



## **NOTICE OF PUBLIC HEARING** **Minor Variance**

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**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
  - Applicant/agent on file, or
  - Person likely to be interested in this application
- 

**APPLICATION NO.:** FL/A-21:322

**APPLICANTS:** Owner Sebastien Hotte & Kathryn Webert  
Agent Shane Wilson

**SUBJECT PROPERTY:** Municipal address **41 Flanders Dr., Flamborough**

**ZONING BY-LAW:** Zoning By-law 90-145-Z, as Amended

**ZONING:** R1-4 district (Urban Residential Single Detached))

**PROPOSAL:** To permit the expansion of a two storey single detached dwelling consisting of a second floor addition to be constructed over the existing one storey portion of the dwelling comprising 85.14 square metres and a roofed over patio addition comprising 42.82 square metres, notwithstanding:

1. The minimum lot area shall be 789.9 square metres instead of the minimum requirement of 835.0 square metres.
2. The maximum lot coverage shall be 31.7% instead of the minimum requirement of 25%.

**NOTES:**

1. The variances were written as requested by the applicant, however, an additional variance was included to address minimum lot area which was not in compliance.
2. The subject property and the abutting residential properties are identified within the City of Hamilton Heritage Inventory.
3. Lot Coverage, as defined in the Zoning By-law shall mean the percentage of the lot covered by all buildings, but shall not include swimming pools and decks.

This application will be heard by the Committee as shown below:

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**DATE:** Thursday, September 23<sup>rd</sup>, 2021  
**TIME:** 2:20 p.m.  
**PLACE:** Via video link or call in (see attached sheet for details)  
To be streamed at  
[www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)  
for viewing purposes only

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## **PUBLIC INPUT**

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

## **MORE INFORMATION**

For more information on this matter, including access to drawings illustrating this request:

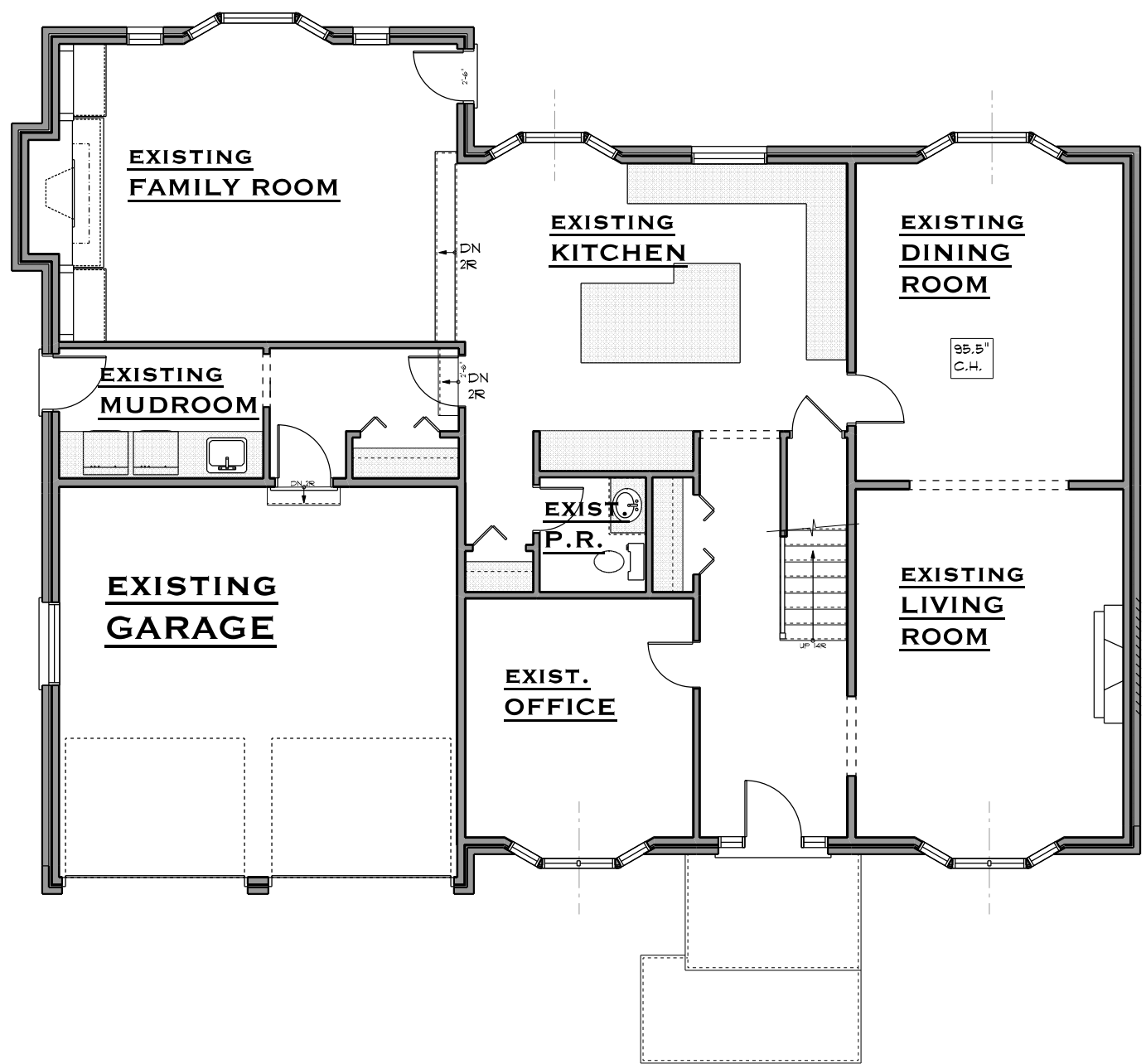
- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

DATED: September 7<sup>th</sup>, 2021.

