

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: DN/A-21:264

APPLICANTS: Owner Dustin Lashbrook

SUBJECT PROPERTY: Municipal address **106 Robinhood Dr., Dundas**

ZONING BY-LAW: Zoning By-law 3581-86, as Amended

ZONING: R2 district (Single Detached Residential Zone)

PROPOSAL: To permit the construction of an accessory building (shed) in the rear yard of an existing single detached dwelling notwithstanding that:

1. A maximum of 2.9 m in height shall be provided instead of the maximum permitted height of 2.0 m.

Notes:

This review has been conducted only on the proposed accessory structure within the rear yard.

This application will be heard by the Committee as shown below:

DATE: Thursday, August 26th, 2021
TIME: 3:40 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

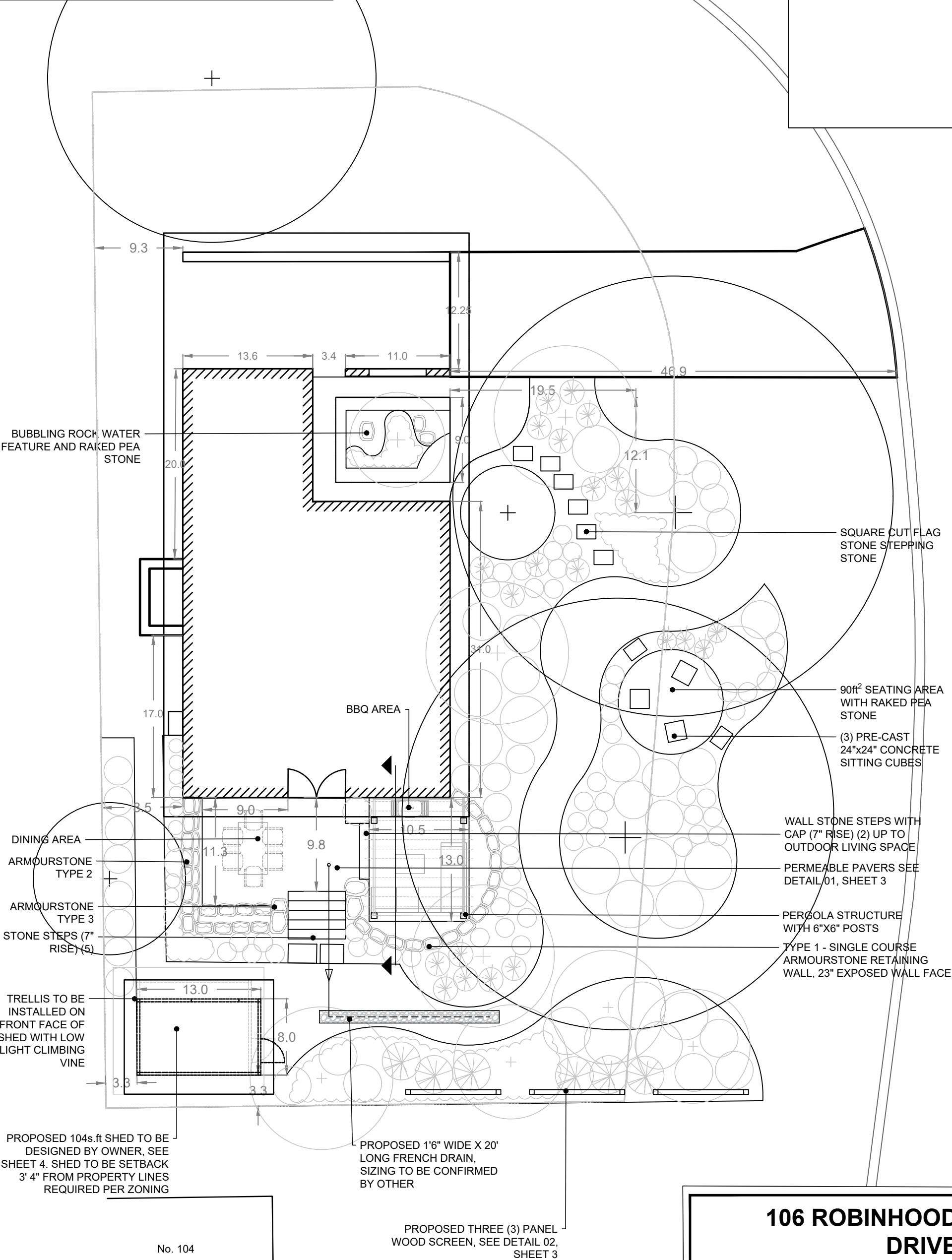
DATED: August 10th, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

