



NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: HM/A-21:310

APPLICANTS: Agent Shane Van Barneveld
Owner Stephen Edwards & Caitlin Chevreau

SUBJECT PROPERTY: Municipal address **65 Magill St., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended

ZONING: D/S-1787 district (Urban Protected Residential - One and Two Family Dwellings)

PROPOSAL: To permit a two (2) storey addition within the rear yard and a 34 square metre terrace (deck) within the rear and side yards for an existing street townhouse, notwithstanding that:

1. The northerly side yard shall be 0.7m instead of 2.5m for a street townhouse dwelling not exceeding 3 storeys in height;

2. The eaves and gutter may project a maximum of 0.46m into the northerly side yard instead of the maximum projection of 0.35m or one-half of the side yard width;

3. A terrace (deck) may project entirely into the required southerly side yard and distant 0m from the southerly side lot line instead of the requirement to be not closer than 0.5m from the southerly side lot line;

4. An open stairway consisting of one step and landing may project 0.64m into the northerly side yard instead of the required maximum projection of one-third of the side yard width or 0.42m;

5. No parking spaces shall be required instead of 1 parking space for a street townhouse dwelling;

NOTES:

1. The property is developed with a legally established non-conforming street townhouse.

This application will be heard by the Committee as shown below:

DATE: Thursday, September 23rd, 2021

TIME: 1:50 p.m.

PLACE: Via video link or call in (see attached sheet for details)

To be streamed at

www.hamilton.ca/committeeofadjustment

for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

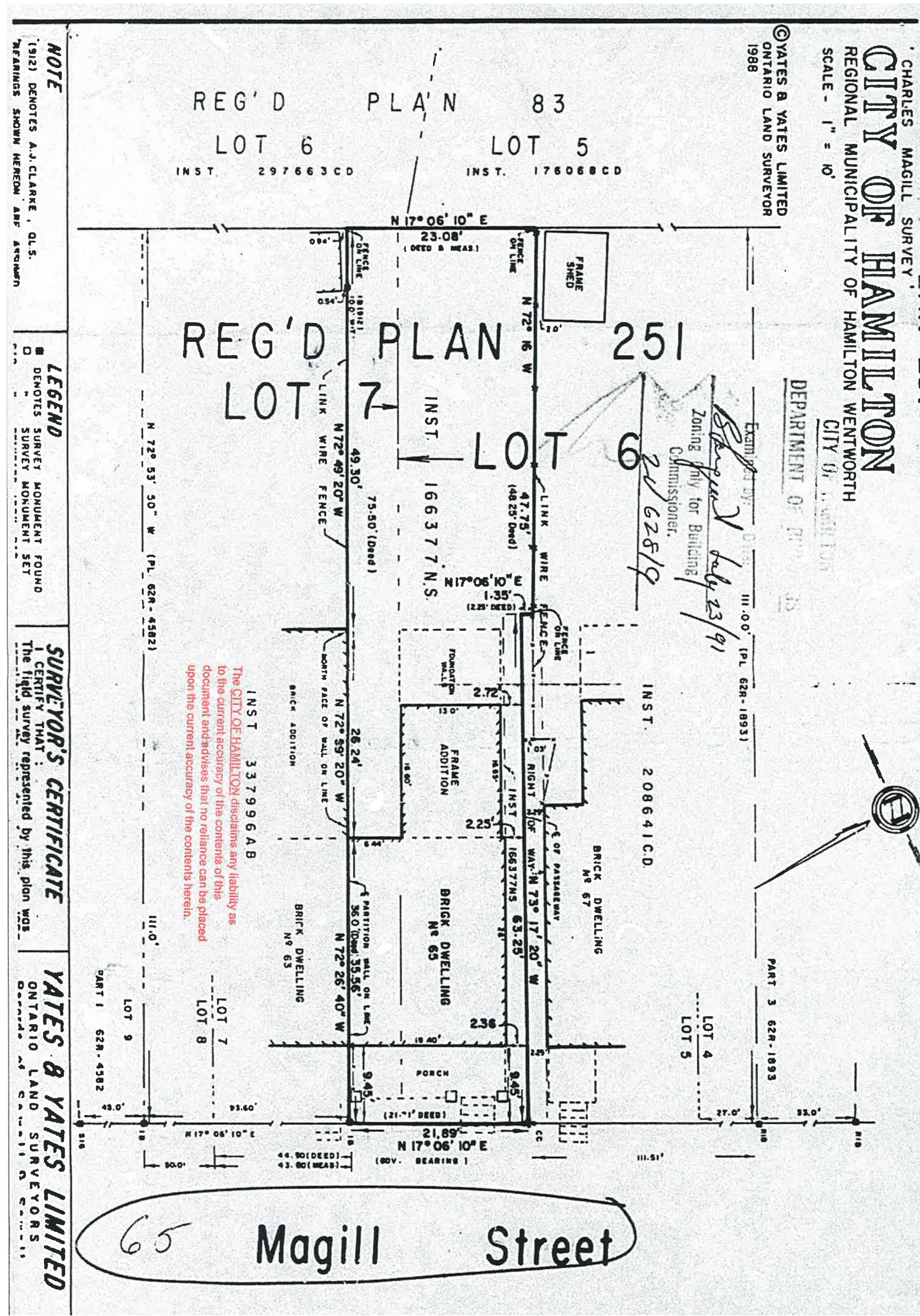
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: September 7th, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



NOTE
(1)(2) DENOTES A.J. CLARKE, O.L.S.
MEASUREMENTS SHOWN HEREON ARE APPROXIMATE

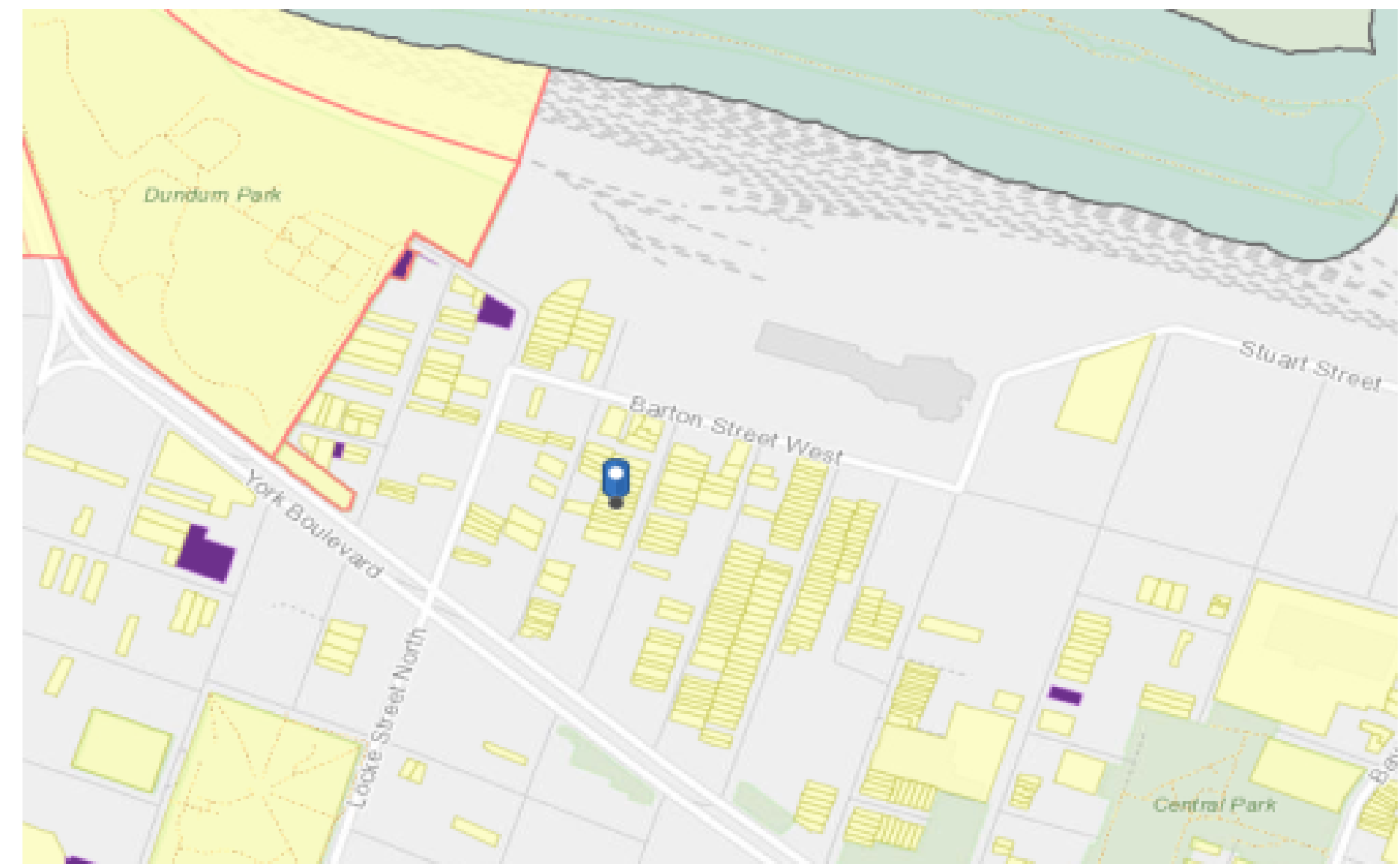
LEGEND
■ DENOTES SURVEY MONUMENT FOUND
□ DENOTES SURVEY MONUMENT SET

SURVEYOR'S CERTIFICATE
I CERTIFY THAT THE FIELD SURVEY REPRESENTED BY THIS PLAN WAS

YATES & YATES LIMITED
ON TARIO LAND SURVEYORS

CHARLES MAGILL SURVEY
CITY OF HAMILTON
REGIONAL MUNICIPALITY OF HAMILTON WENTWORTH
SCALE - 1" = 10'
YATES & YATES LIMITED
ON TARIO LAND SURVEYOR
1988

INST. 337996AB
The CITY OF HAMILTON disclaims any liability as to the current accuracy of the contents of this document and advises that no reliance can be placed upon the current accuracy of the contents herein.



SITE INFORMATION Zoning Information taken on: 2021.08.04

ADDRESS: 65 MAGILL ST
MUNICIPALITY: HAMILTON
POSTAL CODE: L8R 2Y4

ZONING INFORMATION
PARENT BYLAW #: 6593 FORMER HAMILTON ZONE: D
BYLAW EXCEPTION #: N/A
MINOR VARIANCE #: TBD

	Required:	Existing:	Proposed:	Conforms
LOT AREA (m ²):	360 min	242.81	AS EX	●
LOT WIDTH (m):	12 min	6.67	AS EX	●
LOT DEPTH (m):	N/A	34.00	AS EX	●
LOT FRONTAGE:	12 min	6.67	AS EX	●
LOT COVERAGE (%):	N/A	-	-	●
FLOOR AREA RATIO ¹ :	N/A	-	-	●
GROSS FLOOR AREA ² :	N/A	-	-	●
GROUND FLOOR AREA:	N/A	-	-	●
BUILDING HEIGHT (m):	14	10.54	7.29	○
PARKING SPACES ³ :	2	0	0	○
Habitable Rooms:	N/A	5	6	○

	Required:	Existing:	Proposed:	Conforms
SETBACKS (m)				
FRONT:	6.00	2.88	AS EX	●
REAR:	7.50	17.54	AS EX	●
EAST (RIGHT) SIDE:	1.20	0.68	0.68	○
WEST (LEFT) SIDE:	1.20	0	1.51	●

	Required:	Existing:	Proposed:	Conforms
ENCROACHMENTS (m)				
ROOF PROJECTION:	1.00	5.86	0.46	○
COVERED PORCH:	3.00	6.03	AS EX	●
UNCOVERED PORCH:	N/A	N/A	N/A	○
DECK:	0.50	0.00	0.00	○

	Required:	Existing:	Proposed:	Conforms
ACCESSORY BUILDINGS:	N/A	9.50	AS EX	●
SIZE:	2.6 m	2.6 m	AS EX	●
HEIGHT:	2.6 m	2.6 m	AS EX	●

OTHER RESTRICTIONS: Conforms ○

CONSERVATION AUTHORITY ○

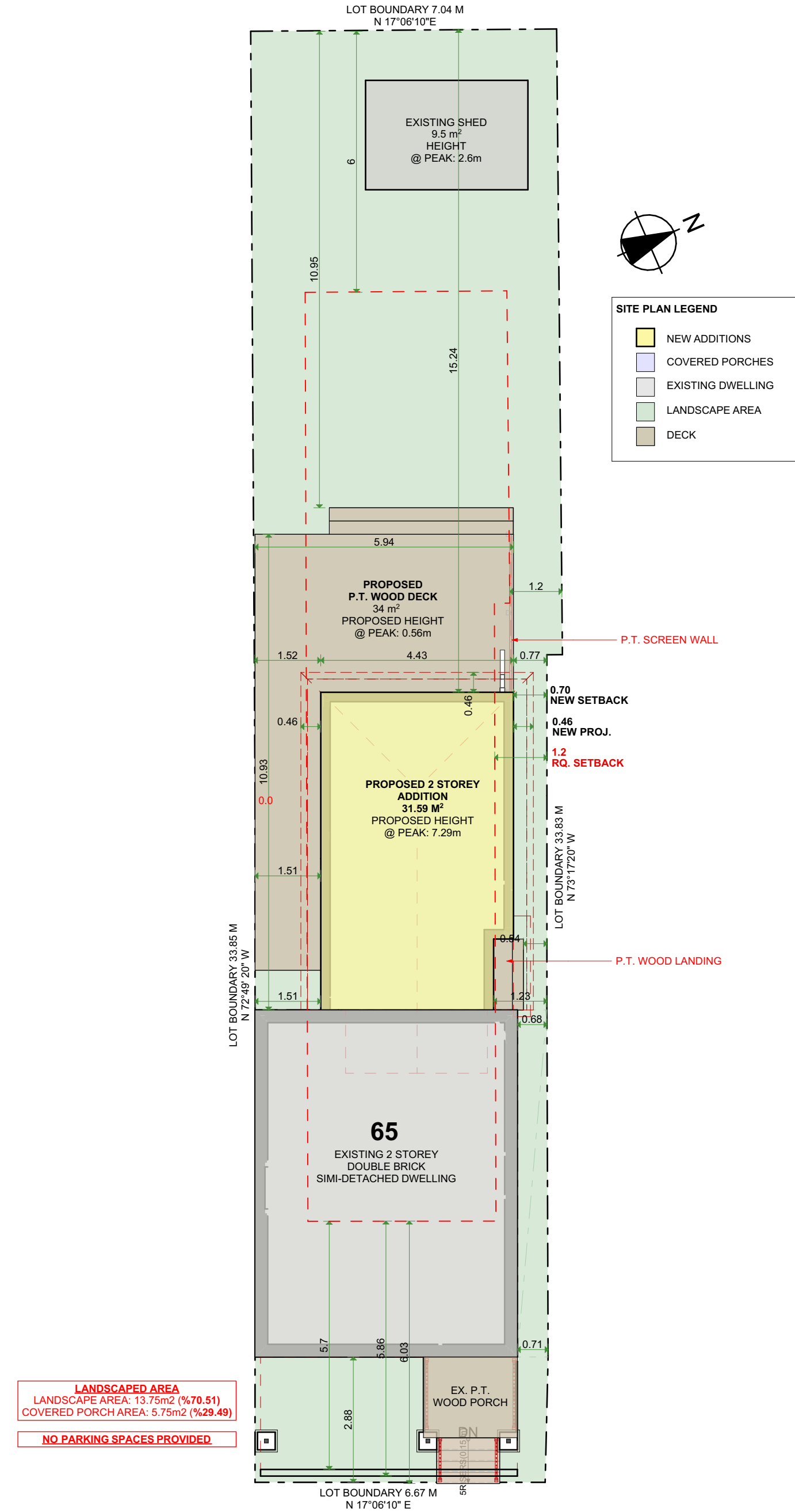
NIAGARA ESCARPMENT CONTROL ○

MTO ○

SEPTIC ○

SITE PLAN CONTROL ○

TREE PROTECTION ○



2 SITE PLAN
SCALE: 1:100

1 SURVEY DONE BY OTHERS
SCALE: 1:100

CONTRACTOR
Shane
790 SHAVER RD. ANCASTER
L9G 3K9 ON

NOT FOR CONSTRUCTION

NO.	REVISION	DATE
1	DESIGN 1.0	2021.04.23
2	DESIGN 2.0	2021.04.27
3	DESIGN 2.1	2021.05.14
4	DESIGN 3.0	2021.06.29
5	ISSUED FOR MINOR VARIANCE	2021.08.04

