



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: HM/A-21:139

APPLICANTS: Owner Cameron Shortt
Agent Think Giraffe Design Inc.

SUBJECT PROPERTY: Municipal address **231 Walter Ave. S., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended

ZONING: C district (Urban Protected Residential, etc.)

PROPOSAL: To establish a Secondary Dwelling Unit within an existing Single Family Dwelling and to alter the roofed-over enclosed one storey porch at the first storey notwithstanding that:

1. The separate entrance and exit to the secondary dwelling unit (Unit # 2 – Basement Unit) shall be permitted to be oriented toward the front lot line instead of the requirement that any separate entrance and exit to the secondary dwelling unit shall be oriented toward the flankage lot line, interior side lot line or rear lot line.
2. The roofed-over unenclosed one-storey front porch at the first storey level, including eaves, gutters and stairs, for Apartment No. 1 shall be permitted to project 5.3m into the required front yard and shall be at least 0.7m from the front lot line instead of the requirement that a roofed-over or screened but otherwise unenclosed one-storey porch at the first storey level, including eaves, gutters and stairs, may project into a required front yard (being 6.0m) to a distance of not more than 3.0 metres and every such projecting porch shall be distant at least 1.5 metres from the front lot line.
3. The front yard landscaped area shall be a minimum of 42% of the gross area of the front yard instead of the minimum 50.0% required front yard landscaped area.
4. No parking spaces shall be provided instead of the minimum required one (1) parking space.

NOTE:

- i) As a portion of the parking spaces are shown on the Walter Avenue South road allowance, the spaces are not considered “parking spaces” for zoning purposes. A Boulevard Parking Agreement with the City of Hamilton will be required for these spaces.

This application will be heard by the Committee as shown below:

DATE: Thursday, September 9th, 2021
TIME: 2:25 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: August 24th, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

ITEM	ONTARIO BUILDING CODE DATA MATRIX							OBC REFERENCE		
1	PROJECT DESCRIPTION: PROPOSED SECTION 19 DUPLEX CONVERSION				<input type="checkbox"/> NEW <input type="checkbox"/> ADDITION <input checked="" type="checkbox"/> CONVERSION <input type="checkbox"/> CHANGE OF USE			<input type="checkbox"/> PART 3	<input checked="" type="checkbox"/> PART 9	
Proposed Apartment 2 in Basement Area: 48.52m ²										
2	MAJOR OCCUPANCY(S)		C – RESIDENTIAL					–	–	
3	BUILDING AREA (m2)		EXISTING 66.03m ² NEW 0 m ² TOTAL 66.03 m ²					–	–	
4	GROSS AREA (Interior)		EXISTING 136.32m ² NEW 0 m ² TOTAL 132.32 m ²					–	–	
5	NUMBER OF STOREYS		ABOVE GRADE 1.5 BELOW GRADE BASEMENT					–	–	
6	HEIGHT OF BUILDING (m)		7.27 m ²					–	–	
7	NUMBER OF STREETS/ACCESS ROUTES		ONE					–	–	
8	BUILDING CLASSIFICATION							3.2.2.47.	–	
9	SPRINKLER SYSTEM PROPOSED				<input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> BASEMENT ONLY <input type="checkbox"/> IN LIEU OF ROOF RATING <input checked="" type="checkbox"/> NOT REQUIRED					
10	STANDPIPE REQUIRED				<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO					
11	FIRE ALARM REQUIRED				<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			–	9.10.18.2.(1)	
12	WATER SERVICE SUPPLY IS ADEQUATE				<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO				–	
13	HIGH BUILDING				<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			3.2.6.	–	
14	CONSTRUCTION RESTRICTIONS COMBUSTIBLE OR NON-COMBUSTIBLE PERMITTED							3.2.2.47.	–	
15	MEZZANINE(S) AREA m2 N/A								–	
16	TOTAL OCCUPANCY LOAD BASEMENT BASED ON <input type="checkbox"/> m2/PERSON 2 <input checked="" type="checkbox"/> DESIGN OF BUILDING								9.9.1.3.(1)(a)	
17	BARRIER-FREE DESIGN (SEE COMMENT 2.)				<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			3.8.1.1(a)Duplex.	–	
18	HAZARDOUS SUBSTANCES				<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			–	–	
19	REQUIRED FIRE RESISTANCE RATING (FRR)	HORIZONTAL ASSEMBLIES FRR (HOURS)			LISTED DESIGN NO. OR DESCRIPTION (SG-2)					
FLOORS 1hr above apartment			See A2.04							
ROOF N/A										
MEZZANINE N/A										
20	SPATIAL SEPARATION – CONSTRUCTION OF EXTERIOR WALLS EXISTING							T.9.10.14.4.		
	WALL	AREA OF EBF (m2)	LD (m)	PERMITTED MAX % OF OPENINGS	PROPOSED % OF OPENINGS	FRR (HOURS)	LISTED DESIGN OR DESCRIPTION	COMB CONSTR	COMB CONSTR NON COMB CLADDING	NON COMB CONSTR
	NORTH	No Change								Brick
	SOUTH	No Change								Brick
	EAST	No Change								Brick
	WEST	No Change								Brick
21	OTHER									