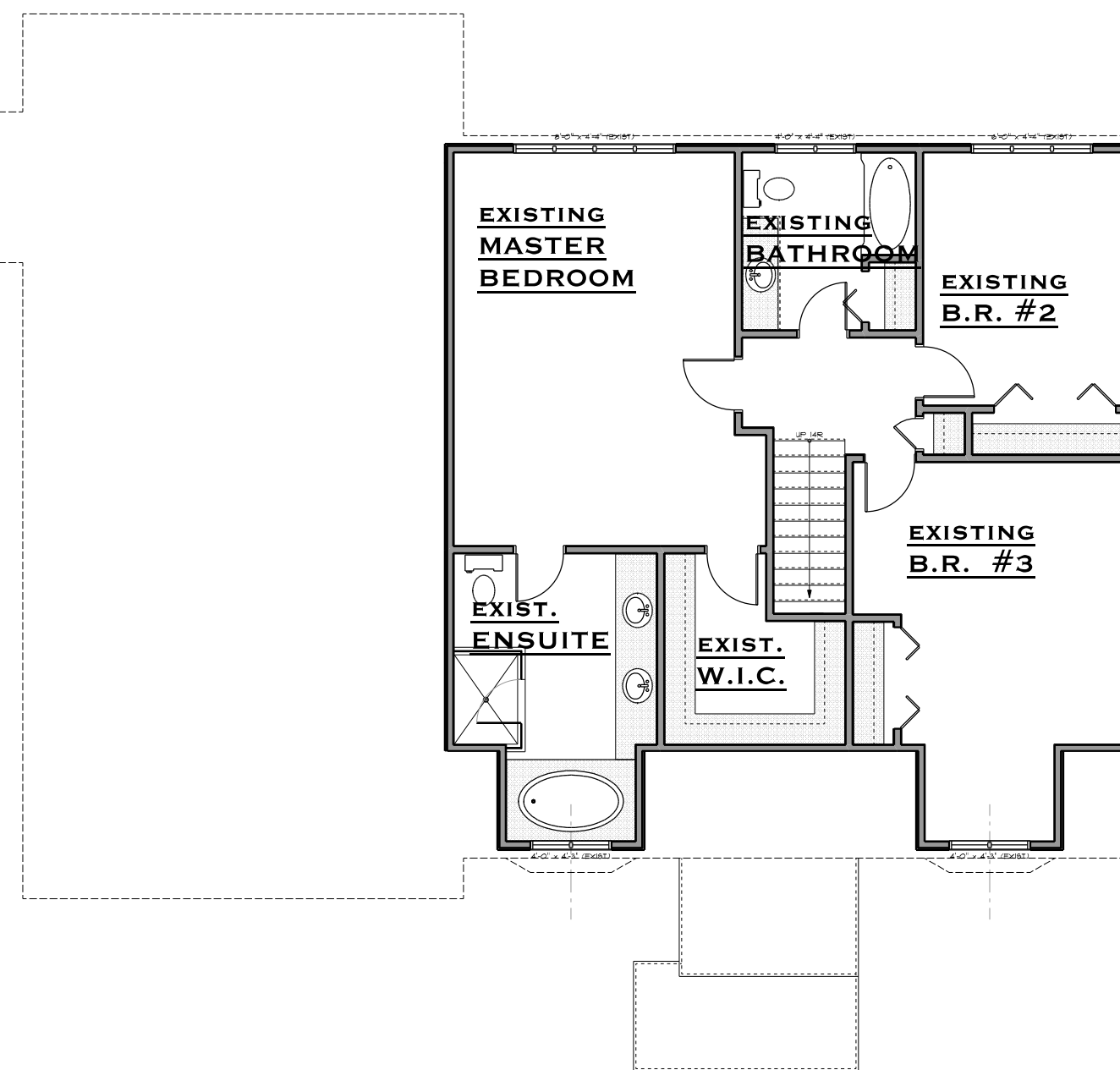
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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

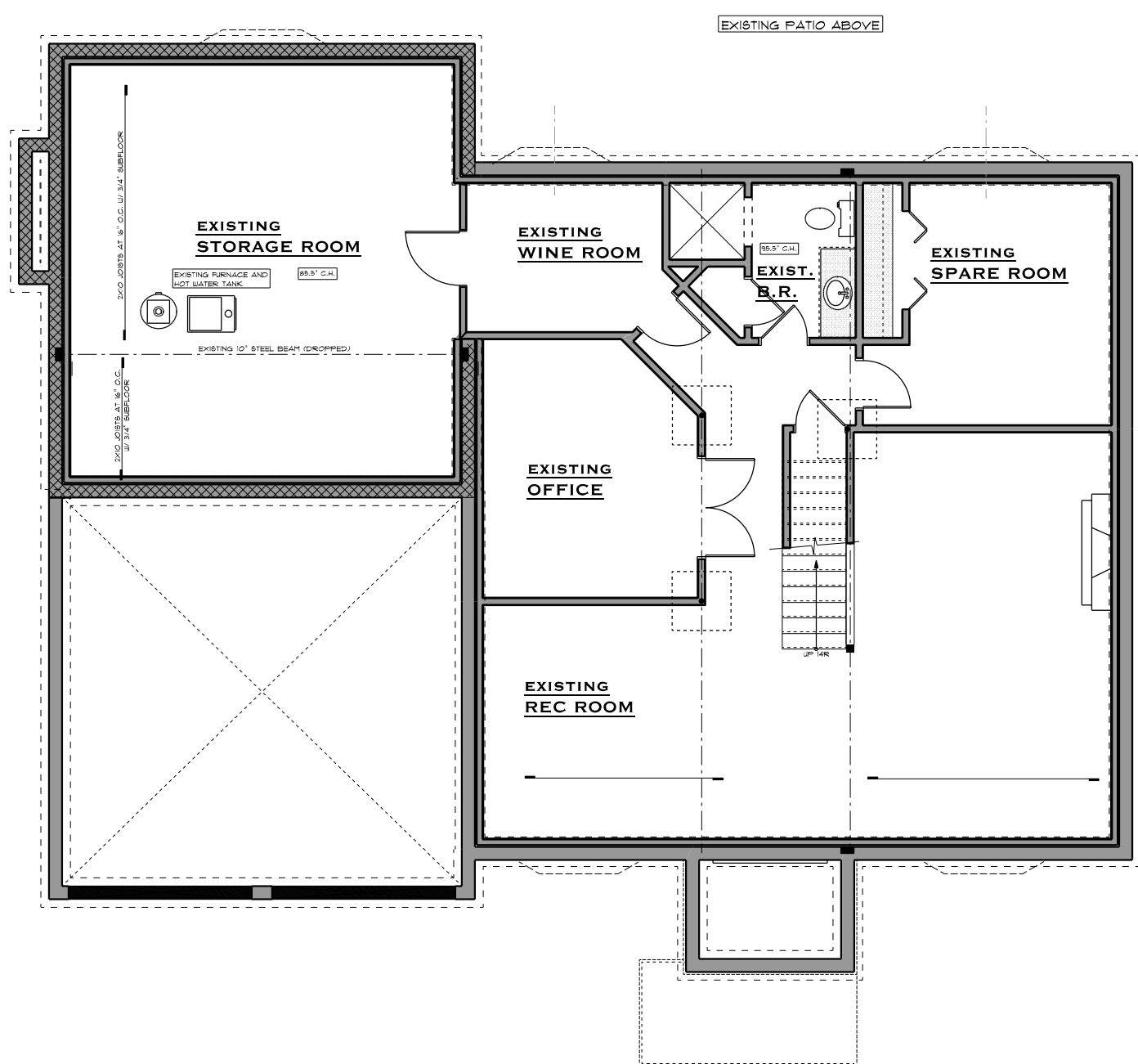
***Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.***



