

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: HM/A-21:314

APPLICANTS: Owner Su Ming Feng

SUBJECT PROPERTY: Municipal address **155 Howard Ave., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended

ZONING: C district (Urban Protected Residential and Etc.)

PROPOSAL: To permit a secondary dwelling unit within an existing single family dwelling, notwithstanding that:

1. One parking space shall have a minimum length of 5.4 metres instead of the minimum required 6.0 metres;

NOTES:

1. By-law 21-076 was approved by City Council on May 12, 2021 to permit secondary dwelling units in single detached, semi-detached and street townhouses in all residential districts and the H District and is in effect.
2. The application was written as requested by the applicant.
3. The parking space requirements under By-law 21-076 for Secondary Dwelling Units outside of Schedule P (lands which are generally not below the Escarpment), require the provision of three parking spaces for a dwelling with a secondary dwelling unit. Of this, 2 parking spaces are required for the principal dwelling unit and the third space, which is for the secondary dwelling unit is to be unobstructed.

This application will be heard by the Committee as shown below:

DATE: Thursday, September 23rd, 2021
TIME: 3:05 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

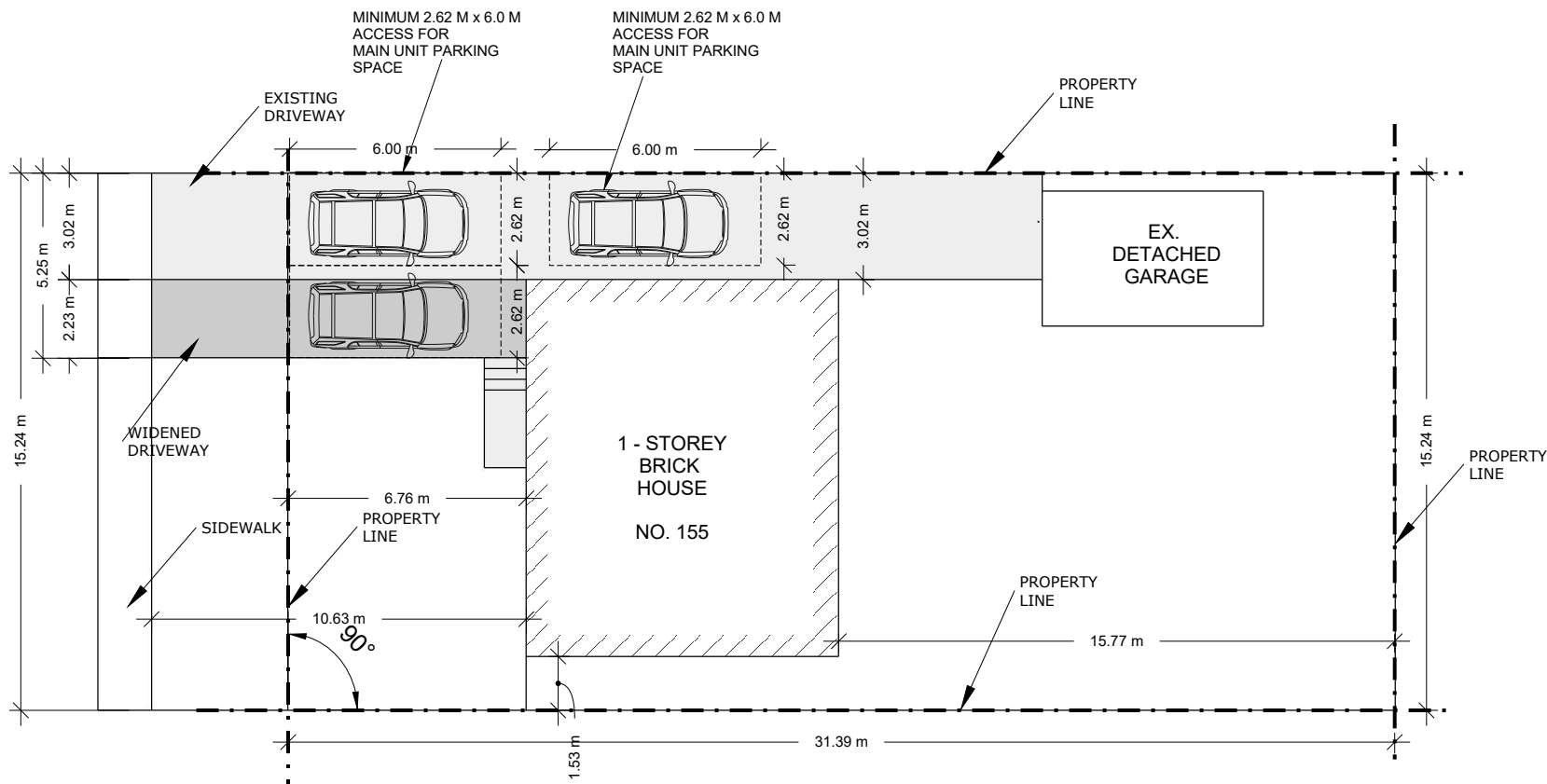
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: September 7th, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



SITE PLAN :

BASED ON MAP.HAMILTON.CA AND MEASUREMENTS ON SITE

SUITE ADDITIONS INC. ASSUMES NO RESPONSIBILITY FOR ACCURACY OF MAP.HAMILTON.CA

THIS SITE PLAN SHALL NOT BE USED FOR ANY OTHER PURPOSES.

