

### **COMMITTEE OF ADJUSTMENT**

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5 Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202 E-mail: <u>cofa@hamilton.ca</u>

# NOTICE OF PUBLIC HEARING Minor Variance

#### You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.	: HM/A-21:273
APPLICANTS:	Agent Len Angelici Owner J. McCutcheon
SUBJECT PROPER	RTY: Municipal address 207 Beach Blvd., Hamilton
ZONING BY-LAW:	Zoning By-law 6593, as Amended
ZONING:	"C/S-1435" (Urban Protected Residential, etc.) district
PROPOSAL:	To demolish the existing two (2) storey single family dwelling, and construct a new three (3) storey single family dwelling, notwithstanding that;

1. A maximum building height of three (3) storeys and 11.12 metres in height shall be permitted, instead of the maximum permitted building height of two and a half (2.5) storeys and 11.0 metres.

2. A minimum 1.23 metre northerly side yard width and a minimum 1.23 metre southerly side yard width shall be permitted instead of the minimum 1.5 metre side yard width required.

3. An eave/gutter shall be permitted to project a maximum of 0.81 metres into the required easterly side yard and may be as close as 0.42 metres to the easterly lot line instead of the maximum 0.75 metre projection permitted.

4. No onsite manoeuvring shall be provided for the three (3) required parking spaces provided in the attached garage instead of the requirement that a manoeuvring space abutting and accessory to each required parking space shall be provided and maintained on the lot

Note:

1. Please note that the elevation drawings submitted as part this application do not indicate the "height" of the building as defined in Hamilton Zoning By-law No. 6593. The applicant shall confirm that building height has been indicated as per the definition of "height" and "grade" as established by the By-law.

2. From the materials provided, it appears the proposed attached garage can accommodate three (3) parking spaces. Please note that specific details regarding parking on the lot have not been indicated, including the width of the opening into the private garage, dimensions of parking spaces, material of driveway etc., to confirm zoning

compliance. Please note that additional variances may be required if compliance with Section 18A of Hamilton Zoning By-law No. 6593 is not possible.

3. Please be advised that a portion of this property is under Conservation Management. Please contact Hamilton Conservation prior to any development.

This application will be heard by the Committee as shown below:

## DATE: Thursday, September 9th, 2021 TIME: 3:35 p.m. PLACE: Via video link or call in (see attached sheet for details) To be streamed at <u>www.hamilton.ca/committeeofadjustment</u> for viewing purposes only

#### PUBLIC INPUT

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

#### MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

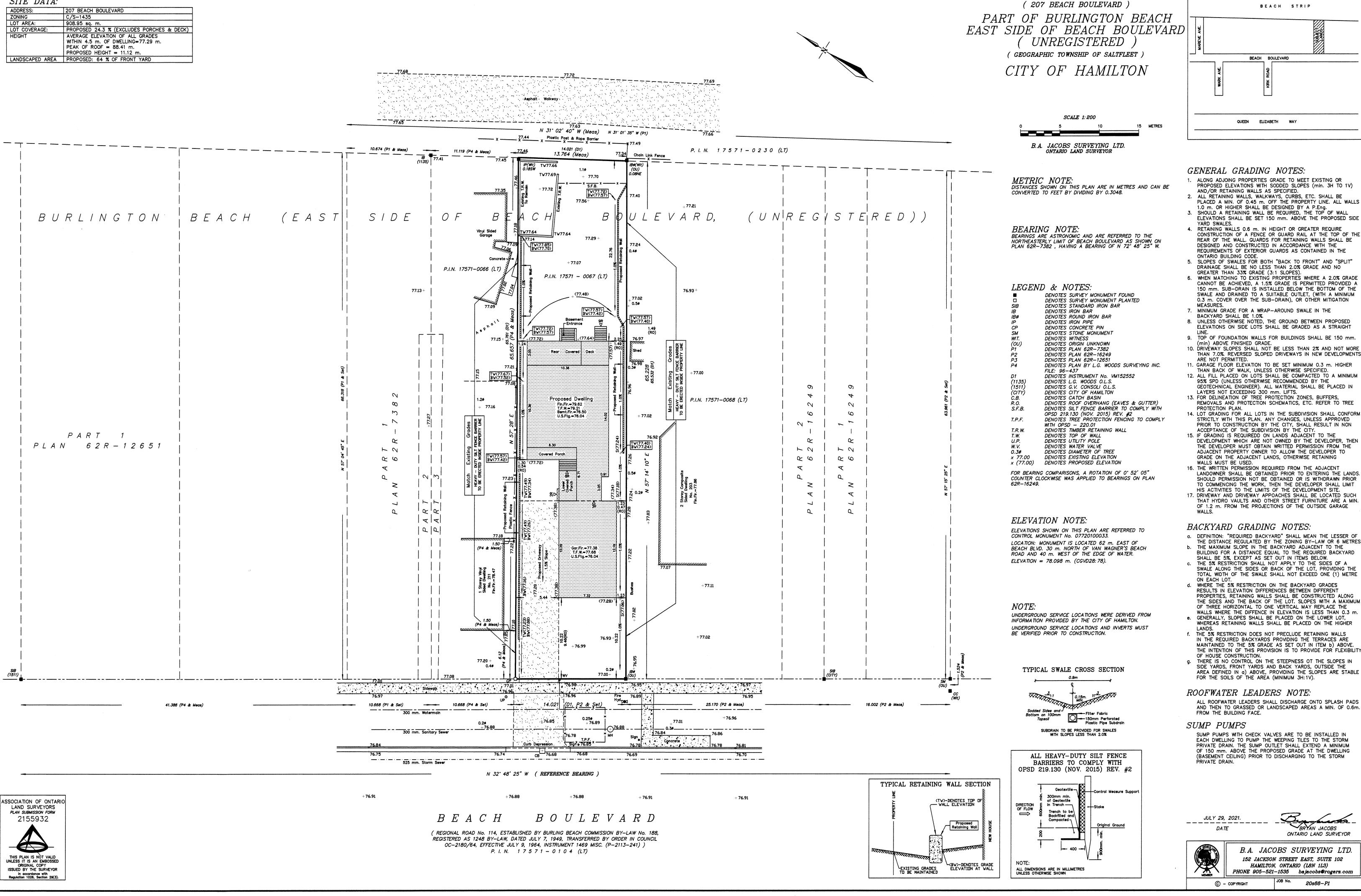
- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at <a href="mailto:cofa@hamilton.ca">cofa@hamilton.ca</a>

DATED: August 24th, 2021.

Jamila Sheffield, Secretary-Treasurer Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

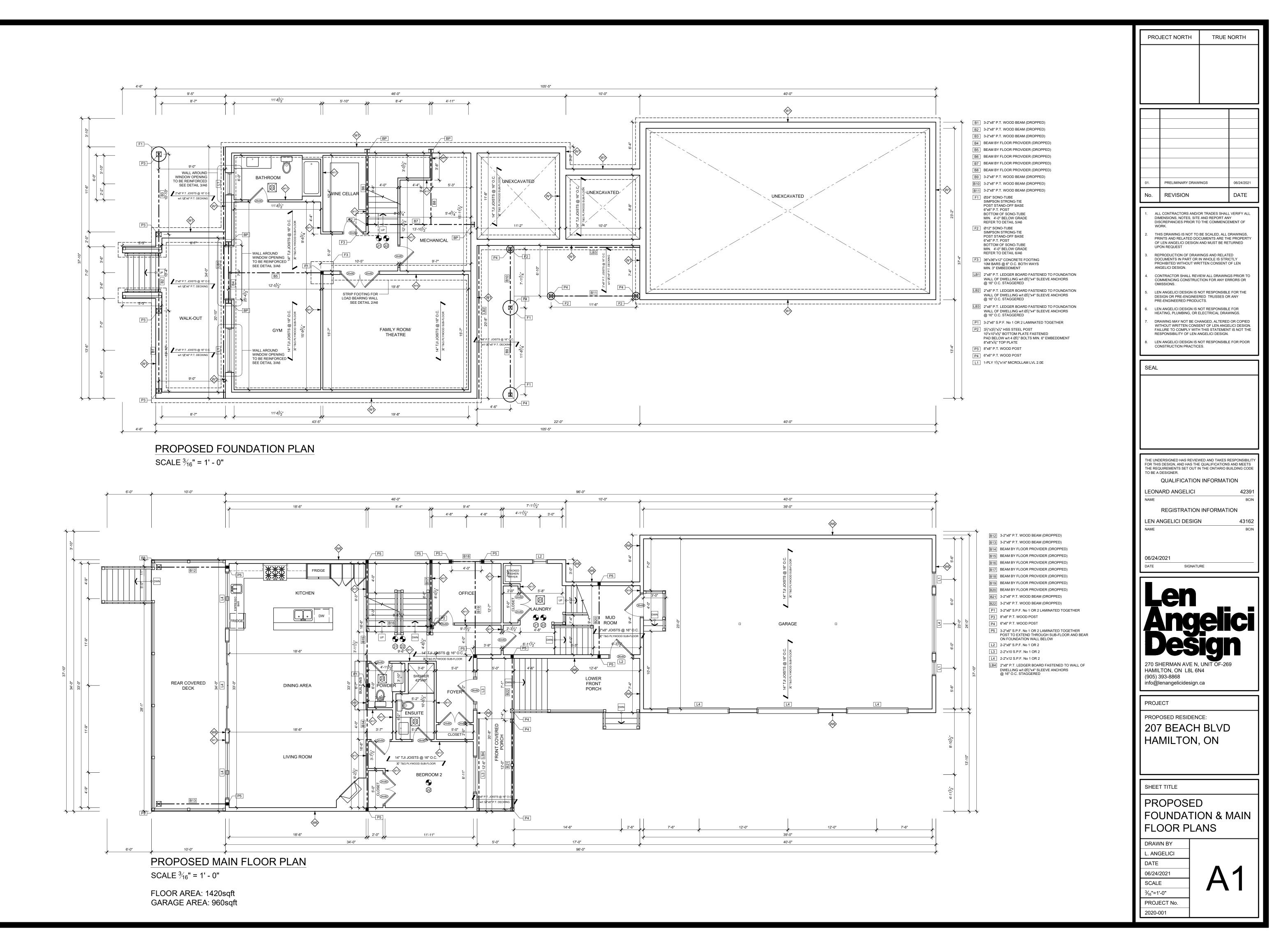
SITE DATA:	207 BEACH BOULEVARD
ZONING	C/S-1435
LOT AREA:	908.95 sq. m.
LOT COVERAGE:	PROPOSED 24.3 % (EXCLUDES PORCHES & DECK
HEIGHT	AVERAGE ELEVATION OF ALL GRADES WITHIN 4.5 m. OF DWELLING=77.29 m. PEAK OF ROOF = 88.41 m. PROPOSED HEIGHT = 11.12 m.
LANDSCAPED AREA	PROPOSED: 64 % OF FRONT YARD