**EXISTING MAIN FLOOR PLAN**

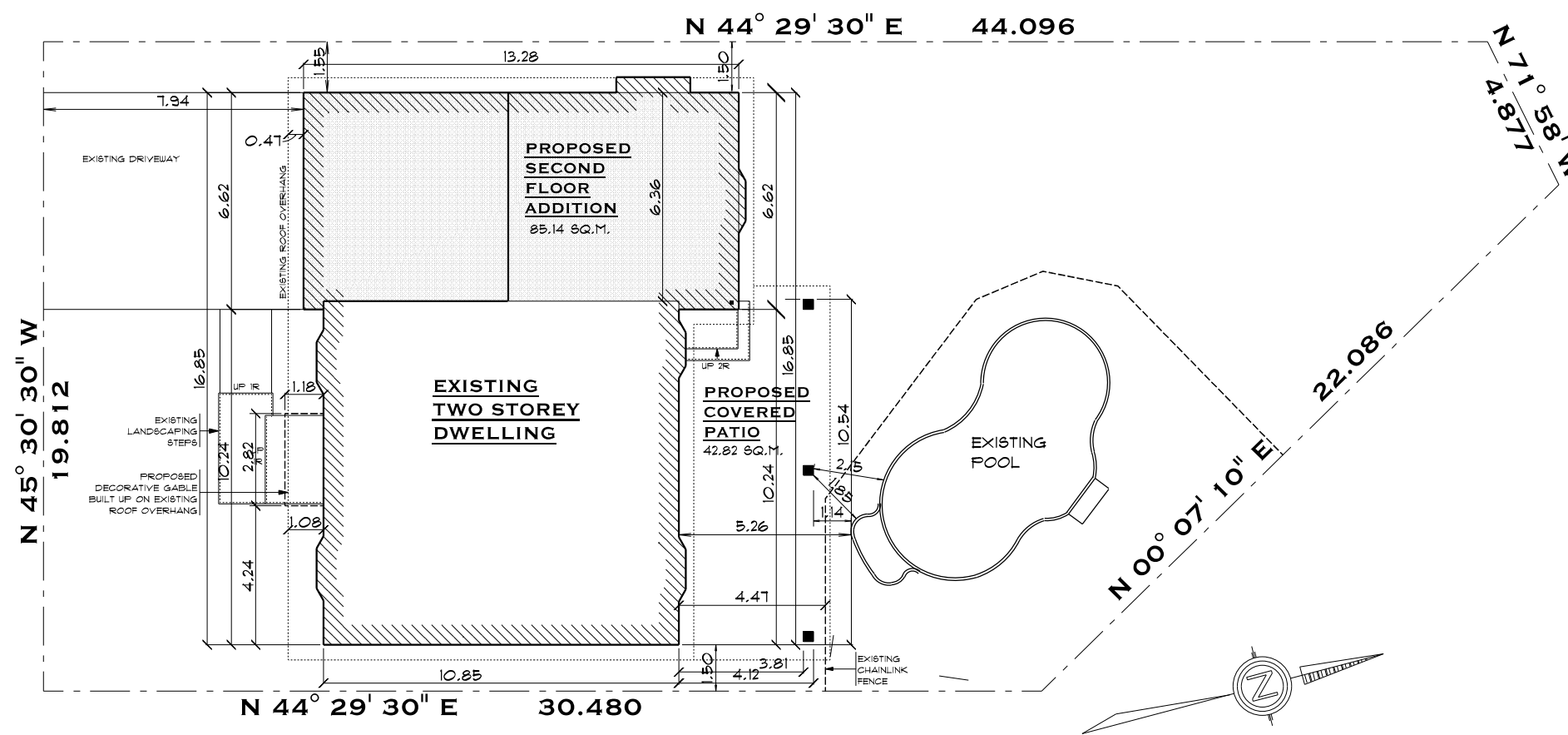


**EXISTING SECOND FLOOR PLAN**



**EXISTING BASEMENT PLAN**

FLANDERS DRIVE



**SITE SKETCH**

LOT AREA	789.93 SQ M	ALLOWABLE
EXISTING LOT COVERAGE	201.58 SQ M	25.52 % 25.00 %
PROPOSED REAR COVERED PORCH	48.12 SQ M	6.09 %
PROPOSED LOT COVERAGE	249.72 SQ M	31.61 %
EXISTING MAIN FLOOR AREA	161.74 SQ M	20.48 %
EXISTING SECOND FLOOR AREA	108.47 SQ M	9.88 %
EXISTING FLOOR AREA	262.73 SQ M	33.26 %
PROPOSED SECOND FLOOR AREA	85.14 SQ M	10.78 %
TOTAL FLOOR AREA	325.16 SQ M	44.04 %
EXISTING GARAGE AREA	39.84 SQ M	5.04 %

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**GENERAL NOTES:**

THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS WITH CONDITIONS ON SITE AND ANY DISCREPANCIES ARE TO BE REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE DESIGNER MUST BE NOTIFIED IMMEDIATELY.

ALL DRAWINGS AND RELATED DOCUMENTS SHALL REMAIN THE PROPERTY AND COPYRIGHT OF DETAILS MATTER.

USE LATEST REVISED DRAWINGS.

MAKE GOOD ALL AREAS OF WORK AND SURFACES DISTURBED BY CONSTRUCTION WHETHER SHOWN ON THE DRAWINGS OR NOT.

DO NOT SCALE DRAWINGS.

THESE DRAWINGS ARE IN ACCORDANCE TO THE 2012 OBC.

**QUALIFICATION INFORMATION**

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE INT. BUILDING CODE TO BE A DESIGNER.

REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION 'C' SECTION 3.2 OF THE O.B.C.

SHANE K WILSON  
FIRM NAME: DETAILS MATTER 39141

M. 905.870.8445 SHANE@DETAILSMATTER.CA O. 905.309.8447 WWW.DETAILSMATTER.CA

FACEBOOK.COM/DETAILSMATTER2007 @DETAILSMATTER07

PROJECT:  
**WEBERT - HOTTE RESIDENCE**  
41 FLANDERS DRIVE  
WATERDOWN, ON

SHEET TITLE:  
**EXISTING FLOOR PLANS**

DRAWN BY: S.K.W. CHECKED BY: S.K.W. PROJECT NO: DM21-001

SCALE: 1/8" = 1'-0" DATE: JANUARY 2020

DRAWING NO: **A6**

**PART OF LOT 11  
REGISTERED PLAN 62M-318**

RENWOOD PARK

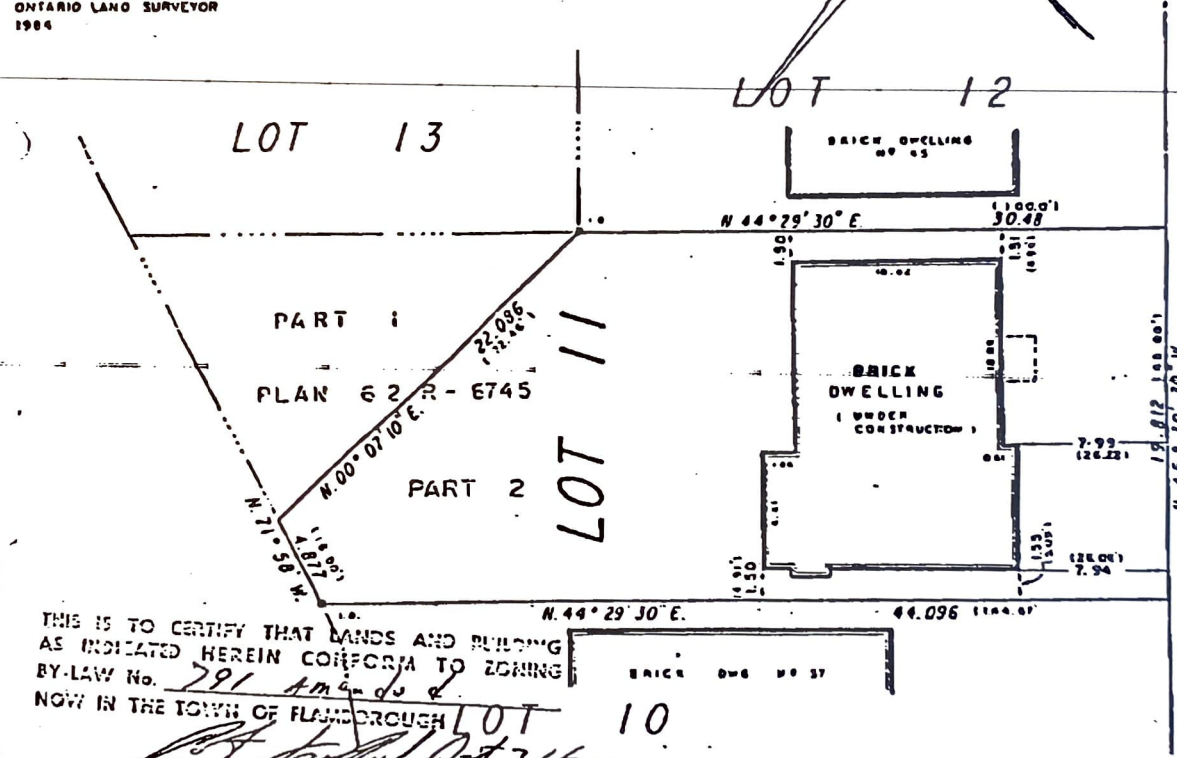
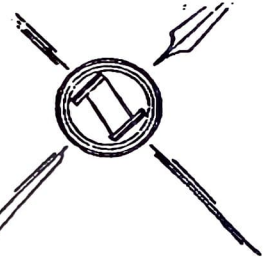
**TOWN OF FLAMBOROUGH**

REGIONAL MUNICIPALITY OF HAMILTON-WENTWORTH

SCALE: 1:200

M. J. TERRY  
ONTARIO LAND SURVEYOR  
1984

ARE 111 METRES A.L.C. CAN  
BE CONVERTED TO FEET  
BY DIVIDING BY 0.3048.