NO WORK TO ENCROACH ONTO ADJOINING PROPERTIES

FRONT YARD: 102.99 M2

LANDSCAPED AREA = 58.83 M2= 57.1%

HARD SURFACE AREA = 44.16 M2 = 42.9%



SITE PLAN

SCALE: 1:200

1
SP1.01

SITE INFORMATION & STATISTICS:

ADDRESS	155 HOWARD AVENUE, HAM ILTON, ON, L9A 2W9		
NEIGHBOURHOOD			
LOT NUMBER			
PLAN NUMBER			
ZONING TYPE	C - URBAN PROTECTED RESIDENTIAL		
LOT AREA	478.45 SQ. M		
LOT FRONTAGE	15.24 M		
DESCRIPTION			
FLOOR AREAS	ALLOWED	EXISTING	PROPOSED
BASEMENT	-	94.76 SQ. M.	NO CHANGE
MAIN FLOORS	-	94.76 SQ. M.	NO CHANGE
SETBACKS			
FRONT (W)	-	6.76 M	NO CHANGE
SIDE (N)	-	3.02 M	NO CHANGE
BACK (E)	-	15.77 M	NO CHANGE
SIDE (S)	-	1.53M	NO CHANGE

GENERAL NOTES:

1. ALL CONSTRUCTION TO COMPLY WITH THE REVISED ONTARIO BUILDING CODE 2012.
2. ALL DIMENSION ARE MEASURED TO ROUGH FRAMING OR TO MASONRY SURFACES UNLESS OTHERWISE NOTED.
3. ALL DOORS AND WINDOW OPENINGS ARE MEASURED TO ROUGH FRAMING OR MASONRY OPENINGS.
4. CONTRACTOR IS TO VERIFY WINDOW OPENINGS WITH WINDOW MANUFACTURER PRIOR TO COMMENCING WORK.
5. READ ARCHITECTURAL DRAWINGS IN CONJUNCTION WITH STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.
6. ELEVATION REFERENCES ARE BASED ON 100'-0" = 131.70m GEODETIC ELEVATIONS AS NOTED ON A1 SITE PLAN.
7. ALL DIMENSION MUST BE CHECKED AGAINST THE ARCHITECTURAL DRAWINGS AND THE FIELD CONDITIONS BEFORE COMMENCING FABRICATION. ANY INCONSISTENCIES ARE TO BE REPORTED TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK.
8. THE CONTRACTOR SHALL PROPERLY SUPERVISE THE WORK AND ENSURE THAT THE WORK IS INSTALLED TO THE CORRECT LINES AND LEVELS, THAT THE CONNECTIONS AND DETAILS CONFORM TO THE DRAWING DETAILS AND SHALL COORDINATE THE INTERFACING OF ALL WORK WITH ALL SUB-TRADES.
9. PROVIDE POSITIVE FRONT YARD SLOPE TO MUNICIPAL SEWER FOR WATER RUN-OFF.
10. CONTRACTOR TO BE RESPONSIBLE FOR VERIFYING THE LOCATIONS OF ALL EXISTING UNDERGROUND AND ABOVE UTILITIES AND SERVICES. VARIOUS UTILITIES CONCERNED TO BE GIVEN REQUIRED ADVANCED NOTICE PRIOR TO ANY DIGGING, FOR STAKE OUT.
11. REFER TO LANDSCAPING PLAN FOR PLANTING CONFIRM LAYOUT WITH LANDSCAPE CONTRACTOR.
12. DESIGNER NOT RESPONSIBLE FOR ACCURACY OF SURVEY DRAWING.
13. EXISTING DRAINAGE PATTERNS TO REMAIN.