Site Statistics

Gross Floor Area
Unit 1: (Single Family Residence) 87.6m² (945ft²)
Unit 2: (Basement Apartment) 48.52m² (551ft²)

Zoning Code: C

Zoning Description: Urban Protected Residential

Parent Bylaw Number: 6593
Bylaw Number: 87-09
Exception 1 Bylaw: 90-67

Zoning Requirements
Front Yard Setback: 6.0m
Rear Yard Setback: 7.5m
Side Yards: 1.2m

Number of Habitable Rooms

Unit 1 Single Family Residence
Main Floor: 3 (Living Room, Kitchen, Dining Room)
2nd Floor: 2 (Bedrooms)

Unit 2 Basement: 2 (Combined Living Area, Bedroom)

Total: 7
Front Yard Green Space
Total Front Yard Area: 39.88m²
Front Yard Landscape Area: 14.6m² South + 2.43m2 North = 17.0m2
Landscape Area %: 42.8%



BASEMENT APARTMENT ENTRANCE
No Change Required
Two Existing Parking Spots
(Change direction of front steps)

CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS ON THE JOB SITE AND NOTIFY DESIGNERS OF ALL DISCREPANCIES BEFORE INITIATING WORK. ALL DRAWINGS ARE THE PROPERTY OF THINKGIRAFFE. DRAWINGS ARE NOT TO BE REPRODUCED WITHOUT WRITTEN PERMISSION FROM DESIGNERS. PRINTS ARE NOT TO BE SCALED.

Marina Fensham, Owner thinkGiraffe Design has reviewed and taken responsibility for the design activities described in this drawing set under OBC 2.17.4.7.1 (ii)
BCIN: 21574 / 116364

REVISED:
June 25, 2021

ISSUE FOR VARIANCE:
March 23, 2021

ISSUE FOR PERMIT:
February 25, 2021

REMARKS	DATE	NO.
REVISIONS		

thinkGiraffe
ENVIRONMENTAL DESIGN
16 Sulphur Springs Road,
Ancaster, ON, L9G 1L8
905 304 1496
thinkgiraffe@bellnet.ca