DRAWING:
SITE PLAN

PROJECT NAME:
EDWARDS
PROJECT ADDRESS:
65 MAGILL ST HAMILTON ON L8R 2Y4

DATE: 8/4/2021	DRAWING NO:
SCALE: AS NOTED	SP0.01
PROJECT NO:	

Printed: 8/4/2021 @ 2:38 PM

ALL CONSTRUCTION TO COMPLY WITH ONTARIO BUILDING CODE

GENERAL NOTES:

DESIGN AND LAYOUT OF ALL PRE ENGINEERED STRUCTURAL MEMBERS FROM ROOF TRUSS SUPPLIER TO BE SUPPLIED BY MANUFACTURER PRIOR TO CONSTRUCTION

SOLID BLOCKING TO BEARING BELOW TO BE PROVIDED AT ALL GIRDER TRUSS AND BEAM LOCATIONS (MIN. WIDTH EQUAL TO WIDTH OF BEARING POINT OVER) VERIFY WITH TRUSS DRAWINGS

TRUSS MEMBERS SHALL NEVER BE NOTCHED, DRILLED OR CUT UNLESS NOTCHING OR DRILLING HAS BEEN ACCOUNTED FOR IN THE DESIGN OF THE TRUSS

WHEN RENOVATING, INSULATION TO BE EQUAL TO OR GREATER THAN EXISTING

BEAM BEARING = MIN. 3'-1 1/2"
 LINTEL BEARING = MIN. 1'-1 1/2"
 RAFTER BEARING = MIN. 1'-1 1/2"
 JOISTS BEARING = MIN. 1'-1 1/2"

CONTRACTOR TO CHECK AND VERIFY ALL SPECIFICATIONS AND DIMENSIONS PRIOR TO AND DURING CONSTRUCTION. ALL DISCREPANCIES TO BE REPORTED TO DESIGNER (519) 339-1493

PROVIDE TEMPORARY BRACING/SUPPORT FOR ALL EXISTING FLOOR JOISTS & WALLS DURING CONSTRUCTION & INSTALLATION OF NEW BEAMS & FLOOR JOISTS AS REQ. (TYP.)

NOTE ABOUT MATCHING INSULATION IN OLDER HOMES

THE ENERGY EFFICIENCY OF EXISTING BUILDINGS SHALL COMPLY WITH PART 11 OF DIVISION B OF THE BUILDING CODE FOR RENOVATION, SB-12, 1.1.1.1. ENERGY EFFICIENCY

CONSTRUCTION MAY BE CARRIED OUT TO MAINTAIN THE EXISTING PERFORMANCE LEVEL OF ALL OR PART OF AN EXISTING BUILDING, BY THE REUSE, RELOCATION OR EXTENSION OF THE SAME OR SIMILAR MATERIALS OR COMPONENTS, TO RETAIN THE EXISTING CHARACTER, STRUCTURAL UNIQUENESS, HERITAGE VALUE, OR AESTHETIC APPEARANCE OF ALL OR PART OF THE BUILDING. IF THE CONSTRUCTION WILL NOT ADVERSELY AFFECT THE EARLY WARNING AND EVACUATION SYSTEMS, FIRE SEPARATIONS OR THE STRUCTURAL ADEQUACY OR WILL NOT CREATE AN UNHEALTHY ENVIRONMENT IN THE BUILDING, 11.3.3.1. BASIC RENOVATION (SEE APPENDIX A)

WHERE THE FRAMING SYSTEMS ARE BEING ALTERED TO MATCH EXISTING FRAMING, LESSER AMOUNTS AND EXTENT OF INSULATION AND VAPOR BARRIERS IS ACCEPTABLE. PART 11 COMPLIANCE ALTERNATIVE, TABLE 11.5.1.1.C. (CONT'D), C199 - 12.2.1.1. (3)

SMOKE ALARMS

9.10.19
 (1) Within dwelling units sufficient smoke alarms conforming to CANULS-531 shall be installed so that

(a) There is at least one smoke alarm on each storey, including basements, and

(b) On any storey of a dwelling unit containing sleeping rooms, a smoke alarm is installed.

(i) in each sleeping room, and

(ii) in a location between the sleeping rooms and remainder of the storey, and if the sleeping rooms are served by a hallway, the smoke alarm shall be located in the hallway

(2) Smoke alarms shall have a visual signalling component conforming to the requirements in 18.5.3. of NFPA 72. The visual signalling component need not be integrated with the smoke alarm provided it is interconnected to it.

Interconnect smoke alarms to be permanently connected and have a battery backup as per CBC 9.10.19.4

TABLE 3.1.1.21. (IP)

Thermal Performance Requirements for Additions to Existing Buildings

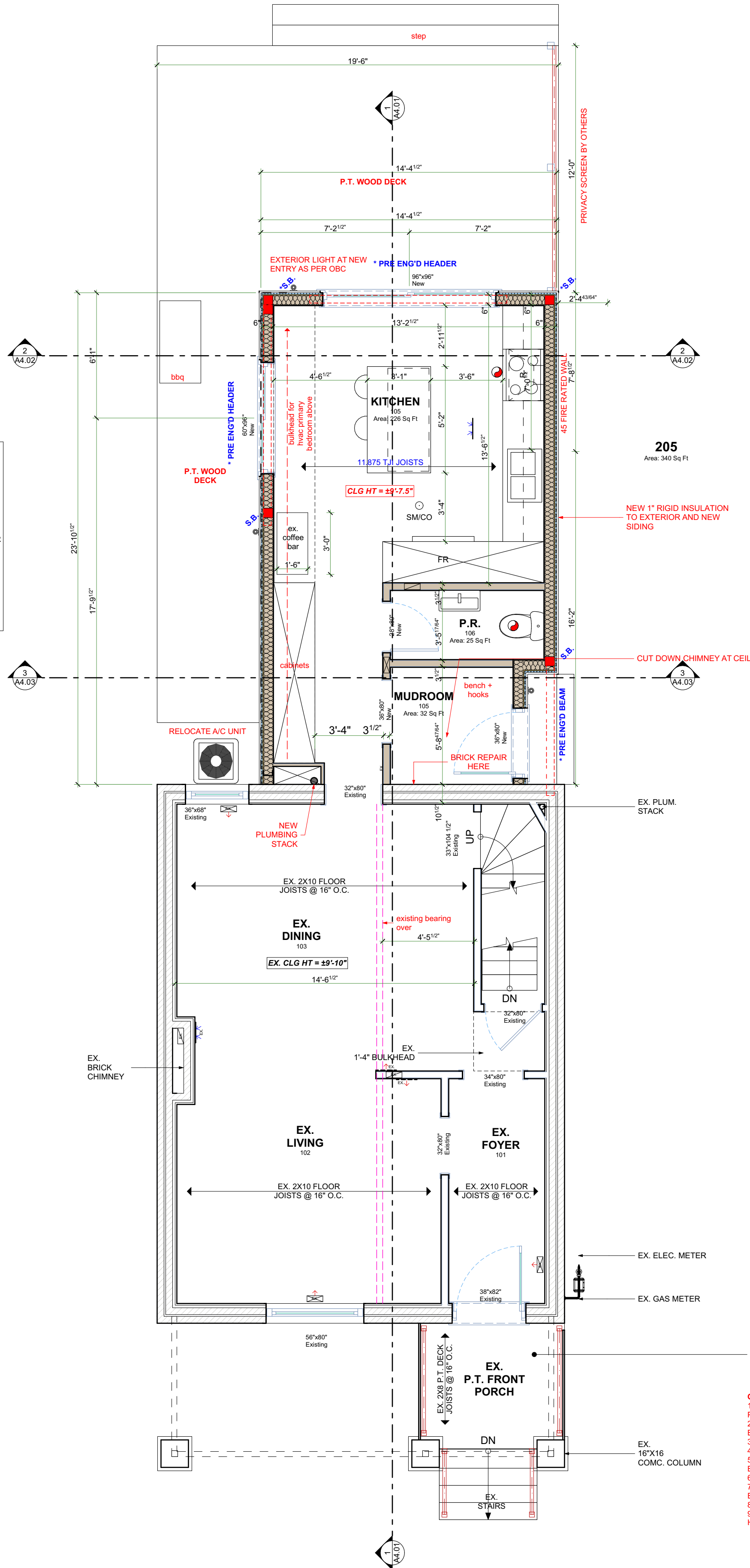
ZONE 1

CEILING WITH ATTIC SPACE	R60
CEILING WITHOUT ATTIC SPACE	R31
EXPOSED FLOOR	R31
WALLS ABOVE GRADE	R19 + R5 c.i.
BASEMENT WALLS	R20 c.i. or R12 + R10 c.i.
BELOW GRADE SLAB	R5
EDGE OF BELOW GRADE SLAB	R10
HEATED SLAB	R10
WINDOWS AND SLIDING GLASS DOORS	0.28U
ENERGY RATING	25

ELECTRICAL FACILITIES SHALL BE PROVIDED AS PER ONTARIO BUILDING CODE 2012 AS PER 9.34

HVAC LEGEND

- TOE KICK WALL SUPPLY
- TOW KICK WALL RETURN
- WALL SUPPLY
- WALL RETURN
- FLOOR SUPPLY AIR REGISTER
- FLOOR RETURN AIR REGISTER
- CLG SUPPLY AIR REGISTER
- CLG RETURN AIR REGISTER
- SUPPLY AIR CHASE
- RETURN AIR CHASE
- DUCT ABOVE



- OPTIONAL PROJECT**
- REMOVE PORTION OF OVERHANG UP TO MIDDLE BEARING POST.
 - REPLACE BOTH EXISTING POSTS WITH NEW 6X6 TREATED BEARING POSTS WITH DECORATIVE COVERS
 - REPAIR OR REPLACE SHINGLES
 - REPLACE GAVESTROUGH
 - REPLACE DOWNSPOUT AND RUN ALONG SIDE OF RIGHT BEARING POST
 - REPAIR OR REPLACE ALUM. SOFFIT AS REQUIRED
 - BRICK REPAIR WHERE EXISTING ROOF IS TIED INTO EXISTING WALL
 - PAINT
 - EXTEND EXISTING DOWNSPOUT DOWN AND AWAY FROM HOUSE

1 PROPOSED MAIN FLOOR PLAN
 SCALE: 1/4" = 1'-0"

CONTRACTOR

790 SHAVER RD. ANCASTER
 L9G 3K9 ON

NOT FOR CONSTRUCTION

NO.	REVISION	DATE
1	DESIGN 1.0	2021.04.23
2	DESIGN 2.0	2021.04.27
3	DESIGN 2.1	2021.05.14
4	DESIGN 3.0	2021.06.29
5	ISSUED FOR MINOR VARIANCE	2021.08.04

DRAWING: PROPOSED MAIN FLOOR PLAN

PROJECT NAME:
EDWARDS
 PROJECT ADDRESS:
 65 MAGILL ST HAMILTON ON L8R 2Y4

DATE: 8/4/2021	SCALE: AS NOTED	DRAWING NO: A1.05
PROJECT NO: ---		

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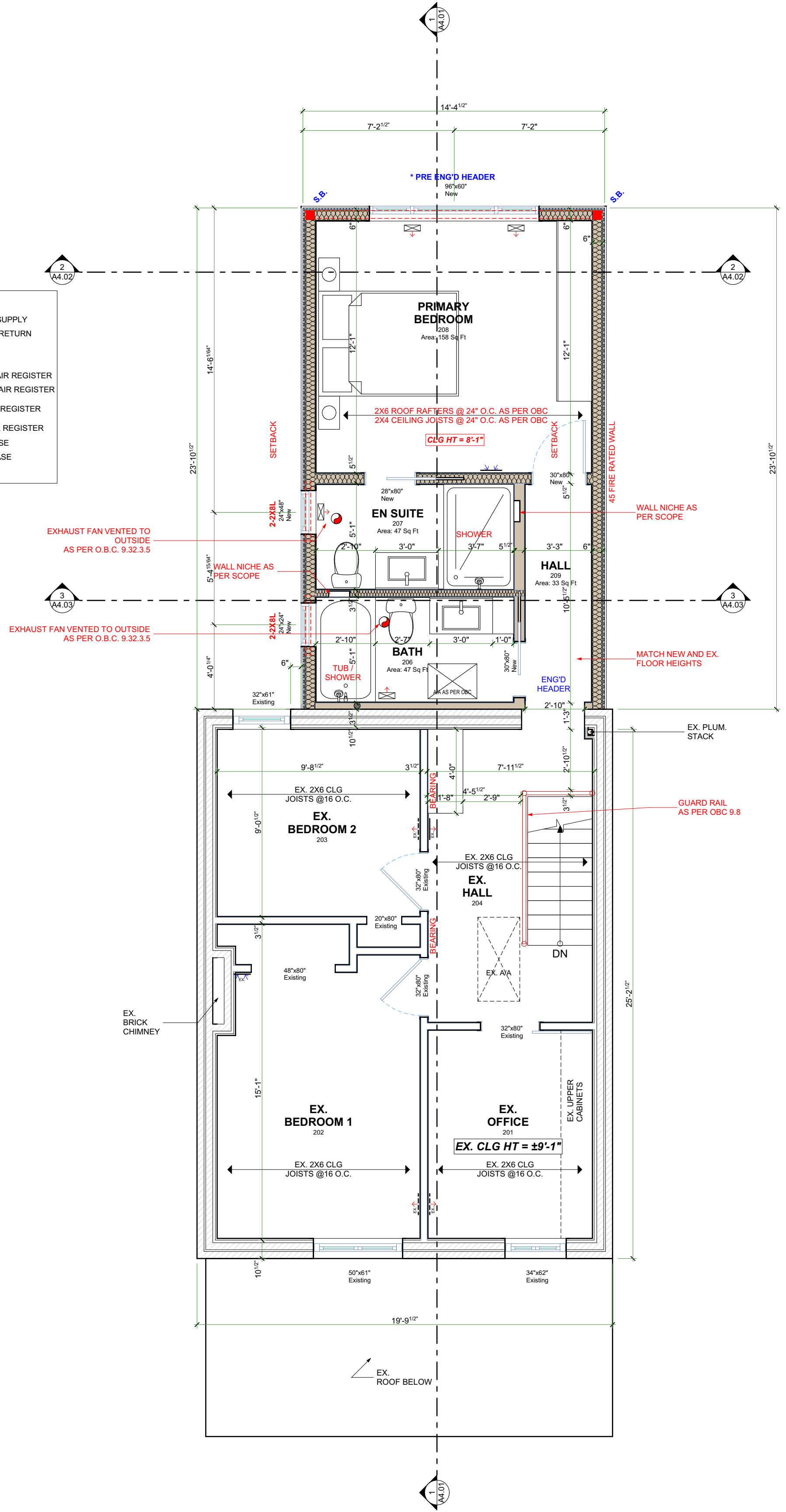
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ENERGY RATING	25

