

## **NOTICE OF PUBLIC HEARING** **Minor Variance**

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**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
  - Applicant/agent on file, or
  - Person likely to be interested in this application
- 

**APPLICATION NO.:** HM/A-21:273

**APPLICANTS:** Agent Len Angelici  
Owner J. McCutcheon

**SUBJECT PROPERTY:** Municipal address **207 Beach Blvd., Hamilton**

**ZONING BY-LAW:** Zoning By-law 6593, as Amended

**ZONING:** "C/S-1435" (Urban Protected Residential, etc.) district

**PROPOSAL:** To demolish the existing two (2) storey single family dwelling, and construct a new three (3) storey single family dwelling, notwithstanding that;

1. A maximum building height of three (3) storeys and 11.12 metres in height shall be permitted, instead of the maximum permitted building height of two and a half (2.5) storeys and 11.0 metres.
2. A minimum 1.23 metre northerly side yard width and a minimum 1.23 metre southerly side yard width shall be permitted instead of the minimum 1.5 metre side yard width required.
3. An eave/gutter shall be permitted to project a maximum of 0.81 metres into the required easterly side yard and may be as close as 0.42 metres to the easterly lot line instead of the maximum 0.75 metre projection permitted.
4. No onsite manoeuvring shall be provided for the three (3) required parking spaces provided in the attached garage instead of the requirement that a manoeuvring space abutting and accessory to each required parking space shall be provided and maintained on the lot

Note:

1. Please note that the elevation drawings submitted as part this application do not indicate the "height" of the building as defined in Hamilton Zoning By-law No. 6593. The applicant shall confirm that building height has been indicated as per the definition of "height" and "grade" as established by the By-law.
2. From the materials provided, it appears the proposed attached garage can accommodate three (3) parking spaces. Please note that specific details regarding parking on the lot have not been indicated, including the width of the opening into the private garage, dimensions of parking spaces, material of driveway etc., to confirm zoning

compliance. Please note that additional variances may be required if compliance with Section 18A of Hamilton Zoning By-law No. 6593 is not possible.

3. Please be advised that a portion of this property is under Conservation Management. Please contact Hamilton Conservation prior to any development.

This application will be heard by the Committee as shown below:

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<b>DATE:</b>	<b>Thursday, August 26th, 2021</b>
<b>TIME:</b>	<b>3:30 p.m.</b>
<b>PLACE:</b>	<b>Via video link or call in (see attached sheet for details)</b>
	<b>To be streamed at</b>
	<b><a href="http://www.hamilton.ca/committeeofadjustment">www.hamilton.ca/committeeofadjustment</a></b>
	<b>for viewing purposes only</b>

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## **PUBLIC INPUT**

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

## **MORE INFORMATION**

For more information on this matter, including access to drawings illustrating this request:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

DATED: August 10th, 2021.

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

***Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.***

# SITE DATA:

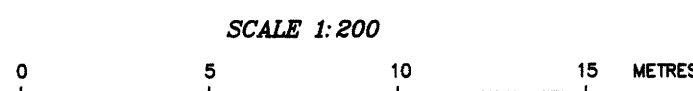
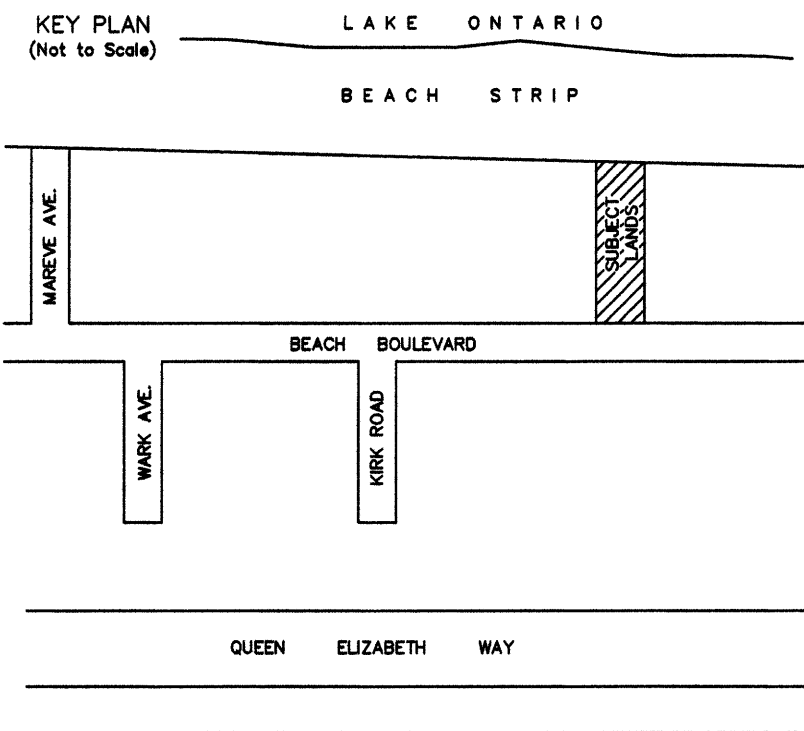
ADDRESS:	207 BEACH BOULEVARD
ZONING:	C/S-1435
LOT AREA:	908.95 sq. m.
LOT COVERAGE:	PROPOSED 24.3 % (EXCLUDES PORCHES & DECK)
HEIGHT:	AVERAGE ELEVATION OF ALL GRADES WITHIN 4.5 m. OF DWELLING=77.29 m. PEAK OF ROOF = 88.41 m. PROPOSED HEIGHT = 11.12 m.
LANDSCAPED AREA	PROPOSED: 64 % OF FRONT YARD

## PLAN SHOWING PROPOSED DWELLING AND GRADING ( 207 BEACH BOULEVARD )

## PART OF BURLINGTON BEACH EAST SIDE OF BEACH BOULEVARD ( UNREGISTERED )

( GEOGRAPHIC TOWNSHIP OF SALTFLEET )

CITY OF HAMILTON



B.A. JACOBS SURVEYING LTD.  
ONTARIO LAND SURVEYOR

**METRIC NOTE:**  
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

**BEARING NOTE:**  
BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE NORTHEASTERLY LIMIT OF BEACH BOULEVARD AS SHOWN ON PLAN 62R-7382, HAVING A BEARING OF N 72° 48' 25" W.

**LEGEND & NOTES:**

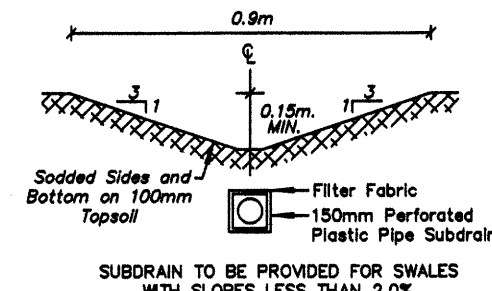
- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT PLANTED
- SB DENOTES STANDARD IRON BAR
- IB DENOTES IRON BAR
- IB# DENOTES ROUND IRON BAR
- IP DENOTES IRON PIPE
- CP DENOTES CONCRETE PIN
- SM DENOTES STONE MONUMENT
- WT DENOTES WITNESS
- (OU) DENOTES ORIGIN UNKNOWN
- P1 DENOTES PLAN 62R-7382
- P2 DENOTES PLAN 62R-16249
- P3 DENOTES PLAN 62R-12651
- P4 DENOTES PLAN BY L.G. WOODS SURVEYING INC. FILE: 96-437
- D1 DENOTES INSTRUMENT No. VM152552
- (1135) DENOTES L.G. WOODS O.L.S.
- (1511) DENOTES G.V. CONSOL O.L.S.
- (CITY) DENOTES CITY OF HAMILTON
- C.B. DENOTES CATCH BASIN
- R.O. DENOTES ROOF OVERHANG (EAVES & GUTTER)
- S.F.B. DENOTES SILT FENCE BARRIER TO COMPLY WITH OPSD 219.130 (NOV. 2015) REV. #2
- T.P.F. DENOTES TREE PROTECTION FENCING TO COMPLY WITH OPSD - 220.01
- T.R.W. DENOTES TIMBER RETAINING WALL
- T.W. DENOTES TOP OF WALL
- U.P. DENOTES UTILITY POLE
- W.V. DENOTES WATER VALVE
- 0.3# DENOTES DIAMETER OF TREE
- x 77.00 DENOTES EXISTING ELEVATION
- x (77.00) DENOTES PROPOSED ELEVATION

FOR BEARING COMPARISONS, A ROTATION OF 0° 52' 05" COUNTER CLOCKWISE WAS APPLIED TO BEARINGS ON PLAN 62R-16249.

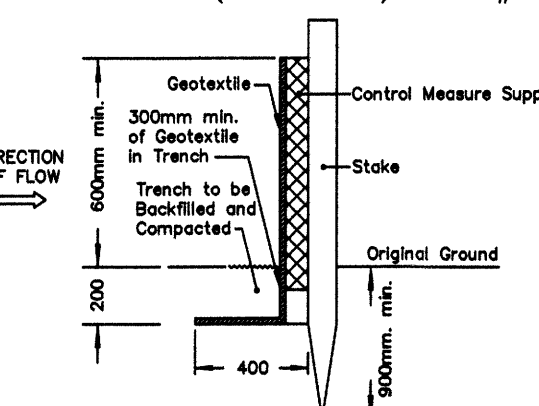
**ELEVATION NOTE:**  
ELEVATIONS SHOWN ON THIS PLAN ARE REFERRED TO CONTROL MONUMENT No. 07720100033.  
LOCATION: MONUMENT IS LOCATED 62 m. EAST OF BEACH BLVD, 30 m. NORTH OF VAN WAGNER'S BEACH ROAD AND 40 m. WEST OF THE EDGE OF WATER.  
ELEVATION = 78.098 m. (CGVD28.78).

**NOTE:**  
UNDERGROUND SERVICE LOCATIONS WERE DERIVED FROM INFORMATION PROVIDED BY THE CITY OF HAMILTON. UNDERGROUND SERVICE LOCATIONS AND INVERTS MUST BE VERIFIED PRIOR TO CONSTRUCTION.