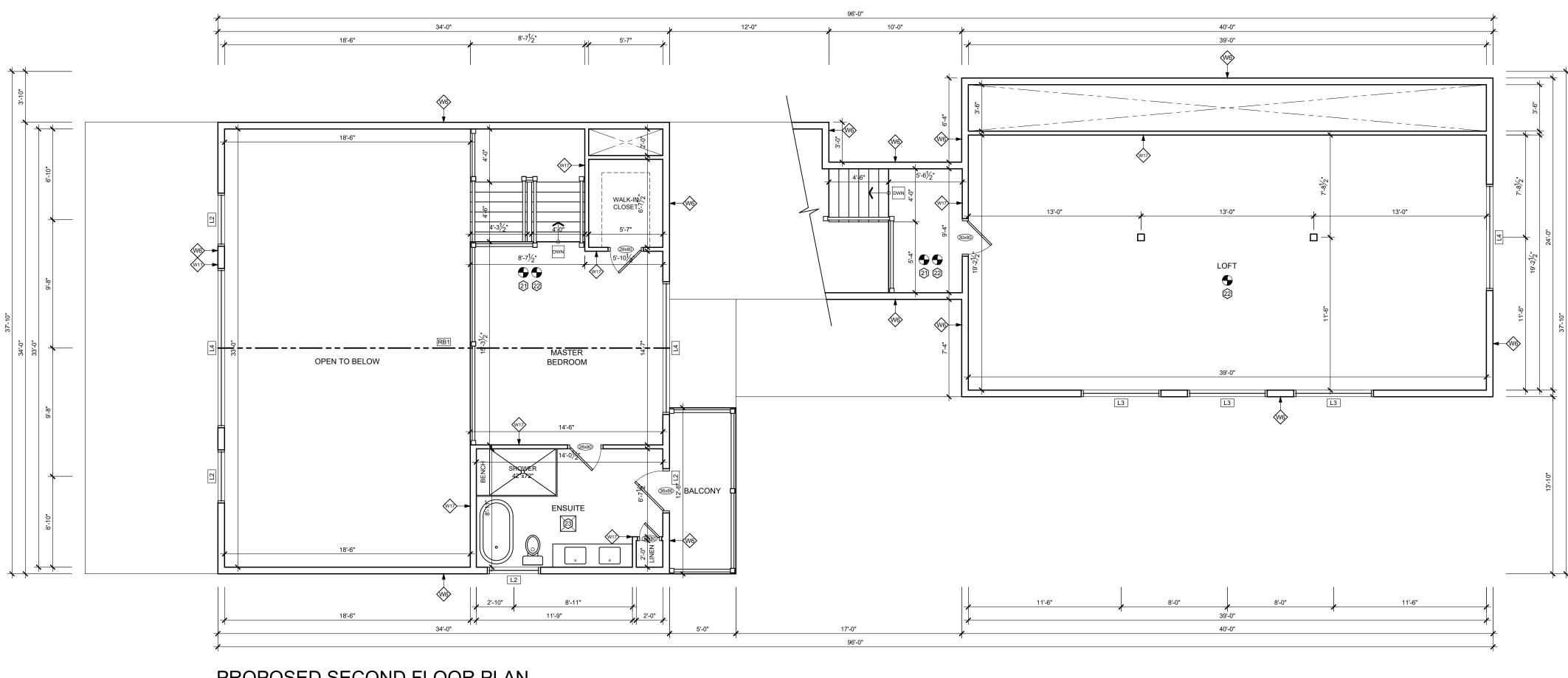


LAKE ONTARIO

KEY PLAN (Not to Scale)

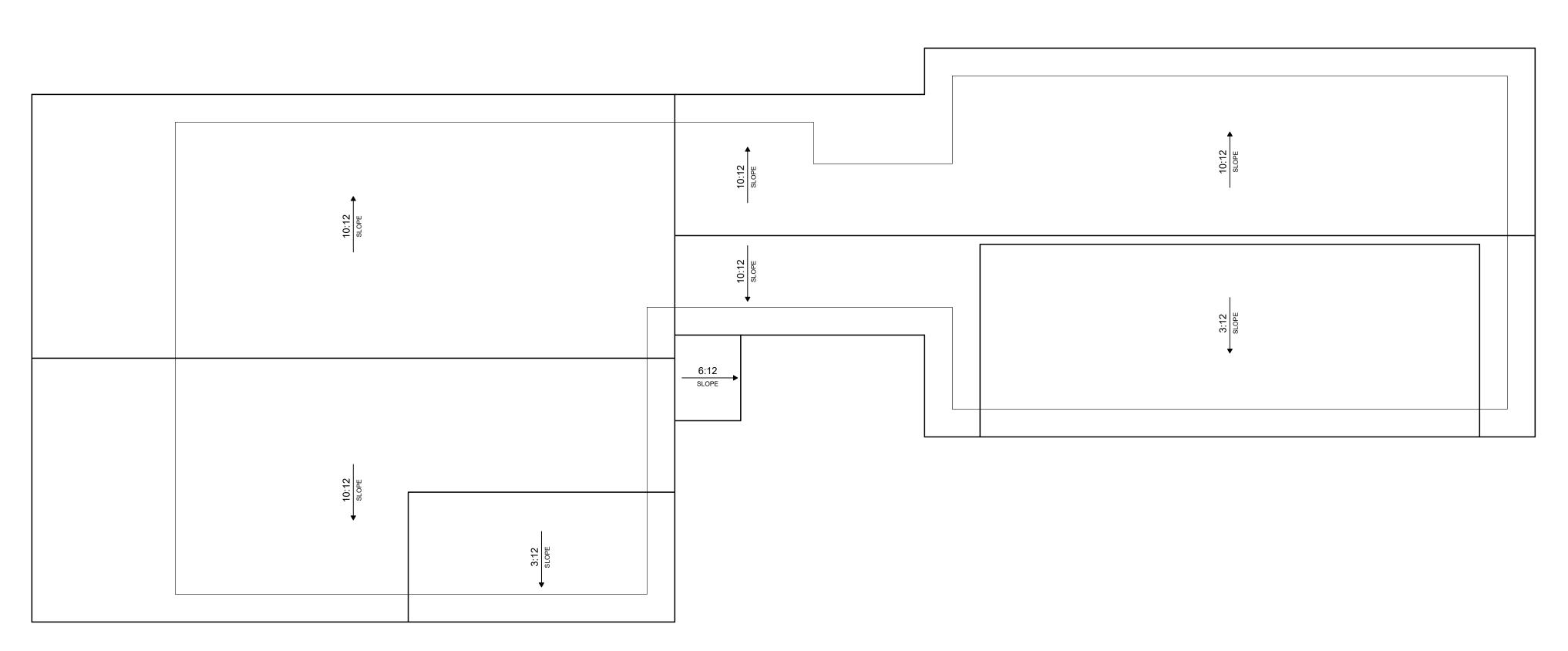
PLAN SHOWING PROPOSED DWELLING AND GRADING





PROPOSED SECOND FLOOR PLAN SCALE <sup>3</sup>/<sub>16</sub>" = 1' - 0"

FLOOR AREA: 1288sqft



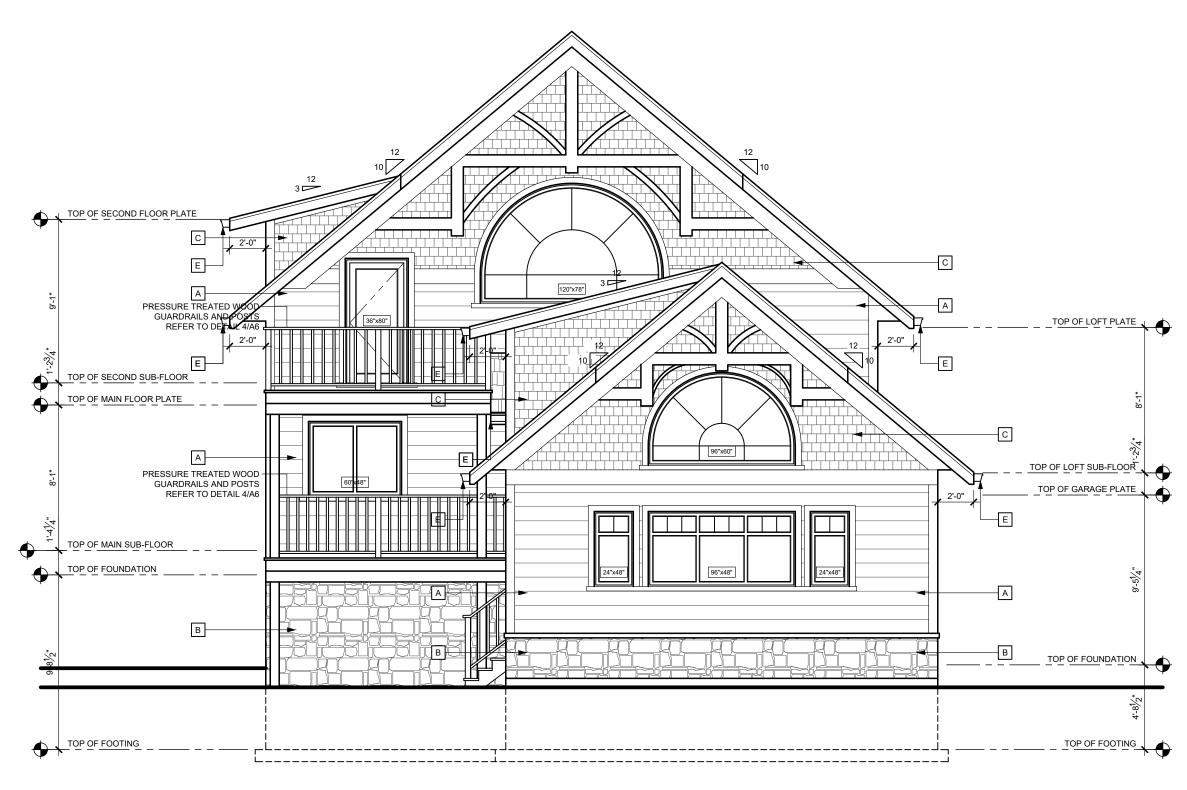
ROOF PLAN SCALE <sup>3</sup>/<sub>16</sub>" = 1' - 0"