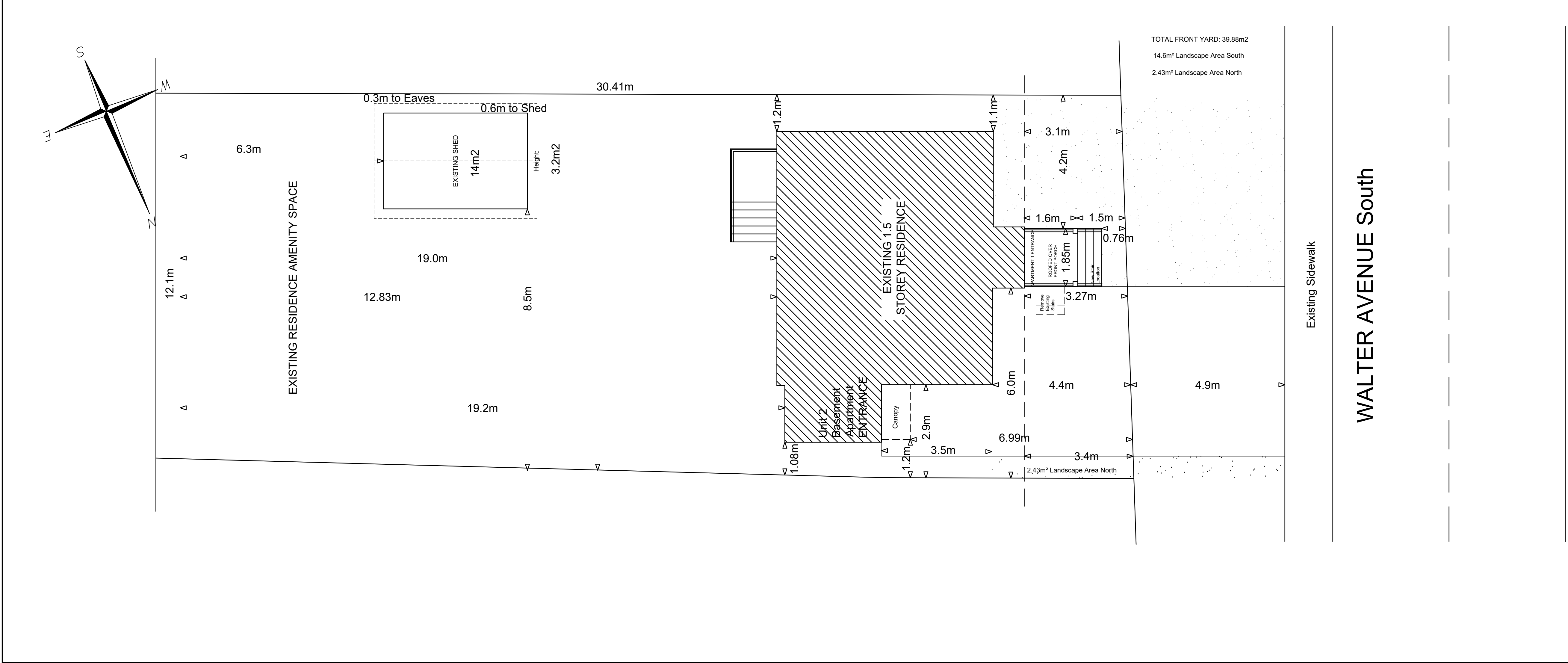
PROJECT

Proposed Section 19
Basement Conversion
231 Walter Avenue
Hamilton, ON.

SHEET TITLE
SP1-01 SITE PLAN

FOLDER	DRAWN BY M
FILE	SCALE 3/16"=1'-0"
DATE	NUMBER

SP1



WALL SCHEDULE

W1 Existing Basement Construction:
8" cement block
Add R20 Insulation as per specifications

W1 Existing Basement Construction:
8" cement block
Add R10 Rigid Insulation as per specifications

W3 Partitions within Suite:
NEW CONSTRUCTION.
2X4@ 16" o/c No Fire
Rating

W4 BASEMENT ENTRANCE PARTITION WALL
Fire Rating: 1 HOUR - SB 2.3.4 A&C
HOWEVER
To meet Sound Transmission 50 according to
9.11.1.1
Use SB3 -
W4 (a) Add 89mm absorptive material between
studs PLUS resilient channel and 2 layers Type
X 15.9mm Gypsumboard on ONE side.
Other side to remain plaster or existing
gypsumboard

CEILING SCHEDULE

DUPLEX CEILING 1 HR FR & SOUND TRANSMISSION:

To meet Sound Transmission 50 according to 9.11.1.1
SB 2 NOT SUFFICIENT
Use SB3 -
F11 Add Resilient Metal Channels 400mm or 600mm o/c
Add two layers of 15.9mm Type X on ceiling side