DRAWING LIST:

SP1.01 - SITE PLAN, SITE STATISTICS AND DRAWING LIST

A1.01 - EXISTING BASEMENT LEVEL PLAN

A1.02 - EXISTING MAIN LEVEL PLAN

A1.03 - PROPOSED BASEMENT LEVEL PLAN

A1.04 - PROPOSED MAIN LEVEL PLAN

A2.01 - WEST ELEVATION

A2.02 - NORTH ELEVATION

A2.03 - EAST ELEVATION

A3.01 - SOUTH SECTION DETAILS

A3.02 - FIRE RESISTANCE RATING DETAILS

A5.01 - CONSTRUCTION SPECIFICATIONS

A5.02 - CONSTRUCTION SPECIFICATIONS

A5.03 - CONSTRUCTION SPECIFICATIONS

EXISTING STRUCTURE NOTE:

OWNER AND CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFYING ALL EXISTING STRUCTURAL CONDITIONS PRIOR TO ANY WORK. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO SUITE ADDITIONS INC. PRIOR TO ANY WORK. OWNER AND CONTRACTOR IS FULLY RESPONSIBLE FOR SHORING EXISTING STRUCTURE PRIOR TO ANY WORK

BUILDING CODE COMPLIANCE NOTE:

THESE DRAWINGS DO NOT REPRESENT A COMPREHENSIVE AND EXHAUSTIVE GUIDE FOR COMPLIANCE WITH THE ONTARIO BUILDING CODE. IT IS ASSUMED THAT THE CONTRACTOR HAS REASONABLY SUFFICIENT KNOWLEDGE OF THE ONTARIO BUILDING CODE IN ORDER TO PERFORM ALL WORK AS PER THESE DRAWINGS IN SUCH A WAY THAT WILL COMPLY WITH ALL ASPECTS OF THE OBC AND WILL NOT CONTRAVENE ANY OTHER APPLICABLE LAWS

SUITE ADDITIONS INC.
3-2375 Brimley Rd, Suite 807
Toronto, ON, M1S 3L6
Tel: 416-525-2628
Email:
info@suiteadditions.com



Contractor must verify all dimensions and be responsible for reporting any discrepancies to Suite Additions Inc. before commencing with work. The drawing is an instrument of service and shall remain the property of Suite Additions Inc., the copyright of this drawing and work executed from the same being reserved. Do not scale drawings.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

Andy Tran

Andy Tran - Signature
Individual BCIN: 102774
Firm: Suite Additions Inc.
Firm BCIN: 102497

PROJECT:

2 FAMILY DWELLING
CONVERSION

ADDRESS:

155 HOWARD AVENUE, HAM ILTON,
ON, L9A 2W9

CLIENT: SUMING FENG

DRAWN BY: ANDY TRAN

ISSUE DATE:

MAR 05, 2020

RE-ISSUE DATE:

FEB 05, 2020

JUL 09, 2020

DESCRIPTION:

SITE PLAN, SITE STATISTICS
AND DRAWING LIST

SCALE: 1:200

DRAWING NO:

SP1.01

PLANS LEGEND

BATH

ROOM NAME

C.H. 7'-0"

CEILING HEIGHT

E.F.

EXHAUST FAN

SA

SMOKE ALARM

CMA

CARBON MONOXIDE ALARM

S

SUPPLY REGISTER

R

RETURN GRILLE

STRUCTURAL COLUMN

STRUCTURAL BEAM OR WALL

PLUMBING STACK

WATER METER

FLOOR DRAIN

WALL SCHEDULE

FOUNDATION WALL

WALLS TO BE REMOVED

EXISTING WALLS TO REMAIN

NEW INTERIOR WALLS

NEW EXTERIOR WALLS (R20)

DOOR LEGEND (NEW DOORS ONLY)

DOOR TYPE

NO. OF DOORS

A. PANEL DOOR

B. FIRE DOOR W/ SELF CLOSER (45 MIN)

C. FIRE DOOR W/ SELF CLOSER (20 MIN)

D. EXTERIOR DOOR

E. BIFOLD CLOSET

F. SLIDING DOOR

NOTE:

SMOKE ALARMS TO BE HARDWIRED AND INTERCONNECTED WITHIN UNIT

1
A2.01

PROPOSED MAIN FLOOR PLAN

SCALE: 3/16"=1'-0"

1
A1.04

1
A2.04

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ISSUE DATE: MAR 05, 2020
RE-ISSUE DATE:

DESCRIPTION:
PROPOSED MAIN LEVEL
FLOOR PLAN

SCALE: 1/4" = 1'-0"

DRAWING NO:

A1.04



FRONT ELEVATION

GROUND FLOOR ▼

WEST ELEVATION (FRONT)
SCALE: 1/4" = 1'-0"
1
A2.01

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DRAWN BY: ANDY TRAN

ISSUE DATE: MAR 05, 2020
RE-ISSUE DATE:

DESCRIPTION:
WEST ELEVATION

SCALE: 1/4" = 1'-0"

DRAWING NO:

A2.01



LEFT ELEVATION

NORTH ELEVATION (SIDE)

1
A2.02

SCALE: 3/16"=1'-0"