ELECTRICAL FACILITIES SHALL BE PROVIDED AS PER ONTARIO BUILDING CODE 2012 AS PER 9.34

HVAC LEGEND

- TOE KICK WALL SUPPLY
- TOW KICK WALL RETURN
- WALL SUPPLY
- WALL RETURN
- FLOOR SUPPLY AIR REGISTER
- FLOOR RETURN AIR REGISTER
- CLG SUPPLY AIR REGISTER
- CLG RETURN AIR REGISTER
- SUPPLY AIR CHASE
- RETURN AIR CHASE
- DUCT ABOVE



1 PROPOSED SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

CONTRACTOR

790 SHAVER RD. ANCASTER
 L9G 3K9 ON

NOT FOR CONSTRUCTION

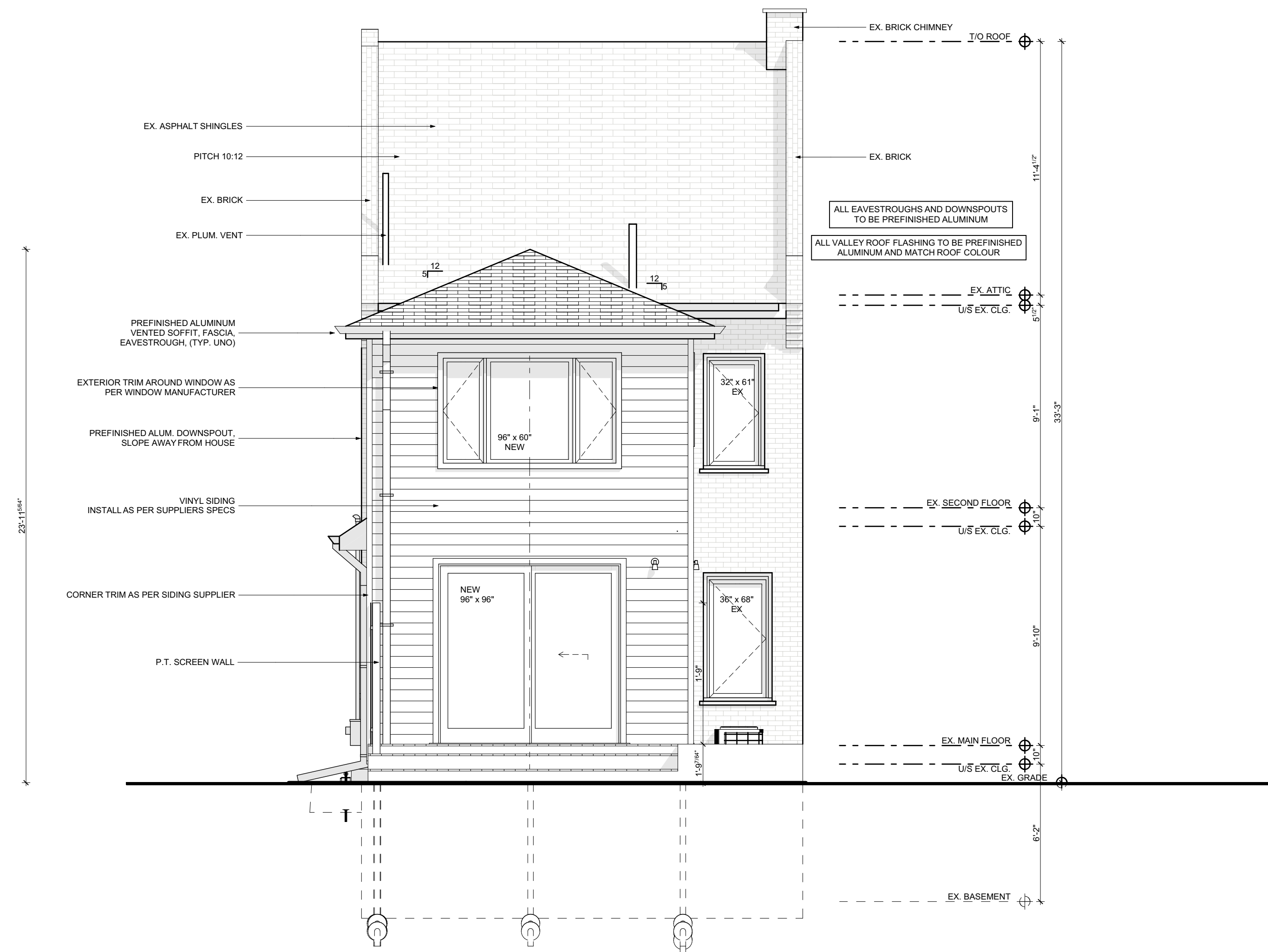
NO.	REVISION	DATE
1	DESIGN 1.0	2021.04.23
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3	DESIGN 2.1	2021.05.14
4	DESIGN 3.0	2021.06.29
5	ISSUED FOR MINOR VARIANCE	2021.08.04

DRAWING: PROPOSED SECOND FLOOR PLAN

PROJECT NAME:
EDWARDS
 PROJECT ADDRESS:
 65 MAGILL ST HAMILTON ON L8R 2Y4

DATE: 8/4/2021	SCALE: AS NOTED	DRAWING NO: A1.06
PROJECT NO: ---		

Printed: 8/4/2021 @ 2:07 PM



1 PROPOSED REAR ELEVATION
SCALE: 1/4" = 1'-0"

CONTRACTOR



790 SHAVER RD. ANCASTER
L9G 3K9 ON

NOT FOR CONSTRUCTION

NO.	REVISION	DATE
1	DESIGN 1.0	2021.04.23
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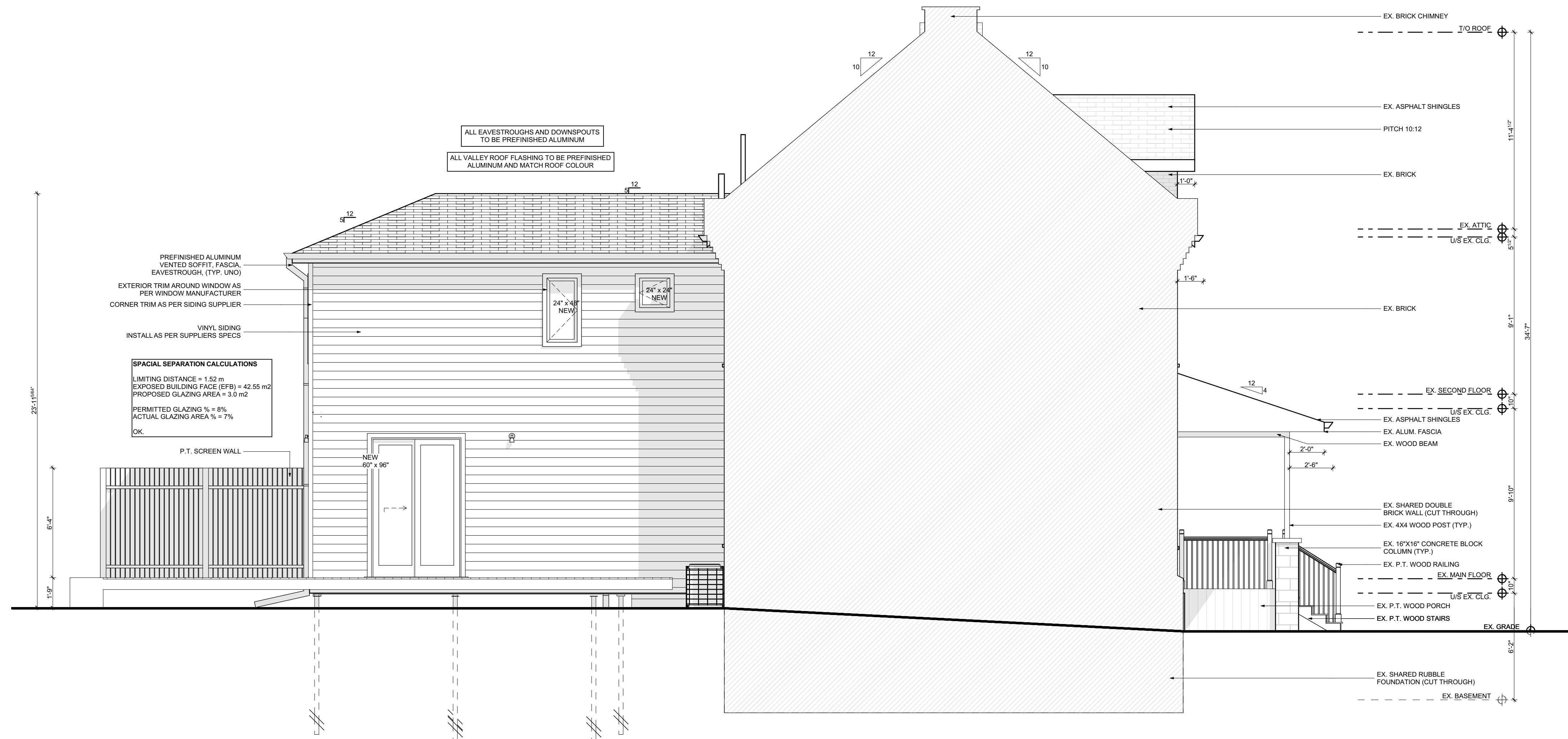
DRAWING:
PROPOSED REAR ELEVATION

PROJECT NAME:
EDWARDS

PROJECT ADDRESS:
65 MAGILL ST HAMILTON ON L8R 2Y4

DATE: 8/4/2021	SCALE: AS NOTED	DRAWING NO: A2.06
PROJECT NO: ---		

Printed: 8/4/2021 @ 2:07 PM



1

PROPOSED LEFT ELEVATION

SCALE: 1/4" = 1'-0"

CONTRACTOR



790 SHAVER RD. ANCASTER
L9G 3K9 ON

NOT FOR CONSTRUCTION

NO.	REVISION	DATE
1	DESIGN 1.0	2021.04.23
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3	DESIGN 2.1	2021.05.14
4	DESIGN 3.0	2021.06.29
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DRAWING:
PROPOSED LEFT ELEVATION

PROJECT NAME:
EDWARDS
PROJECT ADDRESS:
65 MAGILL ST HAMILTON ON L8R 2Y4

DATE: 8/4/2021

SCALE:
AS NOTED

PROJECT NO:

DRAWING NO:

A2.07

Printed: 8/4/2021 @ 2:07 PM

RENOVATION TO: EDWARDS

65 MAGILL ST HAMILTON ON L8R 2Y4

GENERAL NOTES

1. O.B.C. TO BE UNDERSTOOD AS ONTARIO BUILDING CODE 2012 LATEST EDITION AND AMENDMENTS.
2. ALL STAGES OF CONSTRUCTION SHALL CONFORM WITH O.B.C.
3. DO NOT SCALE DRAWINGS.
4. CONTRACTOR TO REVIEW AND VERIFY ALL DIMENSIONS PRIOR TO AND DURING CONSTRUCTION. ALL DISCREPANCIES TO BE REPORTED TO DESIGNER.
5. ALL WALL & CEILINGS BETWEEN DWELLING UNIT AND GARAGE ARE TO BE GAS PROOFED AND INSULATED TO ENERGY EFFICIENCY SUMMARY.
6. SEE ELEVATIONS AND FLOOR PLANS FOR WALL AND CEILING HEIGHTS. ANY DISCREPANCIES TO BE REPORTED TO DESIGNER.
7. WOOD IN CONTACT WITH CONCRETE OR MASONRY TO BE SEPARATED WITH MINIMUM 2 MIL POLY UNLESS OTHERWISE NOTED ON DRAWINGS.
8. UNDERCUT ALL DOORS TO ROOMS WITHOUT RETURN AIR INLETS.
9. SMOKE AND CO DETECTORS TO BE LOCATED AT EACH LEVEL. SMOKE ALARMS LOCATED IN EACH BEDROOM AND ARE TO BE INTERCONNECTED.
10. ALL LIGHTING AND ELECTRICAL AS PER O.B.C. 9.34.
11. PROVIDE SUMP PIT AND SEALED PIT COVER FOR DRAINAGE AS PER O.B.C. 9.14.
12. ATTIC ACCESS TO BE INSULATED MIN. R20 AND WEATHER STRIPPED.
13. WHERE CERAMIC FLOORING IS INSTALLED THE SUB-FLOOR SHALL BE REINFORCED AS PER O.B.C. 9.30.6.3.
14. HVAC DRAWINGS TO BE DESIGNED BY OTHERS AS PER O.B.C. DRAWINGS TO BE PROVIDED TO TBOUMA DESIGN AND DRAFTING PRIOR TO FINALIZED WORKING DRAWINGS. DRAWINGS NOT FOR APPROVAL JUST TO BE PROPERLY INCORPORATED INTO PLANS AND ON RECORD.
15. HRV / ERV TO BE BALANCE POST CONSTRUCTION.
16. PROVIDE MIN. 6"-5" HEADROOM BELOW ALL BEAMS & DUCTWORK.
17. ALL EXHAUST FANS TO BE VENTED TO EXTERIOR.
18. VENTED RANGE HOODS TO BE VENTED TO EXTERIOR WITH NON-COMBUSTIBLE DUCTING.

MASONRY

1. ALL FLASHING TO CONFORM TO O.B.C. 9.20.13.
2. ALL BRICK OR STONE SILLS TO BE FLASHED IN ACCORDANCE WITH THE O.B.C.
3. ALL STEEL UNTELS FOR MASONRY TO HAVE MINIMUM 6" BEARING EACH END AND SUPPORTED BACK TO FOUNDATION.

DESIGNER

1. REGISTRATION NAME OF REGISTRATION FIRM TBOUMA DESIGN INC. REGISTRATION NUMBER ASSIGNED BY DIRECTOR 104857
2. CONTRACTOR IS TO OBTAIN QUALIFIED DESIGNERS FOR ALL ENGINEERED STRUCTURAL MEMBERS AND SYSTEMS WHERE INDICATED DESIGNED BY OTHERS ON DRAWINGS.
3. DESIGNER ASSUMES NO RESPONSIBILITY FOR FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THESE DRAWINGS.
4. SINGLE PAGES OF THESE DRAWINGS NOT TO BE READ INDEPENDENTLY OF ALL PAGES OF THE WHOLE DRAWING SET.
5. CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THE WORKING DRAWING SET. ANY DISCREPANCIES ARE TO BE REPORTED TO THE DESIGNER PRIOR TO COMMENCEMENT OF WORK.
6. ANY MODIFICATIONS TO THE DESIGN SHALL NOT BE MADE WITHOUT AGREEMENT BETWEEN DESIGNER AND CONTRACTOR.
7. WHEN DRAWINGS ARE TO BE MODIFIED OR CHANGES ARE TO BE MADE THE BUILDING DEPARTMENT WILL BE NOTIFIED FOR PURPOSE OF REVIEW PRIOR TO CONSTRUCTION.

8. UNDER NO CIRCUMSTANCE SHALL THE CONTRACTOR OR SUB-CONTRACTOR PROCEED IF THERE IS ANY UNCERTAINTY. DESIGNER SHALL BE CONTACTED.
9. THE DRAWINGS THAT ARE APPROVED AND STAMPED BY THE BUILDING DEPARTMENT ARE TO BE THE ONLY TRUE DRAWINGS AND ARE TO BE ACCESSIBLE TO ALL CONTRACTORS AND SUB-CONTRACTORS AT ALL TIMES WITHIN THE JOB SITE TILL ALL WORK IS COMPLETED.