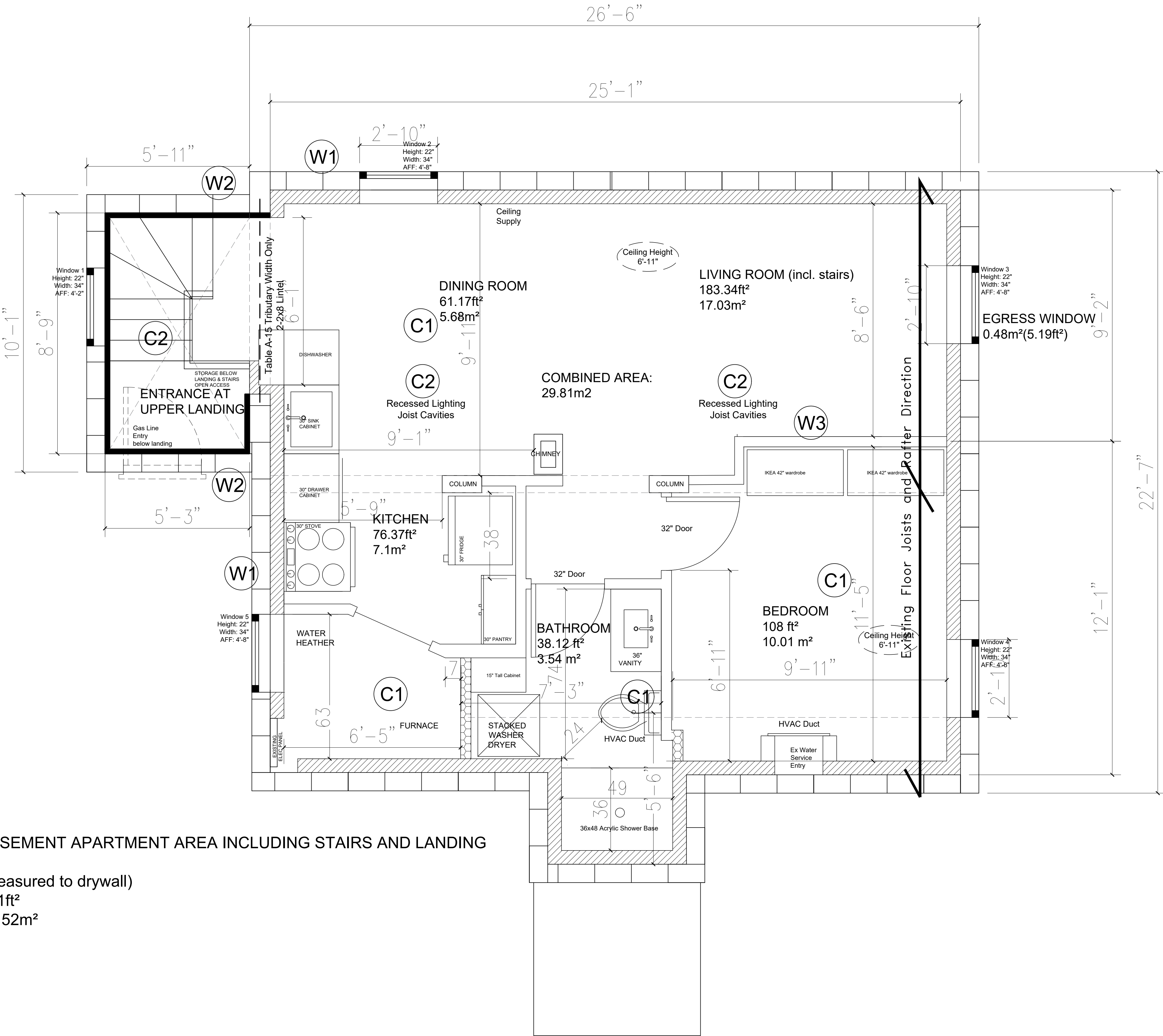
UNDERSIDE OF STAIRS:
Meet 1Hour FR stairs to 2nd floor
FIRE EXIT - NO PENETRATIONS ALLOWED

Use SB 2 Table 2.3.12
Install Double 15.9 Type X gypsum wallboard to
underside of stairs

- Interconnected Smoke Alarms W/ VISUAL SIGNALS
CAN/ULC S531
Install in basement as per plan
- OBC 9.10.19.1 A Smoke Alarm shall be installed in each Dwelling Unit.
 - 9.10.19.3 Smoke Alarms shall be installed by permanent connections with no disconnect switch
 - 9.10.19.4 The activation of one alarm will cause all alarms to sound
 - INSTALL SMOKE ALARMS IN ALL BEDROOMS

BASEMENT APARTMENT AREA INCLUDING STAIRS AND LANDING

(Measured to drywall)
551ft²
48.52m²



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Marina Fensham, Owner thinkGiraffe Design has reviewed and taken responsibility for the design activities described in this drawing set under OBC 2.17.4.7 f (ii)
BCIN: 21574 / 116364

REVISED:
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REMARKS	DATE	NO.
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REVISIONS

thinkGiraffe
ENVIRONMENTAL DESIGN

16 Sulphur Springs Road,
Ancaster, ON, L9G 1L8
905 304 1496
thinkgiraffe@bellnet.ca

PROJECT

Proposed Section 19
Basement Conversion
231 Walter Avenue
Hamilton, ON.