### TYPICAL SWALE CROSS SECTION



ALL HEAVY-DUTY SILT FENCE BARRIERS TO COMPLY WITH OPSD 219.130 (NOV. 2015) REV. #2



NOTE:  
ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE SHOWN

### GENERAL GRADING NOTES:

- ALONG ADJOINING PROPERTIES GRADE TO MEET EXISTING OR PROPOSED ELEVATIONS WITH SODDED SLOPES (min. 3H TO 1V) AND/OR RETAINING WALLS AS SPECIFIED.
- ALL RETAINING WALLS, WALKWAYS, CURBS, ETC. SHALL BE PLACED A MIN. OF 0.45 m. OFF THE PROPERTY LINE. ALL WALLS 1.0 m. OR HIGHER SHALL BE DESIGNED BY A P.Eng.
- SHOULD A RETAINING WALL BE REQUIRED, THE TOP OF WALL ELEVATIONS SHALL BE SET 150 mm. ABOVE THE PROPOSED SIDE YARD SWALES.
- RETAINING WALLS 0.6 m. IN HEIGHT OR GREATER REQUIRE CONSTRUCTION OF A FENCE OR GUARD RAIL AT THE TOP OF THE REAR OF THE WALL. GUARDS FOR RETAINING WALLS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF EXTERIOR GUARDS AS CONTAINED IN THE ONTARIO BUILDING CODE.
- SLOPES OF SWALES FOR BOTH "BACK TO FRONT" AND "SPLIT" DRAINAGE SHALL BE NO LESS THAN 2.0% GRADE AND NO GREATER THAN 33% GRADE (3:1 SLOPES).
- WHEN MATCHING TO EXISTING PROPERTIES WHERE A 2.0% GRADE CANNOT BE ACHIEVED, A 1.5% GRADE IS PERMITTED PROVIDED A 150 mm. SUB-DRAIN IS INSTALLED BELOW THE BOTTOM OF THE SWALE AND DRAINED TO A SUITABLE OUTLET, (WITH A MINIMUM 0.3 m. COVER OVER THE SUB-DRAIN), OR OTHER MITIGATION MEASURES.
- MINIMUM GRADE FOR A WRAP-AROUND SWALE IN THE BACKYARD SHALL BE 1.0%.
- UNLESS OTHERWISE NOTED, THE GROUND BETWEEN PROPOSED ELEVATIONS ON SIDE LOTS SHALL BE GRADED AS A STRAIGHT LINE.
- TOP OF FOUNDATION WALLS FOR BUILDINGS SHALL BE 150 mm. (min) ABOVE FINISHED GRADE.
- DRIVEWAY SLOPES SHALL NOT BE LESS THAN 2% AND NOT MORE THAN 7.0% REVERSED SLOPED DRIVEWAYS IN NEW DEVELOPMENTS ARE NOT PERMITTED.
- GARAGE FLOOR ELEVATION TO BE SET MINIMUM 0.3 m. HIGHER THAN BACK OF WALK, UNLESS OTHERWISE SPECIFIED.
- ALL FILL PLACED ON LOTS SHALL BE COMPACTED TO A MINIMUM 95% SPD (UNLESS OTHERWISE RECOMMENDED BY THE GEOTECHNICAL ENGINEER). ALL MATERIAL SHALL BE PLACED IN LAYERS NOT EXCEEDING 300 mm. LIFTS.
- FOR DELINEATION OF TREE PROTECTION ZONES, BUFFERS, REMOVALS AND PROTECTION SCHEMATICS, ETC. REFER TO TREE PROTECTION PLAN.
- LOT GRADING FOR ALL LOTS IN THE SUBDIVISION SHALL CONFORM STRICTLY WITH THIS PLAN. ANY CHANGES, UNLESS APPROVED PRIOR TO CONSTRUCTION BY THE CITY, SHALL RESULT IN NON ACCEPTANCE OF THE SUBDIVISION BY THE CITY.
- IF GRADING IS REQUIRED ON LANDS ADJACENT TO THE DEVELOPMENT WHICH ARE NOT OWNED BY THE DEVELOPER, THEN THE DEVELOPER MUST OBTAIN WRITTEN PERMISSION FROM THE ADJACENT PROPERTY OWNER TO ALLOW THE DEVELOPER TO GRADE ON THE ADJACENT LANDS, OTHERWISE RETAINING WALLS MUST BE USED.
- THE WRITTEN PERMISSION REQUIRED FROM THE ADJACENT LANDOWNER SHALL BE OBTAINED PRIOR TO ENTERING THE LANDS. SHOULD PERMISSION NOT BE OBTAINED OR IS WITHDRAWN PRIOR TO COMMENCING THE WORK, THEN THE DEVELOPER SHALL LIMIT HIS ACTIVITIES TO THE LIMITS OF THE DEVELOPMENT SITE.
- DRIVEWAY AND DRIVEWAY APPROACHES SHALL BE LOCATED SUCH THAT HYDRO VAULTS AND OTHER STREET FURNITURE ARE A MIN. OF 1.2 m. FROM THE PROJECTIONS OF THE OUTSIDE GARAGE WALLS.

### BACKYARD GRADING NOTES:

- DEFINITION: "REQUIRED BACKYARD" SHALL MEAN THE LESSER OF THE DISTANCE REGULATED BY THE ZONING BY-LAW OR 6 METRES.
- THE MAXIMUM SLOPE IN THE BACKYARD ADJACENT TO THE BUILDING FOR A DISTANCE EQUAL TO THE REQUIRED BACKYARD SHALL BE 5% EXCEPT AS SET OUT IN ITEMS BELOW.
- THE 5% RESTRICTION SHALL NOT APPLY TO THE SIDES OF A SWALE ALONG THE SIDES OR BACK OF THE LOT, PROVIDING THE TOTAL WIDTH OF THE SWALE SHALL NOT EXCEED ONE (1) METRE ON EACH LOT.
- WHERE THE 5% RESTRICTION ON THE BACKYARD GRADES RESULTS IN ELEVATION DIFFERENCES BETWEEN DIFFERENT PROPERTIES, RETAINING WALLS SHALL BE CONSTRUCTED ALONG THE SIDES AND THE BACK OF THE LOT. SLOPES WITH A MAXIMUM OF THREE HORIZONTAL TO ONE VERTICAL MAY REPLACE THE WALLS WHERE THE DIFFERENCE IN ELEVATION IS LESS THAN 0.3 m.
- GENERALLY, SLOPES SHALL BE PLACED ON THE LOWER LOT, WHEREAS RETAINING WALLS SHALL BE PLACED ON THE HIGHER LANDS.
- THE 5% RESTRICTION DOES NOT PRECLUDE RETAINING WALLS IN THE REQUIRED BACKYARDS PROVIDING THE TERRACES ARE MAINTAINED TO THE 5% GRADE AS SET OUT IN ITEM d) ABOVE. THE INTENTION OF THIS PROVISION IS TO PROVIDE FLEXIBILITY OF HOUSE CONSTRUCTION.
- THERE IS NO CONTROL ON THE STEEPNESS OF THE SLOPES IN SIDE YARDS, FRONT YARDS AND BACK YARDS, OUTSIDE THE AREA DEFINED IN a) ABOVE, PROVIDING THE SLOPES ARE STABLE FOR THE SOILS OF THE AREA (MINIMUM 3H:1V).

### ROOFWATER LEADERS NOTE:

ALL ROOFWATER LEADERS SHALL DISCHARGE OUT TO SPLASH PADS AND THEN TO GRASSED OR LANDSCAPED AREAS A MIN. OF 0.6m. FROM THE BUILDING FACE.

### SUMP PUMPS

SUMP PUMPS WITH CHECK VALVES ARE TO BE INSTALLED IN EACH DWELLING TO PUMP THE WEEPING TILES TO THE STORM PRIVATE DRAIN. THE SUMP OUTLET SHALL EXTEND A MINIMUM OF 150 mm. ABOVE THE PROPOSED GRADE AT THE DWELLING (BASEMENT CEILING) PRIOR TO DISCHARGING TO THE STORM PRIVATE DRAIN.

JULY 29, 2021.  
DATE

BRYAN JACOBS  
ONTARIO LAND SURVEYOR

B.A. JACOBS SURVEYING LTD.  
152 JACKSON STREET EAST, SUITE 102  
HAMILTON, ONTARIO (L1N 1L3)  
PHONE 905-521-1535 [ba.jacobs@rogers.com](mailto:ba.jacobs@rogers.com)

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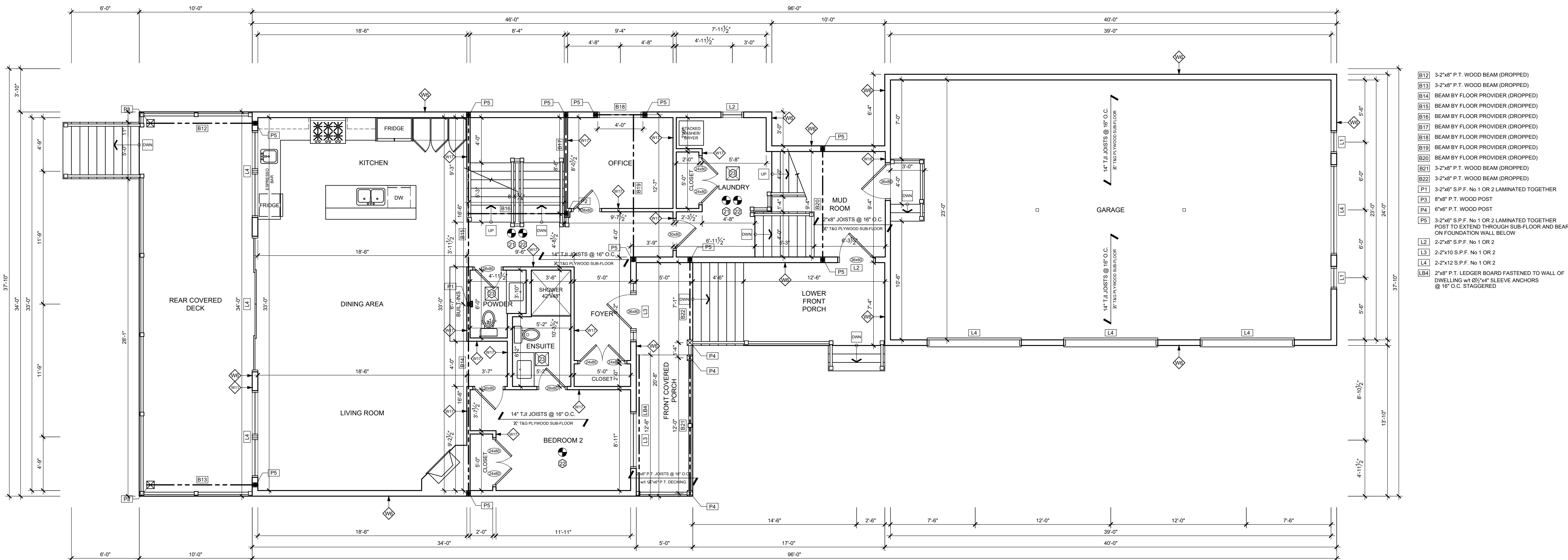
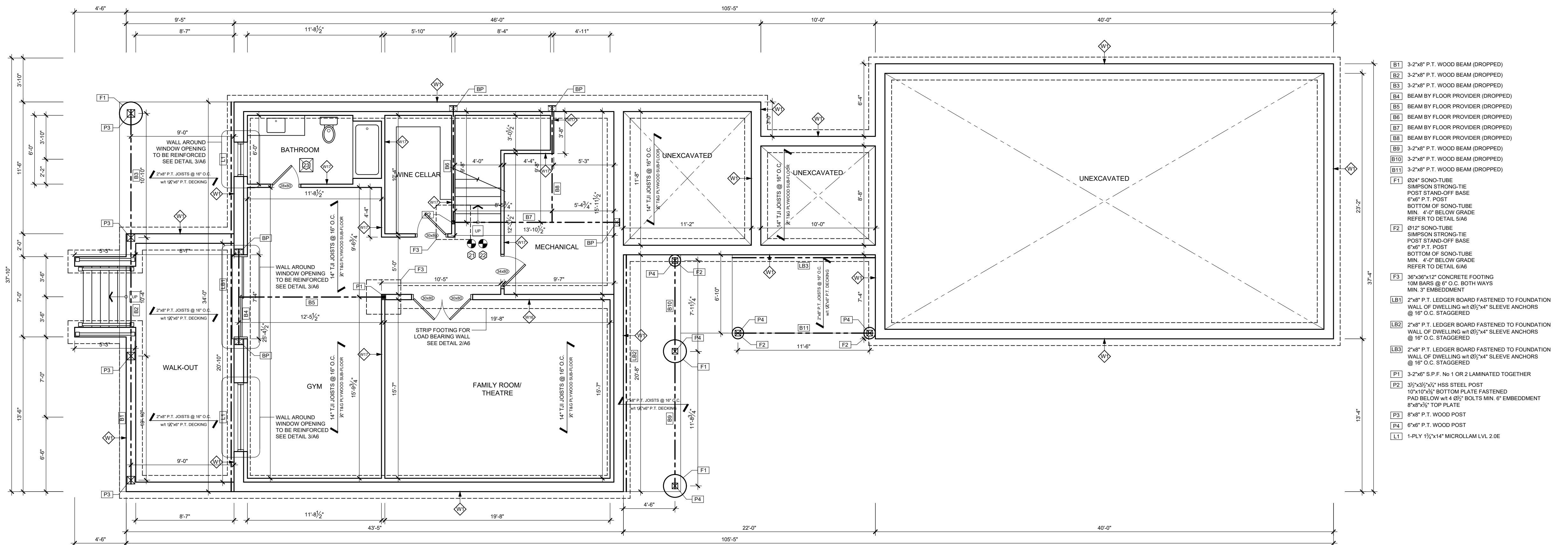
ASSOCIATION OF ONTARIO  
LAND SURVEYORS  
PLAN SUBMISSION FORM  
2155932

THIS PLAN IS NOT VALID  
UNLESS IT IS AN EXEMPTED  
ORIGINAL COPY  
ISSUED BY THE SURVEYOR  
In accordance with  
Regulation 1026, Section 26(3).