STAIRS

1. ALL STAIR COMPONENTS TO CONFORM TO O.B.C. STANDARDS.
2. STAIRS:
 - MAX RISE = 7 7/8"
 - MIN RISE = 4 7/8"
 - MIN. RUN = 8 1/4"
 - MIN TREAD = 9 1/4"
 - MIN. NOSING = 1"
 - MIN. HEADROOM = 6'-5"
 - MIN. WIDTH = 2'-0"
 - UNIFORM RISE / RUN

HANDRAILS:

- MIN. HEIGHT = 34"
- MAX HEIGHT = 38"

GUARDS:

- 4" MAXIMUM OPENINGS
- NON-CLIMBABLE

EXTERIOR GUARDS:

- 2'-0" TO 5'-11" ABOVE FINISHED GRADE
- MINIMUM HEIGHT = 36"
- OVER 5'-11" ABOVE GRADE
- MINIMUM HEIGHT = 42"

- ALL GUARDS TO BE CONSTRUCTED TO O.B.C. 9.8.8

DOORS AND WINDOWS

1. ALL EXTERIOR DOORS TO BE METAL INSULATED OR WOOD WITH STORM DOOR WITH WEATHER STRIPPING
2. DOOR BETWEEN GARAGE AND DWELLING TO BE WEATHER STRIPPED AND GAS TIGHT EXTERIOR TYPE DOOR WITH SELF CLOSING DEVICE.
3. DOOR AT COLD STORAGE TO BE EXTERIOR TYPE DOOR.
4. ALL WINDOWS AND DOORS AS PER ENERGY EFFICIENCY DESIGN SUMMARY OR ATTACHED BOP BY OTHERS.
5. ALL EXTERIOR DOORS AND WINDOWS TO COMPLY WITH FORCED ENTRY REQUIREMENTS. O.B.C. 9.7.5.2. AND 9.7.6.
6. FLOOR LEVELS CONTAINING BEDROOMS TO HAVE ONE OPERABLE WINDOW WITH A MINIMUM UNOBSTRUCTED OPEN AREA OF 3.8 SQ. FT. WITH NO DIMENSION LESS THAN 15".
7. MAIN ENTRANCE DOORS TO HAVE DOOR VIEWER UNLESS TRANSPARENT GLAZING IS PROVIDED IN DOOR OR A SIGHTLIGHT.
8. UNDERCUT ALL DOORS TO ROOMS WITHOUT RETURN AIR INLET.
9. WINDOW VALUES REFER TO FLOOR PLAN EFFICIENCY SUMMARY.

STRUCTURAL

1. ALL LUMBER TO COMPLY WITH O.B.C. SPECIFICATIONS AND STANDARDS.
2. ALL STRUCTURAL LUMBER TO BE OF SPRUCE #2 OR BETTER.
3. ALL PRE-ENGINEERED FLOOR AND ROOF TRUSS DESIGN AND LAYOUT TO BE DESIGNED BY OTHERS AND CONFORM TO O.B.C. SPECIFICATIONS ALL DRAWINGS TO BE PROVIDED TO TBOUMA DESIGN AND DRAFTING. NOT FOR APPROVAL JUST TO BE PROPERLY INCORPORATED INTO PLANS AND ON RECORD.
4. AS NOTED ON DRAWINGS STUDS TO BE USED AS BEARING POINTS WHERE IT IS APPLICABLE.
5. ALL BEAMS TO HAVE MINIMUM 3 1/2" BEARING AT BOTH ENDS BEARING TO BE CONTINUOUS TO FOUNDATION.
6. DOUBLE JOISTS AROUND STAIRWELL UNLESS OTHERWISE NOTED BY PRE-ENGINEERED FLOOR DESIGNER.

FOUNDATION

1. CONTRACTOR TO VERIFY SOIL CONDITIONS PRIOR TO PLACING OF FOOTINGS. ANY ABNORMALITIES TO BE REPORTED TO DESIGNER.
2. STEP FOOTINGS TO BE DESIGNED AS PER O.B.C. 9.15.3.9.
 - MAX RISE SHALL NOT EXCEED 23 5/8"
 - MIN RUN SHALL NOT BE LESS THAN 23 5/8"
3. ALL FOOTINGS TO BEAR ON FIRM UNDISTURBED SOIL MIN. 4'-0" BELOW FINISHED GRADE AND MIN. BEARING CAPACITY OF 75 KPA.
4. WALL HEIGHTS AND THICKNESS TO CONFORM TO O.B.C. 9.15.4.



2 3D - WHITE MODEL

SCALE: 1/4" = 1'-0"

CONTRACTOR



790 SHAVER RD. ANCASTER
L9G 3K9 ON

**NOT FOR
CONSTRUCTION**

NO.	REVISION	DATE
1	DESIGN 1.0	2021.04.23
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3	DESIGN 2.1	2021.05.14
4	DESIGN 3.0	2021.06.29
5	ISSUED FOR MINOR VARIANCE	2021.08.04

DRAWING:
TITLE SHEET / GENERAL INFO

PROJECT NAME:
EDWARDS

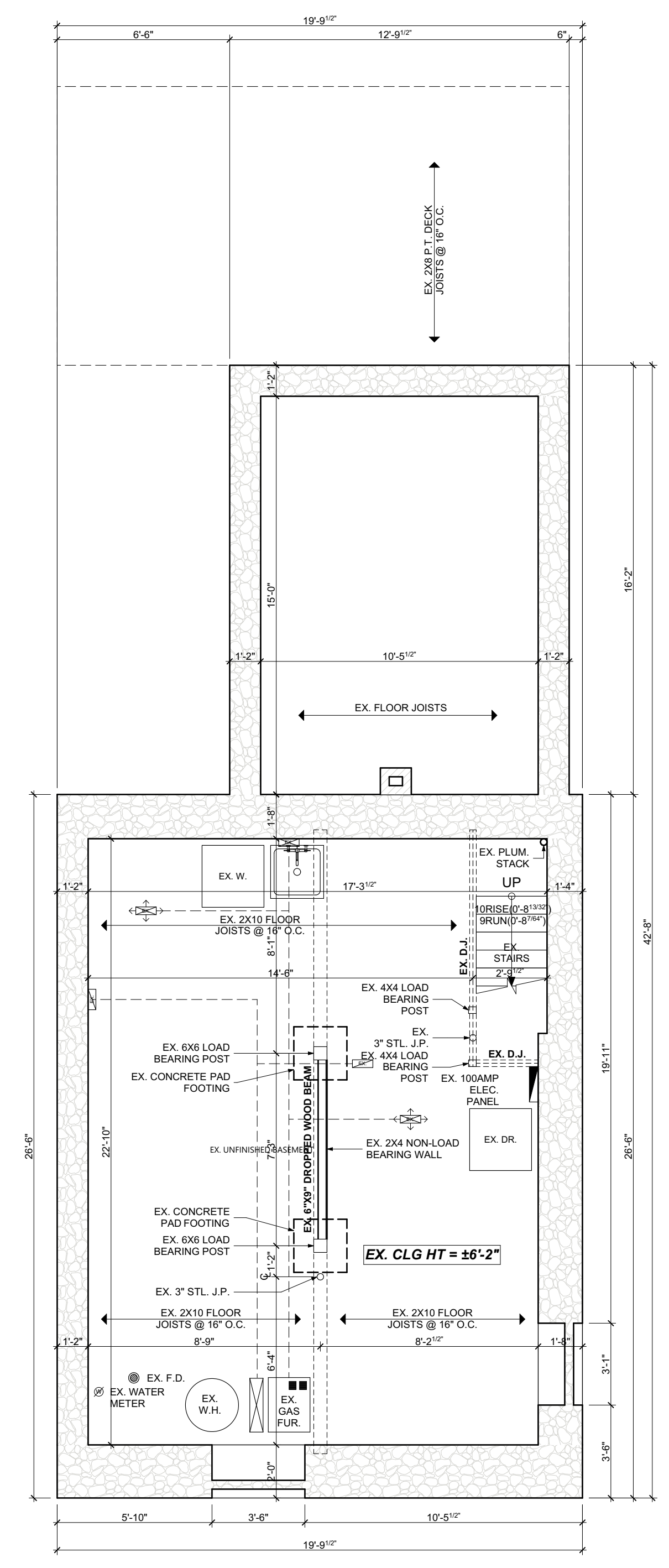
PROJECT ADDRESS:
65 MAGILL ST HAMILTON ON L8R 2Y4

DATE: 8/4/2021	SCALE: AS NOTED	DRAWING NO: A0.01
PROJECT NO: ---		

1 **EXISTING BASEMENT PLAN**
SCALE: 1/4" = 1'-0"

HVAC LEGEND

- TOE KICK WALL SUPPLY
- TOE KICK WALL RETURN
- WALL SUPPLY
- WALL RETURN
- FLOOR SUPPLY AIR REGISTER
- FLOOR RETURN AIR REGISTER
- CLO SUPPLY AIR REGISTER
- CLO RETURN AIR REGISTER
- SUPPLY AIR CHASE
- RETURN AIR CHASE
- DUCT ABOVE



CONTRACTOR



790 SHAVER RD. ANCASTER
L9G 3K9 ON

NOT FOR CONSTRUCTION

NO.	REVISION	DATE
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4	DESIGN 3.0	2021.06.29
5	ISSUED FOR MINOR VARIANCE	2021.08.04

DRAWING:
EXISTING BASEMENT PLAN

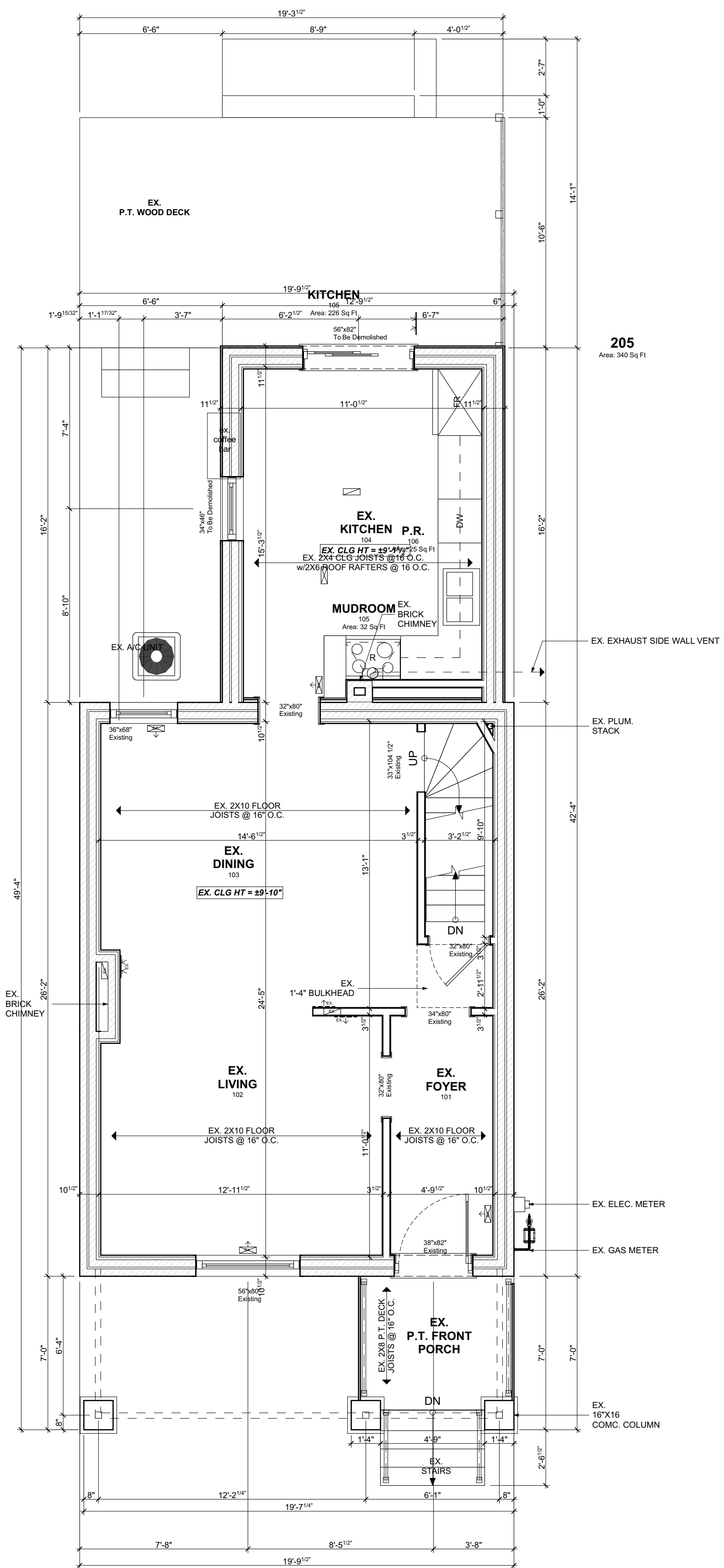
PROJECT NAME:
EDWARDS

PROJECT ADDRESS:
65 MAGILL ST HAMILTON ON L8R 2Y4

DATE: 8/4/2021	SCALE: AS NOTED	DRAWING NO: A1.01
PROJECT NO: ---		

HVAC LEGEND

- TOE KICK WALL SUPPLY
- x-x- TOW KICK WALL RETURN
- WALL SUPPLY
- WALL RETURN
- FLOOR SUPPLY AIR REGISTER
- FLOOR RETURN AIR REGISTER
- CLG SUPPLY AIR REGISTER
- CLG RETURN AIR REGISTER
- SUPPLY AIR CHASE
- RETURN AIR CHASE
- DUCT ABOVE



CONTRACTOR



790 SHAVER RD. ANCASTER
L9G 3K9 ON

NOT FOR CONSTRUCTION

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5	ISSUED FOR MINOR VARIANCE	2021.08.04