SHEET TITLE

A2.04-Foundation &
Basement Structure

FOLDER

FILE

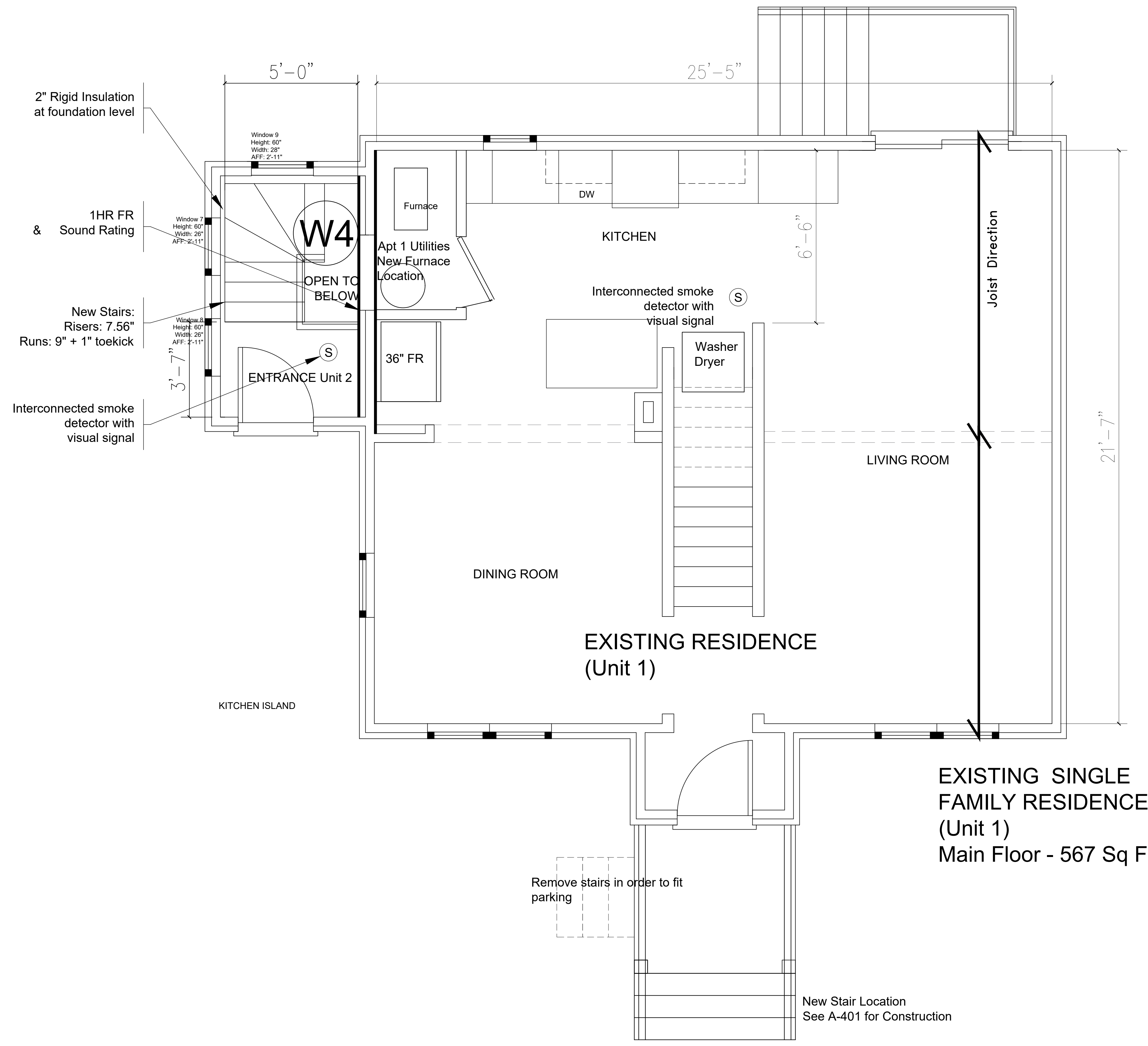
DATE

DRAWN BY

SCALE
1/4" = 1'-0"