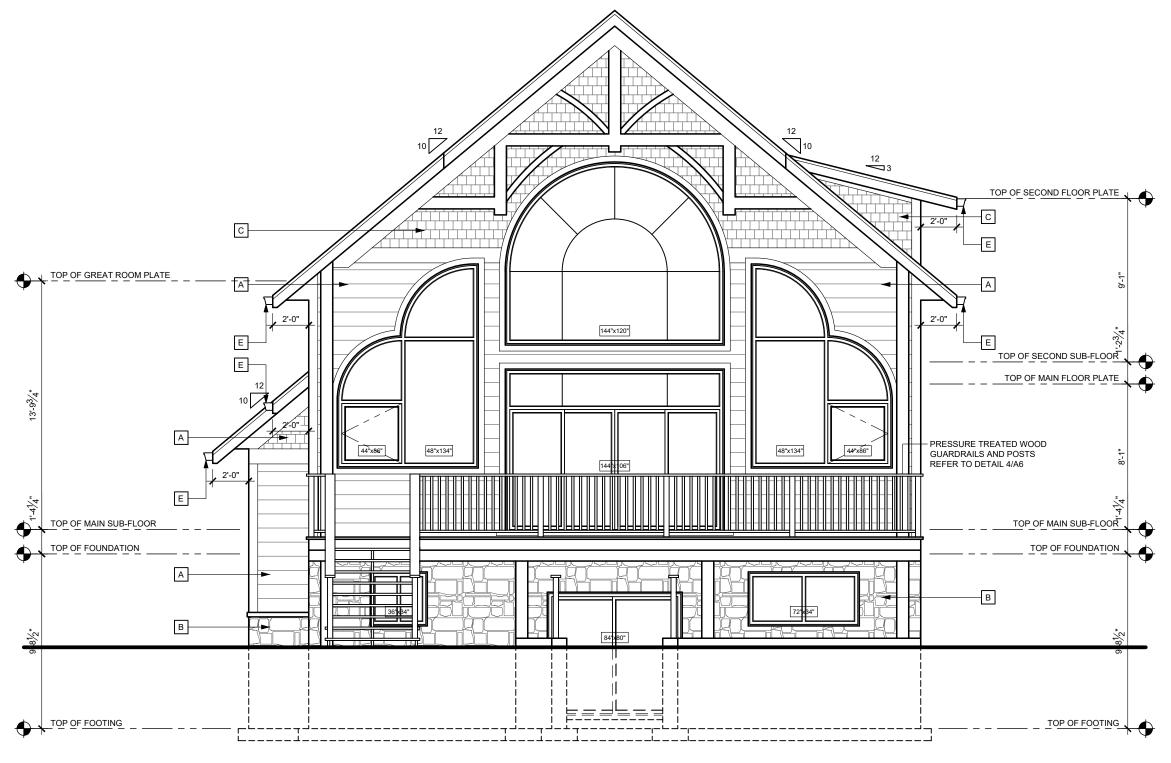


### RB1 RIDGE BEAM RB2 RIDGE BEAM L2 2-2"x8" S.P.F. No 1 OR 2

L3 2-2"x10 S.P.F. No 1 OR 2 L4 2-2"x12 S.P.F. No 1 OR 2

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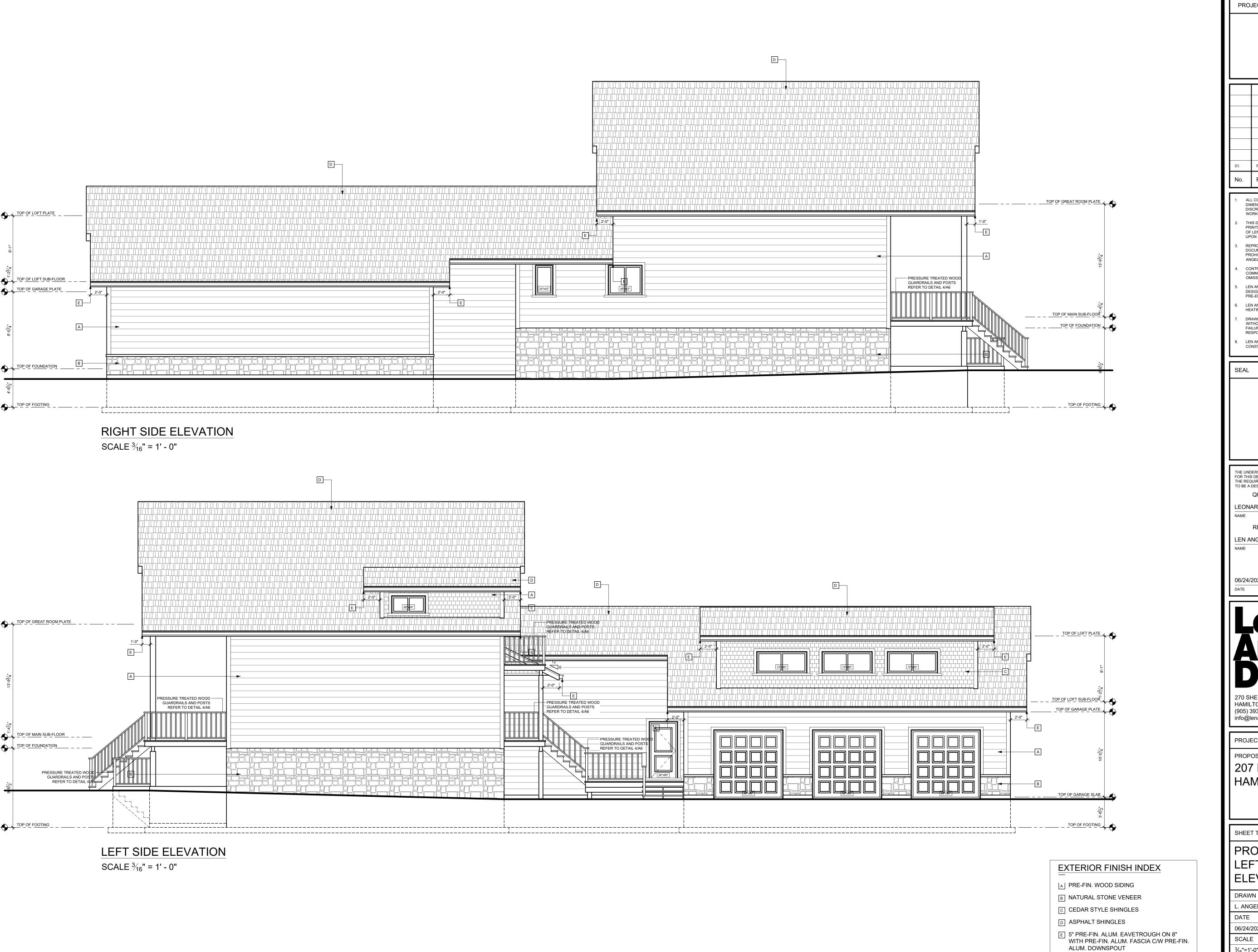
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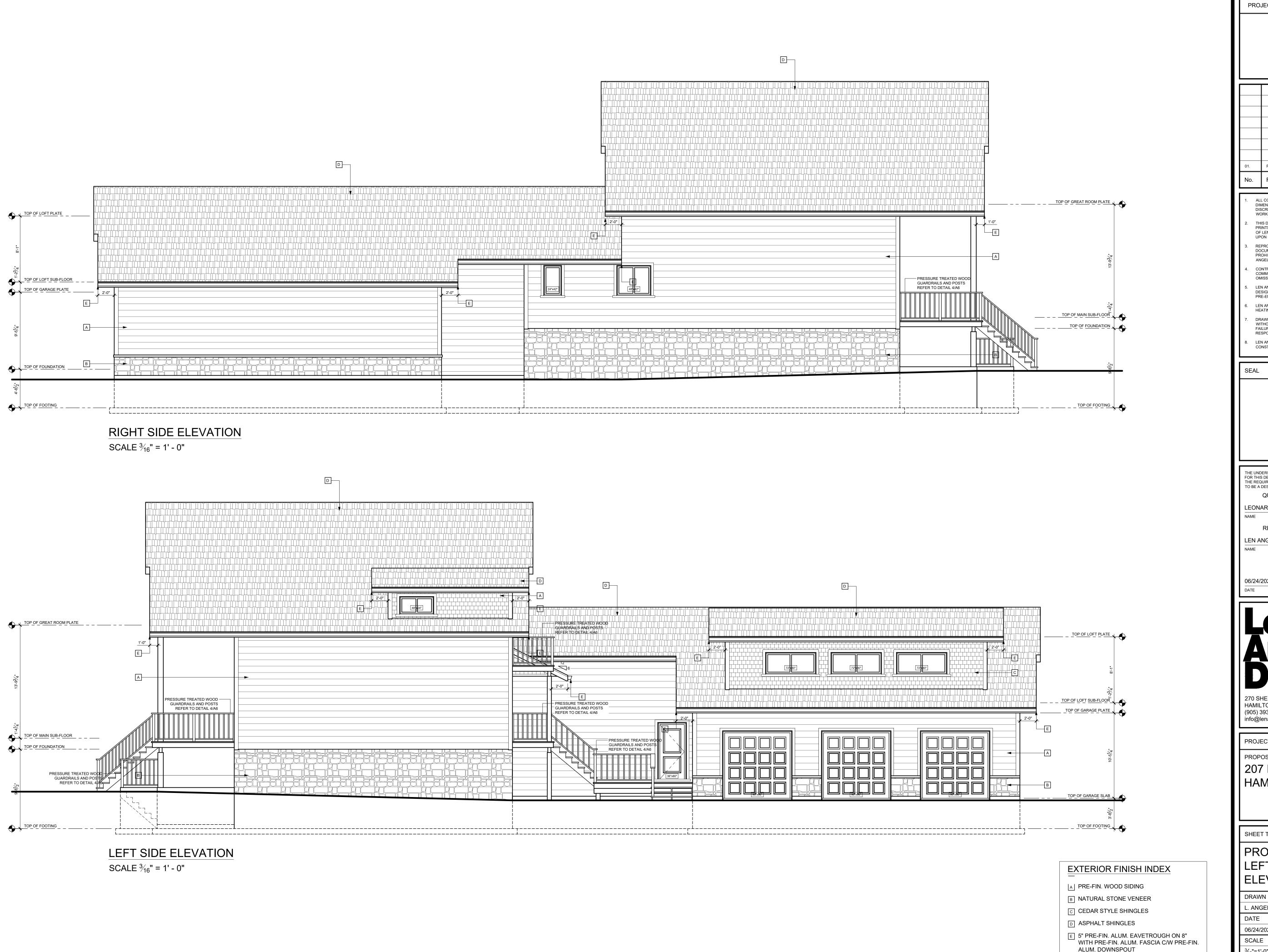
**REAR ELEVATION** SCALE <sup>3</sup>/<sub>16</sub>" = 1' - 0"