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DRAWN BY: ANDY TRAN

ISSUE DATE: MAR 05, 2020
RE-ISSUE DATE:

DESCRIPTION:
NORTH ELEVATION

SCALE: 3/16" = 1'-0"

DRAWING NO:
A2.02



REAR ELEVATION

GROUND FLOOR ▼

EAST ELEVATION (REAR)

1
A2.03

SCALE: 3/16"=1'-0"

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DESCRIPTION:
EAST ELEVATION

SCALE: 3/16" = 1'-0"

DRAWING NO:
A2.03



RIGHT ELEVATION

SOUTH ELEVATION (SIDE)

1
A2.04

SCALE: 3/16"=1'-0"

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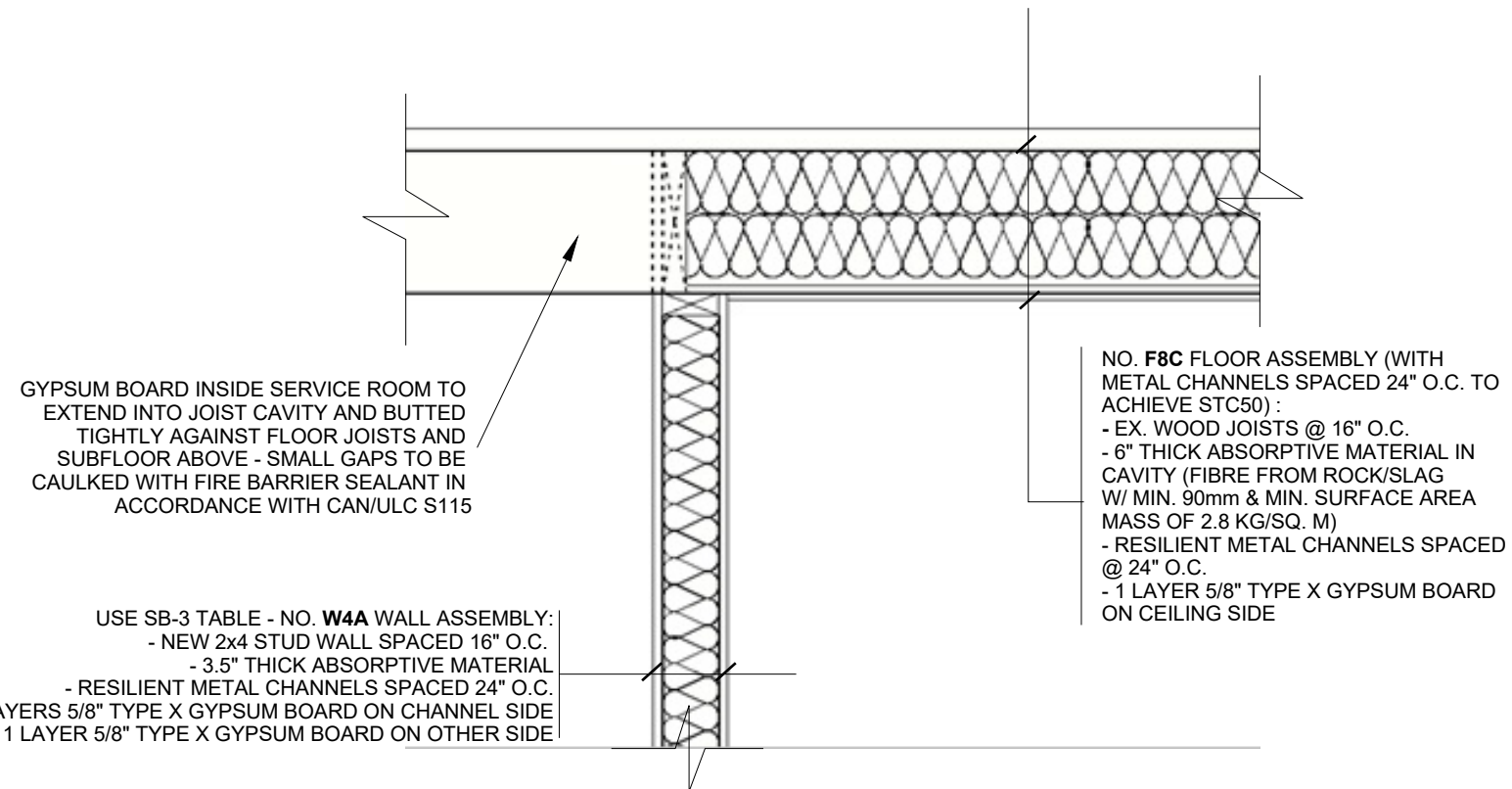
DRAWN BY: ANDY TRAN

ISSUE DATE: MAR 05, 2020
RE-ISSUE DATE:

DESCRIPTION:
SOUTH ELEVATION

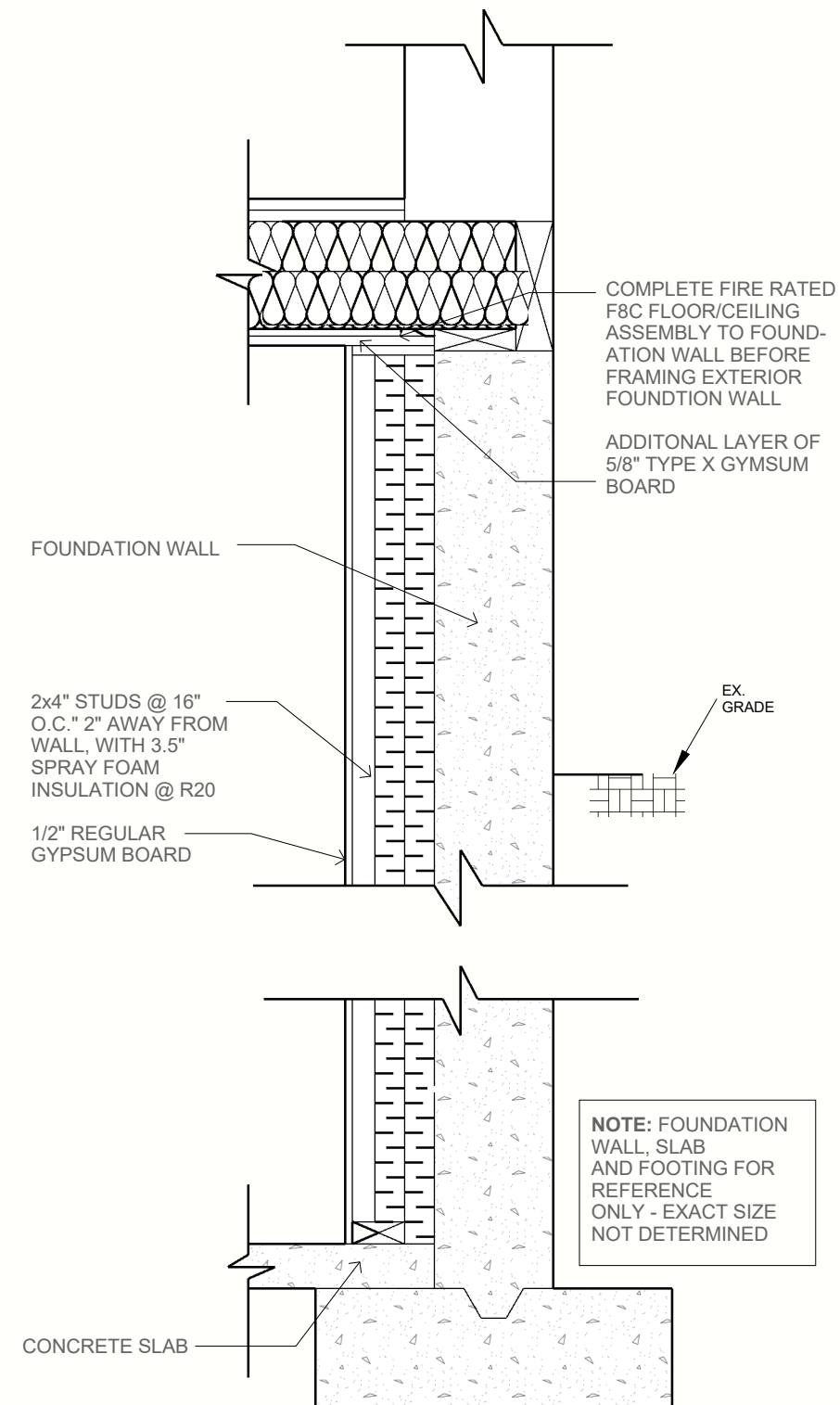
SCALE: 3/16" = 1'-0"

DRAWING NO:
A2.04



FIRE RESISTANCE RATING FOR NEW PORTIONS OF CEILING (THROUGHOUT) AND SERVICE ROOM WALL

SCALE: 1"=1'-0"



EXTERIOR FOUNDATION WALL DETAIL

SCALE: 1"=1'-0"

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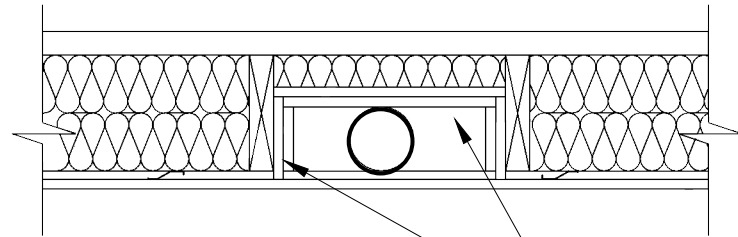
ISSUE DATE: MAR 05, 2020
RE-ISSUE DATE:

DESCRIPTION:
 CROSS SECTION DETAILS

SCALE: SEE DETAILS

DRAWING NO:

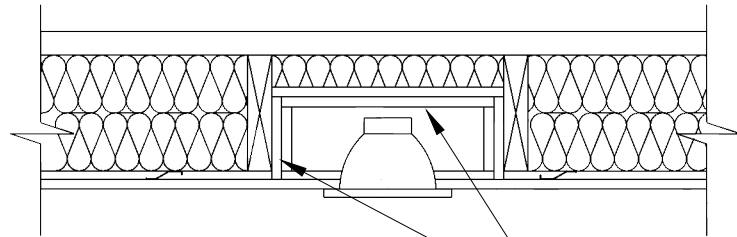
A3.01



F.R.R. FOR VENTS (BATH FANS, KITCHEN EXHAUSTS, & CLOTHES DRYERS)

1
A3.2 scale: 1"=1'-0"

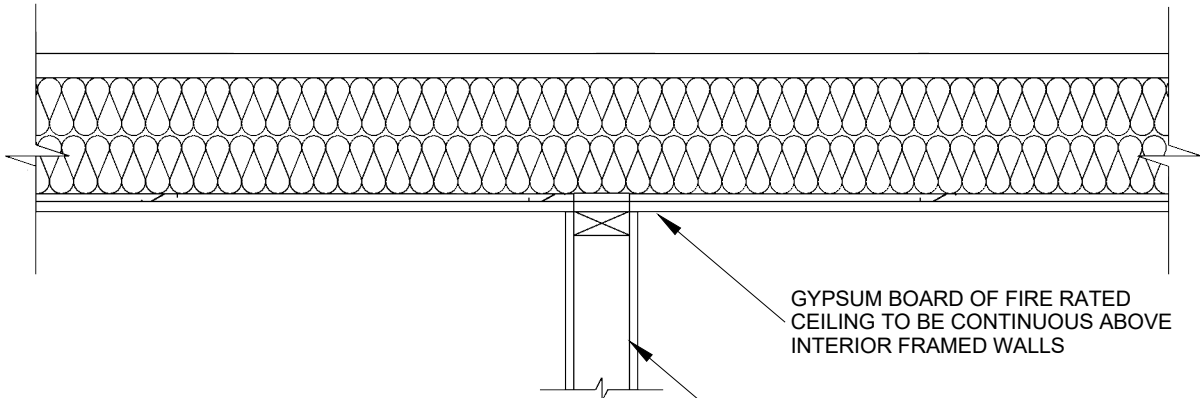
1 LAYER 5/8" TYPE X GYPSUM BOARD SURROUNDING VENT PIPE
NOTE: OPTION OF USING FIRE DAMPER FOR BATH FANS



F.R.R. FOR RECESSED LIGHTING

2
A3.2 scale: 1"=1'-0"

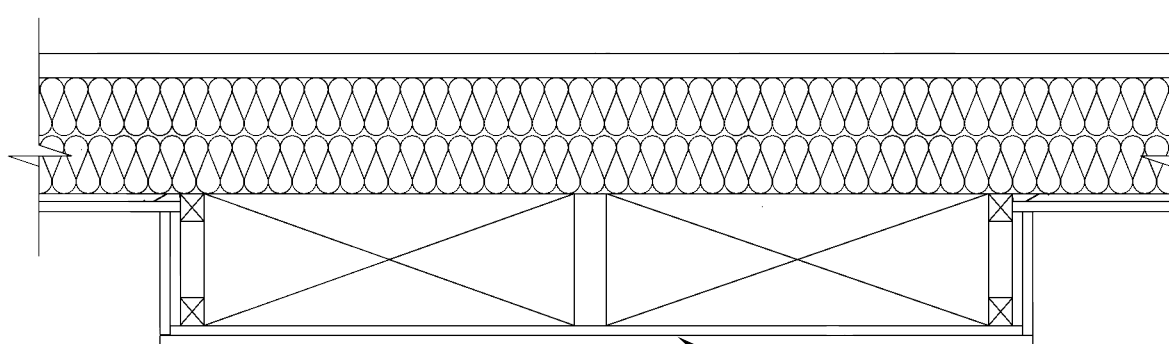
1 LAYER 5/8" TYPE X GYPSUM BOARD SURROUNDING RECESSED LIGHTING (POTLIGHTS)