NUMBER

A2.02



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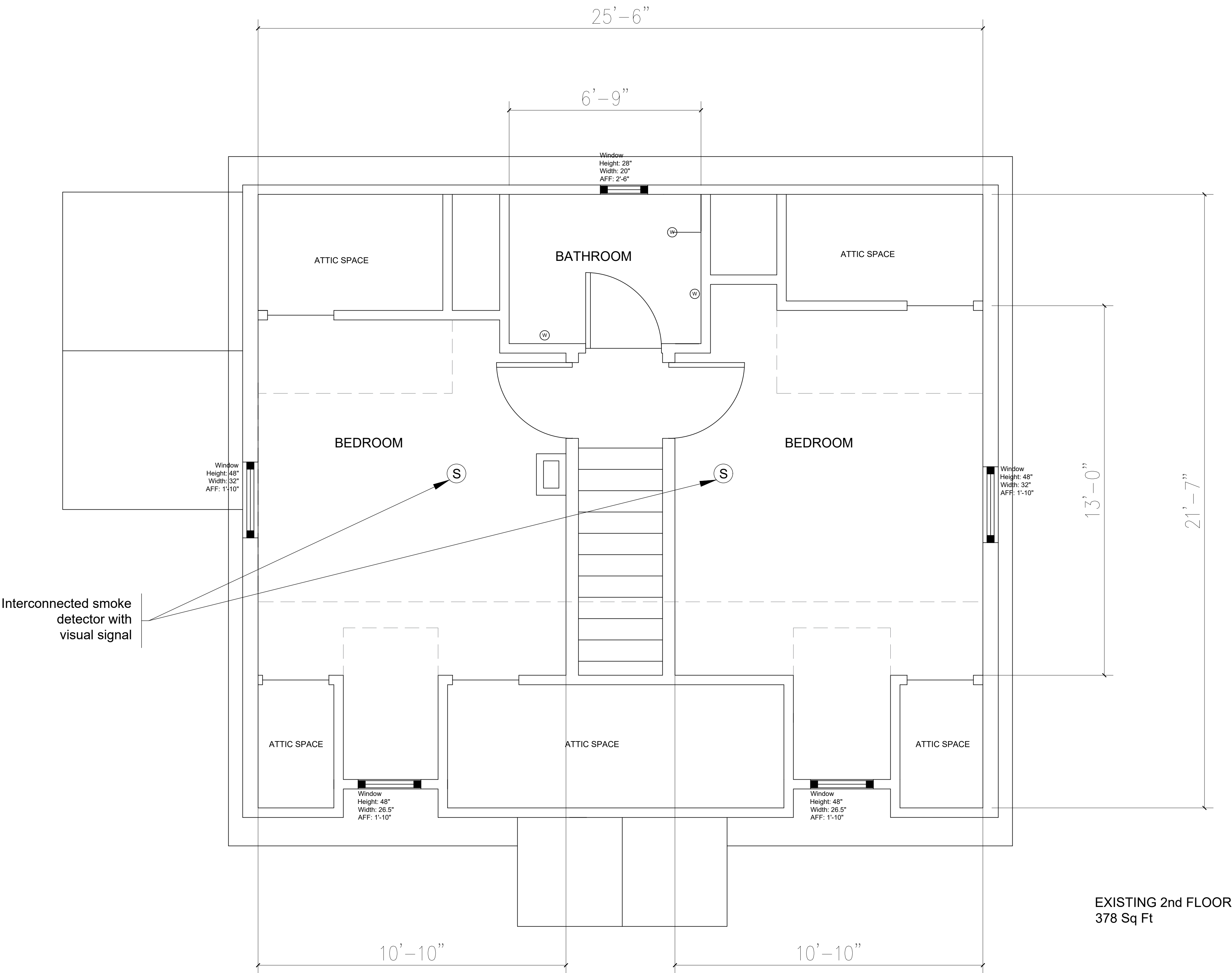
PROJECT

Proposed Section 19
Basement Conversion
231 Walter Avenue
Hamilton, ON.

SHEET TITLE
A2.01 - Main Floor
Conversion

FOLDER	DRAWN BY M
FILE	SCALE 1/4" = 1'-0"
DATE	NUMBER

A1.01



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ENVIRONMENTAL DESIGN
16 Sulphur Springs Road,
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905 304 1496
thinkgiraffe@bellnet.ca

PROJECT

Proposed Section 19
Basement Conversion
231 Walter Avenue
Hamilton, ON.

SHEET TITLE

A2.02 - Existing 2nd
Floor

FOLDER	DRAWN BY M
FILE	SCALE 1/4" = 1'-0"
DATE	NUMBER

A1.02



Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	ADDRESS
Registered Owners(s)	Cameron Shortt	
Applicant(s)*	Marina Fensham thinkGiraffe Design Inc	
Agent or Solicitor		

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

Section 19 Basement Apartment:

1. Proposed 48m² area does not meet 65m² required floor area
2. The two parking spots in the front yard is existing Encroachment on Boulevard of 1.37m.
3. There is an existing 0.9m side yard and 4.15m Front Yard. 1.2m and 7.5m Required

5. Why it is not possible to comply with the provisions of the By-law?

The basement area and entrance area are existing.