## BEACH BOULEVARD

( REGIONAL ROAD No. 114, ESTABLISHED BY BURLING BEACH COMMISSION BY-LAW No. 188, REGISTERED AS 1248 BY-LAW, DATED JULY 7, 1949, TRANSFERRED BY ORDER IN COUNCIL OC-2180/64, EFFECTIVE JULY 9, 1964, INSTRUMENT 1469 MISC. (P-2113-241) )  
P. I. N. 1 7 5 7 1 - 0 1 0 4 (LT)





PROJECT NORTH	TRUE NORTH

No.	REVISION	DATE
01.	PRELIMINARY DRAWINGS	06/24/2021

- ALL CONTRACTORS AND/OR TRADES SHALL VERIFY ALL DIMENSIONS, NOTES, SITE AND REPORT ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OF WORK.
- THIS DRAWING IS NOT TO BE SCALED. ALL DRAWINGS, PRINTS AND RELATED DOCUMENTS ARE THE PROPERTY OF LEN ANGELICI DESIGN AND MUST BE RETURNED UPON REQUEST.
- REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS IN PART OR IN WHOLE IS STRICTLY PROHIBITED WITHOUT WRITTEN CONSENT OF LEN ANGELICI DESIGN.
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SEAL

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION	
LEONARD ANGELICI	42391
NAME	BCIN
REGISTRATION INFORMATION	
LEN ANGELICI DESIGN	43162
NAME	BCIN

06/24/2021	SIGNATURE
DATE	

**Len Angelici Design**

270 SHERMAN AVE N. UNIT OF-269  
HAMILTON, ON L8L 6N4  
(905) 393-8868  
info@lenangelicidesign.ca

PROJECT

PROPOSED RESIDENCE:  
207 BEACH BLVD  
HAMILTON, ON

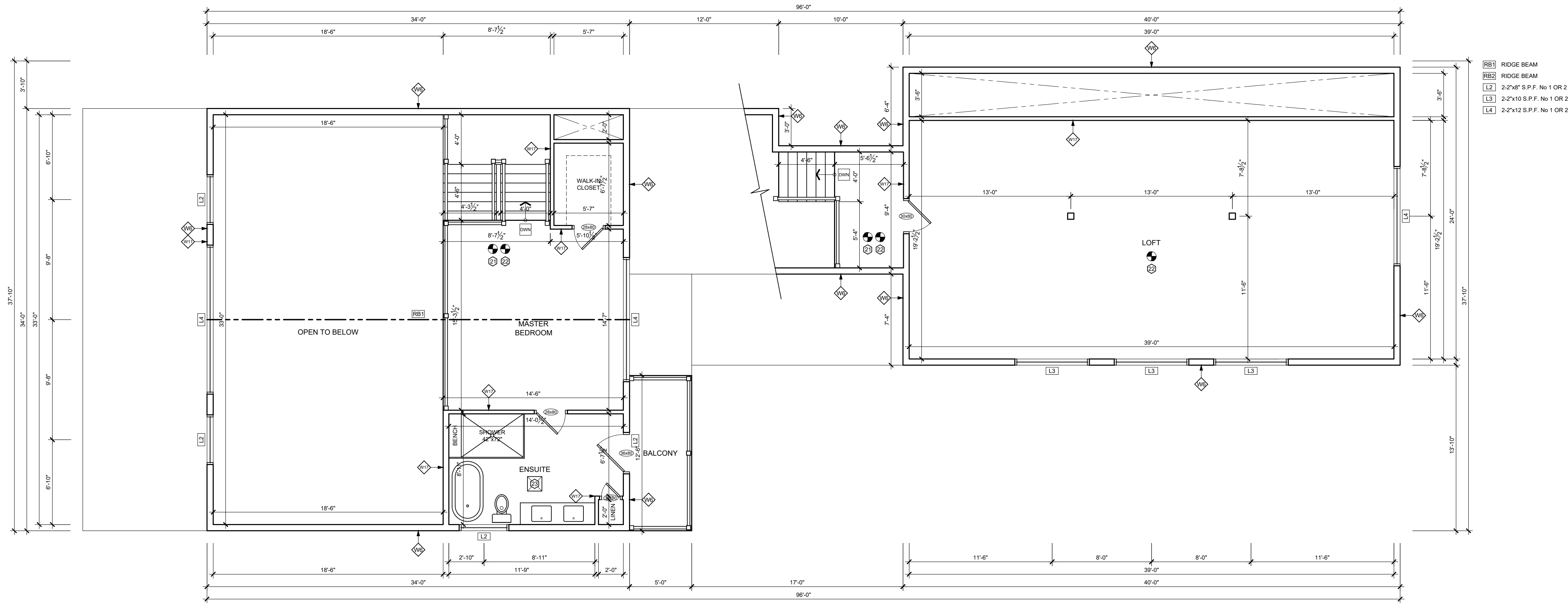
SHEET TITLE

PROPOSED  
FOUNDATION & MAIN  
FLOOR PLANS

DRAWN BY	L. ANGELICI
DATE	06/24/2021
SCALE	$\frac{3}{16}" = 1' - 0"$
PROJECT No.	2020-001

A1

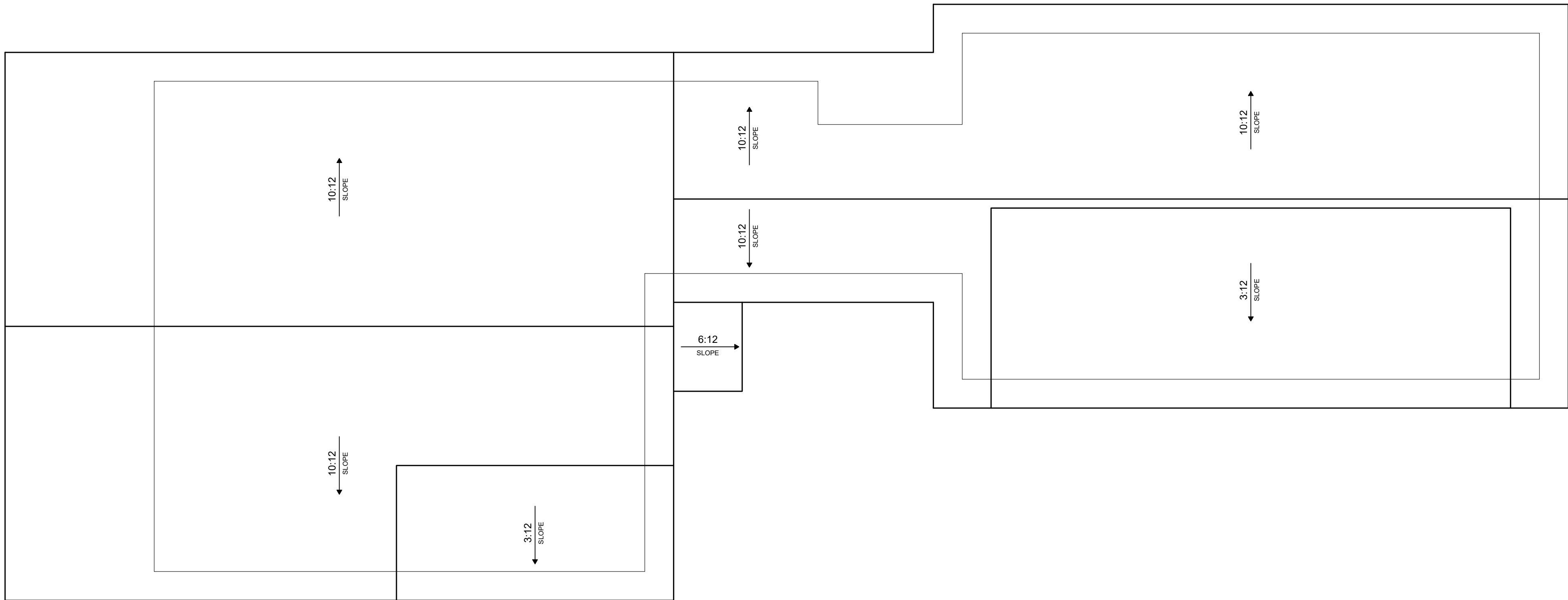




PROPOSED SECOND FLOOR PLAN

SCALE 3/16" = 1' - 0"

FLOOR AREA: 1288sqft



ROOF PLAN

SCALE 3/16" = 1' - 0"

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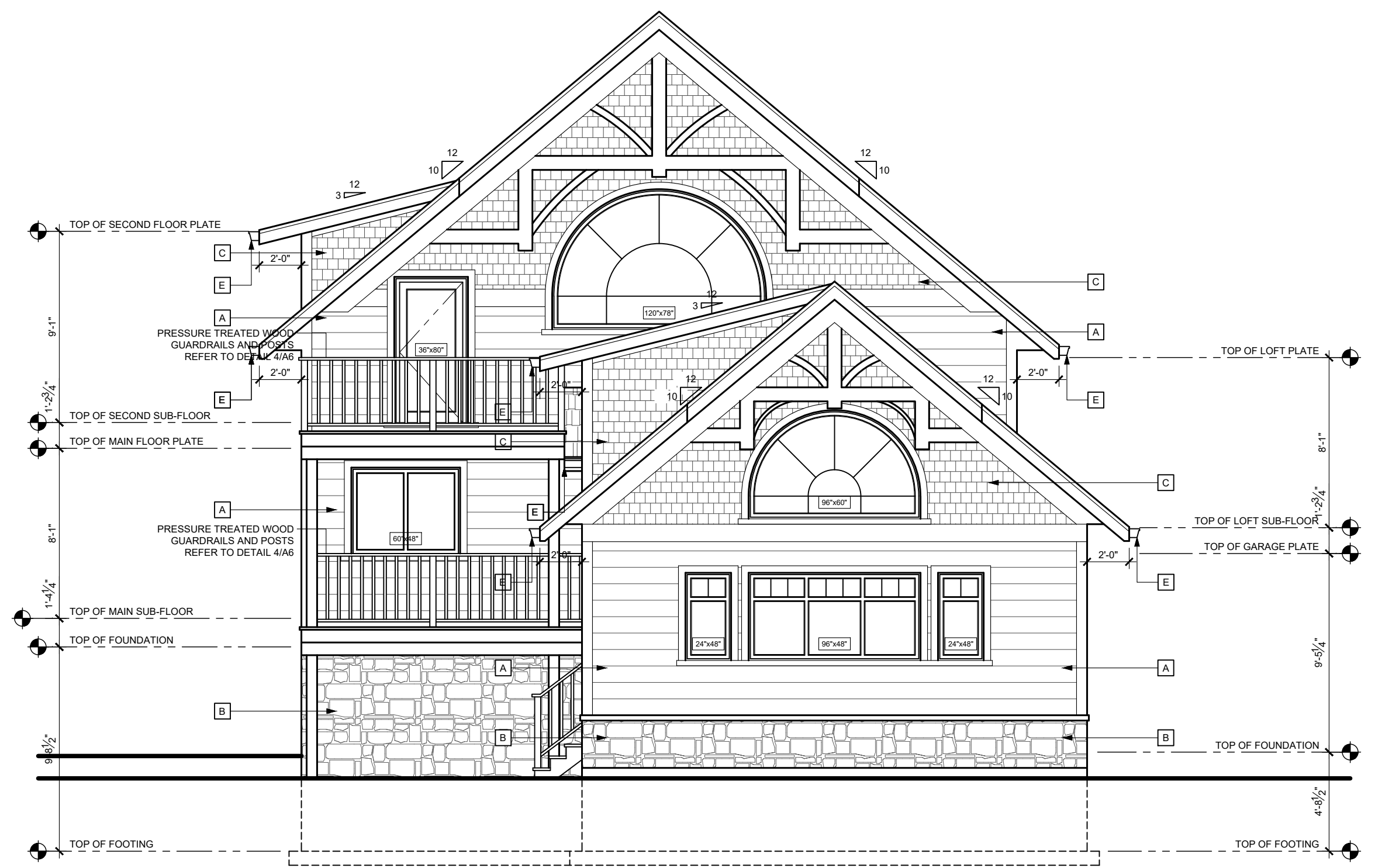
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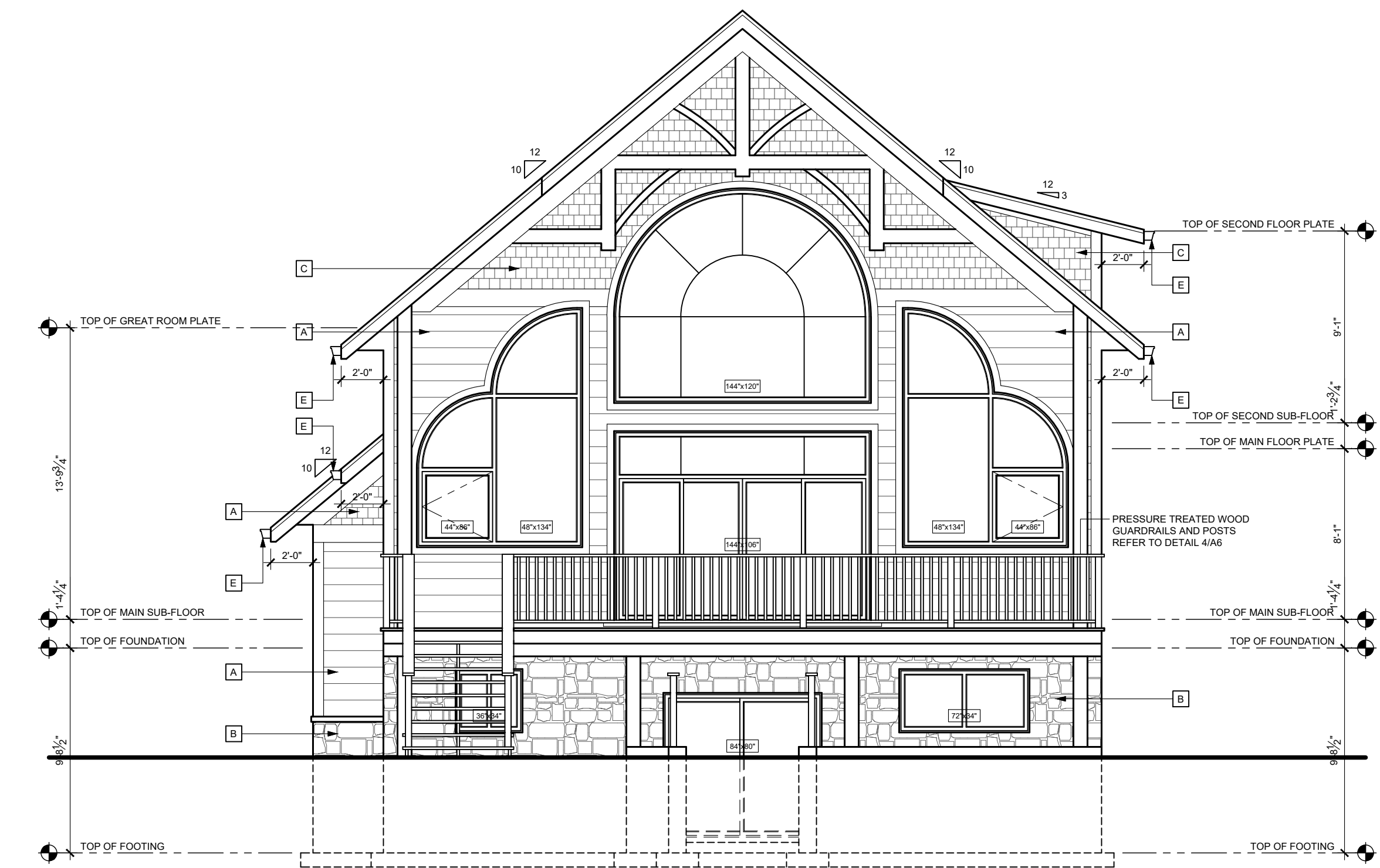
270 SHERMAN AVE N. UNIT OF-269  
HAMILTON, ON L8L 6N4  
(905) 393-8868  
info@lenangelicidesign.ca