Flanders Drive

THIS IS TO CERTIFY THAT LANDS AND BUILDING  
AS INDICATED HEREIN CONFORM TO ZONING  
BY-LAW No. 291 Amended  
NOW IN THE TOWN OF FLAMBOROUGH

*M. J. Terry* Oct 3/85

**NOTE**

**LEGEND**

■	DEMOTES SURVEY MONUMENT FOUND
□	SURVEY MONUMENT SET
—	STANDARD IRON BAR
—	IRON BAR

**SURVEYOR'S CERTIFICATE**  
I CERTIFY THAT:  
The field survey represented by this plan was  
completed on the 6th day of MAY, 1985

**YATES & YATES LIMITED**  
ONTARIO LAND SURVEYORS  
Records of Sewell & Sewell  
484 Guelph Line, BURLINGTON, ONT. L7R

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SHANE K WILSON  
 FIRM NAME: DETAILS MATTER 39141

Details **Matter**

M. 905.870.8445 SHANE@DETAILSMATTER.CA O. 905.309.8447 WWW.DETAILSMATTER.CA

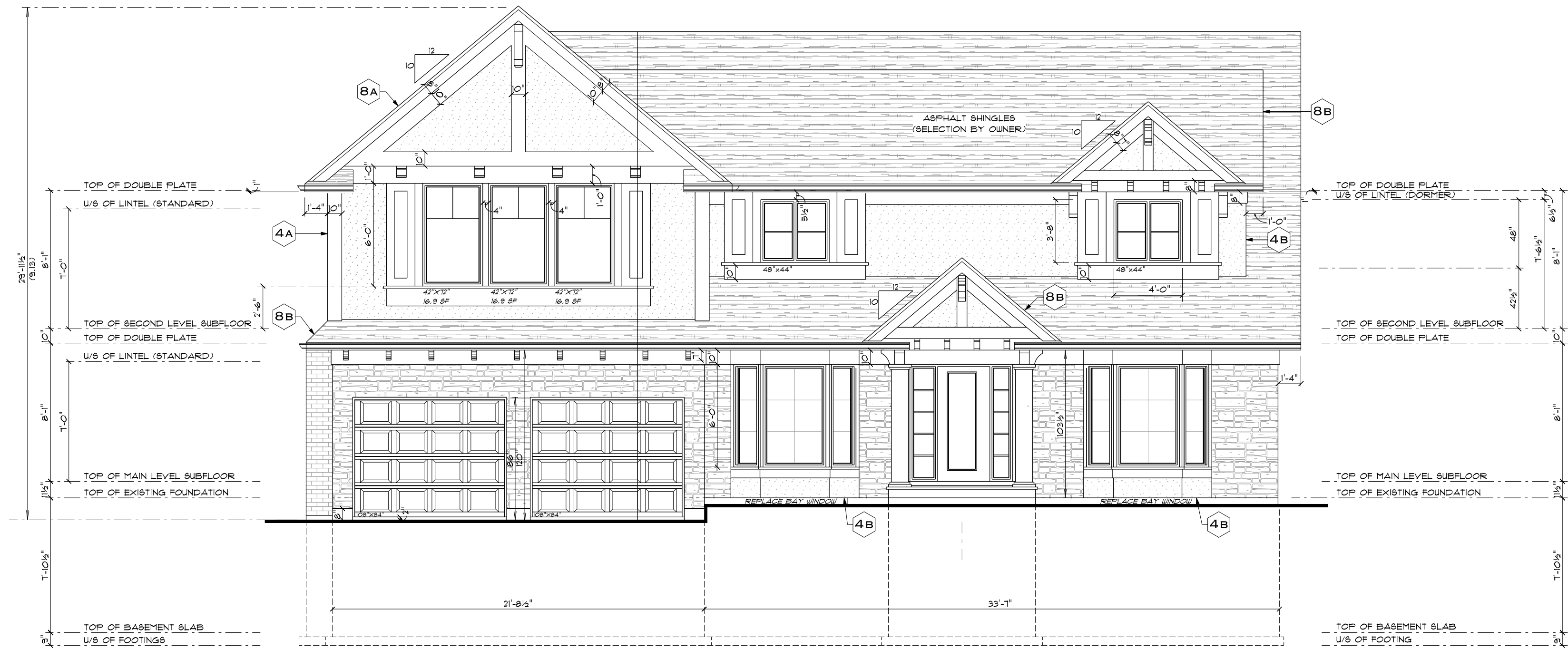
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 41 FLANDERS DRIVE  
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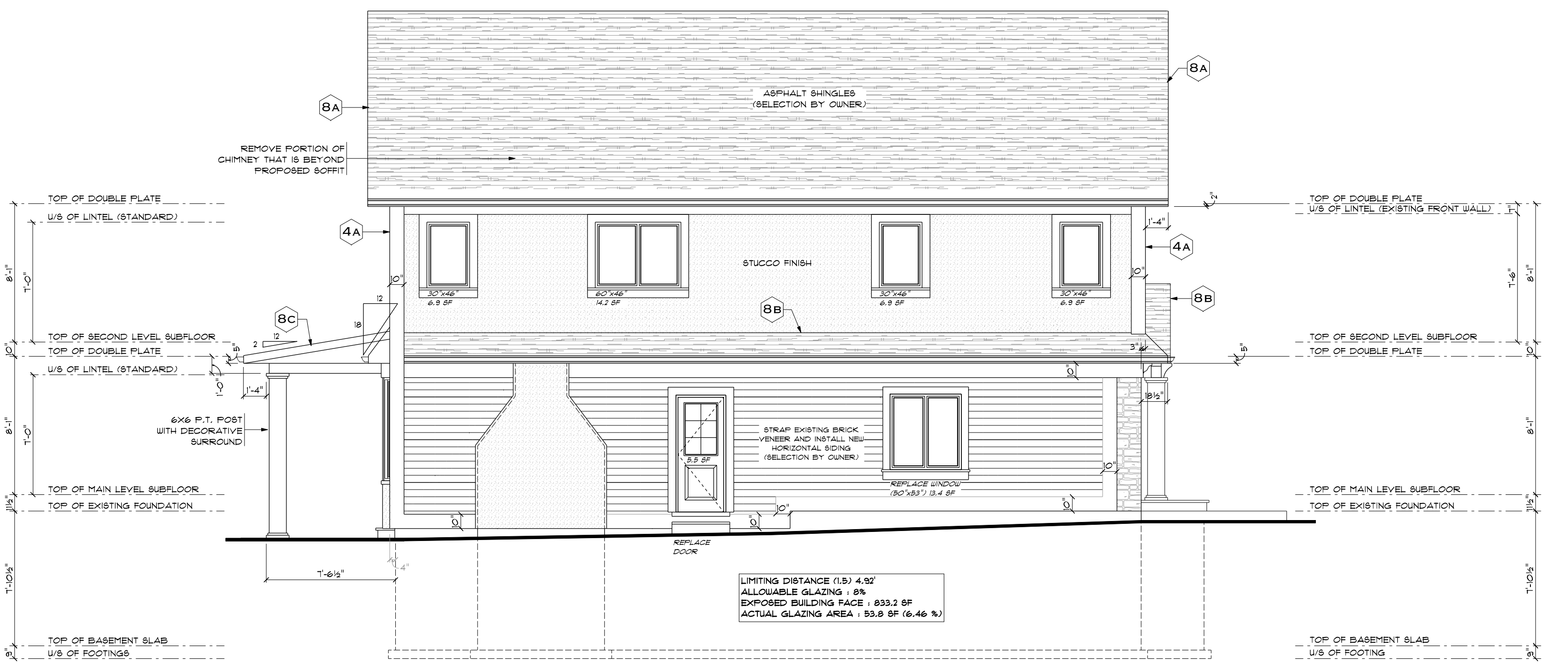
SHEET TITLE:  
**PROPOSED FRONT AND LEFT ELEVATIONS**