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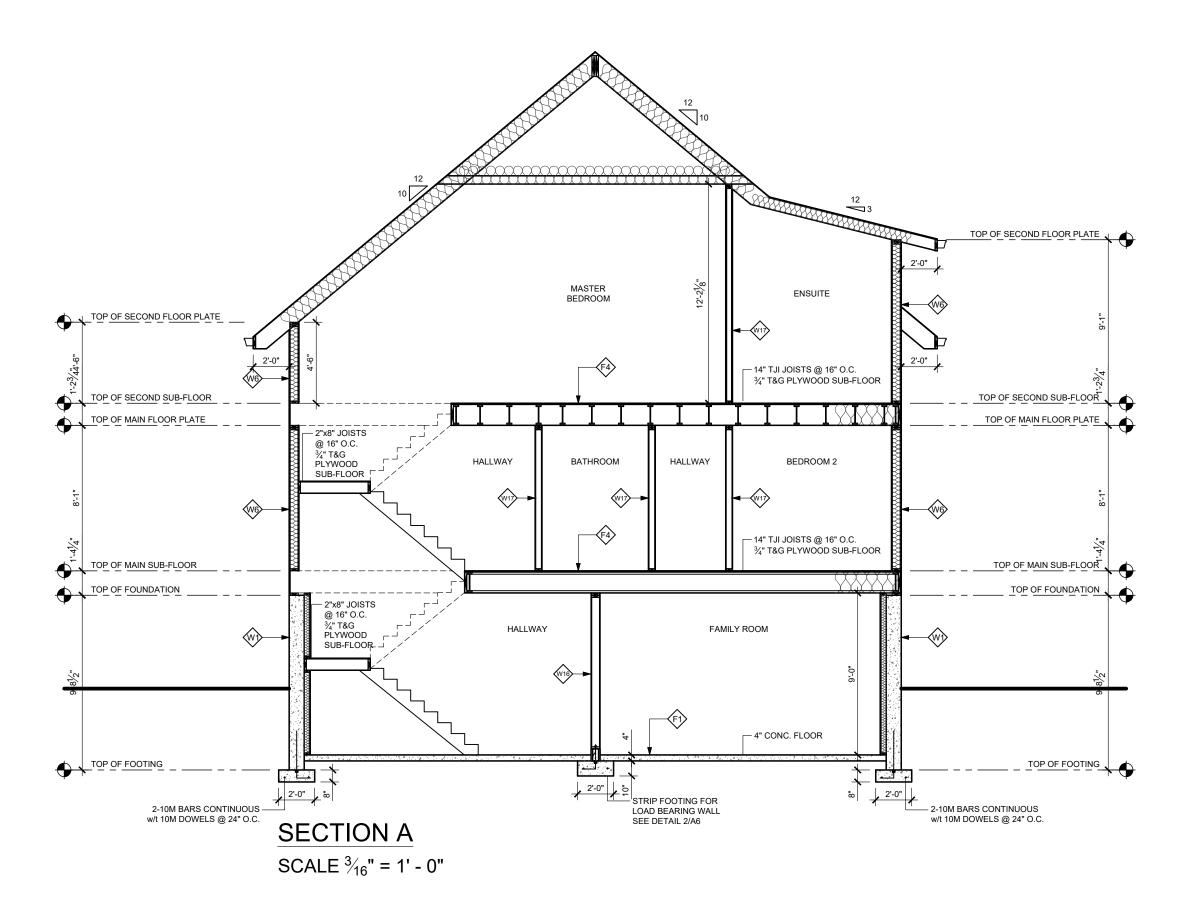
# EXTERIOR FINISH INDEX

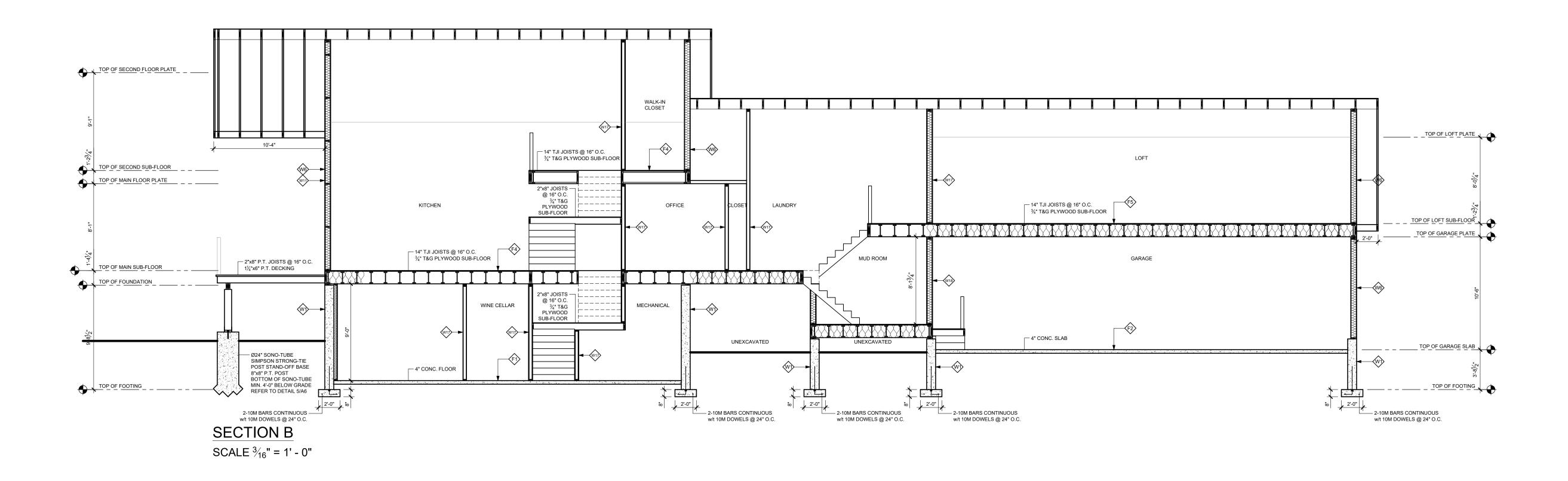
- A PRE-FIN. WOOD SIDING
- B NATURAL STONE VENEER
- C CEDAR STYLE SHINGLES
- D ASPHALT SHINGLES
- E 5" PRE-FIN. ALUM. EAVETROUGH ON 8" WITH PRE-FIN. ALUM. FASCIA C/W PRE-FIN. ALUM. DOWNSPOUT





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# ASSEMBLIES

CONCRETE LATERALLY SUPPORTED FNDT-WALLS/FOOTINGS: (10") POURED CONC. FDTN. WALL 20 MPa (2900psi) MIN WITH BITMUMENOUS DAMPROOFING AND DRAINAGE LAYER w/t (R20c.i) MAX BACKFILL HEIGHT IS 2740mm (9'-0"). MAXIMUM POUR HEIGHT IS 3050mm (10'-2") ON 500x155 (20"x6") CONTINUOUS KEYED CON. FTG (TYP). BRACE FNDT WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OF 75KPA OR COMPACTED ENGINEERE FILL WITH MIN. BEARING COMPACITY OF 150MPa OR GREATER. (SEE SOIL REPORT)

FOUNDATION WALL ASSEMBLIES

- MASONRY LATERALLY SUPPORTED FNDT-WALLS: 250MM (10') CONC-BLOCK. FDTN. WALL PARGED WITH BITUMENOUS DAMPROOFING AND DRAINAGE LAYER, MAX BACKFILL HEIGHT IS 2740mm (9'-0"). MAXIMUM HEIGHT IS 3050mm (10'-2") ON 500x155 (20"x6") CONTINUOUS ON KEY CON, FTG. (TYP). BRACE FNDT WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OF 75KPA OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 150MPa OR GREATER. (SEE SOIL REPORT)
- CONCRETE LATERALLY UNSUPPORTED FNDT WALL: 200mm (8") POURED CONC. FDTN. WALL 20 MPa (2900psi) MIN WITH BITMUMENOUS DAMPROOFING AND DRAINAGE LAYER. MAX BACKFILL HEIGHT IS 1200mm (3'-11"). MAXIMUM POUR HEIGHT IS 2500mm (8'-2") ON 500x155 (20"x6") CONTINUOUS KEYED CON. FTG (TYP). BRACE FNDT WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OF 75KPA OR COMPACTED ENGINEEREI FILL WITH MIN. BEARING COMPACITY OF 150MPa OR GREATER. (SEE SOIL REPORT)
- MASONRY LATERALLY UN SUPPORTED FNDT-WALLS: 240MM (10') CONC-BLOCK. FDTN. WALL PARGED WITH BITUMENOUS DAMPROOFING AND DRAINAGE LAYER MAX BACKFILL HEIGHT IS 1200mm (3'-11"). MAXIMUM HEIGHT IS 2500mm (8'-2") ON 500x155 (20"x6") CONTINUOUS ON KEY COI FTG. (TYP). BRACE FNDT WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OF 75KPA OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 150MPa OR GREATER. (SEE SOIL REPORT)
- GRADE FOUNDATION WALL: 200mm (8") POURED CONC. FDTN. WALL 20 MPa (2900psi) MAXIMUM POUR HEIGHT IS 2500mm (8'-2") ON 500x155 (20"x6") ONTIMUOUS KEYED CON. FTG. (TYP), 1200mm (3'-11") BELOV GRADE, bRACE FNDT WALL PRIOR TO BACKFILLING, ALL OOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OF 75KPA OR COMPACTED ENGINEERED FILL WITH MIN BEARING CAPACITY OF 150MPa OR GREATER. OUTSIDE OF FOUNDATION TO BE INSULATED WITH 2" RIGID INSULATION MIN (2'-0") BELOW