PROJECT
PROPOSED RESIDENCE: 207 BEACH BLVD HAMILTON, ON

SHEET TITLE	
PROPOSED SECOND FLOOR & ROOF PLANS	
DRAWN BY	A2
L. ANGELICI	
DATE	
06/24/2021	
SCALE	
3/16"=1'-0"	PROJECT No.
2020-001	



FRONT ELEVATION  
SCALE  $\frac{3}{16}" = 1' - 0"$



REAR ELEVATION  
SCALE  $\frac{3}{16}" = 1' - 0"$

EXTERIOR FINISH INDEX

- A PRE-FIN. WOOD SIDING
- B NATURAL STONE VENEER
- C CEDAR STYLE SHINGLES
- D ASPHALT SHINGLES
- E 5" PRE-FIN. ALUM. EAVETROUGH ON 8" WITH PRE-FIN. ALUM. FASCIA C/W PRE-FIN. ALUM. DOWNSPOUT

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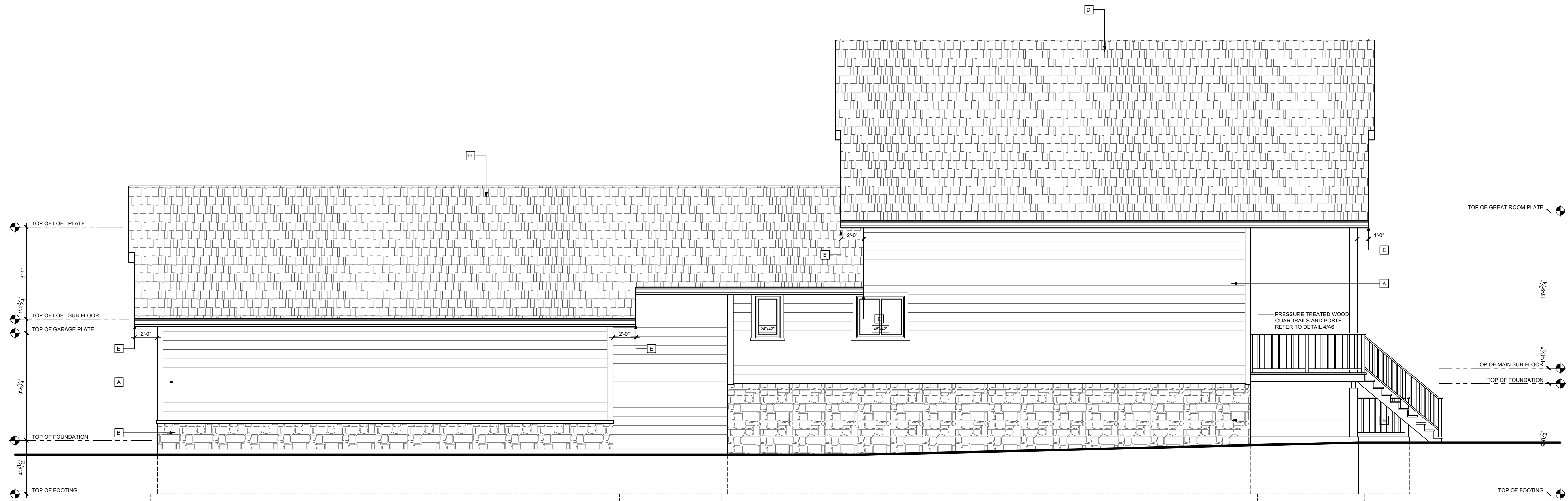
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**Len Angelici Design**

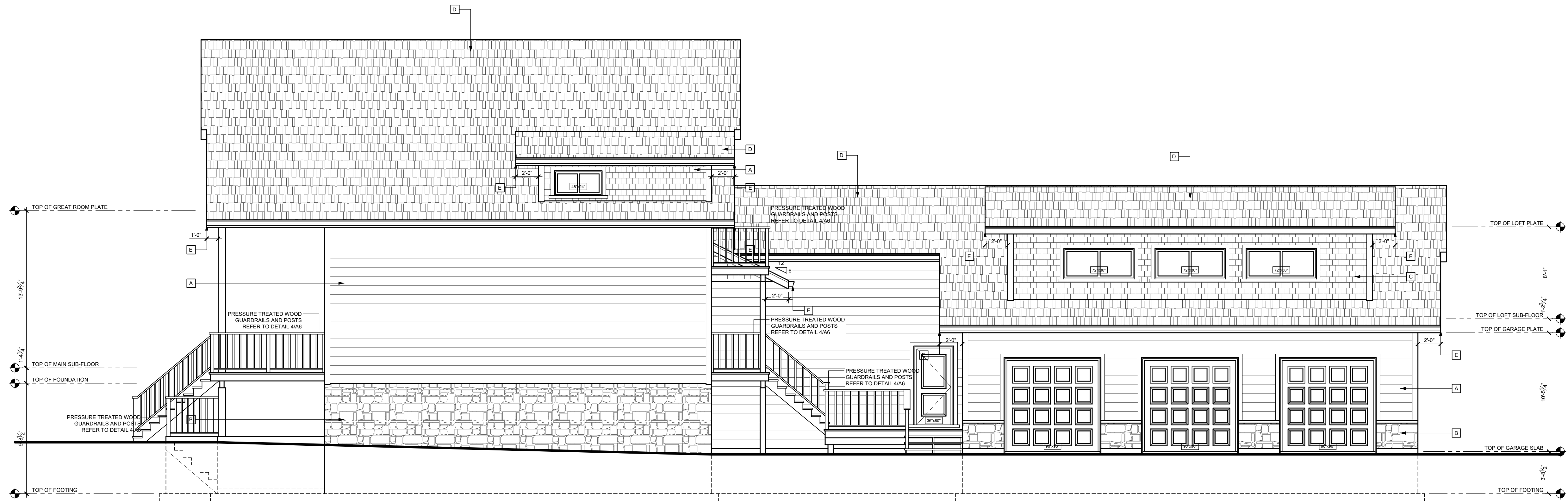
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info@lenangelicidesign.ca

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PROPOSED RESIDENCE: 207 BEACH BLVD HAMILTON, ON

SHEET TITLE	
PROPOSED FRONT & REAR ELEVATIONS	
DRAWN BY	A3
L. ANGELICI	
DATE	
06/24/2021	
SCALE	
$\frac{3}{16}"=1'-0"$	
PROJECT No.	
2020-001	



RIGHT SIDE ELEVATION  
SCALE  $\frac{3}{16}$ " = 1' - 0"



LEFT SIDE ELEVATION  
SCALE  $\frac{3}{16}$ " = 1' - 0"

EXTERIOR FINISH INDEX

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- [B] NATURAL STONE VENEER
- [C] CEDAR STYLE SHINGLES
- [D] ASPHALT SHINGLES
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- LEN ANGELICI DESIGN IS NOT RESPONSIBLE FOR POOR CONSTRUCTION PRACTICES.