DRAWN BY: S.K.W.	CHECKED BY: S.K.W.	PROJECT NO: DM21-001
SCALE: 3/16" = 1'-0"	DATE: JANUARY 2020	

DRAWING NO:  
A1



**PROPOSED FRONT ELEVATION**



**PROPOSED LEFT ELEVATION**

LIMITING DISTANCE (1.5) 4.92'  
 ALLOWABLE GLAZING : 8%  
 EXPOSED BUILDING FACE : 833.2 SF  
 ACTUAL GLAZING AREA : 53.8 SF (6.46 %)

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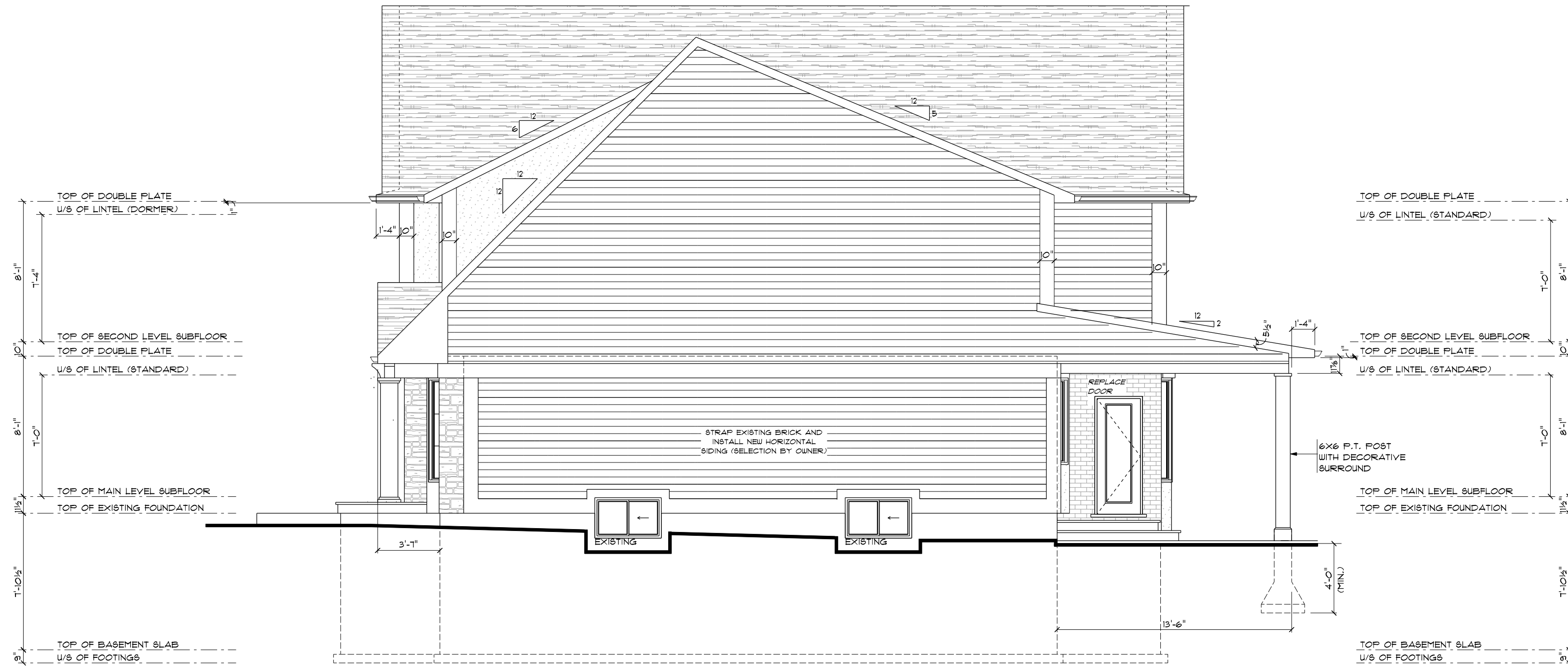
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SHANE K WILSON  
 FIRM NAME: DETAILS MATTER 39141