#### ABOVE GRADE WALL ASSEMBLIES

- SIDING WALL CONSTRUCTION (2"x6") SIDING ACCORDING TO OBC 9.27.13 AS PER ELEVATION, WITH OSB SHEATHING MEMBRANE 9.5mm (%"), AS PER ELEVATION, WITH TYVEK MEMBRANE ON 1/2" EXTERIOR TYPE 30x140 (2"x6") TUDS @ 400mm (16") O.C. RSI 4.23 (R24) OR RSI 3.87 (R2 INSULATION AND CONTINUOUS 0.15 (6 mil) POLYETHYLENE VAROUR BARRIER, 13mm, (%") INT. DRYWALL FINISH.
- STUCCO WALL CONSTRUCTION (2"x6") STUCCO ACCORDING TO OBC 9.28. AS PER ELEVATION, WITH OSB SHEATHING MEMBRANE 9.5mm (3/8"), AS PER ELEVATION, WITH TYVEK MEMBRANE ON 1/2" EXTERIOR TYPE 30x140 (2"x6") STUDS @ 400mm (16") O.C. RSI 4.23 (R24) OR RSI 3.87 (R22) INSULATION AND CONTINUOUS 0.15 (6 mil) POLYETHYLENE VAROUR BARRIER, 13mm, (%") INT. DRYWALL FINISH.
- SIDING OR STUCCO WALL CONSTRUCTION (2"x4") SIDING ACCORDING TO OBC 9.27.13 AS PER ELEVATION, WITH OSB SHEATHING MEMBRANE 9.5mm (3/8"), AS PER ELEVATION, WITH TYVEK MEMBRANE ON <sup>1</sup>/<sub>2</sub>" EXTERIOR TYPE 30x140 (2"x6") STUDS @ 400mm (16") O.C. STRAPPED WITH 38x140 (2"x6") STUDS @ 400mm (16") O.C. STRAPPED WITH 38x140 (2"x6") STUDS AND CONTINUOUS 0.15 (6 mil) POLYETHYLENE VAPOUR BARRIER, 13mm, (1/2") INT. DRYWALL FINISH.
- BRICK VENEER OR STONE WALL CONSTRUCTION (2"x6") 90mm (4") FACE BRICK/STONE, 25mm (1") AIR SPACE 22x180x0.76 (7/8"x7"x0.03) GALV. METAL TIES @ 400MM (16") O.C. HORIZONTAL 600MM (24") O.C. VERTICAL MTL. TIES TO IN CONTACT WITH WOOD STUD ONLY. APPROVED ASPHALT BUILDING PAPER OR YVEK, 9.5mm (3/8") OSB SHEATHING, 38x140 (2"x6") STUDS @ 400 O.C. (16") O.C. RSI 4.23 (R24) OR RSI 3.87 (R22) BATT INSULATION 0.15 (6 mil) POLYETHYLINE VAPOUR BARRIER AND AIR BARRIER, 13mm (%") INT. DRYWALL FINISH, PROVIDE WEEP HOLES @ PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER.
- BRICK VENEER OR STONE WALL CONSTRUCTION (2"x4") 90mm (4") FACE BRICK/STONE, 25mm (1") AIR SPACE 22x180x0.76 (%"x7"x0.03) GALV. METAL TIES @ 400MM (16") O.C. HORIZONTAL 600MM (24") O.C. VERTICAL MTL. TIES TO IN CONTACT WITH WOOD STUD ONLY. APPROVED ASPHALT BUILDING PAPER OR TYVEK 9.5mm (3/") OSB SHEATHING 38x140 (2"x4") STUDS @ 400 C. (16") O.C. STRAPPED WITH 38x140 (2x6) STUDS @ 400mm (16") O.C RSI 4.23 (R24) OR RSI 3.87 (R22) BATT INSULATION, 0.15 (6 mil) POLYETHYLINE VAPOUR BARRIER AND AIR BARRIER  $(2^{+})$  INT. DRYWALL FINISH, PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER.
- HIGH WALL CONSTRUCTION OPTION A CONSTUCTED AS W6 OR W7 OR W8 OR TWO OF. FOR A MAXIMUM WALL HEIGHT OF 5490mm (18'-0") PROVIDE 2-38x140 (2-2"x6") @ 300mm (12") SPR. #2 CONTINUOUS STUDS PROVIDE 2 ROWS OF SOLID BLOCKING BTW STUDS AT SPACED AT 1825mm (6'-0"), (OR AS PER ENGINEERS REPORT)
- HIGH WALL CONSTRUCTION OPTION B CONSTRUCT USING PRE-ENGINEERED WOOL (SEE SHOP DWG FOR LUMBER SUPPLIER)
- BASEMENT INSULATION RSI 3.52 (R20) MIN. INSULATION BLANKET OR BATTS WITH 38x140 (2"x6") STUD WALL, AND APPROVED VAPOUR BARRIER FUL HEIGHT OF BASEMENT, WITH BUILDING PAPER B/T THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL
- WALL BETWEEN DWELLING AND GARAGE PROVIDE AND EFFECTIVE BARRIER TO GAS AND EXHAUST FUMES BETWEEN THE GARAGE AND DWELLING UNIT OVER GARAGE WITH RSI 4.40 (R22) INSULATION B/T JOISTS. TAPE AND SEAL ALL JOINTS GAS TIGHT.

#### INTERIOR WALL ASSEMBLIES

- 2X4 INTERIOR LOAD BEARING WALL FOR BEARING PARTITIONS 38x89 (2X4) 400mm (16") O.C. FOR 2 STOREYS AND 300MM (12") O.C FOR 3 STOREYS W/T 38x89 (2x4) BOTTOM PLATE AND 2-38x89 (2-2x4) TOP PLATE, 13mm (1/2") INT. DRYWALL BOTH SIDES OF STUDS, PROVIDE ASHLAR BLOCK WHEN LOCATED IN BASMENT ANCHORED 3'-0" O.C.
- 2X6 INTERIOR LOAD BEARING WALL FOR BEARING PARTITIONS 38x140 (2X6) 400mm (16") O.C. FOR 2 STOREYS AND 300MM (12") O.C FOR 3 STOREYS W/T 38x140 (2x6) BOTTOM PLATE AND 2-38x140 (2-2x6) TOP PLATE, 13mm (1/2") INT. DRYWALL BOTH SIDES OF STUDS, PROVIDE ASHLAR BLOCK WHEN LOCATED IN BASMENT ANCHORED 3'-0" O.C. SEE DETAIL 2/A6 FOR FOOTING SPECS.
- 2x4 / 2X6 INTERIOR NON-LOAD BEARING WALLS -INTERIOR PARTITIONS 38x89 (2x4) 400mm (16") O.C. W/T 38x89 (2x4) BOTTOM PLATE AND 38x89 (2-2x4) TOP PLATE, 13mm (<sup>1</sup>/<sub>2</sub>") T. DRYWALL BOTH SIDES OF STUDS. -INTERIOR PARTITIONS 38x140 (2x6) 400mm (16") O.C. W/T 38x140 (2x6) BOTTOM PLATE AND 38x140 (2-2x6) TOP PLATE, 13mm ( $\rlap{l}{2}'')$  INT. DRYWALL BOTH SIDES OF STUDS.
- DWELLING UNIT AND GARAGE SEPARATION DOORS AND WALLS BETWEEN THE GARAGE AND DWELLING UNIT SHALL PROVIDE AND EFFECTIVE BARRIER TO GAS AND EXHAUST FUMES AND DOORS SHALL BE FITTED WITH A SELF-CLOSING DEVICE. INSTALL W/T 13mm (1/2") GYPSUM BOARD ON WALL AND CFILING B/T HOUSE HOUSE AND GARAGE, RSI 5.46 (R31) IN WALLS, TAPE AND SEAL ALL JOINTS GAS TIGHT.
- FLOOR ASSEMBLIES BASEMENT SLAB 75mm (4") CONCRETE SLAB 25MPa (2950 PSI) AFTER 28 DAYS ON WITH 6"x6"x6%" W.W.M ON 6" COURSE GRANULAR MATERIAL PROVIDE BOND BREAKER MATERIAL B/T SLAB AND FOOTING EVERY BASEMENT SHALL BE PROVIDED WITH A FLOOR DRAIN

W/T A TRAP SEAL PRIMER.

- GARAGE SLAB 100mm (4") CONCRETE SLAB 32MPa (4650 PSI) AFTER 28 DAYS 5-8% AIR ENTRAINMENT, REINFORCED WITH 10M BARS @ 300mm (12") O.C. EACH WAY DOWELED INTO FOUNDATION WALL, 6" COURSE GRANULAR MATERIAL. SLOPE SLAB 1% TO DRAIN.
- PORCH SLAB 125mm (5") CONCRETE SLAB 32MPa (4650 PSI) AFTER 28 DAYS 5-8% AIR ENTRAINMENT, REINFORCED WITH 10M BARS @ 300mm (12") O.C. EACH WAY IN BOTTOM THIRD OF SLAB. SLAB SHALL BEAR 75mm (3") MIN ON FOUNDATION WALL ANCHORED W/T 10N BENT DOWELS @ 600mm (24") O.C. SLOPE SLAB MIN. 1% FROM DOOR, PROVIDE 4" AND AT FRUIT CELLAR DOOR, GREAT THAN 8'-2" SEE ENGINEERS DRAWING.
- SUBFLOORING, JOIST SYSTEM 19mm <sup>3</sup>/<sub>4</sub>" T&G SUBFLOOR ON WOOD FLOOR JOISTS AS PER PLANS. FOR CERAMIC TILE APPLICATION (\*SEE OBC 9.30.6\*) PROVIDE PANEL TYPE UNDERLAY UNDER RESILIENT @ PARQUET FLOORING. (\*SEE OBC 9.30.2.1.\*) ALL JOISTS TO BE NAILED, GLUED AND SCREWED AND BRIDGED W/T 38x38 (2"x2") CROSS BRACING OR SOLID BLOCKING @ 2100mm (6'-11") O.C. AND STRAPPING UNLESS A PANEL TYPE CEILING FINISH IS APPLIED (REFER TO SHOP DRAWINGS FOR PRE-ENG JOISTS FROM LUMBER SUPPLIER)
- FLOOR OVER GARAGE THE CONSTRUCTION AS PER F4 AND TO PROVIDE AND EFFECTIVE BARRIER TO GAS AND EXHAUST FUMES BETWEEN THE GARAGE AND DWELLING UNIT OVER GARAGE W/T A RSI 5.46 (R31) INSULATION B/T THE JOISTS. TAPE, SEAL ALL JOINTS GAS
- SLABS IN BASEMENT ABOVE FROST LINE BASEMENT SLABS AS PER F1 THAT ARE LOCATED LESS THAN 600mm (2'-0") BELOW GRADE SHALL BE INSULATED WITH RSI 1.76 (R10c,i) IF IT CONTAINS PIPING AND RSI 1.41 (R8) IF IT DOES NOT CONTAIN PIPING.