SEAL

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

LEONARD ANGELICI 42391  
NAME BCIN

REGISTRATION INFORMATION

LEN ANGELICI DESIGN 43162  
NAME BCIN

06/24/2021  
DATE SIGNATURE

**Len Angelici Design**

270 SHERMAN AVE N. UNIT OF-269  
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PROJECT

PROPOSED RESIDENCE:  
207 BEACH BLVD  
HAMILTON, ON

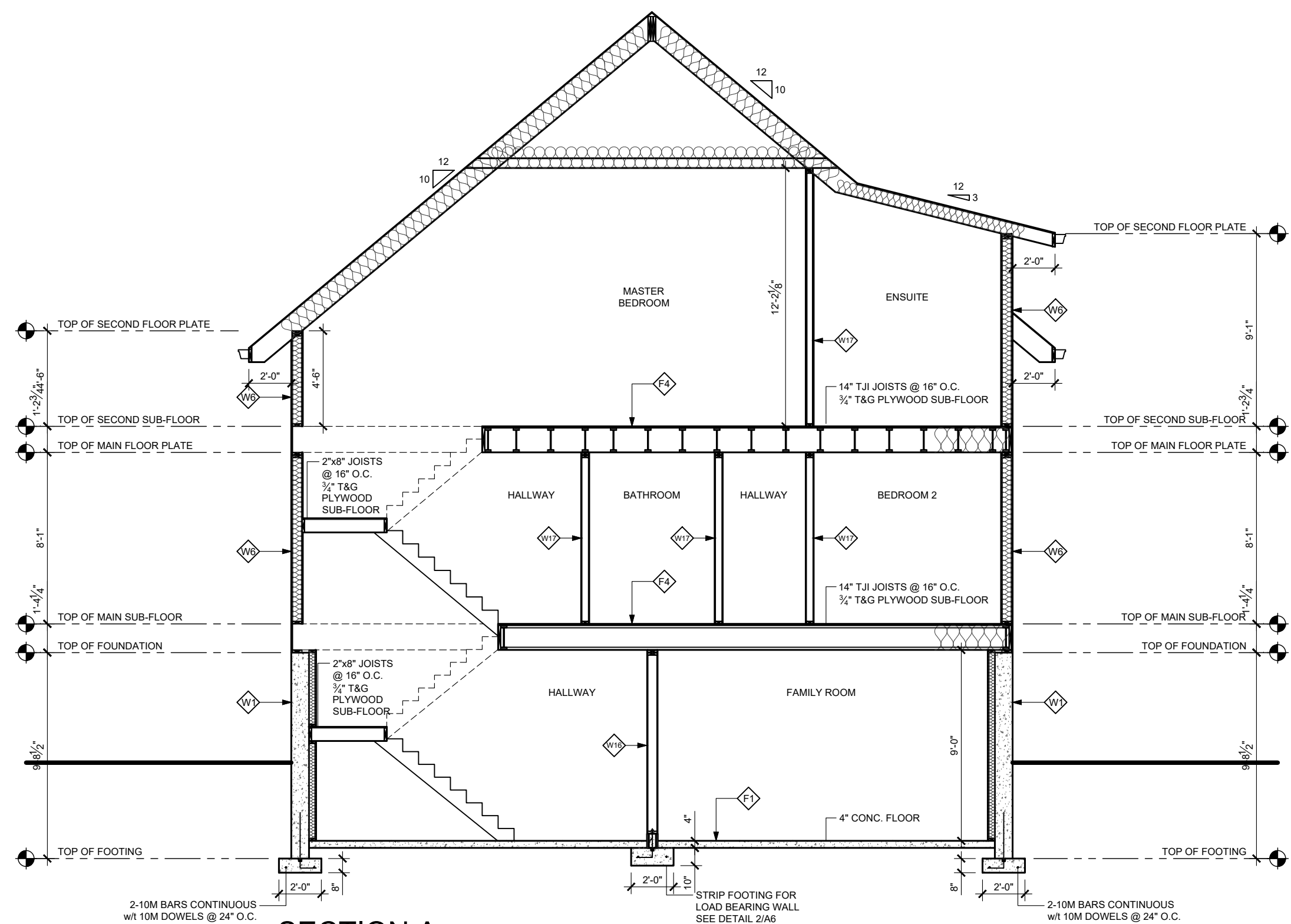
SHEET TITLE

PROPOSED RIGHT & LEFT SIDE ELEVATIONS

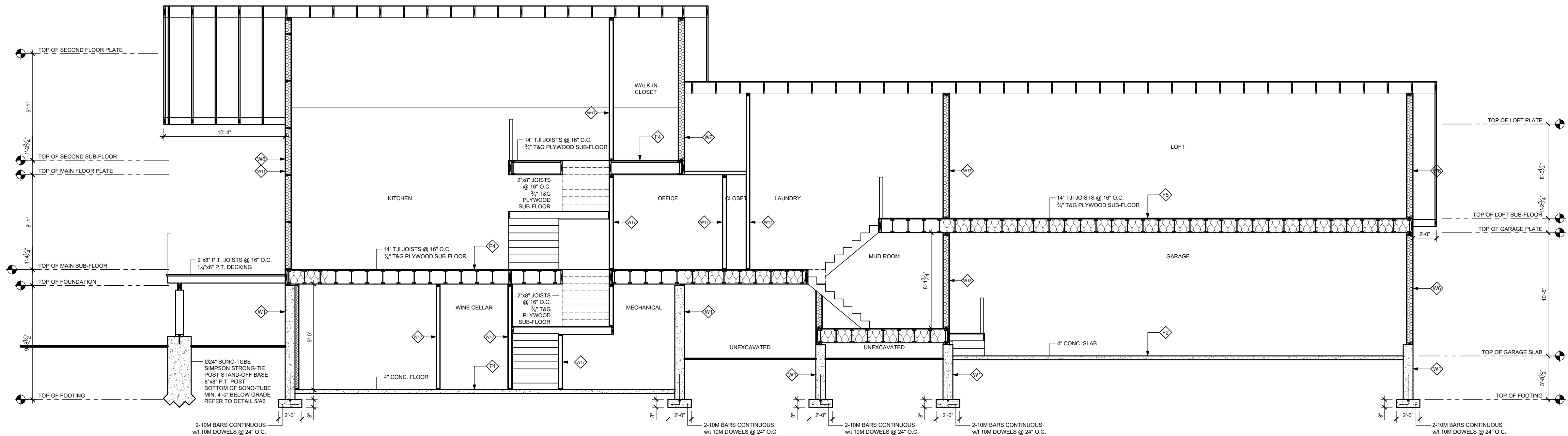
DRAWN BY	L. ANGELICI
DATE	06/24/2021
SCALE	$\frac{3}{16}$ "=1'-0"
PROJECT No.	2020-001

A4





SECTION A  
SCALE  $\frac{3}{16}'' = 1' - 0''$



SECTION B  
SCALE  $\frac{3}{16}'' = 1' - 0''$

PROJECT NORTH	TRUE NORTH

No.	REVISION	DATE
01.	PRELIMINARY DRAWINGS	06/24/2021

1. ALL CONTRACTORS AND/OR TRADES SHALL VERIFY ALL DIMENSIONS, NOTES, SITE AND REPORT ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OF WORK.
2. THIS DRAWING IS NOT TO BE SCALED. ALL DRAWINGS, PRINTS AND RELATED DOCUMENTS ARE THE PROPERTY OF LEN ANGELICI DESIGN AND MUST BE RETURNED UPON REQUEST.
3. REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS IN PART OR IN WHOLE IS STRICTLY PROHIBITED WITHOUT WRITTEN CONSENT OF LEN ANGELICI DESIGN.
4. CONTRACTOR SHALL REVIEW ALL DRAWINGS PRIOR TO COMMENCING CONSTRUCTION FOR ANY ERRORS OR OMISSIONS.
5. LEN ANGELICI DESIGN IS NOT RESPONSIBLE FOR THE DESIGN OR PRE-ENGINEERED TRUSSES OR ANY PRE-ENGINEERED PRODUCTS.
6. LEN ANGELICI DESIGN IS NOT RESPONSIBLE FOR HEATING, PLUMBING, OR ELECTRICAL DRAWINGS.
7. DRAWING MAY NOT BE CHANGED, ALTERED OR COPIED WITHOUT WRITTEN CONSENT OF LEN ANGELICI DESIGN. FAILURE TO COMPLY WITH THIS STATEMENT IS NOT THE RESPONSIBILITY OF LEN ANGELICI DESIGN.
8. LEN ANGELICI DESIGN IS NOT RESPONSIBLE FOR POOR CONSTRUCTION PRACTICES.

SEAL

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.	
QUALIFICATION INFORMATION	
LEONARD ANGELICI	42391
NAME	BCIN
REGISTRATION INFORMATION	
LEN ANGELICI DESIGN	43162
NAME	BCIN
06/24/2021	
DATE	SIGNATURE

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PROJECT  
PROPOSED RESIDENCE:  
**207 BEACH BLVD  
HAMILTON, ON**

SHEET TITLE  
**ELEVATIONS A & B**

DRAWN BY L. ANGELICI	<b>A5</b>
DATE 06/24/2021	
SCALE $\frac{3}{16}'' = 1' - 0''$	
PROJECT No. 2020-001	

ASSEMBLIES

FOUNDATION WALL ASSEMBLIES

**CONCRETE LATERALLY SUPPORTED FNDT-WALL FOOTINGS:**  
250mm (10") POURED CONC. FDTN. WALL 20 MPa (2900psi) MIN. WITH BITUMENOUS DAMPROOFING AND DRAINAGE LAYER w/ (R20) 1" MAX BACKFILL HEIGHT IS 2740mm (9'-0"). MAXIMUM POUR HEIGHT IS 3050mm (10'-0") ON 500x155 (2'-0") CONTINUOUS KEY CON. FTG. (TYP.) BRACE FNDT WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OF 780kPa OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 150MPa OR GREATER. (SEE SOIL REPORT)

**MASONRY LATERALLY SUPPORTED FNDT-WALLS:**  
250mm (10") CONC.BLOCK. FDTN. WALL 20 MPa (2900psi) MIN. WITH BITUMENOUS DAMPROOFING AND DRAINAGE LAYER. MAX BACKFILL HEIGHT IS 2740mm (9'-0"). MAXIMUM HEIGHT IS 3050mm (10'-0") ON 500x155 (2'-0") CONTINUOUS ON KEY CON. FTG. (TYP.) BRACE FNDT WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OF 780kPa OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 150MPa OR GREATER. (SEE SOIL REPORT)

**CONCRETE LATERALLY UNSUPPORTED FNDT WALL:**  
200mm (8") POURED CONC. FDTN. WALL 20 MPa (2900psi) MIN. WITH BITUMENOUS DAMPROOFING AND DRAINAGE LAYER. MAX BACKFILL HEIGHT IS 1200mm (3'-11"). MAXIMUM POUR HEIGHT IS 2500mm (8'-2") ON 500x155 (2'-0") CONTINUOUS KEYED CON. FTG (TYP.) BRACE FNDT WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OF 780kPa OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 150MPa OR GREATER. (SEE SOIL REPORT)

**MASONRY LATERALLY UN SUPPORTED FNDT-WALLS:**  
240mm (10") CONC.BLOCK. FDTN. WALL 20 MPa (2900psi) MIN. WITH BITUMENOUS DAMPROOFING AND DRAINAGE LAYER. MAX BACKFILL HEIGHT IS 1200mm (3'-11"). MAXIMUM HEIGHT IS 2500mm (8'-2") ON 500x155 (2'-0") CONTINUOUS ON KEY CON. FTG. (TYP.) BRACE FNDT WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OF 780kPa OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 150MPa OR GREATER. (SEE SOIL REPORT)

**GRADE FOUNDATION WALL:**  
200mm (8") POURED CONC. FDTN. WALL 20 MPa (2900psi) MAXIMUM POUR HEIGHT IS 2500mm (8'-2") ON 500x155 (2'-0") CONTINUOUS KEY CON. FTG. (TYP.) BRACE FNDT WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OF 780kPa OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 150MPa OR GREATER. OUTSIDE OF FOUNDATION TO BE INSULATED WITH 2" RIGID INSULATION MIN (2'-0") BELOW GRADE.

ABOVE GRADE WALL ASSEMBLIES

**SIDING WALL CONSTRUCTION (2"x4")**  
SIDING ACCORDING TO OBC 9.2.7.13 AS PER ELEVATION. WITH OSB SHEATHING MEMBRANE 9.5mm (3/8") AS PER ELEVATION. WITH TYVEK MEMBRANE ON 1/2" EXTERIOR TYPE 30x140 (2"x4") STUDS @ 400mm (16") O.C. RSI 4.23 (R24) OR RSI 3.87 (R22) INSULATION AND CONTINUOUS 0.15 (6 mil) POLYETHYLENE VAPOUR BARRIER. 13mm. (1/2") INT. DRYWALL FINISH.

**STUCCO WALL CONSTRUCTION (2"x4")**  
STUCCO ACCORDING TO OBC 9.2.8 AS PER ELEVATION. WITH OSB SHEATHING MEMBRANE 9.5mm (3/8") AS PER ELEVATION. WITH TYVEK MEMBRANE ON 1/2" EXTERIOR TYPE 30x140 (2"x4") STUDS @ 400mm (16") O.C. STRAPPED WITH 38x140 (2"x4") STUDS @ 400mm (16") O.C. RSI 4.23 (R24) OR RSI 3.87 (R22) INSULATION AND CONTINUOUS 0.15 (6 mil) POLYETHYLENE VAPOUR BARRIER. 13mm. (1/2") INT. DRYWALL FINISH.

**SIDING OR STUCCO WALL CONSTRUCTION (2"x4")**  
SIDING ACCORDING TO OBC 9.2.7.13 AS PER ELEVATION. WITH OSB SHEATHING MEMBRANE 9.5mm (3/8") AS PER ELEVATION. WITH TYVEK MEMBRANE ON 1/2" EXTERIOR TYPE 30x140 (2"x4") STUDS @ 400mm (16") O.C. STRAPPED WITH 38x140 (2"x4") STUDS @ 400mm (16") O.C. RSI 4.23 (R24) OR RSI 3.87 (R22) INSULATION AND CONTINUOUS 0.15 (6 mil) POLYETHYLENE VAPOUR BARRIER. 13mm. (1/2") INT. DRYWALL FINISH.

**BRICK VENEER OR STONE WALL CONSTRUCTION (2"x6")**  
90mm (1") FACE BRICK/STONE. 25mm (1") AIR SPACE 22x18x60.76 (2"x7"x0.03) GALV. METAL TIES @ 400MM (16") O.C. HORIZONTAL 600MM (24") O.C. VERTICAL MTL. TIES TO IN CONTACT WITH WOOD STUD ONLY. APPROVED ASPHALT BUILDING PAPER OR TYVEK. 9.5mm (3/8") OSB SHEATHING. 38x140 (2"x4") STUDS @ 400 O.C. (16") O.C. RSI 4.23 (R24) OR RSI 3.87 (R22) BATT INSULATION. 0.15 (6 mil) POLYETHYLENE VAPOUR BARRIER AND AIR BARRIER. 13mm (1/2") INT. DRYWALL FINISH. PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER.