DRAWING:
EXISTING MAIN FLOOR PLAN

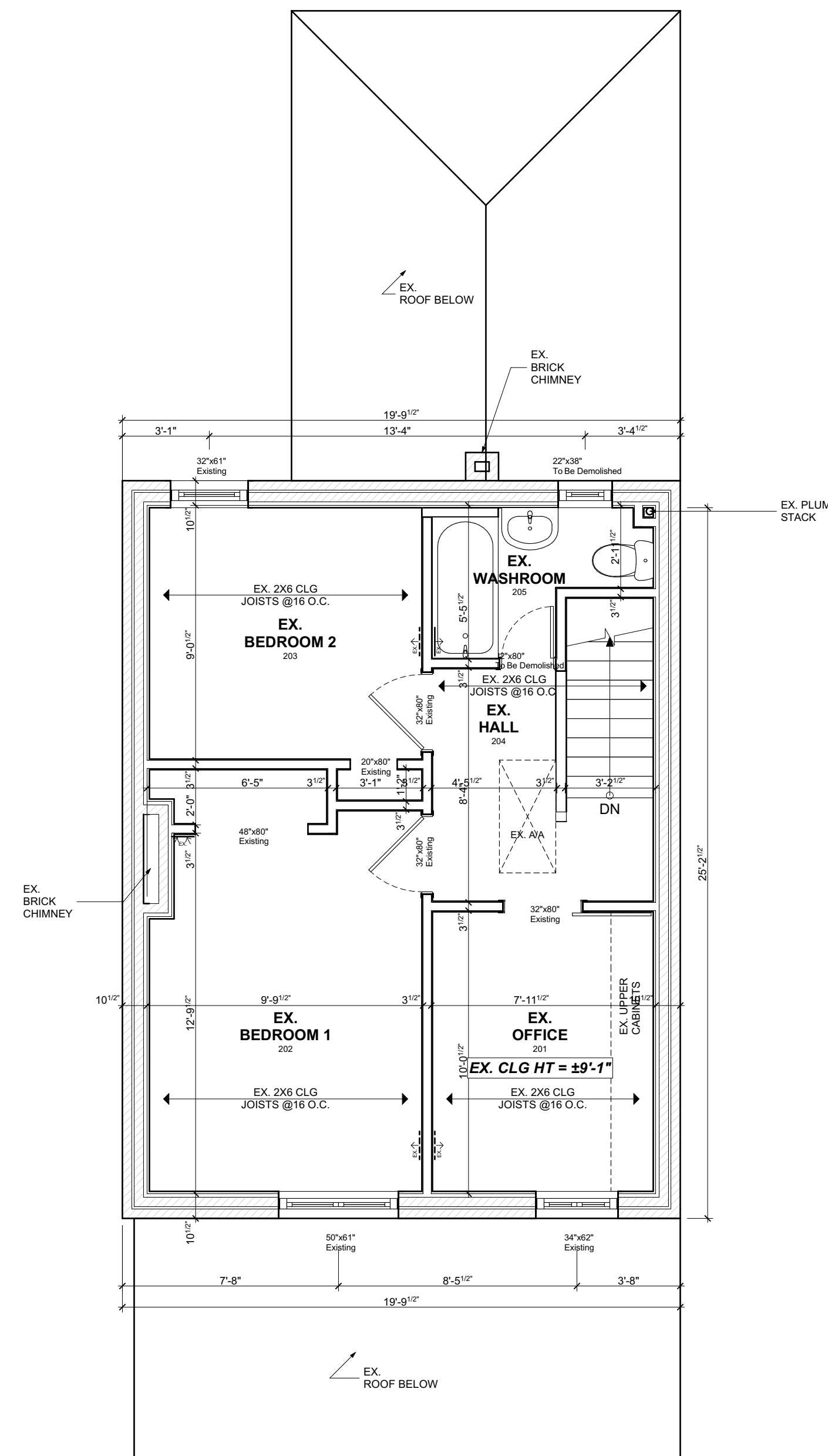
PROJECT NAME:
EDWARDS

PROJECT ADDRESS:
65 MAGILL ST HAMILTON ON L8R 2Y4

DATE: 8/4/2021	SCALE: AS NOTED	DRAWING NO: A1.02
PROJECT NO: ---		

HVAC LEGEND

- TCE KICK WALL SUPPLY
- TOW KICK WALL RETURN
- WALL SUPPLY
- WALL RETURN
- FLOOR SUPPLY AIR REGISTER
- FLOOR RETURN AIR REGISTER
- CLG SUPPLY AIR REGISTER
- CLG RETURN AIR REGISTER
- SUPPLY AIR CHASE
- RETURN AIR CHASE
- DUCT ABOVE



1 EXISTING SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

CONTRACTOR



790 SHAVER RD. ANCASTER
L9G 3K9 ON

**NOT FOR
CONSTRUCTION**

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DRAWING:
**EXISTING SECOND FLOOR
PLAN**

PROJECT NAME:
EDWARDS
PROJECT ADDRESS:
65 MAGILL ST HAMILTON ON L8R 2Y4

DATE: 8/4/2021

SCALE:
AS NOTED

PROJECT NO:

DRAWING NO:

A1.03

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ALL CONSTRUCTION TO COMPLY WITH ONTARIO BUILDING CODE

GENERAL NOTES:

DESIGN AND LAYOUT OF ALL PRE ENGINEERED STRUCTURAL MEMBERS FROM ROOF TRUSS SUPPLIER TO BE SUPPLIED BY MANUFACTURER PRIOR TO CONSTRUCTION

SOLID BLOCKING TO BEARING BELOW TO BE PROVIDED AT ALL GIRDER TRUSS AND BEAM LOCATIONS (MIN. WIDTH EQUAL TO WIDTH OF BEARING POINT OVER) VERIFY WITH TRUSS DRAWINGS

TRUSS MEMBERS SHALL NEVER BE NOTCHED, DRILLED OR CUT UNLESS NOTCHING OR DRILLING HAS BEEN ACCOUNTED FOR IN THE DESIGN OF THE TRUSS

WHEN RENOVATING, INSULATION TO BE EQUAL TO OR GREATER THAN EXISTING

BEAM BEARING = MIN. 3-1/2"
 UNTEL BEARING = MIN. 1-1/2"
 RAFTER BEARING = MIN. 1-1/2"
 JOISTS BEARING = MIN. 1-1/2"

CONTRACTOR TO CHECK AND VERIFY ALL SPECIFICATIONS AND DIMENSIONS PRIOR TO AND DURING CONSTRUCTION. ALL DISCREPANCIES TO BE REPORTED TO DESIGNER (519) 339-1493

PROVIDE TEMPORARY BRACING/SHORING FOR ALL EXISTING FLOOR JOISTS & WALLS DURING CONSTRUCTION & INSTALLATION OF NEW BEAMS & FLOOR JOISTS AS REQ. (TYP.)

NOTE ABOUT MATCHING INSULATION IN OLDER HOMES

THE ENERGY EFFICIENCY OF EXISTING BUILDINGS SHALL COMPLY WITH PART 11 OF DIVISION B OF THE BUILDING CODE FOR RENOVATION, SB-12, 1.1.1.1. ENERGY EFFICIENCY

CONSTRUCTION MAY BE CARRIED OUT TO MAINTAIN THE EXISTING PERFORMANCE LEVEL OF ALL OR PART OF AN EXISTING BUILDING, BY THE REUSE, RELOCATION OR EXTENSION OF THE SAME OR SIMILAR MATERIALS OR COMPONENTS, TO RETAIN THE EXISTING CHARACTER, STRUCTURAL UNIQUENESS, HERITAGE VALUE, OR AESTHETIC APPEARANCE OF ALL OR PART OF THE BUILDING. IF THE CONSTRUCTION WILL NOT ADVERSELY AFFECT THE EARLY WARNING AND EVACUATION SYSTEMS, FIRE SEPARATIONS OR THE STRUCTURAL ADEQUACY OR WILL NOT CREATE AN UNHEALTHY ENVIRONMENT IN THE BUILDING, 11.3.3.1. BASIC RENOVATION (SEE APPENDIX A)

WHERE THE FRAMING SYSTEMS ARE BEING ALTERED TO MATCH EXISTING FRAMING, LESSER AMOUNTS AND EXTENT OF INSULATION AND VAPOR BARRIERS IS ACCEPTABLE. PART 11 COMPLIANCE ALTERNATIVE, TABLE 11.5.1.1.C. (CONT'D), C199 - 12.2.1.1. (3)

SMOKE ALARMS

9.10.19
 (1) Within dwelling units sufficient smoke alarms conforming to CANULS-531 shall be installed so that

(a) There is at least one smoke alarm on each storey, including basements, and

(b) On any storey of a dwelling unit containing sleeping rooms, a smoke alarm is installed.

(i) in each sleeping room, and

(ii) if a location between the sleeping rooms and remainder of the storey, and if the sleeping rooms are served by a hallway, the smoke alarm shall be located in the hallway

(2) Smoke alarms shall have a visual signalling component conforming to the requirements in 18.5.3. of NFPA 72. The visual signalling component need not be integrated with the smoke alarm provided it is interconnected to it.

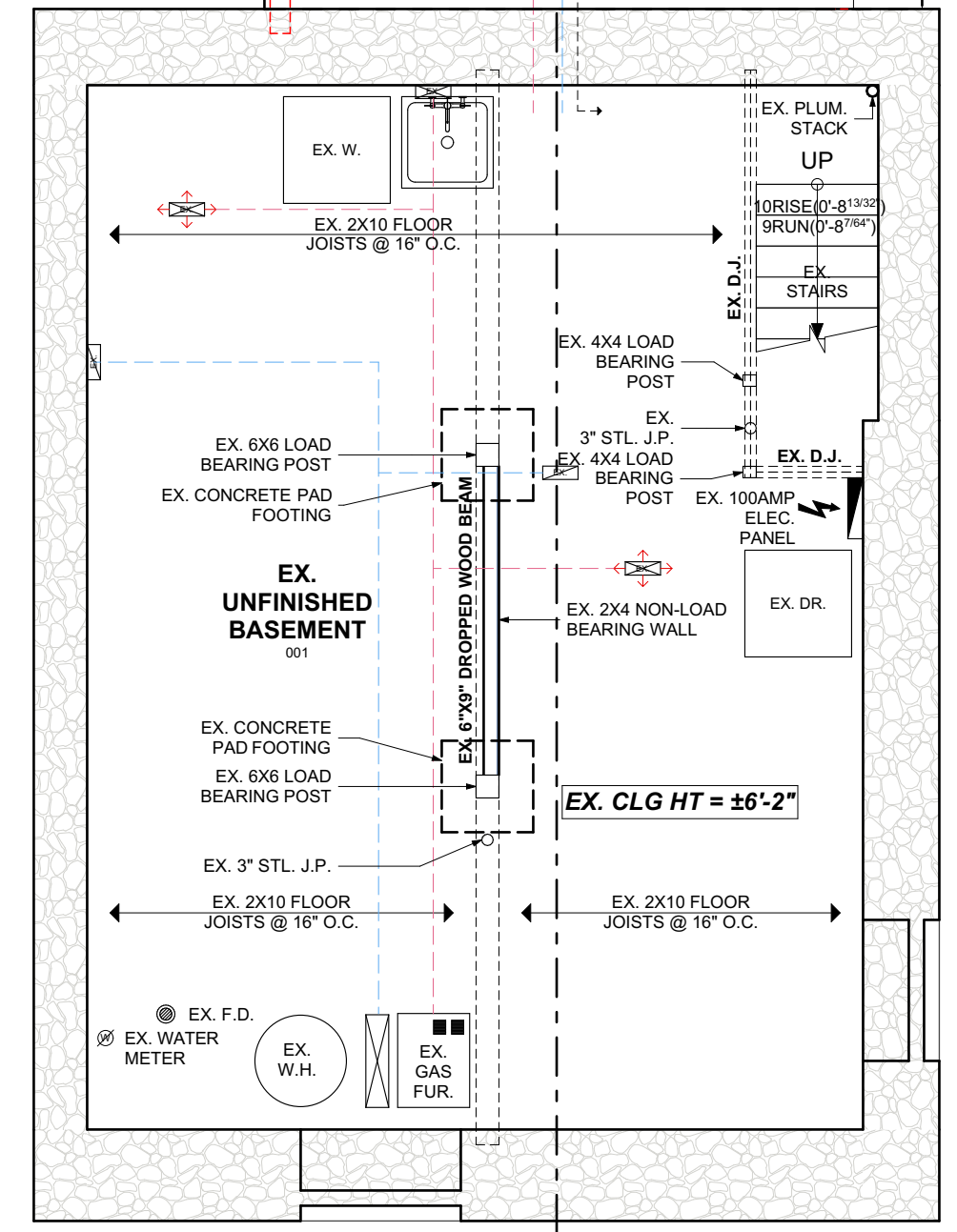
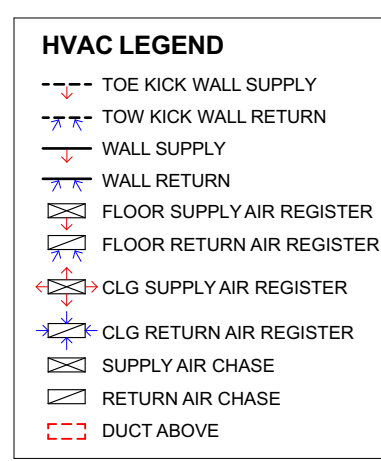
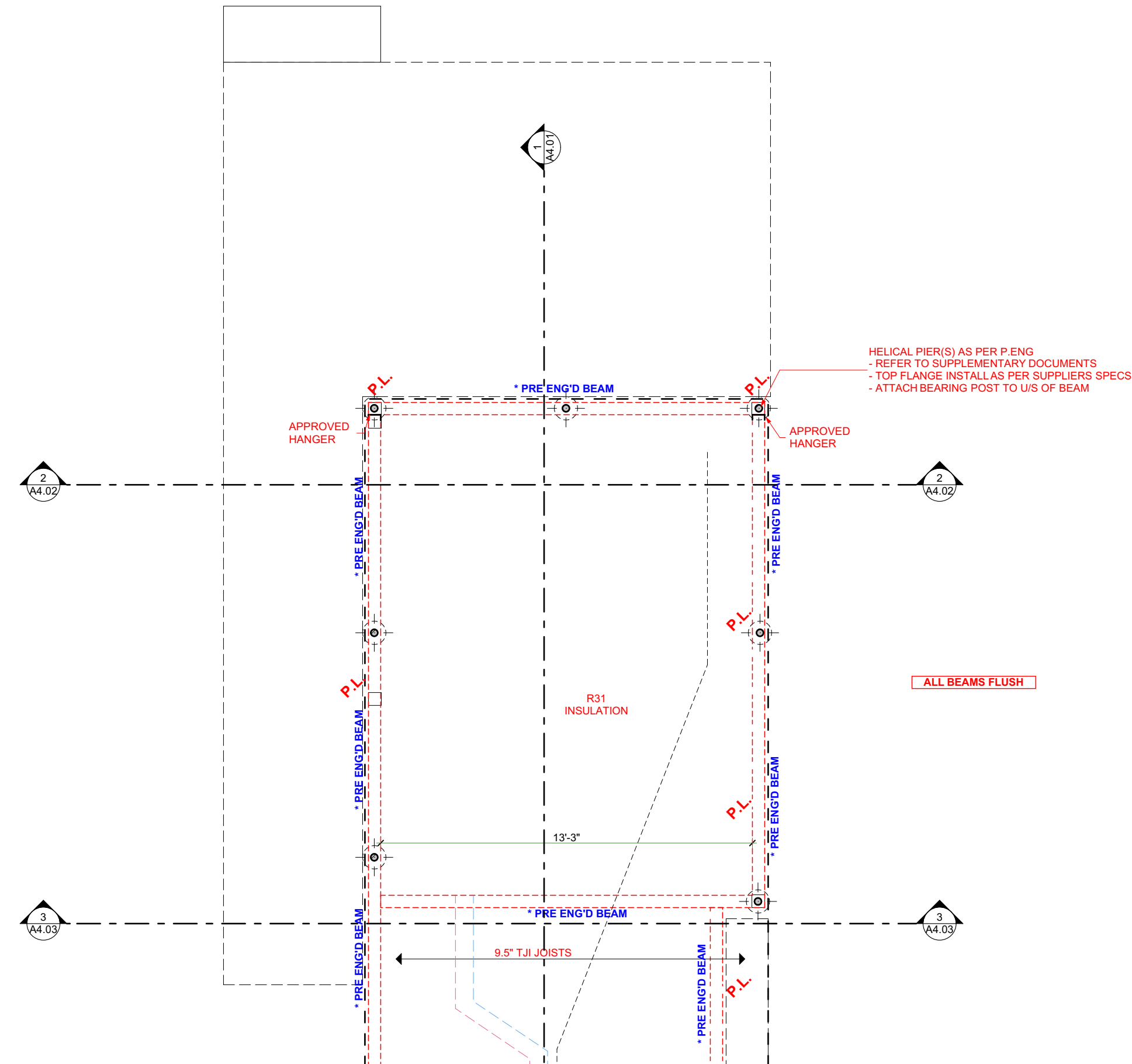
Interconnect smoke alarms to be permanently connected and have a battery backup as per CBC 9.10.19.4

TABLE 3.1.1.21. (IP)

Thermal Performance Requirements for Additions to Existing Buildings
 ZONE 1

CEILING WITH ATTIC SPACE	R60
CEILING WITHOUT ATTIC SPACE	R31
EXPOSED FLOOR	R31
WALLS ABOVE GRADE	R19 + R5 c.i.
BASEMENT WALLS	R20 c.i. or R12 + R10 c.i.
BELOW GRADE SLAB	R5
EDGE OF BELOW GRADE SLAB	R10
HEATED SLAB	R10
WINDOWS AND SLIDING GLASS DOORS	0.28U
ENERGY RATING	25