**PROPOSED REAR ELEVATION**



**PROPOSED RIGHT ELEVATION**

**Details Matter**

M. 905.870.8445 O. 905.309.8447  
 SHANE@DETAILSMATTER.CA WWW.DETAILSMATTER.CA

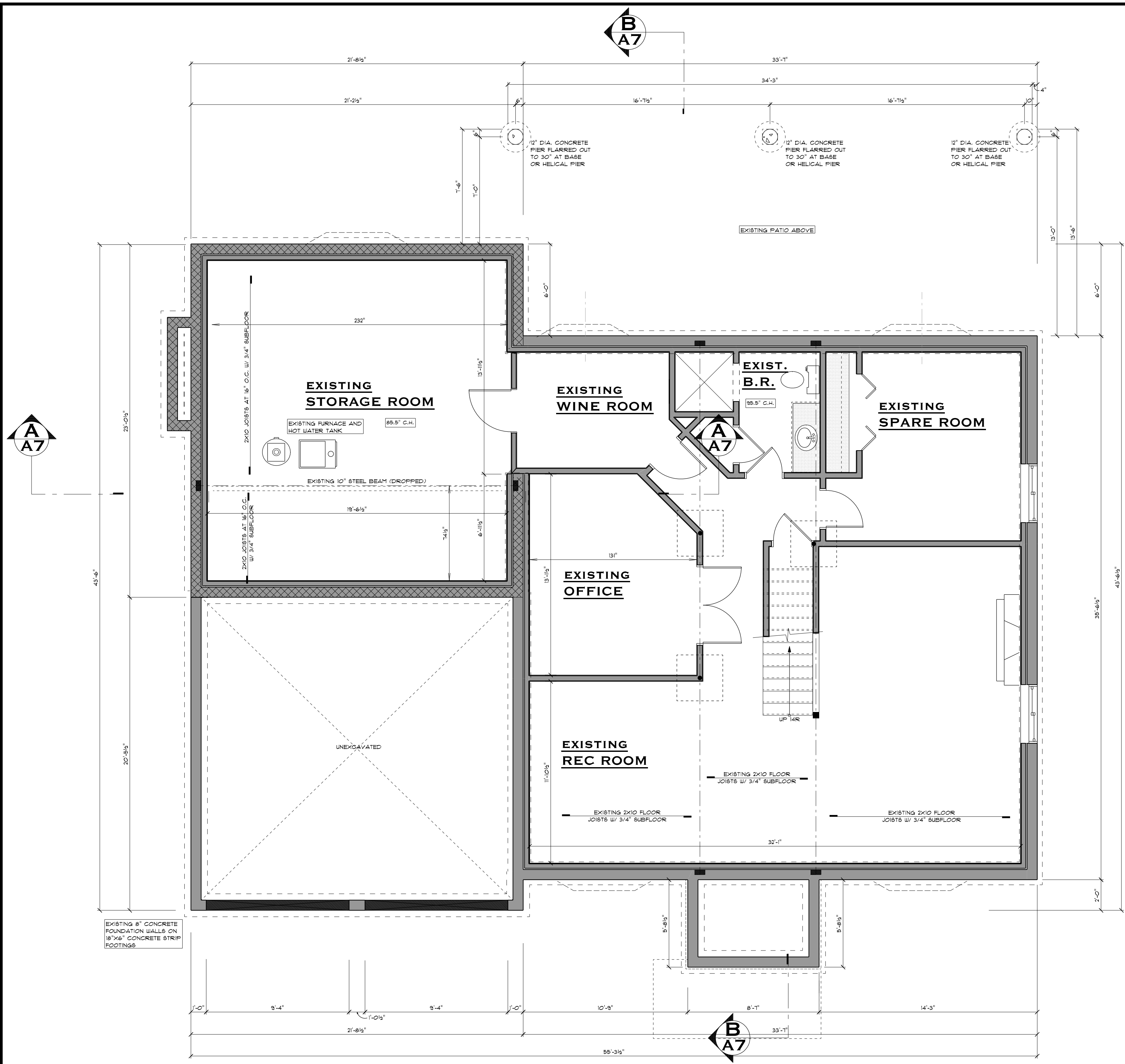
FACEBOOK.COM/DETAILSMATTER2007  
 @DETAILSMATTER07

PROJECT:  
**WEBERT - HOTTE  
 RESIDENCE  
 41 FLANDERS DRIVE  
 WATERDOWN, ON**

SHEET TITLE:  
**PROPOSED REAR  
 AND RIGHT  
 ELEVATIONS**

DRAWN BY: S.K.W.	CHECKED BY: S.K.W.	PROJECT NO: DM21-001
SCALE: 3/16" = 1'-0"	DATE: JANUARY 2020	

DRAWING NO:  
A2



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PROJECT:  
**WEBERT - HOTTE RESIDENCE**  
 41 FLANDERS DRIVE  
 WATERDOWN, ON

SHEET TITLE:  
**PROPOSED BASEMENT PLAN**

DRAWN BY: S.K.W.	CHECKED BY: S.K.W.	PROJECT NO: DM21-001
SCALE: 1/4" = 1'-0"	DATE: JANUARY 2020	

DRAWING NO:  
A3

BMI1	2 - 2X6	BM6	2 - 2X10
BMI2	3 - 2X6	BMI7	3 - 2X10
BMI3	2 - 2X8	BM8	4 - 2X10
BMI4	3 - 2X8	BMI9	2 - 2X12
BMI5	4 - 2X8	BMI10	3 - 2X12
LVL1	1 3/4" X 1 1/4" 2.OE LVL		
LVL2	2 - 1 3/4" X 1 1/4" 2.OE LVL		
LVL3	3 - 1 3/4" X 1 1/4" 2.OE LVL		
LVL4	1 3/4" X 9 1/2" 2.OE LVL		
LVL5	2 - 1 3/4" X 9 1/2" 2.OE LVL		
LVL6	3 - 1 3/4" X 9 1/2" 2.OE LVL		
LVL7	4 - 1 3/4" X 9 1/2" 2.OE LVL		
LVL8	1 3/4" X 11 7/8" 2.OE LVL		
LVL9	2 - 1 3/4" X 11 7/8" 2.OE LVL		
LVL10	3 - 1 3/4" X 11 7/8" 2.OE LVL		
LVL11	4 - 1 3/4" X 11 7/8" 2.OE LVL		
LVL12	1 3/4" X 14" 2.OE LVL		
LVL13	2 - 1 3/4" X 14" 2.OE LVL		
LVL14	3 - 1 3/4" X 14" 2.OE LVL		

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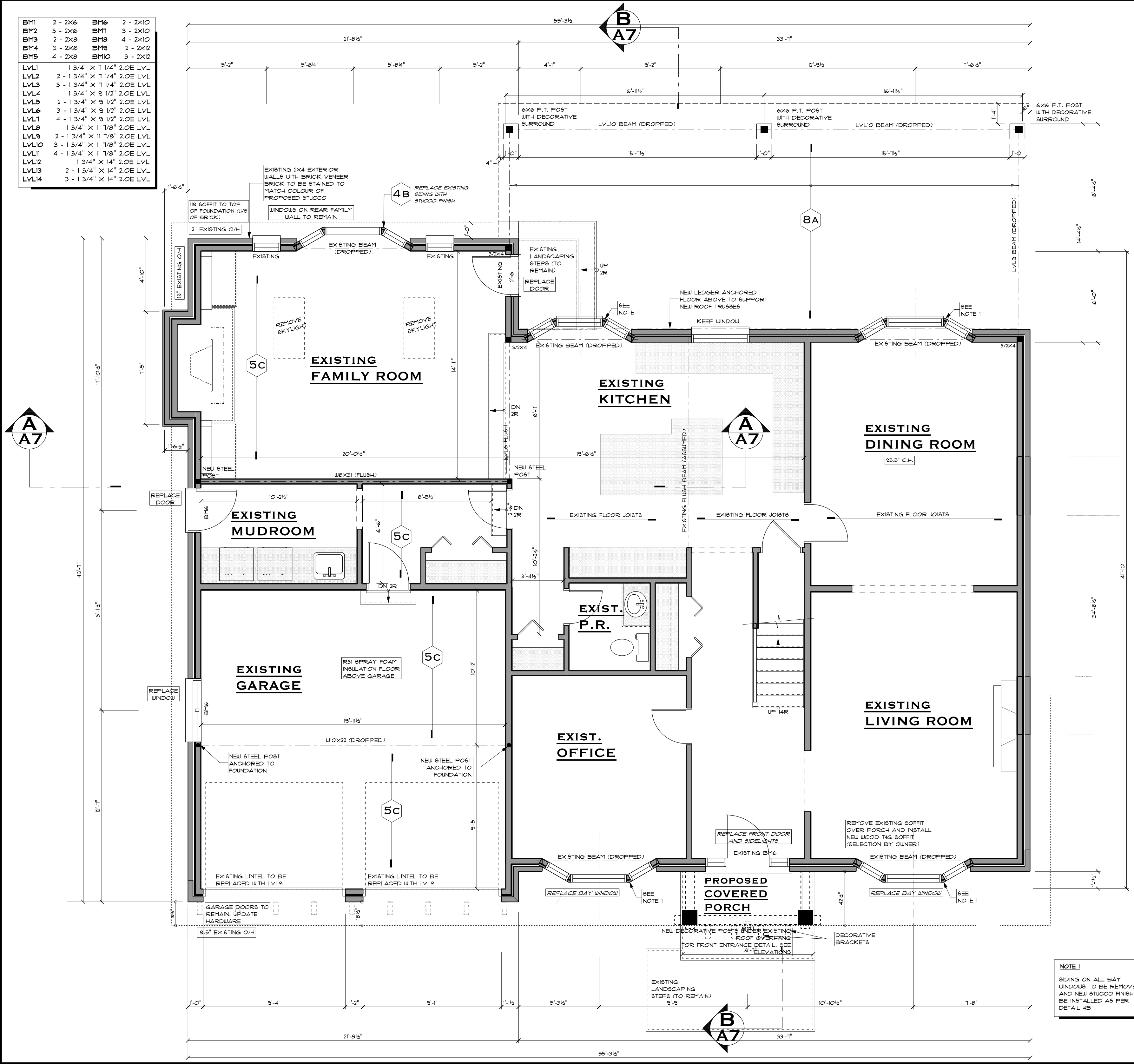
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PROJECT:  
**WEBERT - HOTTE RESIDENCE**  
 41 FLANDERS DRIVE  
 WATERDOWN, ON