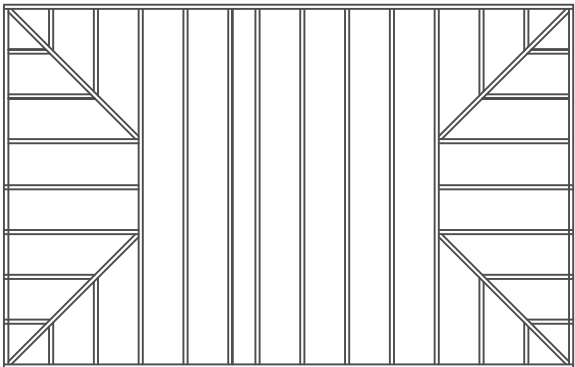
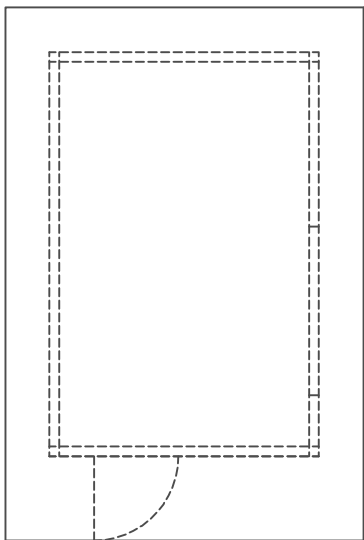
Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

ARMOURSTONE SCHEDULE

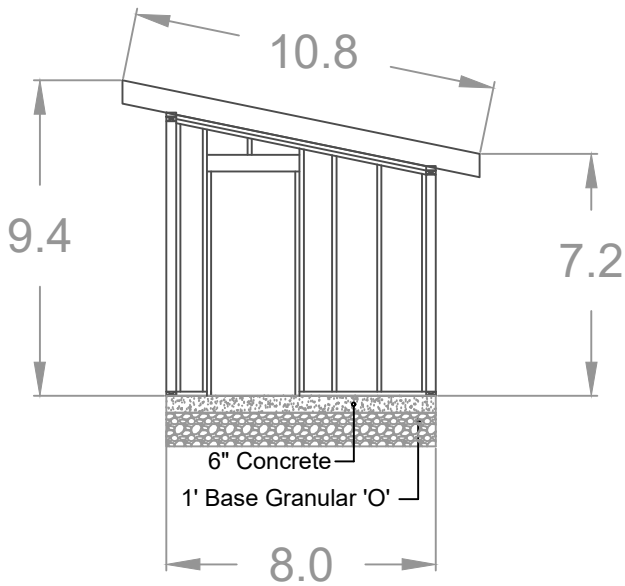
TYPE	DIMENSION	QNTY
TYPE 1	2'4" (H) X 1' (W) X 2' (L)	15
TYPE 2	1.5' (H) X 1' (W) X 2' (L)	24
TYPE 3	1.5' (H) X 1'9" (W) X 2'6" (L)	4