The 0.9m side yard and front yard 4.63m are existing

The two parking spots and front lot line are existing

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

231 Walter Ave S Hamilton

Current Building Permit Application 21-110626-00 R9

7. PREVIOUS USE OF PROPERTY

Residential ☒ Industrial ☐ Commercial ☐

Agricultural ☐ Vacant ☐

Other _____

- 8.1 If Industrial or Commercial, specify use _____

- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐ No ☐ Unknown ☐

- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐ No ☐ Unknown ☐

- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐ No ☐ Unknown ☐

- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐ No ☐ Unknown ☐

- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐ No ☐ Unknown ☐

- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐ No ☐ Unknown ☐

- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐ No ☐ Unknown ☐

- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes ☐ No ☐ Unknown ☐

Yes ☐ No ☐ Unknown ☐

8.11 What information did you use to determine the answers to 9.1 to 9.10 above?

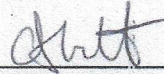
8.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ☐ No ☐

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

March 17 2021
Date


Signature Property Owner
Cameron Shatt
Print Name of Owner

10. Dimensions of lands affected:

Frontage	<u>12.1m</u>
Depth	<u>30.4m</u>
Area	<u></u>
Width of street	<u></u>

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _

Building Area: Existing and Proposed 66.03m

Gross Floor Area: Existing and Proposed: 151.73m²

1.5 Storey 7.27m

Existing Rear Yard Shed: 14m²

Proposed

Proposed Basement Apartment Area: 48.51m²

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

Building Area: Existing and Proposed 66.03m

Gross Floor Area: Existing and Proposed: 151.73m²

1.5 Storey 7.27m

Existing Rear Yard Shed: 14m²

Proposed:

Proposed Basement Apartment Area: 48.51m²

13. Date of acquisition of subject lands:
2020
14. Date of construction of all buildings and structures on subject lands:

15. Existing uses of the subject property:
SF Residential
16. Existing uses of abutting properties:
SF Residential
17. Length of time the existing uses of the subject property have continued:
Since Construction
18. Municipal services available: (check the appropriate space or spaces)
Water Yes _____ Connected Yes _____
Sanitary Sewer Yes _____ Connected Yes _____
Storm Sewers Yes _____
19. Present Official Plan/Secondary Plan provisions applying to the land:
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
21. Has the owner previously applied for relief in respect of the subject property?
☐ Yes ☒ No
If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
☐ Yes ☒ No
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

Minor Variance Application for 231 Walter Ave S, Hamilton (File No. HM/A-21:139) clarification/revisions to the plans:

- 1) The building setbacks shown on the Site Plan submitted do not match a 1979 survey in Building Division records. As such, it is suggested that you may wish to obtain a copy of this survey so that correct setbacks are shown including the setback to the re-located porch steps and the location of the porch to the basement dwelling unit (Apt 2). I have attached a copy of the City's Property Records Request form.

WE MEASURED TO THE EXISTING FENCES BUT YES, WE HAVE REQUESTED THE SURVEY

- 2) Drawing A2.01 indicates that the "Basement Apartment Area" includes the stairs and landing. Can you please confirm that this area is only used by this unit and does not include Apt # 1 (Main and 2nd floor unit). The gross floor area of a dwelling unit cannot include any shared spaces.

THE ENTRANCE TO BASEMENT APT 2 IS NOT SHARED AND I INCLUDED THE MAIN FLOOR PLAN TO SHOW.

- 3) Please reconfirm the: front yard area, the front yard landscaped area and the front yard driveway area. The front yard is the setback to the closest part of the building to the front lot line which is the bump-out portion which contains the front door to Apt # 1. These numbers should be revised on the Site Statistics.

I RECALCULATED THE AREA. SEE SITE STATISTICS

Further, there are discrepancies respecting the front yard landscaped area as the Site Statistics indicate a "front yard green space area of 23.3m²"; however, the Site Plan shows a 21.3m² landscaped area. Further, the landscaped area dimensions show a 4.63m length x 4.15m width = 19.2m².

SEE THE 2.0m² STRIP TO THE NORTH SIDE OF THE DRIVEWAY. WE ADDED THAT AS LANDSCAPED AREA. THE REVISED SITE PLAN SHOW THREE AREAS: IN FRONT OF THE BASEMENT APARTMENT 2, THE STRIP TO THE NORTH OF THE DRIVEWAY AND THE "LAWN" TO THE SOUTH OF THE DRIVEWAY.