**BRICK VENEER OR STONE WALL CONSTRUCTION (2"x4")**  
90mm (1") FACE BRICK/STONE. 25mm (1") AIR SPACE 22x18x60.76 (2"x7"x0.03) GALV. METAL TIES @ 400MM (16") O.C. HORIZONTAL 600MM (24") O.C. VERTICAL MTL. TIES TO IN CONTACT WITH WOOD STUD ONLY. APPROVED ASPHALT BUILDING PAPER OR TYVEK. 9.5mm (3/8") OSB SHEATHING. 38x140 (2"x4") STUDS @ 400 O.C. (16") O.C. STRAPPED WITH 38x140 (2"x4") STUDS @ 400mm (16") O.C. RSI 4.23 (R24) OR RSI 3.87 (R22) BATT INSULATION. 0.15 (6 mil) POLYETHYLENE VAPOUR BARRIER AND AIR BARRIER. 13mm (1/2") INT. DRYWALL FINISH. PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER.

**HIGH WALL CONSTRUCTION OPTION A**  
CONSTRUCTED AS W6 OR W10 OR W8 OR TWO OF. FOR A MAXIMUM WALL HEIGHT OF 548mm (19'-0") PROVIDE 2-38x140 (2"x4") W10 (12") SPR. #2 CONTINUOUS STUDS PROVIDE 2 ROWS OF SOLID BLOCKING BTW STUDS AT SPACED AT 1825mm (6'-0"). (OR AS PER ENGINEERS REPORT)

**HIGH WALL CONSTRUCTION OPTION B**  
CONSTRUCT USING PRE-ENGINEERED WOOD (SEE SHOP DWG FOR LUMBER SUPPLIER)

**BASEMENT INSULATION**  
RIS 3.12 (R20) MIN. INSULATION BLANKET OR BATTS WITH 38x140 (2"x4") STUD WALL AND APPROVED VAPOUR BARRIER FULL HEIGHT OF BASEMENT WITH BUILDING PAPER BT THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL

**WALL BETWEEN DWELLING AND GARAGE**  
PROVIDE AND EFFECTIVE BARRIER TO GAS AND EXHAUST FUMES BETWEEN THE GARAGE AND DWELLING UNIT OVER GARAGE WITH RSI 4.40 (R20) INSULATION BT JOISTS. TAPE AND SEAL ALL JOINTS GAS TIGHT.

INTERIOR WALL ASSEMBLIES

**2X4 INTERIOR LOAD BEARING WALL**  
FOR BEARING PARTITIONS 38x89 (2'x4) 400mm (16") O.C. FOR 2 STOREYS AND 300MM (12") O.C FOR 3 STOREYS WIT 38x89 (2'x4) BOTTOM PLATE AND 2-38x89 (2'x4) TOP PLATE. 13mm (1/2") INT. DRYWALL BOTH SIDES OF STUDS. PROVIDE ASHLAR BLOCK WHEN LOCATED IN BASMENT ANCHORED 3'-0" O.C.

**2X6 INTERIOR LOAD BEARING WALL**  
FOR BEARING PARTITIONS 38x140 (2'x6) 400mm (16") O.C. FOR 2 STOREYS AND 300MM (12") O.C FOR 3 STOREYS WIT 38x140 (2'x6) BOTTOM PLATE AND 2-38x140 (2'x6) TOP PLATE. 13mm (1/2") INT. DRYWALL BOTH SIDES OF STUDS. PROVIDE ASHLAR BLOCK WHEN LOCATED IN BASMENT ANCHORED 3'-0" O.C. SEE DETAIL 2/ND FOR FOOTING SPECS.

**2x4 / 2X6 INTERIOR NON-LOAD BEARING WALLS**  
-INTERIOR PARTITIONS 38x89 (2'x4) 400mm (16") O.C. WIT 38x89 (2'x4) BOTTOM PLATE AND 38x89 (2'x4) TOP PLATE. 13mm (1/2") INT. DRYWALL BOTH SIDES OF STUDS.  
-INTERIOR PARTITIONS 38x140 (2'x6) 400mm (16") O.C. WIT 38x140 (2'x6) BOTTOM PLATE AND 38x140 (2'x6) TOP PLATE. 13mm (1/2") INT. DRYWALL BOTH SIDES OF STUDS

**DWELLING UNIT AND GARAGE SEPARATION**  
DOORS AND WALLS BETWEEN THE GARAGE AND DWELLING UNIT SHALL PROVIDE AND EFFECTIVE BARRIER TO GAS AND EXHAUST FUMES AND DOORS SHALL BE FITTED WITH A SELF-CLOSING DEVICE. INSTALL WIT 13mm (1/2") COPOLYM BOARD ON WALL AND CEILING BT HOUSE HOUSE AND GARAGE. RSI 5.46 (RS13) IN WALLS. TAPE AND SEAL ALL JOINTS GAS TIGHT.

FLOOR ASSEMBLIES

**BASEMENT SLAB**  
75mm (4") CONCRETE SLAB 25MPa (3650 PSI) AFTER 28 DAYS ON WIT 6"x6"x16" W.W. ON 6" COURSE GRANULAR MATERIAL. PROVIDE BOND BREAKER MATERIAL BT SLAB AND FOOTING. EVERY BASEMENT SHALL BE PROVIDED WITH A FLOOR DRAIN WIT A TRAP SEAL PRIMER.

**GARAGE SLAB**  
125mm (5") CONCRETE SLAB 23MPa (4650 PSI) AFTER 28 DAYS 5-8% AIR ENTRAINMENT. REINFORCED WITH 10M BARS @ 300mm (12") O.C. EACH WAY IN BOTTOM THIRD OF SLAB. SLAB SHALL BEAR 12mm (1/2") MIN ON FOUNDATION WALL ANCHORED WIT 10M BENT DOWNELS @ 600mm (24") O.C. SLICE SLAB MIN. 1% FROM DOOR. PROVIDE 4" AND AT FRUIT CELLAR DOOR. GREATER THAN 6"-2" SEE ENGINEERS DRAWING.

**PORCH SLAB**  
125mm (5") CONCRETE SLAB 23MPa (4650 PSI) AFTER 28 DAYS 5-8% AIR ENTRAINMENT. REINFORCED WITH 10M BARS @ 300mm (12") O.C. EACH WAY IN BOTTOM THIRD OF SLAB. SLAB SHALL BEAR 12mm (1/2") MIN ON FOUNDATION WALL ANCHORED WIT 10M BENT DOWNELS @ 600mm (24") O.C. SLICE SLAB MIN. 1% FROM DOOR. PROVIDE 4" AND AT FRUIT CELLAR DOOR. GREATER THAN 6"-2" SEE ENGINEERS DRAWING.

**SUBFLOORING JOIST SYSTEM**  
19mm 1/4" T&G SUBFLOOR ON WOOD FLOOR JOISTS AS PER PLANS FOR CERAMIC TILE APPLICATION (SEE OBC 9.30.8.7) PROVIDE PANEL TYPE UNDERLAY UNDER RESILIENT @ PARQUET FLOORING. (SEE OBC 9.30.2.1.1) ALL JOISTS TO BE NAILED, GULDED AND SCREWED AND BRIDGED WIT 38x89 (2"x4") CROSS BRACING OR SOLID BLOCKING @ 2100mm (6'-11") O.C. AND STRAPPING UNLESS A PANEL TYPE CILING FINISH IS APPLIED. PREFER TO SHOP DRAWINGS FOR PRE-ENG. JOISTS FROM LUMBER SUPPLIER

**FLOOR OVER GARAGE**  
THE CONSTRUCTION AS PER F4 AND TO PROVIDE AND EFFECTIVE BARRIER TO GAS AND EXHAUST FUMES BETWEEN THE GARAGE AND DWELLING UNIT OVER GARAGE WIT A RSI 5.46 (RS13) INSULATION BT THE JOISTS. TAPE, SEAL ALL JOINTS GAS TIGHT

**SLABS IN BASEMENT ABOVE FROST LINE**  
CONSTRUCT SLABS AS PER F1 THAT ARE LOCATED LESS THAN 600mm (2'-0") BELOW GRADE SHALL BE INSULATED WITH RSI 1.76 (R10a) IF IT CONTAINS PIPING AND RSI 1.4 (R9) IF IT DOES NOT CONTAIN PIPING.

ROOF ENVELOPES

**ROOF CONSTRUCTION - AS PER PRE-ENG SPECS**  
30YR (MIN) ASPHALT ROOF SHINGLES No. 210 (10.25KG/M2) ASPHALT SHINGLES. 10mm (1/2") PL WOOD SHEATHING WITH "F" CURPS APPROVED WOOD TRUSSES @ 600mm (24") O.C. MAX SELF-SEALING MEMBRANE TYPE EAIVE ICE & WATER PROTECTION TO EXTEND MIN. 12" (300mm) BEYOND INSIDE EDGE OF INSIDE WALL. No. 15 FELT PAPER NON-PERFORATED FOR THE REST OF ROOF AND TO OVERLAP 2" OVER ICE & WATER PROTECTION. APPROVED EAVES PROTECTION TO EXTEND 900mm (3'-0") FROM EDGE OF ROOF AND MIN. 300mm (12") BEYOND INNER FACE OF EXTERIOR WALL 38x89 (2'x4) TRUSSES @ 1830mm (6'-0") O.C.

**RAIN WATER CONTROL**  
PRE-FINISHED ALUM. EAVESTROUGH, FASCIA, RWL & VENTED SCOFFIT.

**ROOF INSULATION AND VENTING**  
ATTIC VENTILATION 1300 OF INSULATED CEILING AREA WITH 90% AT EAVES. WIT RSI 15.57 (R60) ROOF INSULATION AND APPROVED VAPOUR BARRIER AND CONTINUOUS AIR BARRIER.

COLUMN SUPPORT

**SQUARE STEEL POSTS**  
3/2"x3/2"x0.25 HSS POST MECH-FASTENED AT TOP AND BOTTOM WIT 6"x6"x0.25 TOP & BOTTOM PLATE TO EXTEND MIN WIDTH OF BEAM WHERE BEARING ON FOUNDATION WALL OR KNEE WALL. PROVIDE 4 - 1/2" DIA. BOLTS INTO CONCRETE WALL. CONCRETE PAD FOOTING AS PER PLANS.

**SQUARE STEEL POSTS**  
3/2"x0.25 HSS POST MECH-FASTENED AT TOP AND BOTTOM WIT 6"x6" TOP & BOTTOM PLATE TO EXTEND MIN WIDTH OF BEAM WHERE BEARING ON FOUNDATION WALL OR KNEE WALL. PROVIDE 4 - 1/2" DIA. BOLTS INTO CONCRETE WALL. CONCRETE PAD FOOTING AS PER PLANS.

**WOOD POSTS**  
SHALL BE 6"x6" BUILT UP No. 1 SPR OR UNLESS CALCULATION PROVIDED. WOOD SHALL BE SEPARATED FROM CONCRETE BY 0.50mm (0.002") POLYETHYLENE FILM. CONCRETE PAD AS PER PLAN.

CONSTRUCTION NOTES

FOUNDATION

**ANCHORAGE**  
38x89 (2'x4") SILL PLATE WIT 13mm (1/2") DIA. ANCHOR BOLTS 200mm (8") LONG EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (8') INT. O.C. CALLING ON FIBER GASKET BT PLATE AND TOP OF FOUNDATION WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED.

**STEP FOOTINGS**  
THE VERTICAL STEP BT HORIZONTAL PORTIONS SHALL NOT EXCEED 600mm (24") FOR FIRM SOILS AND 400mm (16") FOR SAND OR GRAVEL. HORIZONTAL DISTANCE BT RISERS SHALL BE NOT LESS THAN 600mm.

**FOUNDATION DRAINAGE**  
100mm (4") DIA. WEEPING TILE 150mm (6") CRUSHED STONE OVER AND AROUND WEEPING TILES AT BASEMENT FOOTING PERIMETER.