SHEET TITLE:  
**PROPOSED MAIN FLOOR PLAN**

DRAWN BY: S.K.W.	CHECKED BY: S.K.W.	PROJECT NO: DM21-001
SCALE: 1/4" = 1'-0"	DATE: JANUARY 2020	

DRAWING NO:  
**A4**



**NOTE!**  
 SIDING ON ALL BAY WINDOWS TO BE REMOVED AND NEW STUCCO FINISH TO BE INSTALLED AS PER DETAIL 4B



BM1	2 - 2x6	BM6	2 - 2x10
BM2	3 - 2x6	BM7	3 - 2x10
BM3	2 - 2x8	BM8	4 - 2x10
BM4	3 - 2x8	BM9	2 - 2x12
BM5	4 - 2x8	BM10	3 - 2x12

LVL1	1 3/4" x 1 1/4" 2.OE LVL
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LVL12	1 3/4" x 14" 2.OE LVL
LVL13	2 - 1 3/4" x 14" 2.OE LVL
LVL14	3 - 1 3/4" x 14" 2.OE LVL

EXISTING UPPER FLOOR	1,081.0 SF
PROPOSED ADDITION	925.3 SF
TOTAL UPPER FLOOR	2,012.3 SF
RENOVATED SPACE	356.0 SF

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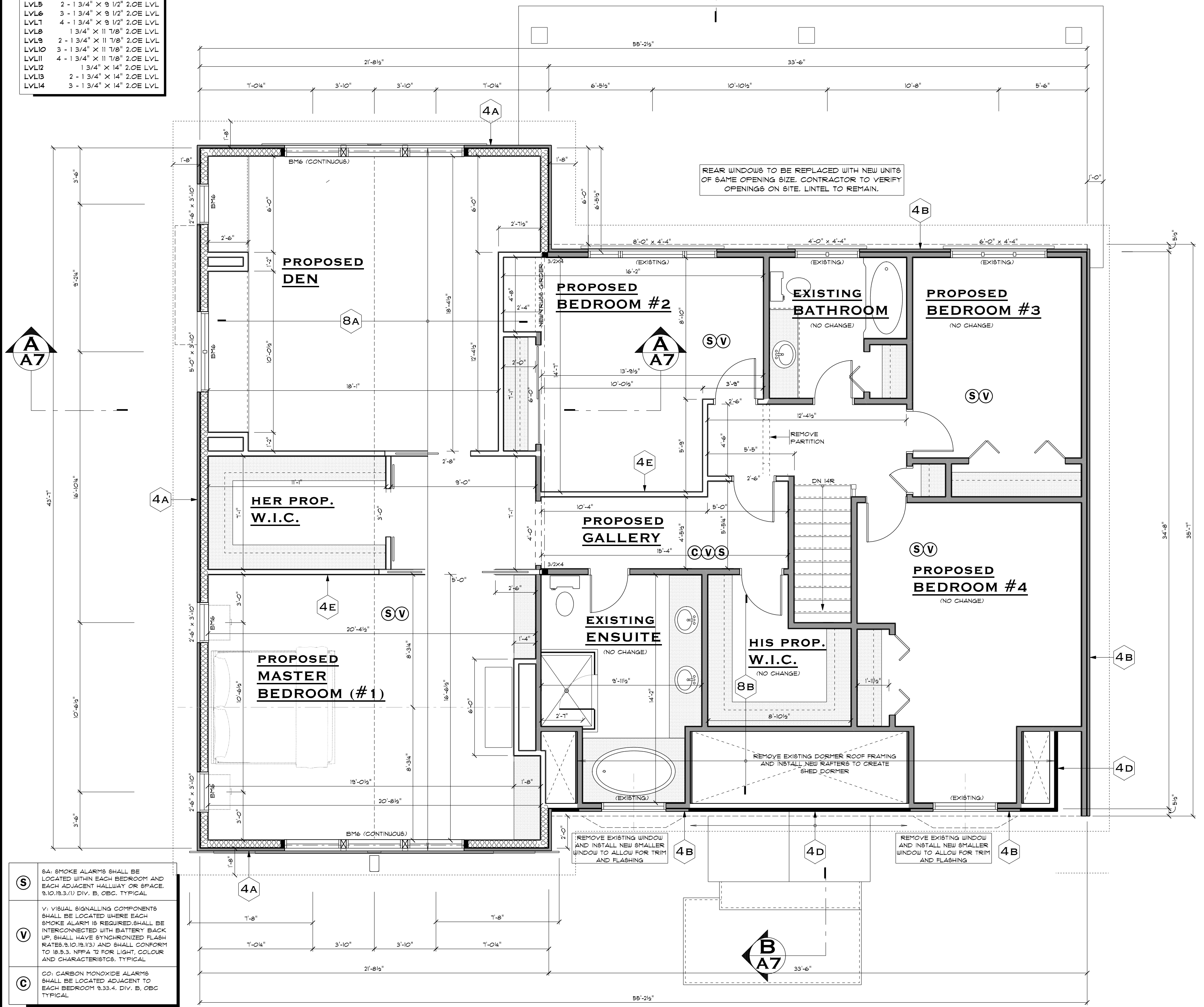
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PROJECT:  
**WEBERT - HOTTE RESIDENCE**  
 41 FLANDERS DRIVE  
 WATERDOWN, ON

SHEET TITLE:  
**PROPOSED UPPER FLOOR PLAN**

DRAWN BY:	CHECKED BY:	PROJECT NO:
S.K.W.	S.K.W.	DM21-001
SCALE:	DATE:	
1/4" = 1'-0"	JANUARY 2020	

DRAWING NO:  
**A5**



<b>(S)</b>	SA: SMOKE ALARMS SHALL BE LOCATED WITHIN EACH BEDROOM AND EACH ADJACENT HALLWAY OR SPACE. 9.10.19.3.(1) DIV. B, OBC, TYPICAL.
<b>(V)</b>	VI: VISUAL SIGNALLING COMPONENTS SHALL BE LOCATED WHERE EACH SMOKE ALARM IS REQUIRED. SHALL BE INTERCONNECTED WITH BATTERY BACK UP, SHALL HAVE SYNCHRONIZED FLASH RATES. 9.10.19.1(3) AND SHALL CONFORM TO 18.5.3, NFPA 72 FOR LIGHT, COLOUR AND CHARACTERISTICS, TYPICAL.
<b>(C)</b>	CO: CARBON MONOXIDE ALARMS SHALL BE LOCATED ADJACENT TO EACH BEDROOM 9.33.4. DIV. B, OBC TYPICAL.