- 4) Can you please advise if the external appearance of the dwelling is being altered. The photo of the front of the dwelling indicates that the direction of the front porch steps is being changed. Are there any other alterations? I have attached a copy of Building Policy ZON-028 which indicates which alterations shall not be considered an alteration to the external appearance and character of the dwelling

NO ALTERATIONS (THAT IS WHY WE INCLUDED THE PHOTO)

- 5) As the steps on the roofed-over unenclosed one storey porch at the first storey to Apt 1 are being relocated, additional information is required to be provided as it appears a variance will be required. Please revise the Site Plan to show the setback of the relocated stairs from the front lot line. SEE DIMENSION ADDED

Further, the roofed-over one storey front porch at the 1st storey to Apt # 2, including its stairs shown on the photo on the Site Plan has not been shown on the Site Plan. As such, please revise

the Site Plan to show this porch, roof and stairs including its setback from the front lot line and north side lot line in order to determine zoning compliance. Also, please indicate required information in the chart below.

[SEE DIMENSION ADDED](#)

Below is a chart with the regulations for a roofed-over unenclosed one storey porch at the 1st storey. Information for the porches to both Apts 1 and 2 is required to determine zoning compliance.

	Required	Proposed	Conforms/ Non-conforming	Variance Required
Maximum Front Yard Encroachment for a Roofed-over unenclosed one storey porch at the 1st storey <i>[Section 18(3)(vi)(d)]</i>	A roofed-over or screened but otherwise unenclosed one-storey porch at the first storey level, including eaves and gutters, may project into a required front yard (being 6.0m) to a distance of not more than 3.0m and every such projecting porch shall be distant at least 1.5m from the front lot line <i>As such, the roofed-over front porch, including its eaves, gutters and stairs, may project a maximum of 3.0m into the minimum required 6.0m front yard and shall be at least 3.0m from the front lot line</i>	The setback for the relocated steps on the roofed-over one storey front porch at the 1 st storey to Apt # 1 from the front lot line has not been shown	<i>Unable to determine compliance</i> 1.1m	<i>Unable to determine</i>
		The roofed-over one storey front porch at the 1 st storey to Apt # 2 from the front lot line has not been shown	<i>Unable to determine compliance</i> 1.9m	<i>Unable to determine</i>
	(i) the porch may have a solid guard around the perimeter of the porch not more than 1.0m in height measured from the floor of the porch	Details have not been provided for the front porches for both Apt 1 or Apt 2	<i>Unable to determine compliance</i> SEE PHOTO NO SOLID GUARD	<i>Unable to determine</i>
	(ii) the roof may be supported on columns or piers having maximum width of 0.5m	Details have not been provided for the front porches for both Apt 1 or Apt 2	<i>Unable to determine compliance</i> 0.15m	Unable to determine

	(iii) the beam, lintel or crown of an arch shall be no more than 0.3m in depth	Details have not been provided for the front porches for both Apt 1 or Apt 2	Unable to determine compliance SEE PHOTO. ALUMINUM AWNING THEREFORE NO BEAMS OR LINTELS	Unable to determine
	(iv) the minimum distance between piers or columns shall be 1.0m and in the case of arches, the arches shall have a minimum clear width of 1.0m	Details have not been provided for the front porches for both Apt 1 or Apt 2	Unable to determine compliance 1.55m Between supports for aluminium cover at Apartment 1 Basement Apartment 2 just has an awning with no supports	Unable to determine

- 6) Be advised that as the required 6.0m parking space length cannot be provided on the lot and as a 1.37m portion of the parking space length is shown on the Walter Ave S road allowance, these cannot be considered "parking spaces". As such, the required variance would be to permit 0 parking spaces instead of the minimum required 2 parking spaces. Therefore, a variance would not be required to permit two parking spaces in the front yard as they are not considered "parking spaces".

CAN WE NOT HAVE AN ENROACHMENT AGREEMENT FOR THE TWO SPOTS? A PLANNER SUGGESTED THAT ON ANOTHER PROJECT. CAN YOU PLEASE CHECK? Thx!

- 7) Can you please show the setback of the shed from the south and north side lot lines and the rear lot lines. Further, if this shed had eaves and gutters, please show the setback of the eaves and gutters from the side lot lines and rear lot lines. Additionally, please show the shed height.
SEE REVISED SITE PLAN

In order for your application to be heard at the May 20, 2021 Committee of Adjustment hearing, this information is required to be emailed no later than 4:30 pm on Monday, April 26, 2021. Be advised that if the information is received after the required date, your application may be held over to a future hearing as scheduled by Committee of Adjustment staff.

Regards,

Kim Roberts

Zoning Examiner
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