**MASONRY BONDING**  
CONCRETE AND BRICK VENEER AIR SPACE SHALL BE COMPLETELY FILLED WITH CONCRETE FOR SOLID UNIT

**WINDOW WELL DRAINAGE**  
EVERY WINDOW WELL SHALL BE DRAINED TO FOOTING LEVEL OR OTHER SUITABLE LOCATION

**FLOOR DRAIN**  
EVERY BASEMENT SHALL BE PROVIDED WITH A FLOOR DRAIN WIT A TRAP SEAL PRIMER

WOOD FRAMING

**NOTCHING & DRILLING OF MEMBERS**  
HOLES IN FLOOR, ROOF AND CEILING MEMBERS TO BE MAXIMUM 1/3 ACTUAL DEPTH OF MEMBER AND NOT LESS THAN 2" FROM EDGES

NOTCHES IN FLOOR, ROOF AND CEILING MEMBERS TO BE LOCATED ON TOP OF MEMBER WITH 1/3 THE ACTUAL DEPTH FROM EDGE OF BEARING AND NOT GREATER THAN 1/3 JOIST DEPTH

WALL STUDS MAY BE NOTCHED OR DRILLED PROVIDED THAT NO LESS THAN 1/3 THE DEPTH OF STUD REMAINS IF LOAD BEARING AND 1 - 1/2" IF NON-LOAD BEARING

ROOF TRUSSES MEMBERS SHALL NOT BE NOTCHED DRILLED OR WEAKENED UNLESS ACCOMMODATED IN THE DESIGN

**FLOOR JOIST**  
JOIST TO HAVE 1 - 1/2" END BEARING JOIST SHALL BEAR ON SILL PLATE FIXED TO FOUNDATION. MAX. DOUBLE HEADER JOIST LENGTH OF 19'-6". MAX DOUBLE TRAMMER JOIST LENGTH OF 6'-7". 2x2 BRIDGING REQUIRED EVERY 6'-11". FLUSH JOISTS SHALL BE SUPPORTED ON JOIST HANGERS.

FUTURE GRAB BARS

**STUD WALL REINFORCEMENT**  
STUD WALL REINFORCEMENT SHALL BE INSTALLED IN MAIN BATHROOMS WITHIN A DWELLING UNIT ACCORDING TO OBC 9.2.2.3

**BLOCKING LOCATION**  
PROVIDE BLOCKING FOR SIDE GRAB BARS AND BARS OVER TOILET AS WELL AS BAR IN SHOWER. BATHTUB GRAB BAR TO BE LOCATED OPPOSITE THE ENTRANCE TO THE SHOWER AND 1'-0" OF THE BAR TO BE LOCATED TO ONE SIDE OF THE APPROXIMATE LOCATION OF THE FUTURE SEAT IN TUB.

**BLOCKING AND FASTENING**  
ALL BLOCKING MUST BE FASTENED ENOUGH TO WITHSTAND 1.3AN OF FORCE WITH VERTICALLY OR HORIZONTALLY ON THE GRAB BAR. A MINIMUM OF 2"x8" BLOCKING IS REQUIRED WITH A MIN. OF 3 - 3 - 1/2" NAILS ON EACH SIDE OF BLOCKING.

THERMAL INSULATION

**ATTIC HATCH**  
EVERY ROOF SHALL BE PROVIDED WIT A 533mm x 700mm (21"x28") ATTIC HATCH WIT WEATHERSTRIPPING. RSI 7.0 (R40) RIGID INSULATION BACKING

**RIM JOIST INSULATION**  
15mm (1/2") WIT TYVEK MEMBRANE ON 1 - 1/2" RM JOIST AS PER PLAN WIT OSB SHEATHING WITH RSI 4.23 (R24) OR RSI 3.87 (R22) INSULATION AND CONTINUOUS 0.15 (6 mil) POLYETHYLENE VAPOUR BARRIER FRICTION FIT.

STAIRS, HANDRAILS AND GUARDS

**STAIRS**  
CLEAR HEIGHT OVER STAIRS MUST BE MEASURED VERTICALLY MIN. HEIGHT 1900mm (6'-2")

**STAIRS DIMENSIONS:**  
MAX RISE 7- 1/2" (200mm)  
MIN RUN 8- 1/2" (210mm)  
MIN TREAD 9- 1" (235mm)  
MAX NOSING 1" (25mm)  
MIN HEADROOM 6'-0" (1830mm)  
RAILING @ LANDING 2'-7" (800mm)  
RAILING @ STAIR 2'-7" (800mm)  
MIN WIDTH 2'-11" (900mm)  
FOR CURVED STAIRS:  
MIN RUN 5- 1/2" (150mm)  
MIN AVG RUN 7- 1/2" (200mm)

**HANDRAILS AND GUARD AS PER OBC - 9B-7**  
FINISHED HANDRAIL ON WOOD PICKETS MAX SPACING 4" BETWEEN PICKETS SHALL NOT BE LESS THAN 90MM (2-7/8") AND NOT MORE THAN 85mm (3-3/8") WHERE GUARDS ARE REQUIRED. HANDRAILS ON LANDING ARE PERMITTED TO BE NOT MORE THAN 1070mm (3'-6").

**GUARDS AS PER OBC - 9B-7**  
INTERIOR GUARDS FOR STAIRS = 800mm (2'-11") EXTERIOR GUARDS = 1070mm (3'-6") ABOVE LANDINGS. MAX OPENING WITHIN GUARDS 100mm (4") PROTECTED BY THE GUARD WILL NOT FACILITATE CLIMBING

MEANS OF EGRESS

**MINIMUM BEDROOM WINDOWS - OBC 9.7.1.3**  
AT LEAST ONE BEDROOM WINDOW ON A GIVEN FLOOR IS TO HAVE MIN. 0.50M<sup>2</sup> UNOBSTRUCTED GLAZED OR OPENABLE AREA WITH A MIN. CLEAR OF 380mm (15'-3")

**WINDOW GUARDS - OBC 9.7.1.6. & 9.8.8**  
A GUARD OR WINDOW WITH A MAXIMUM RESTRICTED OPENING OF 100mm (4") IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 480mm (1'-9") ABOVE FINISHED FLOOR AND THE DISTANCE FROM THE FINISHED FLOOR AND THE DISTANCE FROM THE FINISHED ADJACENT GRADE IS GREATER THAN 1800mm (5'-11").

**WINDOW IN EXIT STAIRWAYS - OBC 9.7.5.3**  
WINDOWS IN EXIT STAIRWAYS THAT EXTEND TO LESS THAN 1070mm (3'-6") SHALL BE PROTECTED BY GUARDS IN ACCORDANCE WITH NOTE 2 ABOVE OR THE WINDOW SHALL BE NON-OPERABLE AND DESIGNED TO WITHSTAND THE SPECIFIED LOADS FOR BALCONY GUARDS AS PROVIDED IN PART 4 OF THE ONTARIO BUILDING CODE.

LIFESAFETY

**CARBON MONOXIDE ALARMS - OBC 9.33.4**  
A CARBON MONOXIDE ALARM CONFORMING TO CAN/CSA-19 SHALL BE INSTALLED ON OR NEAR THE CEILING IN EACH ROOM WHERE THERE IS INSTALLED A SOLID FUEL BURNING APPLIANCE. CARBON MONOXIDE ALARMS SHALL BE WIRED SO THAT ITS ACTIVATION WILL ACTIVATE THE SMOKE ALARMS.

**SMOKE ALARM - OBC 9.10.18**  
PROVIDE ONE PER FLOOR. NEAR THE STAIRS CONNECTING THE FLOOR LEVEL. ALARMS INTERCONNECTED TO AN ELECTRICAL CIRCUIT AND INTERCONNECTED TO ACTIVATE ALL ALARMS IF ONE SOUNDS.

VENTILATION

**MECHANICAL VENTILATION**  
WASHROOM AND RANGE TO BE MECHANICALLY VENTED TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR

**DIRECT GAS VENT FURNACE**  
FURNACE TERMINAL MIN 100mm (36") FROM A GAS REGULATOR MIN. 300mm (12") ABOVE FIN. GRADE FROM ALL OPENINGS EXHAUST AND INTAKE VENTS. HRV INTAKE TO BE A MIN OF 1830mm (6'-0") FROM ALL EXHAUST TERMINALS

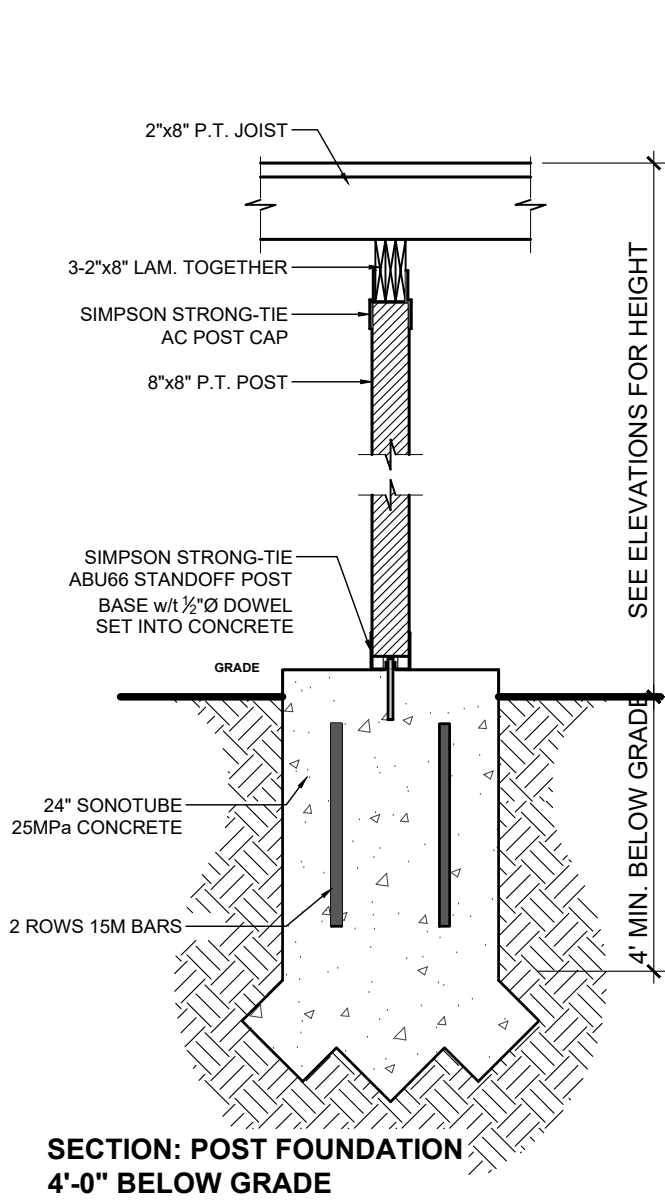
**DIRECTS GAS FIRE PLACE**  
VENTS TO BE A MIN. 300mm (12") FROM ANY OPENING AND ABOVE FIN. GRADE REFER TO GAS CODE.

**NATURAL VENTILATION**  
VENTS TO BE A MIN. 300mm (12") FROM ANY OPENING AND ABOVE FIN. GRADE REFER TO GAS CODE.

**WATER RESISTANT FLOORING**  
FINISHED FLOORING IN BATHROOMS, KITCHENS, ENTRANCE HALL, LAUNDRY AND GENERAL STORAGE AREAS SHALL CONSIST OF RESILIENT FLOORING, FELTED SYNTHETIC FIBRE FLOORING COVERINGS.

DETAIL 3: BASEMENT WINDOW REINFORCEMENT

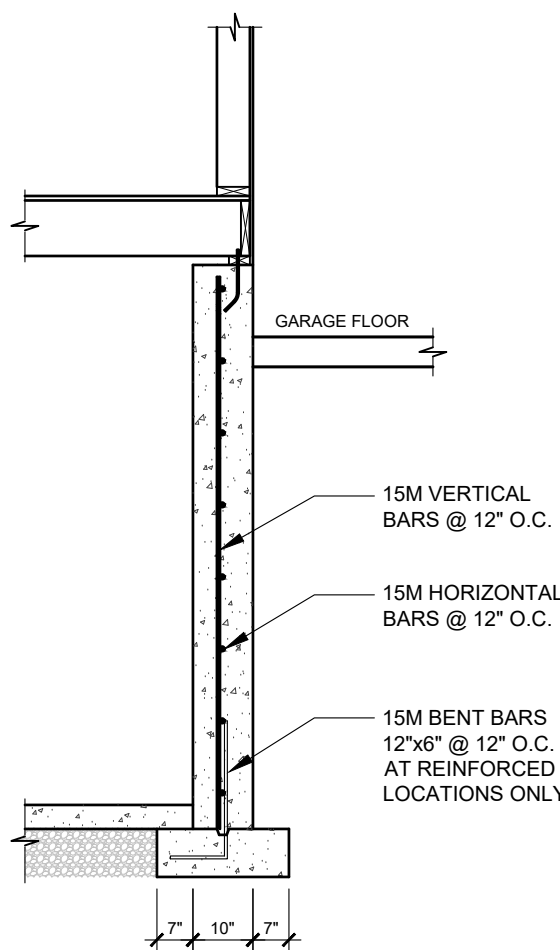
N.T.S.