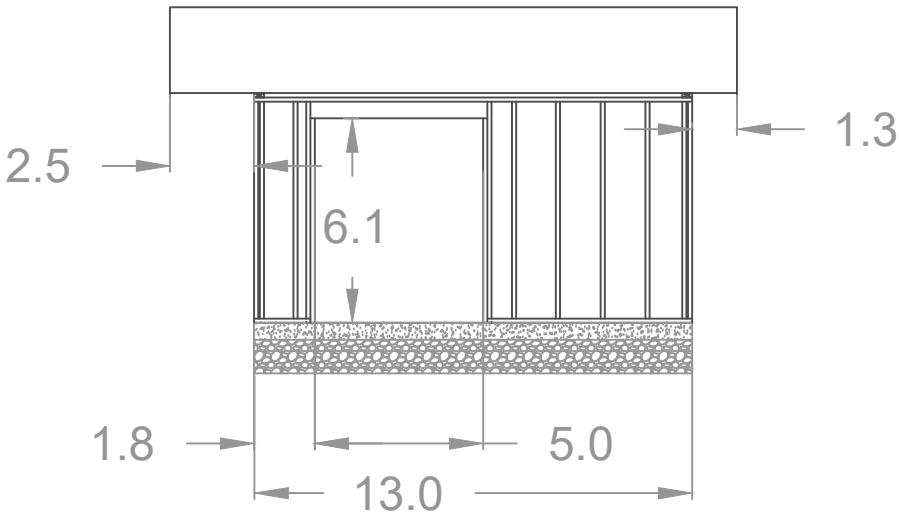
NOTES:
WALL FRAMING: 2x4 Framing on 16" centers with 2x4 blocking mid height
DOOR WAYS: 2x6 Lentils doubled up with laminated plywood
ROOF JOISTS: 2x8 at 16" centers with 2x4 cross bracing on center of full span
SHEETING: 3/8" Plywood for roof and walls



