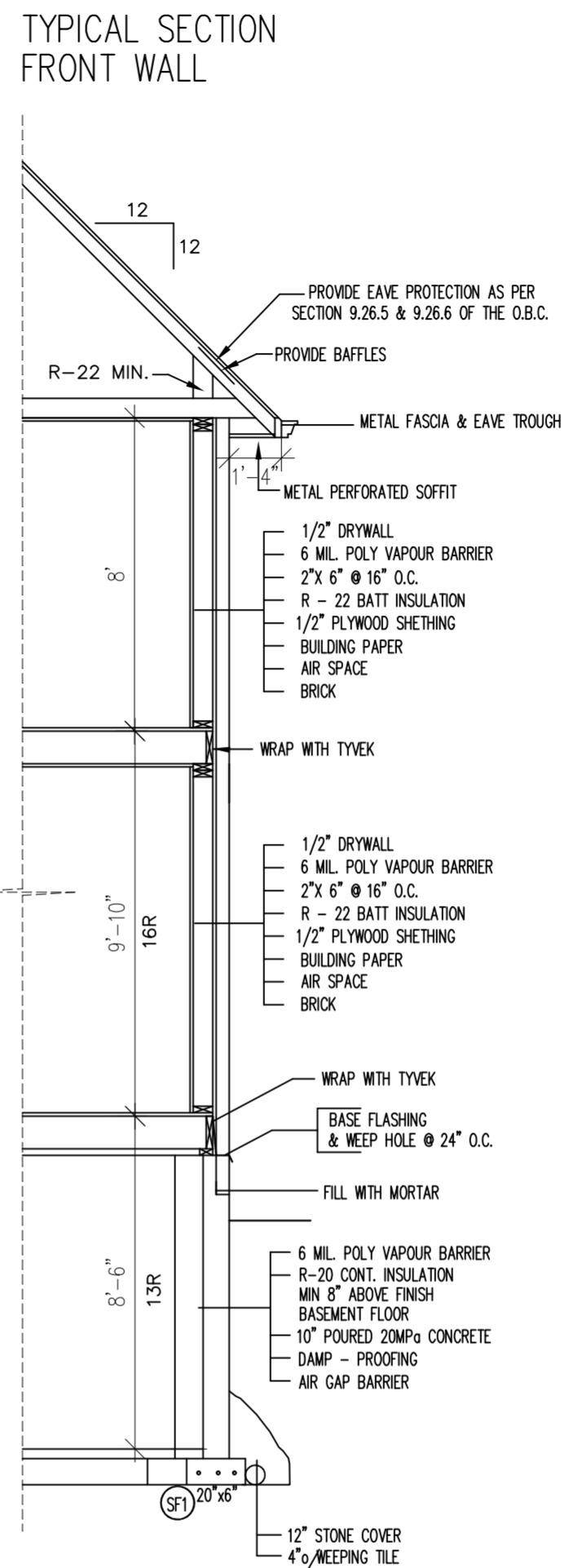
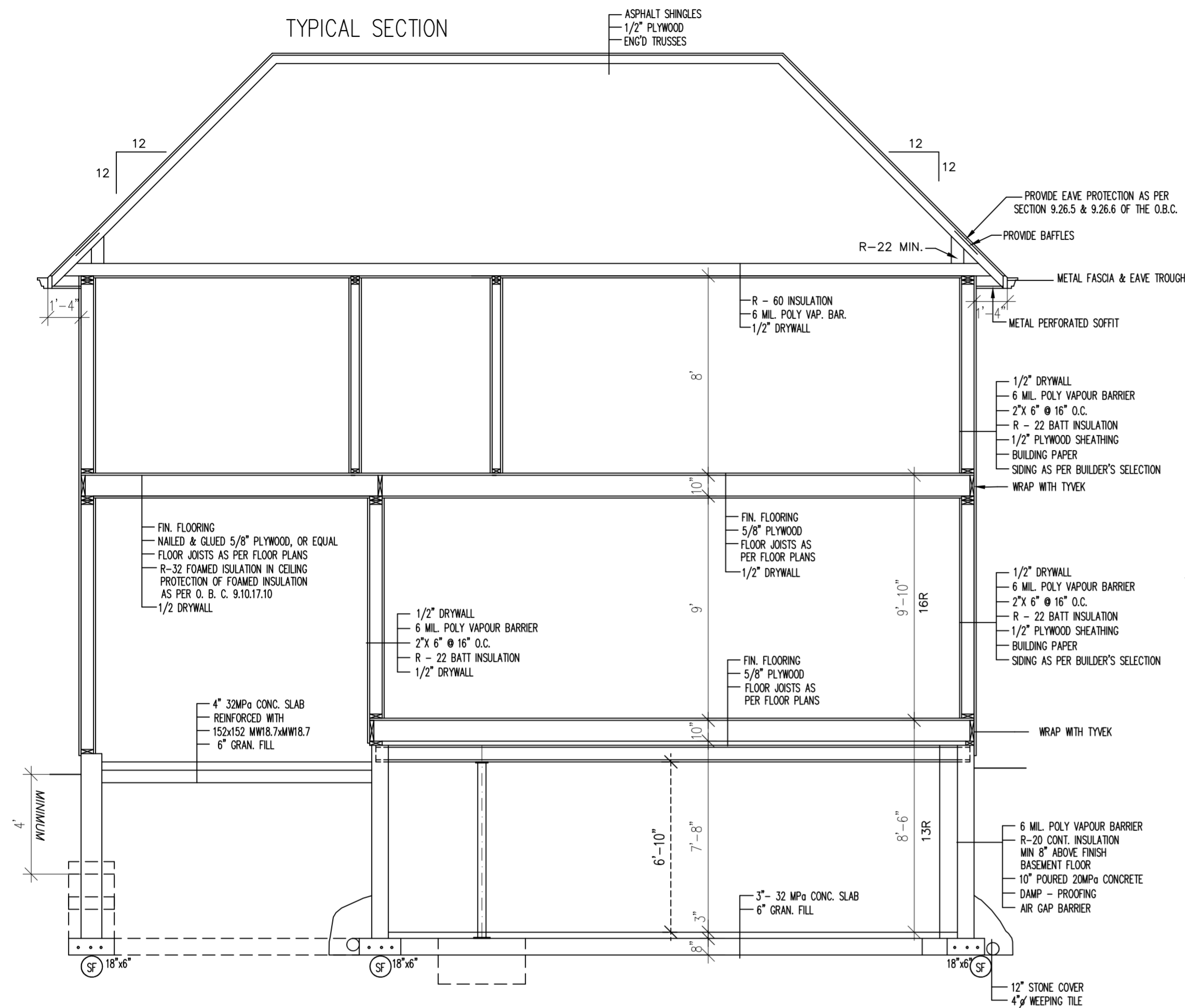
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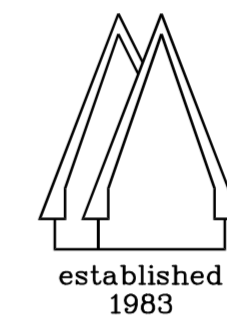