ELECTRICAL FACILITIES SHALL BE PROVIDED AS PER ONTARIO BUILDING CODE 2012 AS PER 9.34



1 PROPOSED BASEMENT PLAN
 SCALE: 1/4" = 1'-0"

CONTRACTOR

790 SHAVER RD. ANCASTER
 L9G 3K9 ON

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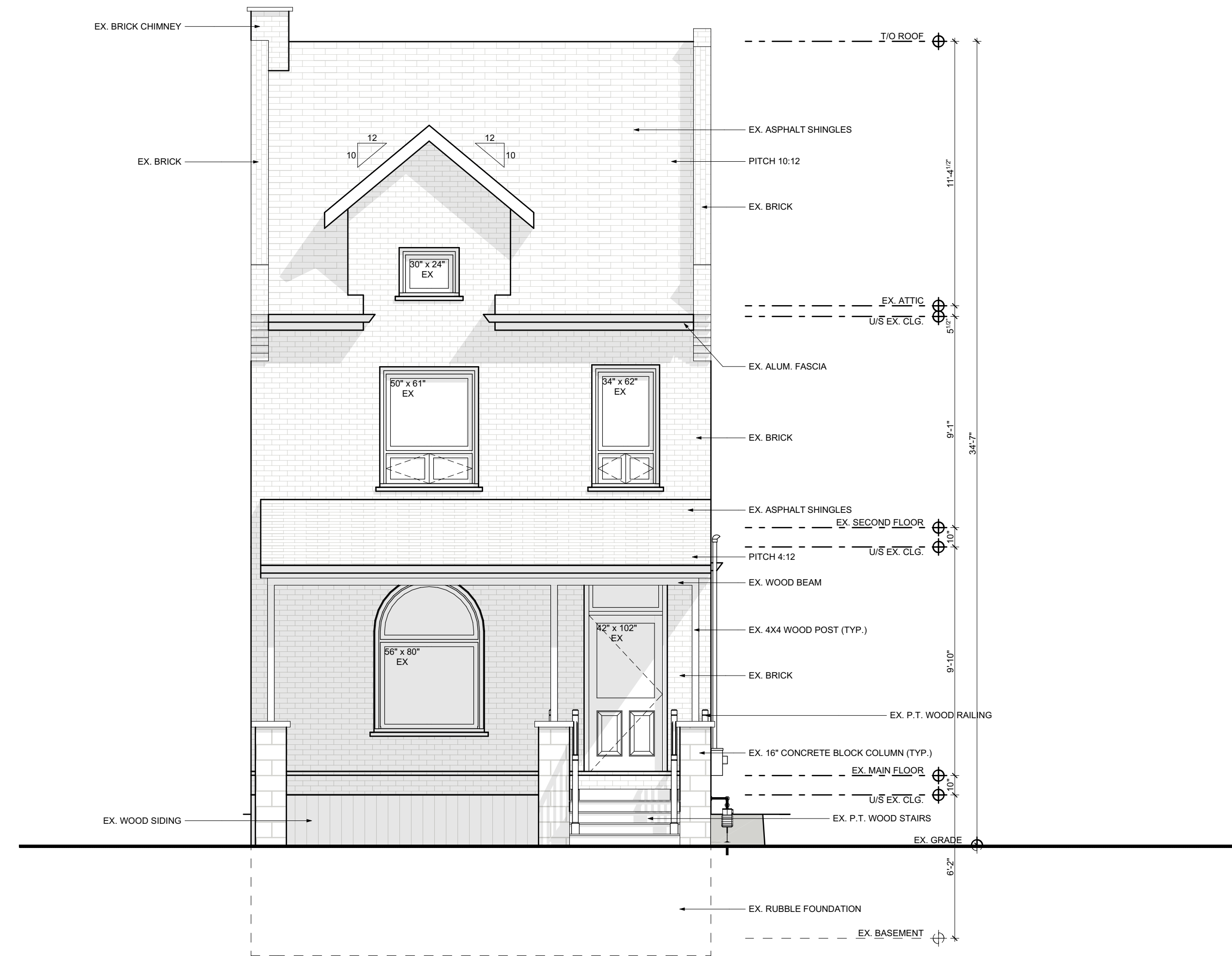
DRAWING:
PROPOSED BASEMENT PLAN

PROJECT NAME:
EDWARDS

PROJECT ADDRESS:
 65 MAGILL ST HAMILTON ON L8R 2Y4

DATE: 8/4/2021	SCALE: AS NOTED	DRAWING NO: A1.04
PROJECT NO: ---		

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1 EXISTING FRONT ELEVATION

SCALE: 1/4" = 1'-0"

CONTRACTOR



790 SHAVER RD. ANCASTER
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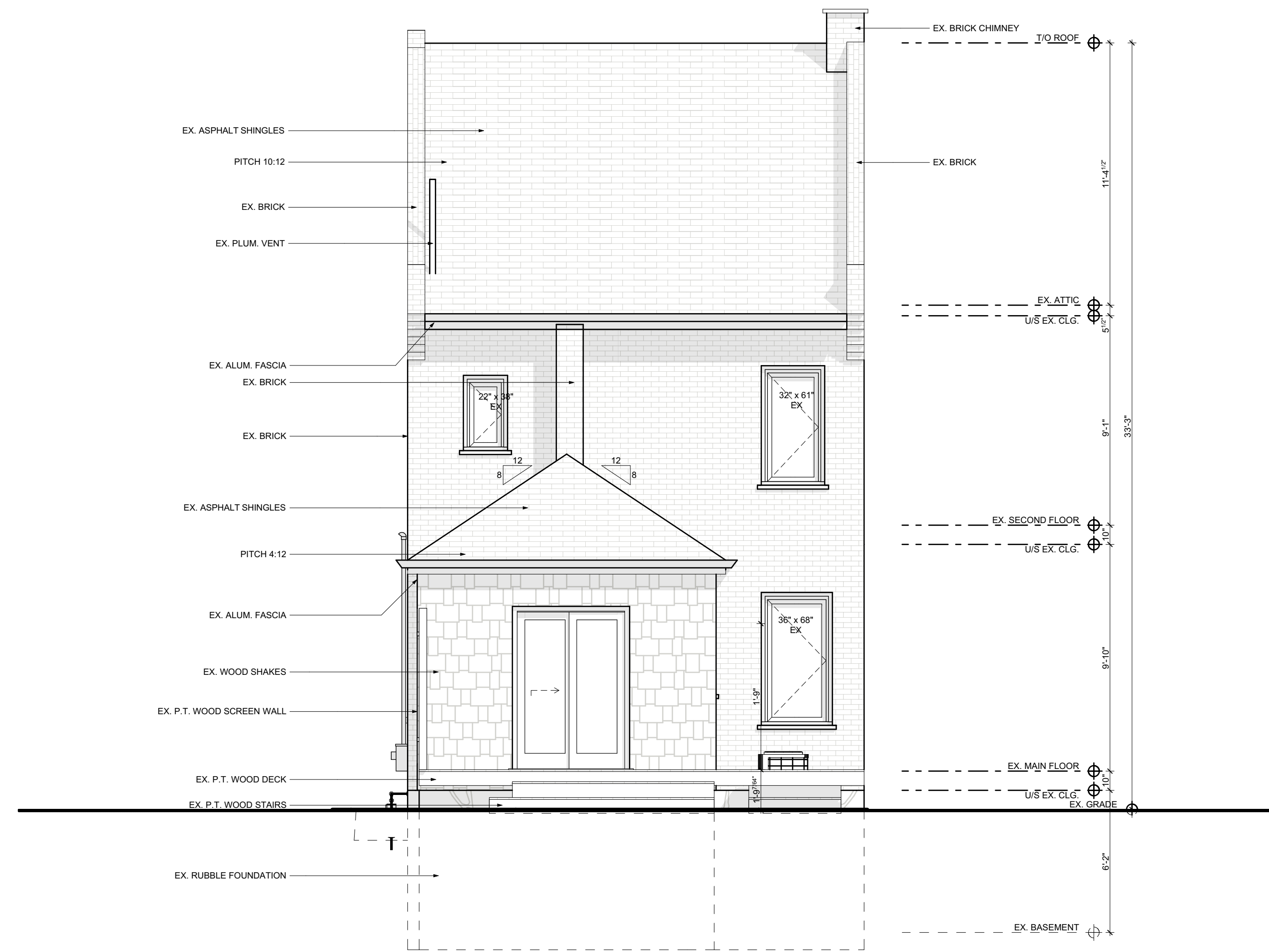
DRAWING:
EXISTING FRONT ELEVATION

PROJECT NAME:
EDWARDS

PROJECT ADDRESS:
65 MAGILL ST HAMILTON ON L8R 2Y4

DATE: 8/4/2021	SCALE: AS NOTED	DRAWING NO: A2.01
PROJECT NO: ---		

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1 EXISTING REAR ELEVATION

SCALE: 1/4" = 1'-0"

CONTRACTOR



790 SHAVER RD. ANCASTER
L9G 3K9 ON

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DRAWING:
EXISTING REAR ELEVATION

PROJECT NAME:
EDWARDS
PROJECT ADDRESS:
65 MAGILL ST HAMILTON ON L8R 2Y4

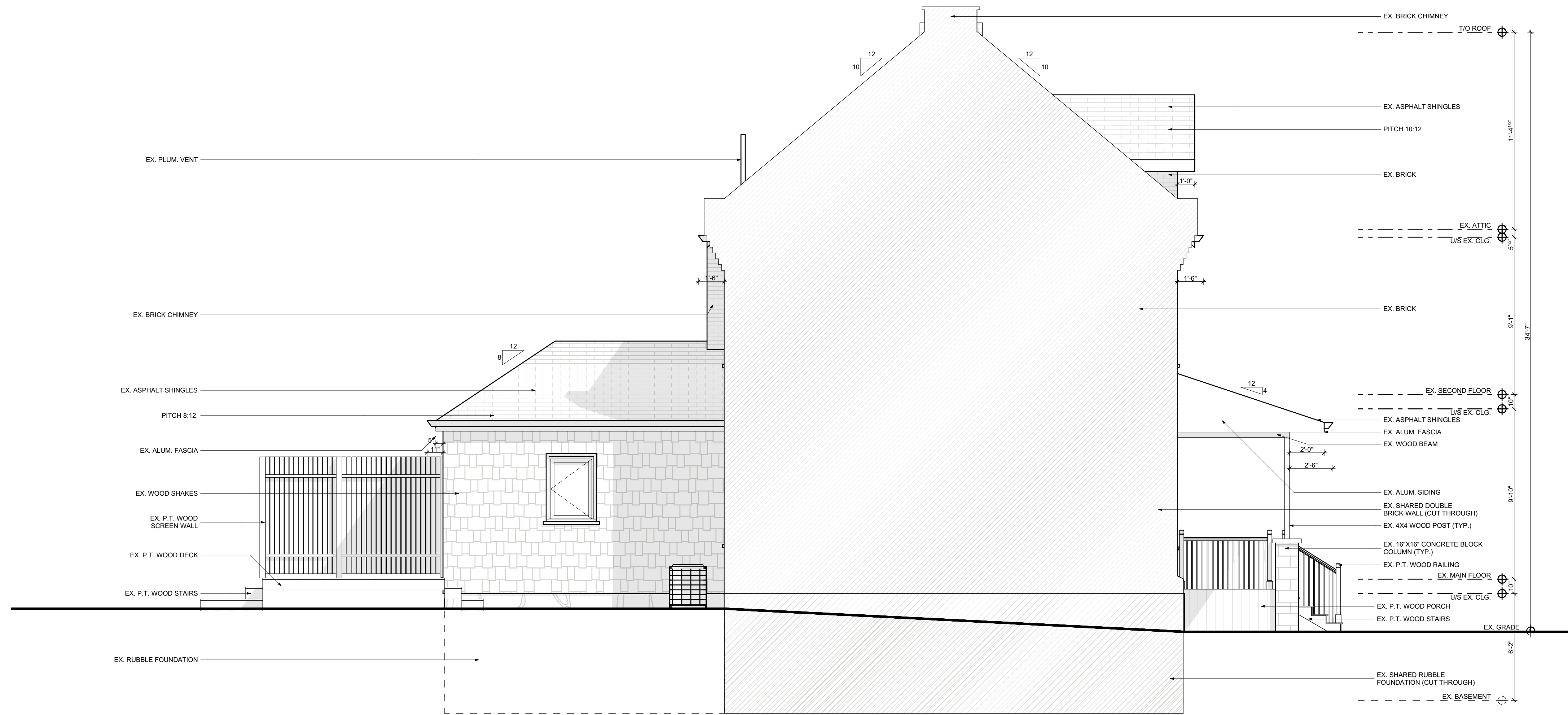
DATE: 8/4/2021

SCALE:
AS NOTED

PROJECT NO.

DRAWING NO:
A2.02

Printed: 8/4/2021 @ 2:07 PM



1 EXISTING LEFT ELEVATION

SCALE: 1/4" = 1'-0"

CONTRACTOR



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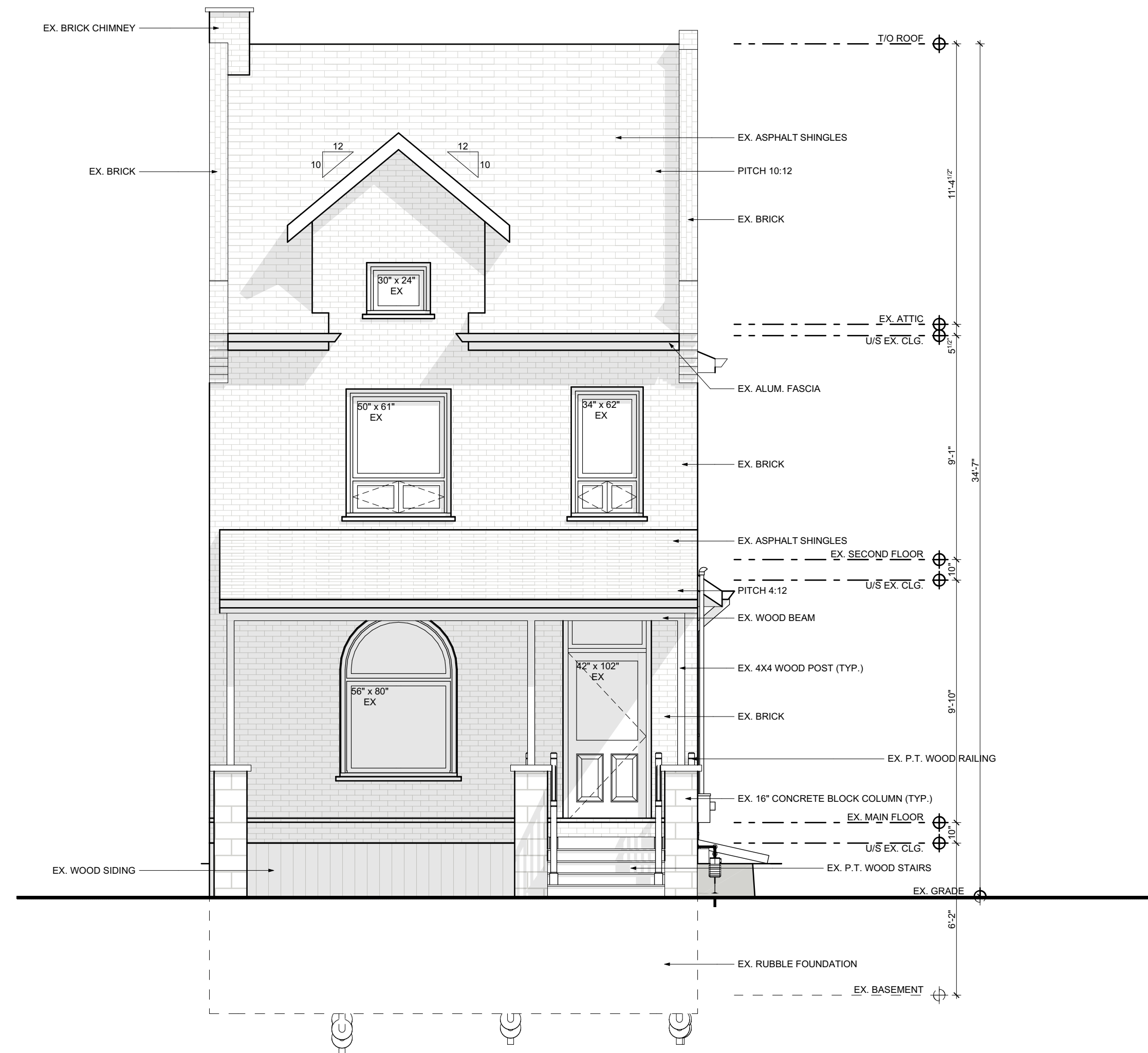
DRAWING:
EXISTING LEFT ELEVATION