Hamilton

Committee of Adjustment  
City Hall, 5<sup>th</sup> Floor,  
71 Main St. W.,  
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221  
Email: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

### APPLICATION FOR A MINOR VARIANCE

<b>FOR OFFICE USE ONLY.</b>	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

#### The Planning Act

#### Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS
Registered Owners(s)	Sebastien Hotte / Kathryn Webert	
Applicant(s)*	Shane K Wilson	
Agent or Solicitor	Shane K Wilson	

**Note:** Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Ø

e.4

**Table 3.1.1.2.C (IP)**  
**ZONE 1 - Compliance Packages for Electric Space Heating**  
 Forming Part of Sentence 3.1.1.2.(3)

Component	Thermal Values <sup>(8)</sup>	Compliance Package			
		C1	C2	C3	C4
Ceiling with Attic Space	Min. Nominal R <sup>(1)</sup>	60 + HH	60 + HH	50	50
	Max. U <sup>(2)</sup>	0.016	0.016	0.020	0.020
	Min. Effective R <sup>(2)</sup>	59.90	59.90	49.23	49.23
Ceiling Without Attic Space	Min. Nominal R <sup>(1)</sup>	31	31	31	31
	Max. U <sup>(2)</sup>	0.036	0.036	0.036	0.036
	Min. Effective R <sup>(2)</sup>	27.65	27.65	27.65	27.65
Exposed Floor	Min. Nominal R <sup>(1)</sup>	31	31	35	35
	Max. U <sup>(3)</sup>	0.034	0.034	0.031	0.031
	Min. Effective R <sup>(3)</sup>	29.80	29.80	32.02	32.02
Walls Above Grade	Min. Nominal R <sup>(1)</sup>	19 + 10 ci	22 + 10 ci	22 + 10 ci	22 + 7.5 ci
	Max. U <sup>(3)</sup>	0.040	0.038	0.038	0.042
	Min. Effective R <sup>(3)</sup>	25.32	26.40	26.40	23.90
Basement Walls <sup>(6)</sup>	Min. Nominal R <sup>(1)</sup>	20 + 8 ci	20 ci	20 ci	20 ci
	Max. U <sup>(4)</sup>	0.044	0.047	0.047	0.047
	Min. Effective R <sup>(4)</sup>	22.71	21.12	21.12	21.12
Below Grade Slab Entire Surface > 600 mm Below Grade	Min. Nominal R <sup>(1)</sup>	7.5	—	—	—
	Max. U <sup>(4)</sup>	0.116	—	—	—
	Min. Effective R <sup>(4)</sup>	8.63	—	—	—
Heated Slab or Slab ≤ 600 mm Below Grade	Min. Nominal R <sup>(1)</sup>	10	10	10	10
	Max. U <sup>(4)</sup>	0.090	0.090	0.090	0.090
	Min. Effective R <sup>(4)</sup>	11.13	11.13	11.13	11.13
Edge of Below Grade Slab ≤ 600 mm Below Grade	Min. Nominal R <sup>(1)</sup>	10	10	10	10
Windows and Sliding Glass Doors	Max. U <sup>(5)</sup>	0.25	0.21	0.21	0.28
	Energy Rating	29	34	34	25
Skylights	Max. U <sup>(5)</sup>	0.49	0.49	0.49	0.49
Space Heating Equipment	Min.	—	—	—	ASHP: 7.1 HSPF
HRV	Min. SRE	81%	75%	81%	55%
Domestic Water Heater <sup>(7)</sup>	Min. EF	—	—	—	—
Column 1	2	3	4	5	6

**Notes to Table 3.1.1.2.C (IP):**

The following definitions applies:

HH = 10 inch high heel

- (1) The values listed are minimum Nominal R values for the thermal insulation component only.
- (2) U-Value and effective R value shall include entire ceiling assembly components, from interior air film to vented space air film above insulation.
- (3) U-Value and effective R value shall include entire exposed floor or above grade wall assembly components, from interior air film to exterior air film.
- (4) U-Value and effective R value shall include entire basement wall or slab assembly components and interior air film.
- (5) U-Value is the overall coefficient of heat transfer for a window assembly, sliding glass door assembly or skylight assembly expressed in Btu/(h·ft<sup>2</sup>·F).
- (6) In the case of basement wall assemblies, where R20 ci is required R12 + 10 ci is permitted to be used or vice versa; or where R12 + 5 ci is required, R15 ci is permitted to be used or vice versa.
- (7) If an EF of a water tank is not indicated in a compliance package, there is no EF requirement for water tank for that specific compliance package.
- (8) Nominal and effective R values are expressed in (h·ft<sup>2</sup>·F)/Btu. U-Values are expressed in Btu/(h·ft<sup>2</sup>·F).

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

WE ARE ASKING FOR RELIEF IN LOT COVERAGE  
EXISTING : 25.52 %  
PROPOSED : 31.61 %  
ALLOWED : 25.00 %

Secondary Dwelling Unit       Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

OUR EXISTING LOT COVERAGE IS ALREADY 25.52% BUT WE'RE CURRENTLY ALLOWED 25%. WE WOULD LIKE TO ADD A REAR COVERAGE PATIO AS PART OF THE SCOPE FOR A SECOND FLOOR ADDITION AND RENOVATIONS THROUGHOUT THE HOME. THIS BRINGS OUT LOT COVERAGE TO A TOTAL OF 31.61 %

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

41 Flanders Drive, Waterdown (Hamilton)

7. PREVIOUS USE OF PROPERTY

Residential       Industrial       Commercial   
Agricultural       Vacant       Other

Other \_\_\_\_\_

8.1 If Industrial or Commercial, specify use n/a

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes       No       Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes       No       Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes       No       Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes       No       Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes       No       Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes       No       Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes       No       Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes       No       Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes  No  Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

CLIENTS (HOME OWNERS) REVIEWED APPLICATION

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.


Is the previous use inventory attached? Yes  No

9. **ACKNOWLEDGEMENT CLAUSE**

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

August 15th, 2021

Date

  
Signature Property Owner(s)

Schirhanj Hottle  
Print Name of Owner(s)

*K Weibert*

Kathryn Weibert

10. Dimensions of lands affected:

Frontage	19.81 M
Depth	44.1 M
Area	789.93 SQ.
Width of street	9.00 M

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

**Existing:**

2 STOREY DWELLING (16.85M WIDE X 13.28 M BUILDING DEPTH)  
MAIN FLOOR AREA : 161.74 SQ. M, SECOND FLOOR AREA : 100.99 SQ. M,  
GARAGE AREA : 39.84 SQ. M  
TOTAL FLOOR AREA : 262.73 SQ. M (33.26 %) LOT COVERAGE : 201.58 SQ. M (25.52 %)  
HEIGHT AT FRONT : 8.70 M

**Proposed**

2 STOREY DWELLING (16.85M WIDE X 13.28 M BUILDING DEPTH) - SAME  
MAIN FLOOR AREA : 161.74 SQ. M, SECOND FLOOR AREA : 186.13 SQ. M  
GARAGE AREA : 39.84 SQ. M  
TOTAL FLOOR AREA : 347.87 SQ. M (44.04 %) LOT COVERAGE : 249.72 SQ. M (31.61 %)  
HEIGHT AT FRONT : 9.13 M (SECOND FLOOR ADDITION)

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

**Existing:**

7.94 M FRONT YARD SETBACK  
1.55 M / 1.50 M LEFT SIDERYARD SETBACK  
11.50 M REAR SETBACK

**Proposed:**

7.94 M FRONT YARD SETBACK  
1.55 M / 1.50 M LEFT SIDERYARD SETBACK  
6.54 M REAR SETBACK (DIRECT LINE) / 5.20 M PERPENDICULAR TO SIDE / REAR LOT LINE

13. Date of acquisition of subject lands:  
May 27, 2004
14. Date of construction of all buildings and structures on subject lands:  
1985
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):  
single family
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):  
single family
17. Length of time the existing uses of the subject property have continued:  
36 years
18. Municipal services available: (check the appropriate space or spaces)
- |                |                                     |           |                                     |
|----------------|-------------------------------------|-----------|-------------------------------------|
| Water          | <input checked="" type="checkbox"/> | Connected | <input checked="" type="checkbox"/> |
| Sanitary Sewer | <input checked="" type="checkbox"/> | Connected | <input checked="" type="checkbox"/> |
| Storm Sewers   | <input checked="" type="checkbox"/> |           |                                     |
19. Present Official Plan/Secondary Plan provisions applying to the land:
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
21. Has the owner previously applied for relief in respect of the subject property?  
 Yes  No   
 If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?  
 Yes  No
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.