### **ROOF ENVELOPES**

- **ROOF CONSTRUCTION AS PER PRE-ENG SPEC'S** 30YR (MIN) ASHPHALT ROOF SHINGLES No. 210 (10.25KG/M2) ASPHALT SHINGLES. 10mm (%) PLYWOOD SHEATHING WITH "H" CLIPS APPROVED WOOD TRUSSES @ 600mm (24") O.C. MAX SELF-SEALING MEMBRANE TYPE EAVE ICE & WATER PROTECTION TO EXTEND MIN. 12" (300mm) BEYOND INSIDE FACE OF INSIDE WALL. No 15 FELT PAPER NON-PERFORATED FOR THE REST OF ROOF AND TO OVERLAP 2" OVER ICE & WATER PROTECTION. APPROVED EAVES PROTECTION TO EXTEND 900mm (3'-0") FROM EDGE OF ROOF AND MIN. 300mm (12") BEYOND INNER FACE OF EXTERIOR WALL 38x38 (2x4) TRUSSES @ 1830mm (6'-0") O.C.
- RAIN WATER CONTROL PREFINISHED ALUM EAVESTROUGH, FASCIA, RWL & VENTED SOFFIT.
- ROOF INSULATION AND VENTING ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH 50% AT EAVES, W/T RSI 10.57 (R60) ROOF INSULATION AND APPROVED VAPOUR BARRIER AND CONTINUOUS AIR BARRIER
- **COLUMN SUPPORT**
- SQUARE STEEL POSTS 3<sup>1</sup>/<sub>2</sub>"x3<sup>1</sup>/<sub>2</sub>"x0.25 HSS POST MECH-FASTENED AT TOP AND BOTTOM W/T 6"x6"x0.25 TOP & BOTTOM PLATE TO EXTEND MIN WIDTH OF BEAM WHERE BEARING ON FOUNDATION WALL OR KNEW WALL PROVIDE 4- 5/8" DIA. BOLTS INTO CONCRETE WALL, CONCRETE PAD FOOTING AS PER PLANS.
- SQUARE STEEL POSTS 3-1/20x0.25 HSS POST MECH-FASTENED AT TOP AND BOTTOM W/T 6"x6" TOP & BOTTOM PLATE TO EXTEND MIN WIDTH OF BEAM WHERE BEARING ON FOUNDATION WALL OR KNEW WALL PROVIDE 4- 5/8" DIA. BOLTS INTO CONCRETE WALL, CONCRETE PAD FOOTING AS PER PLANS.
- WOOD POSTS SHALL BE 6"x6" BUILT UP No 1 SPR OR UNLESS CALCULATION PROVIDED. WOOD SHALL BE SEPARATED FROM CONCRETE BY 0.05mm (0.002") POLYETHLENE FLIM. CONCRETE PAD AS PER PLAN.

# CONSTRUCTION NOTES FOUNDATION

- ACHORAGE
- 38x89 (2x4") SILL PLATE W/T 13mm (1/2") DIA. ANCHOR BOLTS 200m (8") LONG EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7'-10") O.C. CAULKING OR FIBER GASKET B/T PLATE AND TOP OF FOUNDATION WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED.
- STEP FOOTINGS THE VERTICAL STEP B/T HORIZONTAL PORTIONS SHALL NOT EXCEED 600mm (24") FOR FIRM SOILS AND 400mm (16") FOR SAND OR GRAVEL HORIZONTAL DISTANCE B/T RISERS SHALL BE NOT LESS THAN 600mm
- FOUNDATION DRAINAGE 100mm (4") DIA, WEEPING TILE 150mm (6") CRUSHED STONE OVER AND AROUND WEEPING TILES AT BASEMENT FOOTING PERIMETER.
- MASONRY BONDING CONCRETE AND BRICK VENEER AIR SPACE SHALL BE COMPLETELY FILLED WITH CONCRETE FOR SOLID UNIT
- WINDOW WELL DRAINAGE EVERY WINDOW WELL SHALL BE DRAINED TO FOOTING LEVEL OR OTHER SUITABLE LOCATION
- FLOOR DRAIN EVERY BASEMENT SHALL BE PROVIDED WITH A FLOOR DRAIN W/T A TRAP SEAL PRIMER

NOTCHING & DRILLING OF MEMBERS HOLES IN FLOOR, ROOF AND CEILING MEMBERS TO BE MAXIMUM m% x ACTUAL DEPTH OF MEMBER AND NOT LESS THAN 2" FROM

NOTCHES IN FLOOR, ROOF AND CEILING MEMBERS TO BE LOCATED ON TOP OF MEMBER WITH ½ THE ACTUAL DEPTH FROM EDGE OF BEARING AND NOT GREATER THAN ½ JOIST

LESS THAN <sup>2</sup>/<sub>3</sub> THE DEPTH OF STUD REMAINS IF LOAD BEARING AND 1- % IF NON-LOAD BEARING

- WEAKENED UNLESS ACCOMMODATED IN THE DESIGN.
- WALL STUDS EXTERIOR WALLS TO BE BUILT ACCORDING TO WALL TYPE WITH TOP PLATE AND SINGLE BOTTOM PLATE.
- 9 FLOOR JOIST JOIST TO HAVE 1- ½" END BEARING JOIST SHALL BEAR ON SILL PLATE FIXED TO FOUNDATION. MAX. DOUBLE HEADER JOIST LENGTH OF 10'-6", MAX DOUBLE TRIMMER JOIST LENGTH OF 6'-7", 2x2 BRIDGING REQUIRED EVERY 6'-11", FLUSH JOISTS SHALL BE SUPPORTED ON JOIST HANGERS

#### FUTURE GRAB BARS

- STUD WALL REINFORCEMENT STUD WALL REINFORCEMENT SHALL BE INSTALLED IN "MAIN BATHROOMS" WITHIN A DWELLING UNIT ACCORDING TO OBC 9.5.2.3
- BLOCKING LOCATION PROVIDE BLOCKING FOR SIDE GRAB BARS AND BARS OVER TOILET AS WELL AS BAR IN SHOWER. BATH TUB GRAB BAR TO BE LOCATED OPPOSITE THE ENTRANCE TO THE SHOWER AND 1'-0" OF THE BAR TO BE LOCATED TO ONE SIDE OF THE APPROXIMATE LOCATION OF THE FUTURE SEAT IN TUB.
- BLOCKING AND FASTENING ALL BLOCKING MUST BE FASTENED ENOUGH TO WITHSTAND .3kN OF FORCE WITHER VERTICALLY OR HORIZONTALLY THE GRAB BAR. A MINIMUM OF 2"x8" BLOCKING IS REQUIRED WITH A MIN. OF 3 - 3-  $\ensuremath{\frac{1}{4}}$  " NAILS ON EACH SIDE OF BLOCKING.

#### THERMAL INSULATION

- ) ATTIC HATCH EVERY ROOF SHALL BE PROVIDED W/T A 533mm x 700mm (21"x28") ATTIC HATCH W/T WEATHERSTRIPPING. RSI 7.0 (R40) RIGID INSULATION BACKING
- (14) RIM JOIST INSULATION 5mm (½") WITH TYVEK MEMBRANE ON 1-  $\frac{1}{2}$ " RIM JOIST AS PER PLAN W/T OSB SHEATHING WITH RSI 4.23 (R24) OR RSI 3.87 (R22) INSULATION AND CONTINUOUS 0.15 (6 mil) POLYETHYLINE VAPOUR BARRIER FRICTION FIT

#### STAIRS, HANDRAILS AND GUARDS

STAIRS CLEAR HEIGHT OVER STAIRS MUST BE MEASURED VERTICALLY MIN, HEIGHT 1950mm (6'-5")

STAIRS DIMENSIONS:	
MAX RISE MIN RUN MIN TREAD MAX NOSING MIN HEADROOM RAILING @ LANDING RAILING @ STAIR MIN WIDTH	7- ½" (200mm) 8- ¼" (210mm) 9- ½" (235mm) 1" (25mm) 6'-5" (1950mm) 2'-7" (800mm) 2'-7" (800mm) 2'-11" (900mm)
FOR CURVED STAIRS:	

MIN RUN 5- 1/8" (150mm) MIN AVG RUN 7- 1/2" (200mm)

# WOOD FRAMING

WALL STUDS MAY BE NOTCHED OR DRILLED PROVIDED THAT NO

ROOF TRUSSES MEMBERS SHALL NOT BE NOTCHED DRILLED OR

- HANDRAILS AND GUARD AS PER OBC SB-7 FINISHED HANDRAIL ON WOOD PICKETS MAX SPACING 4" BETWEEN PICKETS SHALL NOT BE LESS THAN 800MM (2'-7") AND NOT MORE THAN 965mm (3'-2") WHERE GUARDS ARE REQUIRED HANDRAILS ON LANDING ARE PERMITTED TO BE NOT MORE THAN 1070mm (3'-6").
- (17) GUARDS AS PER OBC SB-7 INTERIOR GUARDS FOR STAIRS = 800mm (2'-11") EXTERIOR GUARDS = 1070mm (3'-6") ABOVE LANDINGS. MAX OPENING WITHIN GUARDS 100mm (4") PROTECTED BY THE GUARD WILL NOT FACILITATE CLIMBING

# MEANS OF EGRESS

- 18) MINIMUM BEDROOM WINDOWS OBC 9.7.1.3. AT LEAST ONE BEDROOM WINDOW ON A GIVEN FLOOR IS TO HAVE MIN. 0.32m<sup>2</sup> UNOBSTRUCTED GLAZED OR OPENABLE AREA WITH A MIN. CLEAR OF 380mm (1'-3")
- WINDOW GUARDS OBC 9.7.1.6. & 9.8.8 A GUARD OR WINDOW WITH A MAXIMUM RESTRICTED OPENING OF 100mm (4") IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 480mm (1'-6") ABOVE FINISHED FLOOR AND THE DISTANCE FROM FROM THE FINISHED FLOOR AND THE DISTANCE FROM THE FINISHED ADJACENT GRADE IS GREATER THAN 1800mm (5'-11").
- WINDOW IN EXIT STAIRWAYS OBC 9.7.5.3. WINDOWS IN EXIT STAIRWAYS THAT EXTEND TO LESS THAN 070mm (3'-6") SHALL BE PROTECTED BY GUARDS IN ACCORDANCE WITH NOTE 2 ABOVE OR THE WINDOW SHALL BE NON-OPERABLE AND DESIGNED TO WITHSTAND THE SPECIFIE LOADS FOR BALCONY GUARDS AS PROVIDED IN PART 4 OF THE ONTARIO BUILDING CODE

# LIFESAFETY

- CARBON MONOXIDE ALARMS OBC 9.33.4 A CARBON MONOXIDE ALARMS CONFORMING TO CAN/CGA-6.19 SHALL BE INSTALLED ON OR NEAR THE CEILING IN EACH ROOM WHICH THERE IS INSTALLED A SOLID FLIEL BURNING APPLIANCE CARBON MONOXIDE ALARMS SHALL BE WIRED SO THAT ITS ACTIVATION WILL ACTIVATE THE SMOKE ALARMS.
- SMOKE ALARM OBC 9.10.18 PROVIDE ONE PER FLOOR, NEAR THE STAIRS CONNECTING THE (22) FLOOR LEVEL ALARMS INTERCONNECTED TO AN ELECTRICAL CIRCUIT AND INTERCONNECTED TO ACTIVATE ALL ALARMS IF ONE SOUNDS.