PROJECT NAME:
EDWARDS

PROJECT ADDRESS:
65 MAGILL ST HAMILTON ON L8R 2Y4

DATE: 8/4/2021	SCALE: AS NOTED	DRAWING NO: A2.03
PROJECT NO: ---		

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1 PROPOSED FRONT ELEVATION

SCALE: 1/4" = 1'-0"

CONTRACTOR



790 SHAVER RD. ANCASTER
L9G 3K9 ON

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DRAWING:
**PROPOSED FRONT
ELEVATION**

PROJECT NAME:
EDWARDS
PROJECT ADDRESS:
65 MAGILL ST HAMILTON ON L8R 2Y4

DATE: 8/4/2021

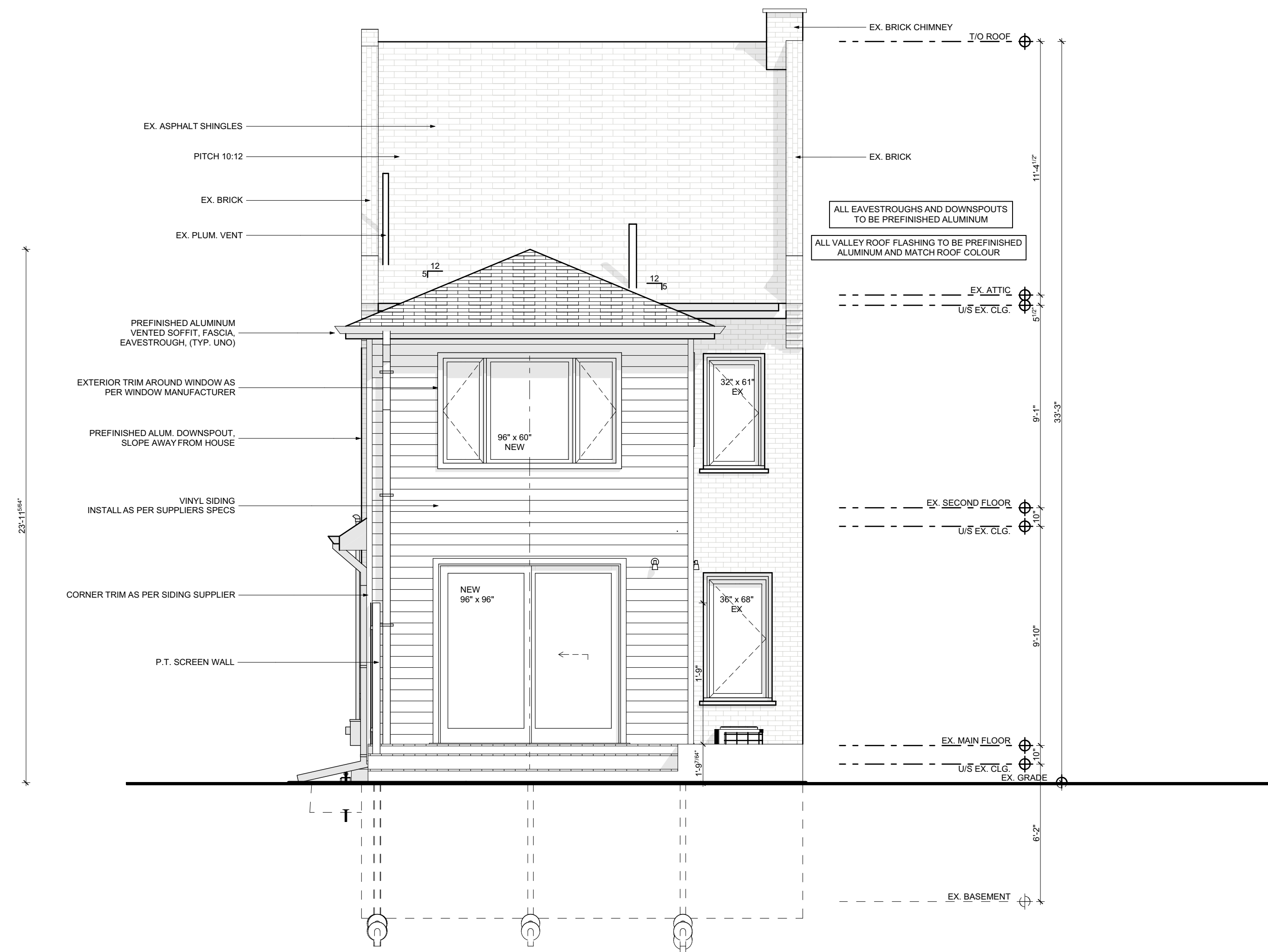
SCALE:
AS NOTED

PROJECT NO:

DRAWING NO:

A2.05

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1 PROPOSED REAR ELEVATION
SCALE: 1/4" = 1'-0"

CONTRACTOR



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NOT FOR CONSTRUCTION

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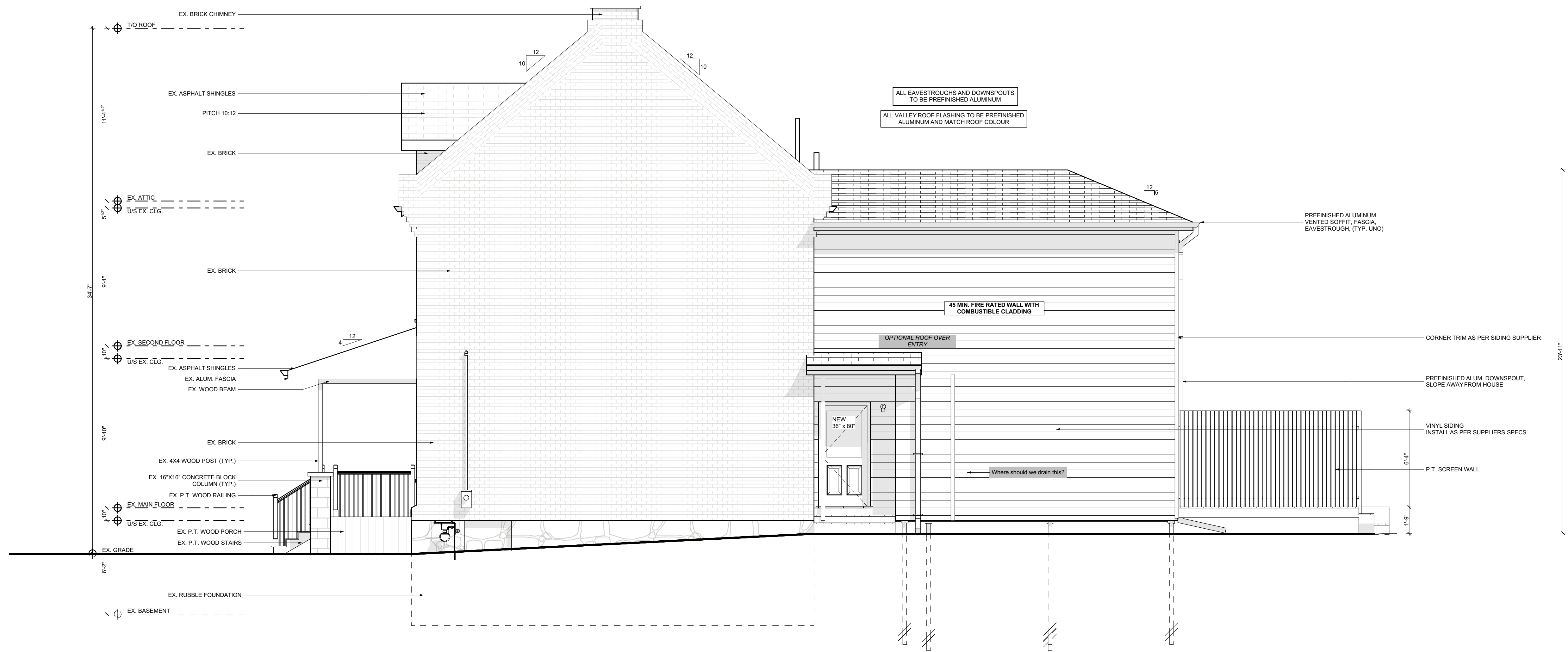
DRAWING:
PROPOSED REAR ELEVATION

PROJECT NAME:
EDWARDS

PROJECT ADDRESS:
65 MAGILL ST HAMILTON ON L8R 2Y4

DATE: 8/4/2021	SCALE: AS NOTED	DRAWING NO: A2.06
PROJECT NO: ---		

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1 PROPOSED RIGHT ELEVATION
 SCALE: 1/4" = 1'-0"

CONTRACTOR



790 SHAVER RD. ANCASTER
 L9G 3K9 ON

NOT FOR CONSTRUCTION

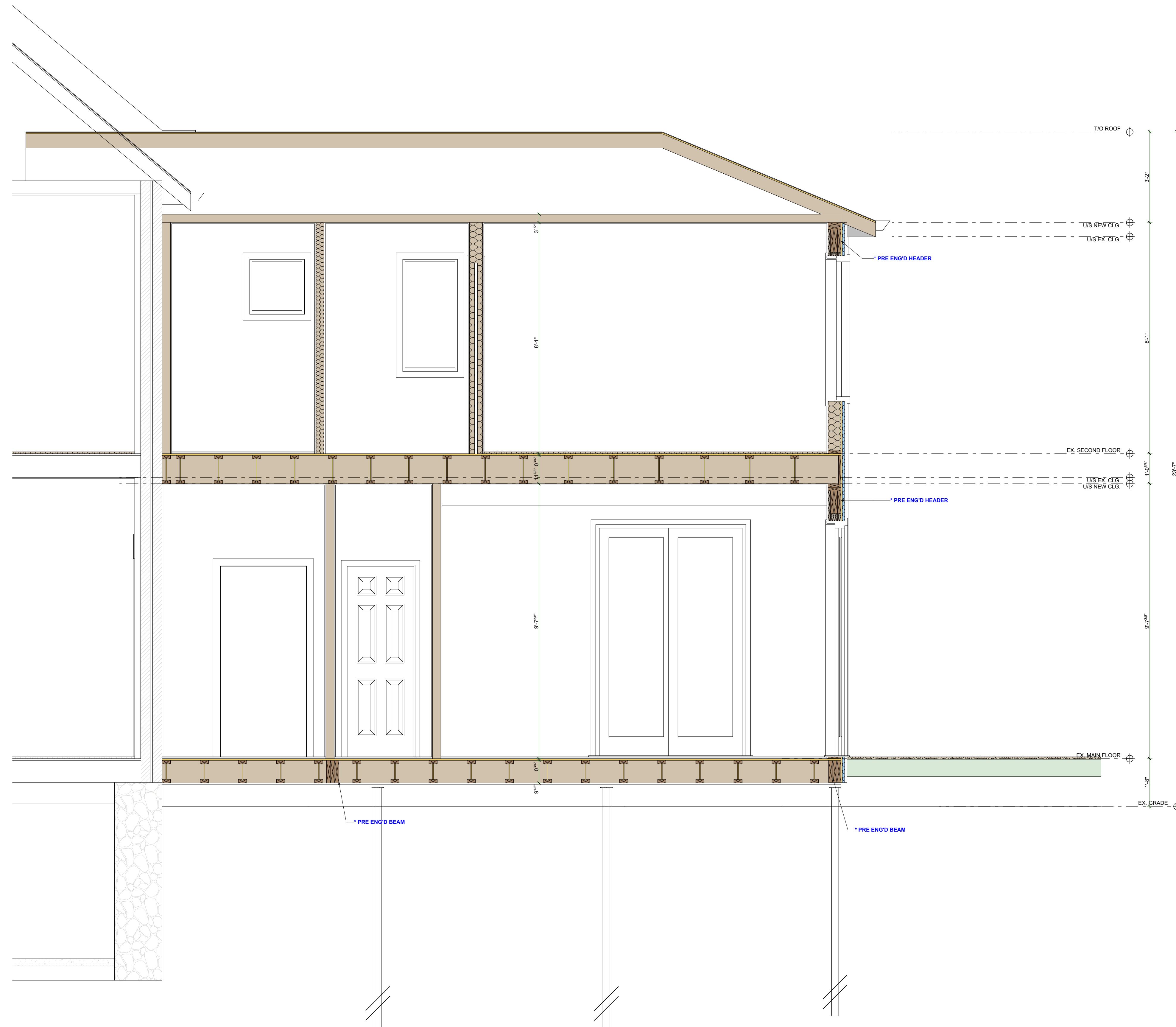
NO.	REVISION	DATE
1	DESIGN 1.0	2021.04.23
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4	DESIGN 3.0	2021.06.29
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DRAWING:
PROPOSED RIGHT ELEVATION

PROJECT NAME:
EDWARDS
 PROJECT ADDRESS:
 65 MAGILL ST HAMILTON ON L8R 2Y4

DATE: 8/4/2021	SCALE: AS NOTED	DRAWING NO: A2.08
PROJECT NO: ---		

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1 SECTION
SCALE: 1/2" = 1'-0"