SECTION: POST FOUNDATION 4'-0\"/>

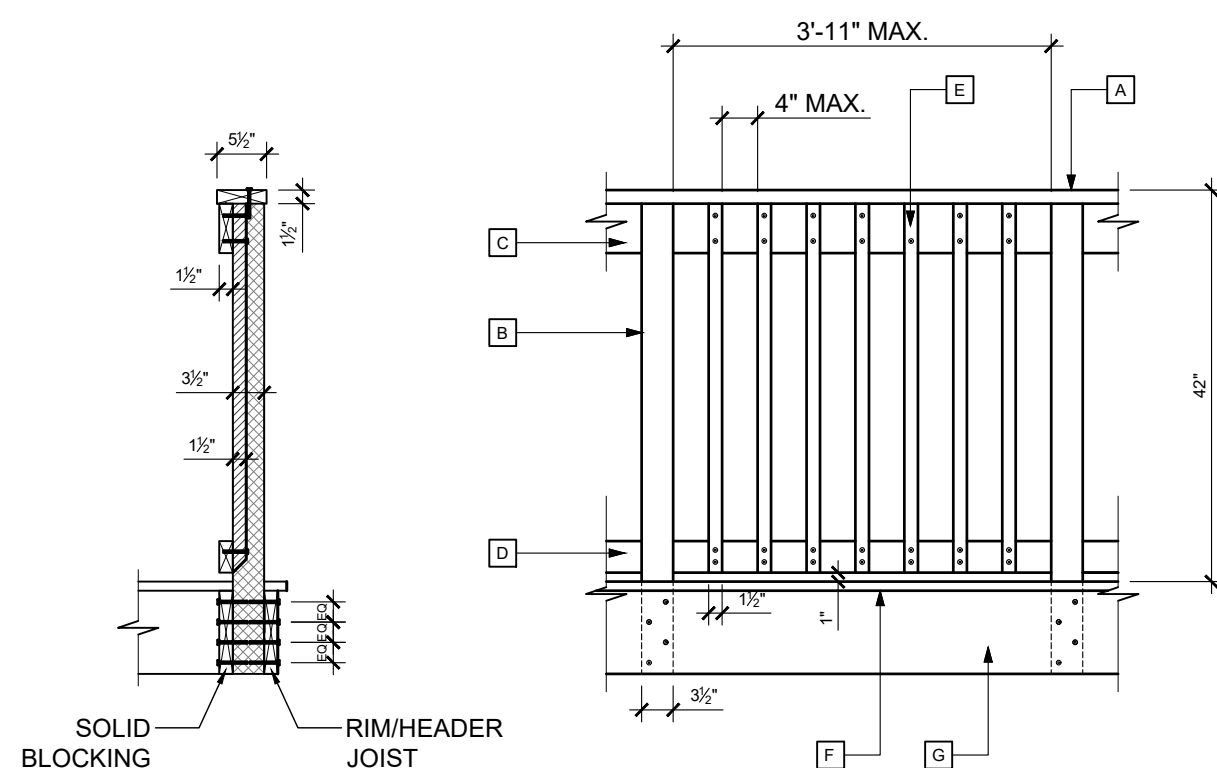
DETAIL 5: 8"x8" WOOD POST

N.T.S.



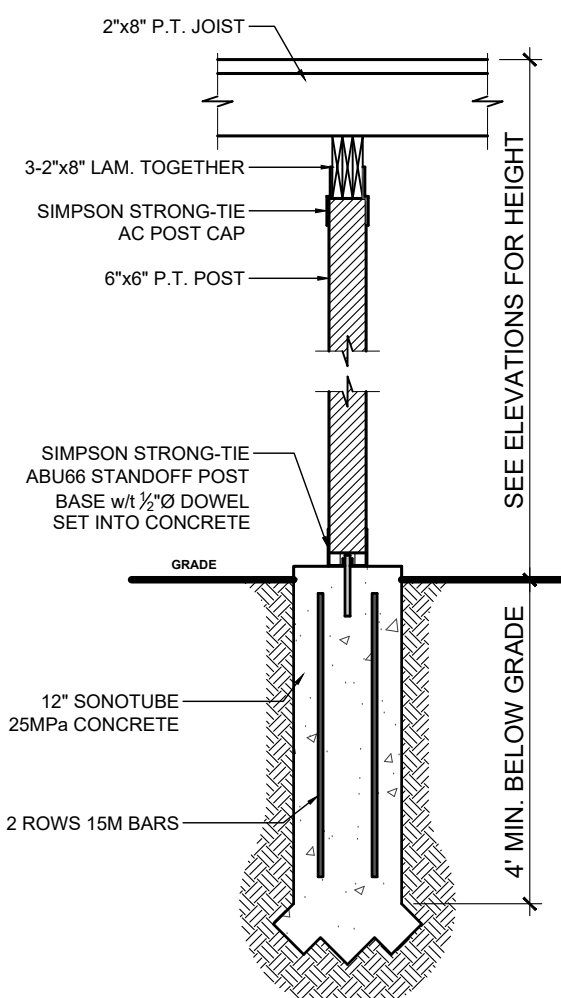
DETAIL 1: REINFORCED FOUNDATION WALL

N.T.S.



DETAIL 4: GUARDRAIL COMPONENTS & CONSTRUCTION

N.T.S.



SECTION: POST FOUNDATION 4'-0\"/>

DETAIL 6: 6"x6" WOOD POST

N.T.S.

PROJECT NORTH	TRUE NORTH

No.	REVISION	DATE
01.	PRELIMINARY DRAWINGS	06/24/2021

- ALL CONTRACTORS AND/OR TRADES SHALL VERIFY ALL DIMENSIONS, NOTES, SITE AND REPORT ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OF WORK.
- THIS DRAWING IS NOT TO BE SCALED. ALL DRAWINGS, PRINTS AND RELATED DOCUMENTS ARE THE PROPERTY OF LEN ANGELICI DESIGN AND MUST BE RETURNED UPON REQUEST.
- REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT WRITTEN CONSENT OF LEN ANGELICI DESIGN.
- CONTRACTOR SHALL REVIEW ALL DRAWINGS PRIOR TO COMMENCING CONSTRUCTION FOR ANY ERRORS OR OMISSIONS.
- LEN ANGELICI DESIGN IS NOT RESPONSIBLE FOR THE DESIGN OR PRE-ENGINEERED TRUSSES OR ANY PRE-ENGINEERED PRODUCTS.
- LEN ANGELICI DESIGN IS NOT RESPONSIBLE FOR HEATING, PLUMBING, OR ELECTRICAL DRAWINGS.
- DRAWING MAY NOT BE CHANGED, ALTERED OR COPIED WITHOUT WRITTEN CONSENT OF LEN ANGELICI DESIGN. FAILURE TO COMPLY WITH THIS STATEMENT IS NOT THE RESPONSIBILITY OF LEN ANGELICI DESIGN.
- LEN ANGELICI DESIGN IS NOT RESPONSIBLE FOR POOR CONSTRUCTION PRACTICES.

SEAL
LEONARD ANGELICI 42391 NAME BCIN
REGISTRATION INFORMATION
LEN ANGELICI DESIGN 43162 NAME BCIN

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION
LEONARD ANGELICI 42391 NAME BCIN
REGISTRATION INFORMATION
LEN ANGELICI DESIGN 43162 NAME BCIN
06/24/2021 DATE SIGNATURE

Len Angelici Design

270 SHERMAN AVE N. UNIT OF-269  
HAMILTON, ON L8L 6N4  
(905) 393-8868  
info@lenangelicidesign.ca

PROJECT
PROPOSED RESIDENCE: 207 BEACH BLVD HAMILTON, ON

SHEET TITLE
NOTES & DETAILS
DRAWN BY L. ANGELICI
DATE 06/24/2021
SCALE 3/8"=1'-0"
PROJECT No. 2020-001

A6





**Committee of Adjustment**  
City Hall, 5<sup>th</sup> Floor,  
71 Main St. W.,  
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221  
Email: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

## APPLICATION FOR A MINOR VARIANCE

**FOR OFFICE USE ONLY.**

APPLICATION NO. \_\_\_\_\_ DATE APPLICATION RECEIVED \_\_\_\_\_

PAID \_\_\_\_\_ DATE APPLICATION DEEMED COMPLETE \_\_\_\_\_

SECRETARY'S  
SIGNATURE \_\_\_\_\_

### The Planning Act

#### Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS
Registered Owners(s)	JOHN STEVEN MCCUTCHEON	
Applicant(s)*	SANDRA CAHILL	
Agent or Solicitor	LEN ANGELICI	

**Note:** Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

FIRST NATIONAL FINANCIAL LP  
100 UNIVERSITY AVE.  
SUITE 1200, NORTH TOWER  
TORONTO, ONTARIO  
M5H 1V6



Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

1. HEIGHT 11.12M VS 11.0M ALLOWED
2. 3 STORIES VS 2.5 STORIES ALLOWED
3. EAST SIDE YARD SETBACK 1.23M VS 1.5M
4. WEST SIDE YARD SETBACK 1.24 VS 1.5M

☐ Secondary Dwelling Unit      ☐ Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

VARIANCES 1 & 2 ARE NECESSARY DUE TO THE RECENT BYLAW CHANGE NO LONGER ALLOWING BASEMENTS ON BEACH BLVD. ORIGINAL PLANS HAD A BASEMENT AND WERE COMPLIANT AS RELATED TO #1 & #2. REDESIGN REQUIRED THAT THE HOME BE RAISED ABOVE 76.50 ASL. VARIANCE 3 AS CANNOT HAVE PROPER TURN RADIUS INTO GARAGE.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

207 BEACH BLVD.  
PART OF BURLINGTON BEACH  
EAST SIDE OF BEACH BLVD.  
(UNREGISTERED)

7. PREVIOUS USE OF PROPERTY

Residential ☒      Industrial ☐      Commercial ☐  
Agricultural ☐      Vacant ☐      Other ☐

Other \_\_\_\_\_

8.1 If Industrial or Commercial, specify use \_\_\_\_\_

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐      No ☒      Unknown ☐

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐      No ☒      Unknown ☐

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐      No ☒      Unknown ☐

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐      No ☒      Unknown ☐

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐      No ☒      Unknown ☐

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐      No ☒      Unknown ☐

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐      No ☒      Unknown ☐

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes ☐      No ☒      Unknown ☐

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?  
Yes ☐ No ☒ Unknown ☐

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

DISCUSSIONS WITH THE HOMEOWNER.

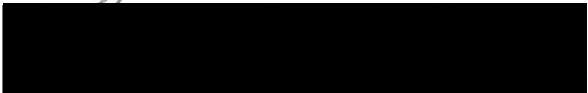
8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ☐ No ☐

**9. ACKNOWLEDGEMENT CLAUSE**

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

JULY 5 / 2021  
Date

  
Signature Property Owner(s)

JOHN STEVEN MCCUTCHEON  
Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage	<u>14.021M</u>
Depth	<u>65.228M/65.657M</u>
Area	<u>909.95 SQ. MTR.</u>
Width of street	<u>24.38M</u>

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: \_

N/A - EXISTING HOME TO BE DEMOLISHED

Proposed

GROUND FLOOR AREA - 278.00SQ.MTR (INCL.STAIRS, PORCHES & GARAGE) \* GROSS FLOOR AREA - 373.62 SQ MTR (FIRST, SECOND, THIRD FLOORS) \* NUMBER OF STORIES - 3  
HEIGHT - 11.12M

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

N/A - EXISTING HOME TO BE DEMOLISHED

Proposed:

FRONT SETBACK - 10.22M  
EAST SETBACK - 1.23M  
WEST SETBACK - 1.24M  
REAR SETBACK - 22.76M



13. Date of acquisition of subject lands: JULY 2014
14. Date of construction of all buildings and structures on subject lands:  
ASAP
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):  
  
SINGLE FAMILY RESIDENTIAL
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):  
  
SINGLE FAMILY RESIDENTIAL
17. Length of time the existing uses of the subject property have continued:
18. Municipal services available: (check the appropriate space or spaces)
- |                |                                     |           |                                     |
|----------------|-------------------------------------|-----------|-------------------------------------|
| Water          | <input checked="" type="checkbox"/> | Connected | <input checked="" type="checkbox"/> |
| Sanitary Sewer | <input checked="" type="checkbox"/> | Connected | <input checked="" type="checkbox"/> |
| Storm Sewers   | <input checked="" type="checkbox"/> |           |                                     |
19. Present Official Plan/Secondary Plan provisions applying to the land:  
  
UNKNOWN
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:  
  
UNKNOWN
21. Has the owner previously applied for relief in respect of the subject property?  
Yes ☐ No ☒  
If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?  
Yes ☐ No ☒
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.