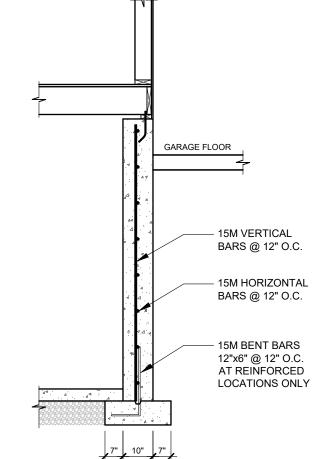
# VENTILATION

MECHANICAL VENTILATION WASHROOM AND RANGE TO BE MECHANICALLY VENTED TO 23 PROVIDE AT LEAST ONE AIR CHANGE PER HOUR

#### DIRECT GAS VENT FURNACE FURNACE TERMINAL MIN 900mm (36") FROM A GAS RECULATOR MIN. 300mm (12") ABOVE FIN. GRADE FROM ALL OPENINGS EXHAUST AND INTAKE VENTS, HRV INTAKE TO BE A MIN OF 1830mm (6'-0") FROM ALL EXHAUST TERMINALS

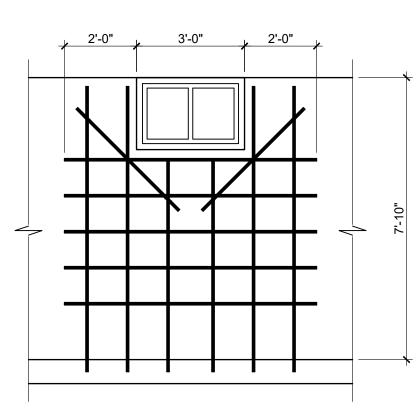
- DIRECTS GAS FIRE PLACE VENTS TO BE A MIN. 300mm (12") FROM ANY OPENING AND ABOVE FIN. GRADE REFER TO GAS CODE.
- NATURAL VENTILATION VENTS TO BE A MIN. 300mm (12") FROM ANY OPENING AND <sup>26</sup> ABOVE FIN. GRADE REFER TO GAS CODE.

#### WATER RESISTANT FLOORING FINISHED FLOORING IN BATHROOMS, KITCHENS, ENTRANCE HALL, LAUNDRY AND GENERAL STORAGE AREAS SHALL CONSIST OF RESILIENT FLOORING, FELTED SYNTHETIC FIBRE FLOORING COVERINGS.

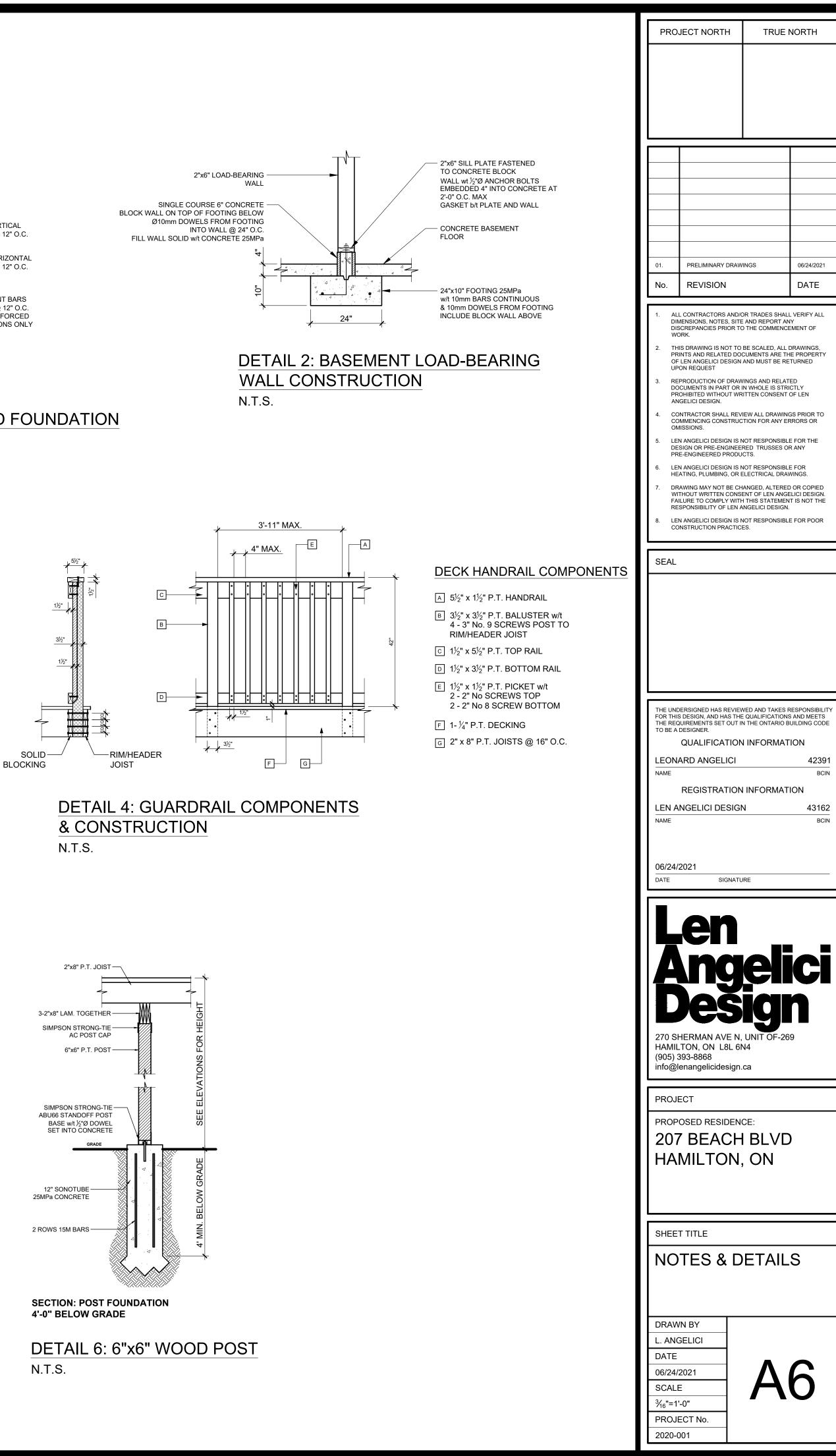


# **DETAIL 1: REINFORCED FOUNDATION** WALL

N.T.S.

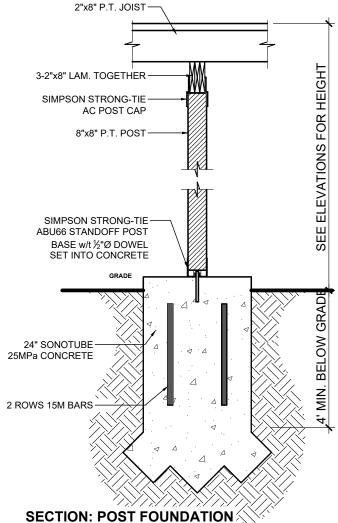


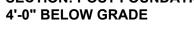
REINFORCE ALL BASEMENT WINDOWS WITH 2-15M VERTICAL BARS AT EACH SIDE. 2-15M VERTICAL BELOW WINDOW (UNSUPPORTED WALL) AND 5-15M BARS SPACED 12" O.C. TO EXTEND 24" BEYOND WINDOW