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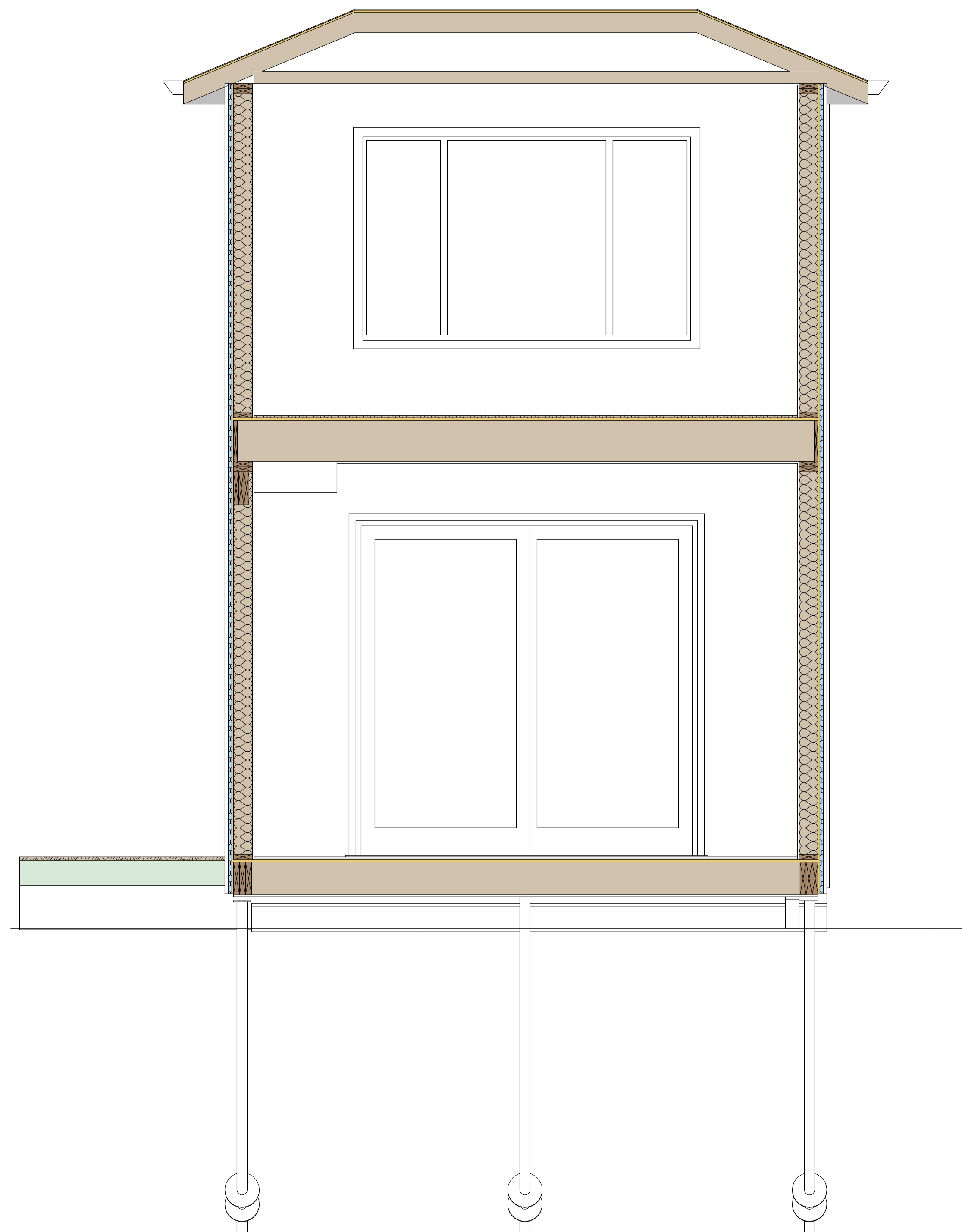
DRAWING:
BUILDING SECTIONS

PROJECT NAME:
EDWARDS

PROJECT ADDRESS:
65 MAGILL ST HAMILTON ON L8R 2Y4

DATE: 8/4/2021	SCALE: AS NOTED	DRAWING NO: A4.01
PROJECT NO: ---		

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2 SECTION
SCALE: 1/2" = 1'-0"

CONTRACTOR

 790 SHAVER RD. ANCASTER
 L9G 3K9 ON

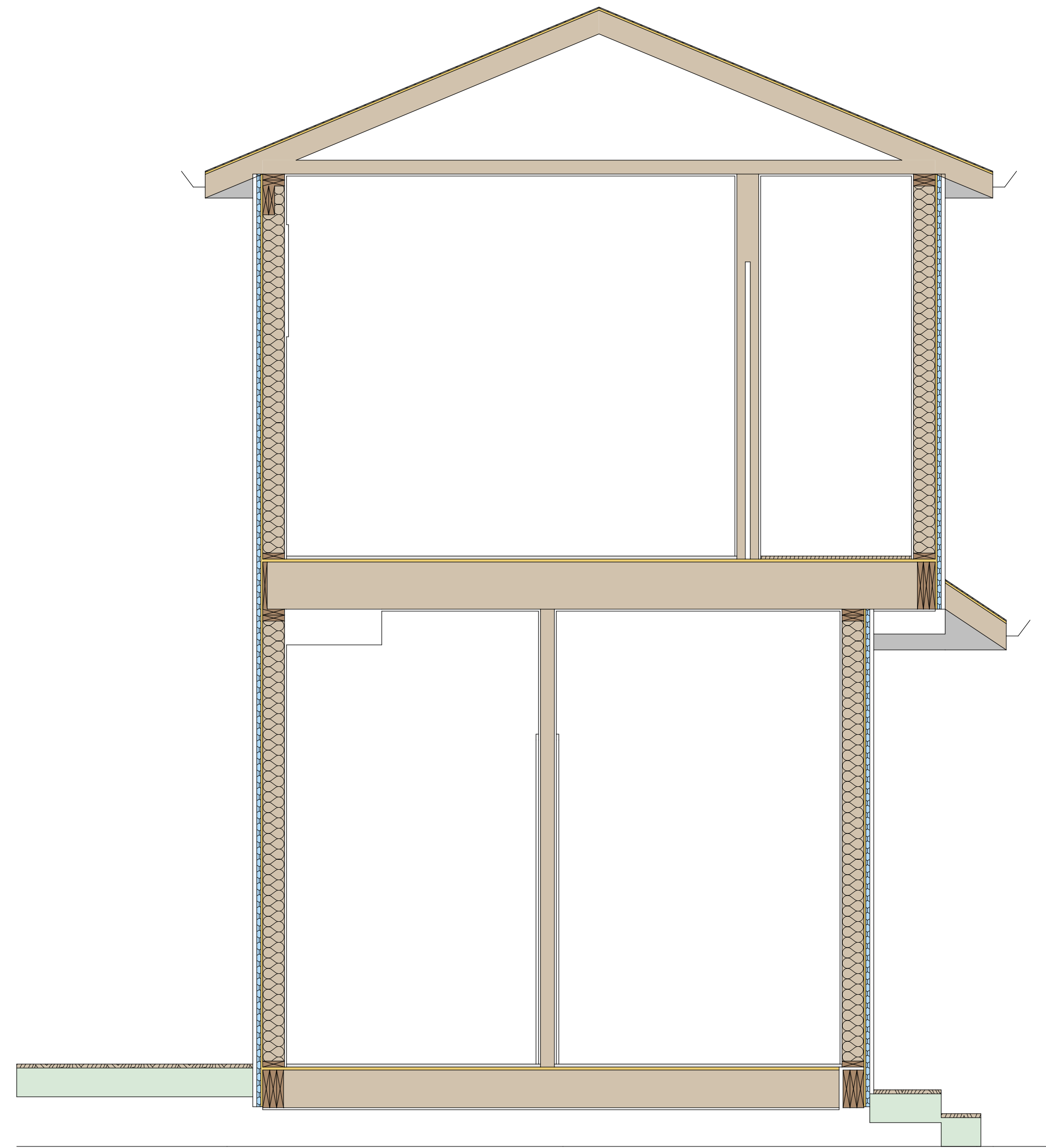
**NOT FOR
 CONSTRUCTION**

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DRAWING:
BUILDING SECTIONS

PROJECT NAME:
EDWARDS
 PROJECT ADDRESS:
 65 MAGILL ST HAMILTON ON L8R 2Y4

DATE: 8/4/2021
 SCALE: AS NOTED
 PROJECT NO: ---
 DRAWING NO: **A4.02**
 Printed: 8/4/2021 @ 2:08 PM



3 SECTION
SCALE: 1/2" = 1'-0"

CONTRACTOR

 790 SHAVER RD. ANCASTER
 L9G 3K9 ON

NOT FOR CONSTRUCTION

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1	DESIGN 1.0	2021.04.23
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DRAWING:
BUILDING SECTIONS

PROJECT NAME:
EDWARDS
 PROJECT ADDRESS:
 65 MAGILL ST HAMILTON ON L8R 2Y4

DATE: 8/4/2021
 SCALE: AS NOTED
 PROJECT NO: ---
 DRAWING NO: **A4.03**
 Printed: 8/4/2021 @ 2:08 PM

CHARLES MAGILL SURVEY
CITY OF HAMILTON
 REGIONAL MUNICIPALITY OF HAMILTON WENTWORTH
 SCALE - 1" = 10'

©YATES & YATES LIMITED
 ONTARIO LAND SURVEYOR
 1988

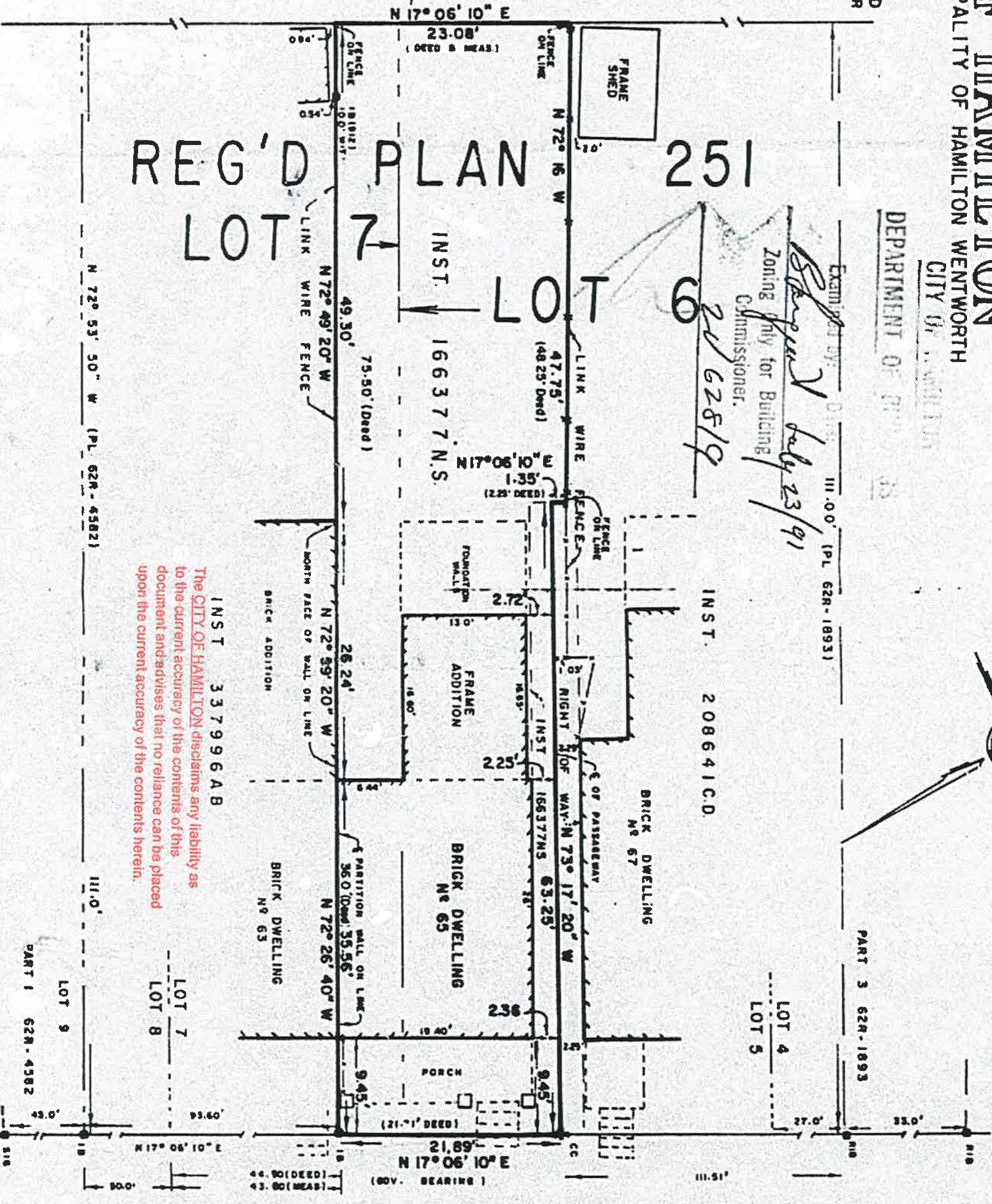
DEPARTMENT OF PLANNING
 CITY OF HAMILTON

Examined by: *Stephens* July 23/91
 Zoning only for Building
 Commissioner.

20 62519

REG'D PLAN 83
 LOT 6 INST. 297663 CD
 LOT 5 INST. 176068 CD

REG'D PLAN 251
 LOT 7 INST. 166377 N.S.



INST. 337996 AB
 The CITY OF HAMILTON disclaims any liability as
 to the current accuracy of the contents of this
 document and advises that no reliance can be placed
 upon the current accuracy of the contents herein.

NOTE

(1912) DENOTES A.J. CLARKE, Q.L.S.
 MEANINGS SHOWN HEREON ARE APPROXIMATE

LEGEND

■ DENOTES SURVEY MONUMENT FOUND
 □ DENOTES SURVEY MONUMENT SET

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
 The field survey represented by this plan was

YATES & YATES LIMITED
 ONTARIO LAND SURVEYORS

65 Magill Street



Committee of Adjustment
 City Hall, 5th Floor,
 71 Main St. W.,
 Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
 Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	ADDRESS
Registered Owners(s)	STEPHEN ANDREW EDWARDS & CAITLIN ELISE CHEVREAU	
Applicant(s)*	SHANE VAN BARNEVELD	
Agent or Solicitor	SHANE VAN BARNEVELD	

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Stephen Edwards & Caitlin Chevreau
 65 Magill St.
 Hamilton, ON
 L8R 2Y4
 Canada

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:
 1- To permit 0 parking space instead the required 2 parking spaces.
 2-To permit 0.60m left side (east) yard setback for the proposed rear addition instead of 1.2m and its roof projection 0.46m.
 3- To permit the rear/side deck to project to property line instead of minimum required setback of 0.50m.
5. Why it is not possible to comply with the provisions of the By-law?
 The proposed rear addition cannot comply with the current zoning by-law regulations due to the existing non-conforming lot size.
6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):
 PT LTS 6 & 7, PL 251 , SHOWN AS MAGILL SURVEY NORTH PT, AS IN
 CD498162, S/T & T/W CD498162 ; HAMILTON

 65 Magill St, Hamilton, ON, L8R 2Y4
7. PREVIOUS USE OF PROPERTY
 Residential Industrial Commercial
 Agricultural Vacant
 Other N/A
- 8.1 If Industrial or Commercial, specify use N/A
- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
 Yes No Unknown
- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?
 Yes No Unknown
- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
 Yes No Unknown
- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
 Yes No Unknown
- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
 Yes No Unknown
- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?
 Yes No Unknown
- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
 Yes No Unknown
- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?
 Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 9.1 to 9.10 above?
Previous uses of the subjected property.

8.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No **N/A**

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

8/5/2021

Date

DocuSigned by:

Stephen Edwards

8F6B995F04DD407...

Signature Property Owner

Stephen Edwards

Print Name of Owner

10. Dimensions of lands affected:

Frontage	<u>6.67 m</u>
Depth	<u>34.00 m</u>
Area	<u>242.81m²</u>
Width of street	<u>7.0 m (TO BE CONFIRMED BY PUBLIC WORKS)</u>

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:_
See attached plans.

Proposed
See attached plans.

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:
See attached plans.

Proposed:
See attached plans.

13. Date of acquisition of subject lands:
July 10, 2018
-
14. Date of construction of all buildings and structures on subject lands:
May 13, 1989
-
15. Existing uses of the subject property:
RESIDENTIAL
16. Existing uses of abutting properties:
RESIDENTIAL
17. Length of time the existing uses of the subject property have continued:
SINCE BUILT
18. Municipal services available: (check the appropriate space or spaces)
Water YES _____ Connected - _____
Sanitary Sewer YES _____ Connected - _____
Storm Sewers YES _____
19. Present Official Plan/Secondary Plan provisions applying to the land:
N/A
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
N/A
21. Has the owner previously applied for relief in respect of the subject property?
 Yes No
If the answer is yes, describe briefly.
N/A
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No
23. Additional Information
N/A
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.