DETAIL of Roof Joists



DETAIL of Side Wall Framing



DETAIL of Front Wall Framing

106 ROBINHOOD
DRIVE

SHED DETAILS
SHEET 4

SCALE: NTS
DATE: 05/09/21

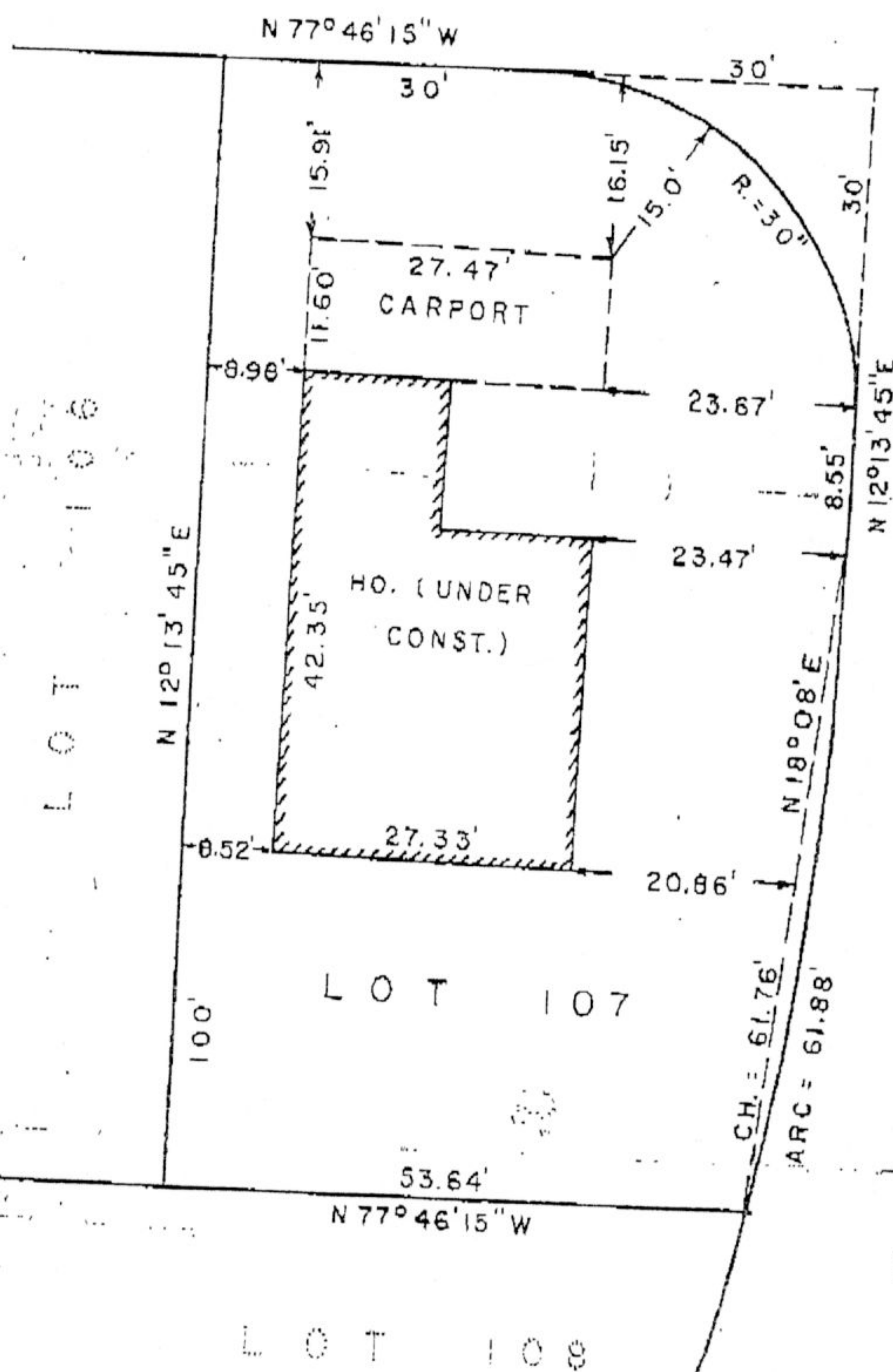
SHERWOOD PARK SURVEY, REG. PLAN N° 1182
IN THE
TOWN OF DUNDAS

SCALE 1 IN. = 20 FT.

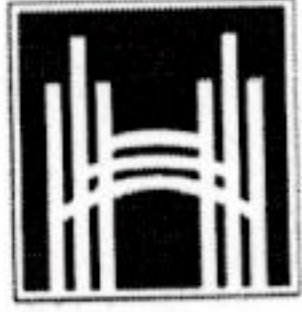
LITTLE JOHN ROAD

DRIVE

ROBINHOOD



J. J. Givney
ONTARIO LAND SURVEYOR
HAMILTON, ONTARIO
JUNE 1, 1962



Hamilton

Committee of Adjustment

City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

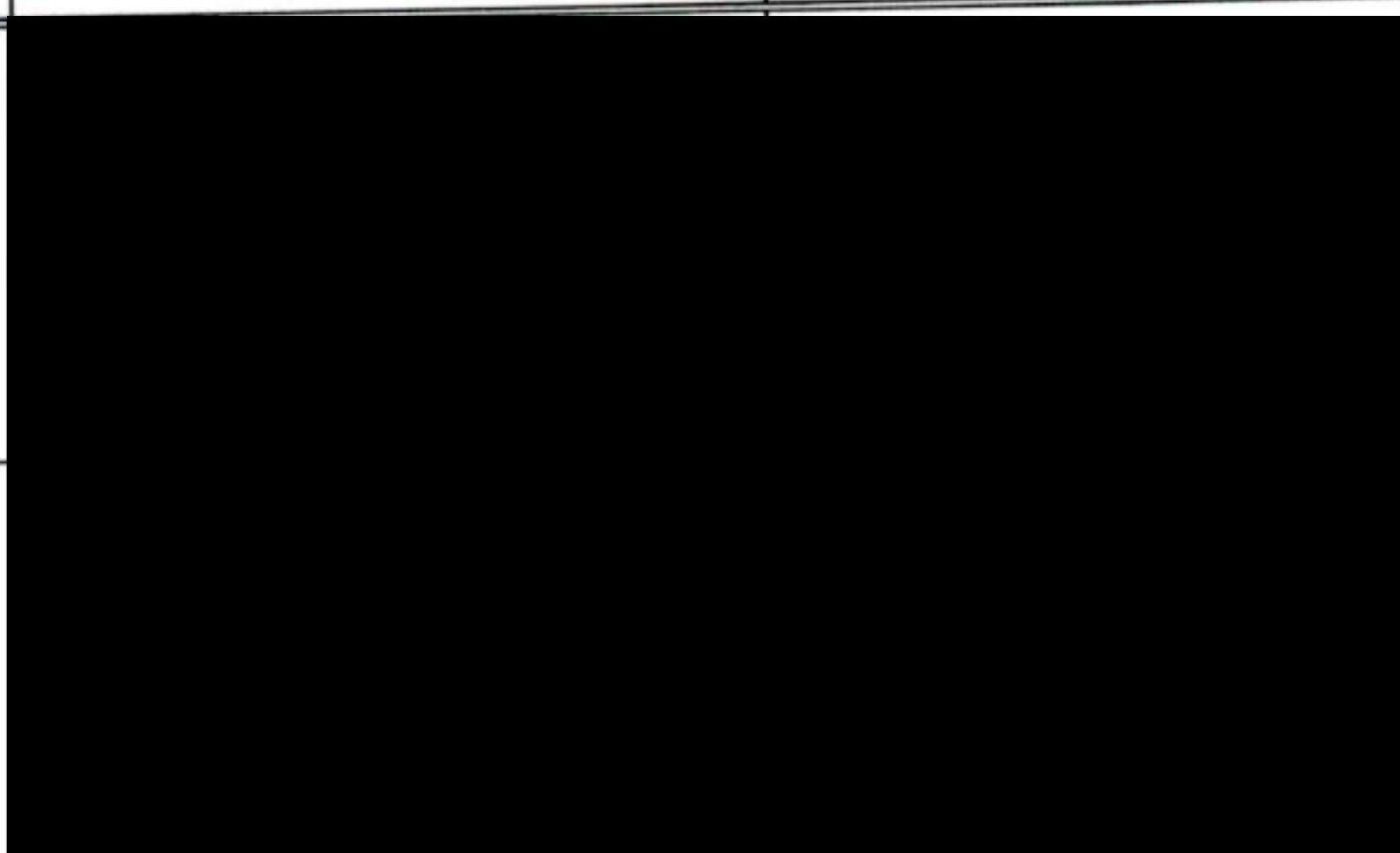
PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS	
Registered Owners(s)	Dustin Lashbrook		
Applicant(s)*	Dustin Lashbrook		
Agent or Solicitor			Phone:
			E-mail:

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Scotiabank
4 King Street West, 2nd Floor
Toronto, Ontario, M5H 1B6

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

Relief from height restriction of accessory building

☐ Secondary Dwelling Unit ☐ Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

Due to nature of construction which includes a sloped roof, greater height is required

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

Dundas, ON, L9H 4G4
Lot 107, Plan 1182

7. PREVIOUS USE OF PROPERTY

Residential ☒ Industrial ☐ Commercial ☐
Agricultural ☐ Vacant ☐ Other ☐

Other _____

- 8.1 If Industrial or Commercial, specify use _____

- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐ No ☐ Unknown ☒

- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐ No ☐ Unknown ☒

- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐ No ☐ Unknown ☒

- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐ No ☐ Unknown ☒

- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐ No ☐ Unknown ☒

- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐ No ☐ Unknown ☒

- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐ No ☐ Unknown ☒

- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes ☐ No ☐ Unknown ☒

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ☐ No ☐ Unknown ☒

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ☐ No ☒ N/A

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

Date

Signature Property Owner(s)

Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage	<u>100 feet</u>
Depth	<u>53.64 feet at side, 59.96 feet at middle</u>
Area	<u>approx. 5680 square feet</u>
Width of street	<u>66 feet</u>

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _

Side split house with carport attached, two storey,
GFA= approx. 940 sq-ft, W=27.33' L=42.35' H= approx. 17.5'

Proposed

Adding small shed to side yard, L=13' W=8' H=9.4'

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

Front 20.86' - 23.67'
Side approx. 33'
Rear 8.52 - 8.98

Proposed:

Shed
Rear 3.3'
Side 3.3'
Front 37.34'

13. Date of acquisition of subject lands:
June 26, 2014
14. Date of construction of all buildings and structures on subject lands:
Land survey is June 1, 1962
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
Single Family
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
Single Family
17. Length of time the existing uses of the subject property have continued:
SINCE 1960 CONSTRUCTION PERIOD
18. Municipal services available: (check the appropriate space or spaces)
- | | | | |
|----------------|-------------------------------------|-----------|--------------------------|
| Water | <input checked="" type="checkbox"/> | Connected | <input type="checkbox"/> |
| Sanitary Sewer | <input checked="" type="checkbox"/> | Connected | <input type="checkbox"/> |
| Storm Sewers | <input checked="" type="checkbox"/> | | |
19. Present Official Plan/Secondary Plan provisions applying to the land:
Residential
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
R2 - Dundas
21. Has the owner previously applied for relief in respect of the subject property?
Yes ☐ No ☒
If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
Yes ☐ No ☒
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.
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