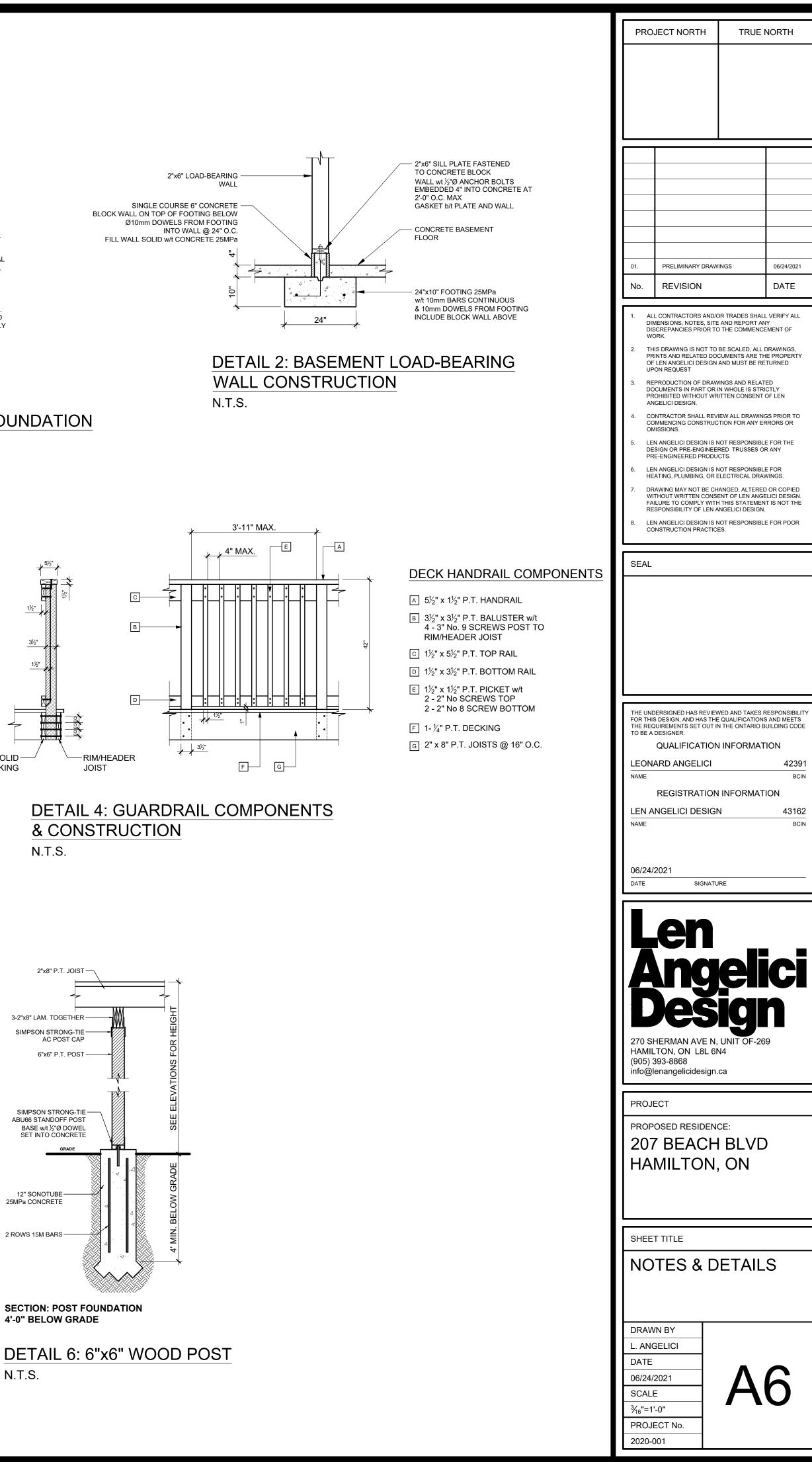


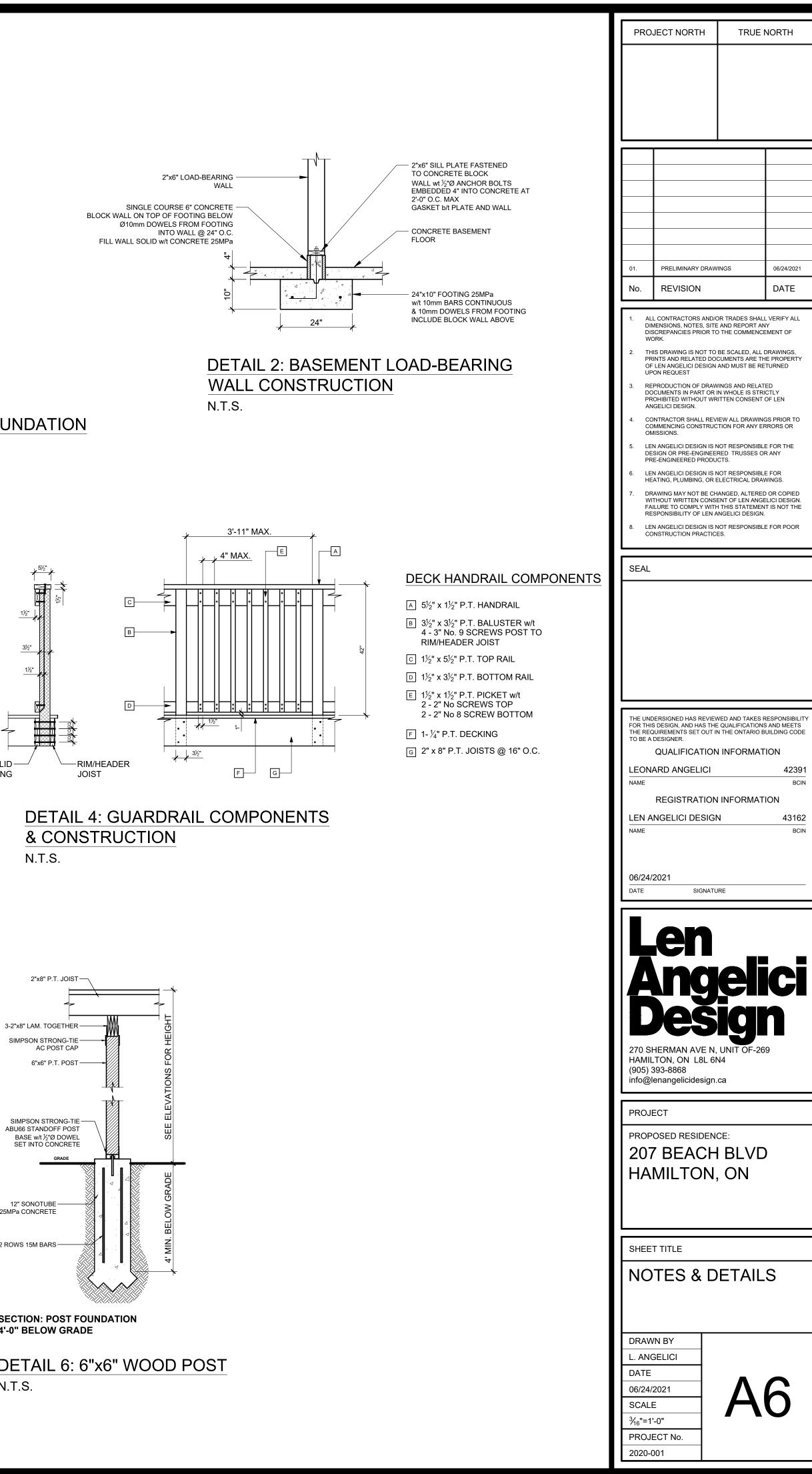
N.T.S.





DETAIL 5: 8"x8" WOOD POST N.T.S.







Committee of Adjustment City Hall, 5<sup>th</sup> Floor, 71 Main St. W., Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221 Email: <u>cofa@hamilton.ca</u>

# **APPLICATION FOR A MINOR VARIANCE**

FOR OFFICE USE ONLY.

APPLICATION NO. \_\_\_\_\_ DATE APPLICATION RECEIVED \_\_\_\_\_

PAID \_\_\_\_\_

DATE APPLICATION DEEMED COMPLETE

SECRETARY'S SIGNATURE

#### The Planning Act

## Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS	
Registered Owners(s)	JOHN STEVEN MCCUTCHEON		
Applicant(s)*	SANDRA CAHILL		
Agent or Solicitor	LEN ANGELICI		 1

# Note: Unless otherwise requested all communications will be sent to the agent, if any.

Names and addresses of any mortgagees, holders of charges or other encumbrances:

FIRST NATIONAL FINANCIAL LP 100 UNIVERSITY AVE. SUITE 1200, NORTH TOWER TORONTO, ONTARIO M5H 1V6

	tional sheets can be submitted if there is not sufficient room to answer the following tions. Additional sheets must be clearly labelled				
4.	Nature and extent of relief applied for: 1. HEIGHT 11.12M VS 11.0M ALLOWED 2. 3 STORIES VS 2.5 STORIES ALLOWED 3. EAST SIDE YARD SETBACK 1.23M VS $1.5M$ 4. WEST SIDE YARD SETBACK1.24 VS $1.5M$				
L	Secondary Dwelling Unit Reconstruction of Existing Dwelling				
5.	Why it is not possible to comply with the provisions of the By-law? VARIANCES 1 & 2 ARE NECESSARY DUE TO THE RECENT BYLAW CHANGE NO LONGER ALLOWING BASEMENTS ON BEACH BLVD. ORIGINAL PLANS HAD A BASEMENT AND WERE COMPLIANT AS RELATED TO #1 & #2. REDESIGN REQUIRED THAT THE HOME BE RAISED ABOVE 76.50 ASL. VARIANCE 3 AS CANNOT HAVE PROPER TURN RADIUS INTO GARAGE.				
6.	Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, <b>street and street number</b> ): 207 BEACH BLVD. PART OF BURLINGTON BEACH EAST SIDE OF BEACH BLVD. (UNREGISTERED)				
7.	PREVIOUS USE OF PROPERTY				
	Residential Industrial Commercial				
	Agricultural Vacant Other				
	Other				
8.1	If Industrial or Commercial, specify use				
8.2	Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred? Yes O No O Unknown O				
8.3	Has a gas station been located on the subject land or adjacent lands at any time? Yes No Unknown				
8.4	Has there been petroleum or other fuel stored on the subject land or adjacent lands? Yes O No O Unknown O				

- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands? Yes O No O Unknown
- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
  Yes O No O Unknown O

	Yes O	No _		
8.7	Have the lands		ds ever been used as a we	apon firing range?
	Yes ()	No 💽	Unknown 🔵	

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump? Yes O No O Unknown

8.9	If there are existing remaining on site	ng or previously which are pote	existing buildings, a ntially hazardous to	re there any building materials public health (eg. asbestos, PCB's)?
	Yes O	No 💽		

8.10	Is there any reason to uses on the site or ad Yes No	jacent sites?	own _O_	ave been conta	minated by former
8.11	What information did	you use to determi	ne the answe	rs to 8.1 to 8.10	) above?
	DISCUSSIONS WIT	H THE HOMEOW	NER.		
8.12	If previous use of prop previous use inventor land adjacent to the s	y showing all forme	er uses of the		
	Is the previous use in	ventory attached?	Yes	No	
9.	ACKNOWLEDGEME I acknowledge that the remediation of contant reason of its approval	e City of Hamilton i nination on the pro	perty which is		
	JULY 5/202	21			
	Date		Signature P	Property Owner	(s)
			JOHN STE	EVEN MCCUT	CHEON
			Print Name	of Owner(s)	
10.	Dimensions of lands	affected:			
	Frontage		14.021N	٨	
	Depth		65.228M/65.657M		
	Area		909.95 SQ. MTR.		
	Width of street 24.38 M				
11.	Particulars of all build ground floor area, gro Existing:_	ings and structures	s on or propos nber of storie	sed for the subj s, width, length	ect lands: (Specify ı, height, etc.)
	N/A - EXISTING HO	OME TO BE DEMO	OLISHED		

Proposed GROUND FLOOR AREA - 278.00SQ.MTR (INCL.STAIRS, PORCHES & GARAGE) \* GROSS FLOOR AREA - 373.62 SQ MTR (FIRST, SECOND, THIRD FLOORS) \* NUMBER OF STORIES - 3 HEIGHT - 11.12M

Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)
 Existing:

N/A - EXISTING HOME TO BE DEMOLISHED

Proposed: FRONT SETBACK - 10.22M EAST SETBACK - 1.23M WEST SETBACK - 1.24M REAR SETBACK - 22.76M

13.	Date of acquisition of subject lands:
14.	Date of construction of all buildings and structures on subject lands: ASAP
15.	Existing uses of the subject property (single family, duplex, retail, factory etc.):
	SINGLE FAMILY RESIDENTIAL
16.	Existing uses of abutting properties (single family, duplex, retail, factory etc.):
	SINGLE FAMILY RESIDENTIAL
17.	Length of time the existing uses of the subject property have continued:
18.	Municipal services available:      (check the appropriate space or spaces)        Water      Image: Connected method        Sanitary Sewer      Image: Connected method        Storm Sewers      Image: Connected method
19.	Present Official Plan/Secondary Plan provisions applying to the land:
	UNKNOWN
20.	Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
	UNKNOWN
21.	Has the owner previously applied for relief in respect of the subject property? YesNo 🖌 If the answer is yes, describe briefly.
00	Is the subject property the subject of a current application for consent under Section 53 of
22.	the Planning Act? Yes
23.	Additional Information
24.	The applicant shall attach to each copy of this application a plan showing the dimensions

4. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.