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PROPOSED RESIDENCE
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HAMILTON, ONTARIO

SECTION THROUGH

DATE:	APRIL 12, 2021
SCALE:	1/4"=1'-0"
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FILE:	2101

DWG No.

A4.01

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**Committee of Adjustment**

City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Hamilton We require a minor variance to permit one parking space instead of two for a single family dwelling and require 1.9m manoeuvring space instead of 6m. Phone: (905) 546-2424 ext. 4221 Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE**FOR OFFICE USE ONLY.**

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____**The Planning Act****Application for Minor Variance or for Permission**

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS	
Registered Owners(s)	Chris Donaldson		
Applicant(s)*	Chris Donaldson		
Agent or Solicitor	n/a		Phone:
			E-mail:

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

n/a

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

Require a minor variance to permit one parking space instead of two for a single family dwelling and require 1.9m manoeuvring space instead of 6m. Variance will ensure street uniformity by matching the setbacks of existing dwellings.

☐ Secondary Dwelling Unit ☐ Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

Infill lot cannot provide 2 parking spaces or meet 6m manoeuvring space due to road widening and reduced setback.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

99 Kimberly Dr. Hamilton
PT LT 241, PL 538, PART 2 ON PLAN 62R21358; CITY OF HAMILTON

7. PREVIOUS USE OF PROPERTY

Residential ☒ Industrial ☐ Commercial ☐
Agricultural ☐ Vacant ☐ Other ☐

Other _____

- 8.1 If Industrial or Commercial, specify use n/a
- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
Yes ☐ No ☒ Unknown ☐
- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?
Yes ☐ No ☒ Unknown ☐
- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
Yes ☐ No ☒ Unknown ☐
- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
Yes ☐ No ☒ Unknown ☐
- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
Yes ☐ No ☒ Unknown ☐
- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?
Yes ☐ No ☒ Unknown ☐
- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
Yes ☐ No ☒ Unknown ☐
- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?
Yes ☐ No ☒ Unknown ☐

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ☐ No ☒ Unknown ☐

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

Lot is the former backyard to 106 Ferndale Ave. a residential lot built in the 1950s.

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ☐ No ☒

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

June 30 2021

Date

Signature Property Owner(s)

Chris Donaldson

Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage	14.358m
Depth	22.038m (irregular)
Area	261sqm
Width of street	9.28m curb to curb, 21m lot to lot

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:_
none

Proposed

2-story single family dwelling

12. Location of all buildings and structures on or proposed for the subject lands: (Specify distance from side, rear and front lot lines)

Existing:
none

Proposed:

1.9m from front
1.2m from side
7.5m from back

13. Date of acquisition of subject lands:
106 Ferndale - Mar 19 2013, Severed into 99 Kimberly on Nov 27, 2020
-
14. Date of construction of all buildings and structures on subject lands:
n/a
-
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
Empty residential infill lot
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
Single family dwellings
17. Length of time the existing uses of the subject property have continued:
Lot severed on Nov 27, 2020
18. Municipal services available: (check the appropriate space or spaces)
- | | | | | |
|----------------|-------------------------------------|-----------|--------------------------|---|
| Water | <input checked="" type="checkbox"/> | Connected | <input type="checkbox"/> | * to be done upon approval
along with building permits |
| Sanitary Sewer | <input checked="" type="checkbox"/> | Connected | <input type="checkbox"/> | |
| Storm Sewers | <input checked="" type="checkbox"/> | | | |
19. Present Official Plan/Secondary Plan provisions applying to the land:
Plans attached
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
n/a
21. Has the owner previously applied for relief in respect of the subject property?
Yes ☒ No ☐
If the answer is yes, describe briefly.
Minor variance for reduced setback to 1.9m due to road widening.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
Yes ☐ No ☒
23. Additional Information
n/a
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.