F.R.R. FOR NEW PARTITIONS

3
A3.2 scale: 1"=1'-0"

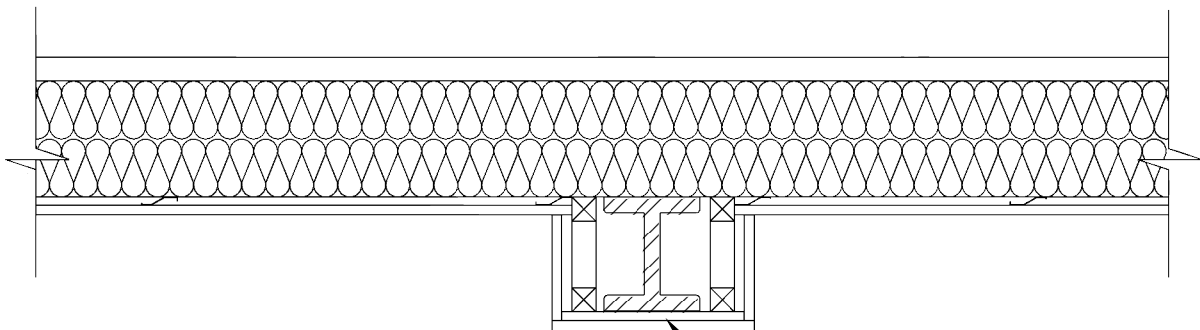
GYPSUM BOARD OF FIRE RATED CEILING TO BE CONTINUOUS ABOVE INTERIOR FRAMED WALLS
1/2" REGULAR GYPSUM BOARD



F.R.R. FOR DUCTS

4
A3.2 scale: 1"=1'-0"

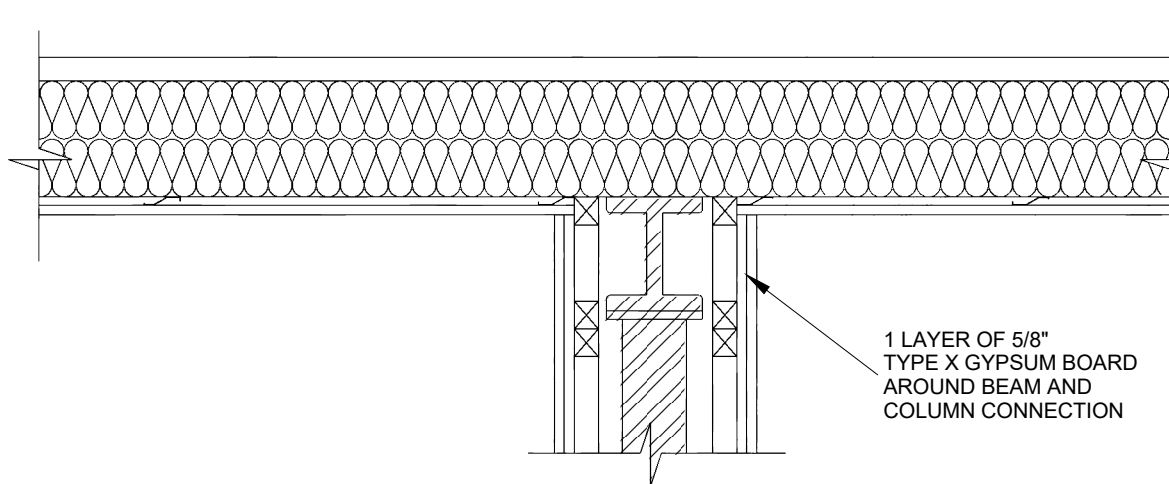
1 LAYER OF 5/8" TYPE X GYPSUM BOARD BELOW AND AROUND DUCTS



F.R.R. FOR BEAM

5
A3.2 scale: 1"=1'-0"

1 LAYER OF 5/8" TYPE X GYPSUM BOARD BELOW AND AROUND BEAM



F.R.R. FOR BEAM AND COLUMN

6
A3.2 scale: 1"=1'-0"

1 LAYER OF 5/8" TYPE X GYPSUM BOARD AROUND BEAM AND COLUMN CONNECTION

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50 Leeswood Crescent
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CLIENT: SUMING FENG

DRAWN BY: ANDY TRAN

ISSUE DATE: MAR 05, 2020
RE-ISSUE DATE:

DESCRIPTION:
FIRE RESISTANCE RATING
DETAILS

SCALE: 1" = 1'-0"

DRAWING NO:

A3.02

CONSTRUCTION NOTES AND SPECIFICATIONS

GENERAL NOTES:

- ALL CONSTRUCTION TO COMPLY WITH THE CURRENT ONTARIO BUILDING CODE (REVISED 2012 OBC – DEC 19, 2017).
- ALL DIMENSIONS ARE MEASURED TO ROUGH FRAMING, MASONRY, OR CONCRETE SURFACES U.O N.
- ALL DOORS AND WINDOW OPENINGS ARE MEASURED TO ROUGH FRAMING OR MASONRY OPENING.
- CONTRACTOR SHALL VERIFY WINDOW OPENINGS WITH THE MANUFACTURER PRIOR TO WORK.
- READ ARCHITECTURAL DRAWINGS IN CONJUNCTION WITH ELECTRICAL PLANS SUPPLIED BY LICENSED ELECTRICAL CONTRACTOR.
- ALL DIMENSIONS MUST BE CHECKED AGAINST THE ARCHITECTURAL DRAWINGS AND FIELD CONDITIONS BEFORE COMMENCING FABRICATION. ANY INCONSISTENCIES ARE TO BE REPORTED TO SUITE ADDITIONS INC. BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL PROPERLY SUPERVISE THE WORK AND ENSURE THAT THE WORK IS INSTALLED TO THE CORRECT LINES AND LEVELS, THAT THE CONNECTIONS AND DETAILS CONFORM TO THE DRAWING DETAILS AND SHALL COORDINATE THE INTERFACING OF ALL WORK WITH ALL SUBTRADES.
- PROVIDE POSITIVE FRONT YARD SLOPE TO MUNICIPAL SEWER FOR WATER RUN-OFF.
- CONTRACTOR TO BE RESPONSIBLE FOR VERIFYING THE LOCATIONS OF ALL EXISTING UNDERGROUND AND ABOVE UTILITIES AND SERVICES. VARIOUS UTILITIES CONCERNED TO BE GIVEN REQUIRED ADVANCE NOTICE PRIOR TO ANY DIGGING, FOR STAKE OUT.
- SUITE ADDITIONS INC. NOT RESPONSIBLE FOR ACCURACY OF SURVEY DRAWING.
- EXISTING DRAINAGE PATTERNS TO REMAIN. ANY NEW SUMP PUMP INSTALLATIONS TO DISCHARGE IN REAR YARD.

BUILDING FROM THESE SHALL PROCEED ONLY WHEN MARKED “ISSUED FOR CONSTRUCTION.”

EXISTING STRUCTURE NOTE:

OWNER AND CONTRACTOR ARE FULLY RESPONSIBLE FOR VERIFYING ALL EXISTING GENERAL AND STRUCTURAL CONDITIONS PRIOR TO ANY WORK. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO SUITE ADDITIONS INC. PRIOR TO ANY WORK. OWNER AND CONTRACTOR IS FULLY RESPONSIBLE FOR SHORING EXISTING STRUCTURE PRIOR TO ANY WORK IF REQUIRED.

CODE REFERENCES AND SPECIFICATIONS

1 FIRE PROTECTION MEASURES
ALL FIRE PROTECTION MEASURES MUST COMPLY WITH OBC 9.10. (U.O.N.)

2 CEILING HEIGHTS
CEILING HEIGHTS SHALL COMPLY WITH OBC 9.5.3.1. AND PART 11 – C102 OF TABLE 11.5.1.1.C.

PART 9:
BASEMENT SPACE - 2 100 mm (6'-10 3/4") over at least 75% of the *basement* area except that under beams and ducts the clearance is permitted to be reduced to 1 950 mm (6'-4 7/8")

PART 11 (COMPLIANCE ALTERNATIVE):
In a *house*,
(a) minimum room height shall not be less than 1 950 mm (6'-4 7/8") over the required floor area and in any location that would normally be used as a *means of egress*, or
(b) minimum room height shall not be less than 2 030 mm (6'-10") over at least 50% of the required floor area, provided that any part of the floor having a clear height of less than 1 400 mm (4'-7 1/8") shall not be considered in computing the required floor area.

3 EGRESS FROM DWELLING UNIT
EGRESS FROM DWELLING UNIT SHALL COMPLY WITH OBC 9.9.9 AND PART 11 COMPLIANCE – C136 OF TABLE 11.5.1.1.C.

PART 9:
9.9.9.1. Travel Limit to Exits or Egress Doors
(1) Except as provided in Sentences (2) and (3), every *dwelling unit* containing more than 1 *storey* shall have *exits* or egress doors located so that it shall not be necessary to travel up or down more than 1 *storey* to reach a level served by,
(a) an egress door to a *public corridor*, enclosed *exit* stair or exterior passageway, or
(b) an *exit* doorway not more than 1 500 mm above adjacent ground level.
(2) Where a *dwelling unit* is not located above or below another *suite*, the travel limit from a floor level in the *dwelling unit* to an *exit* or egress door is permitted to exceed 1 *storey* where that floor level is served by an openable window or door,
(a) providing an unobstructed opening of not less than 1 000 mm in height and 550 mm in width, and
(b) located so that the sill is not more than,
(i) 1 000 mm above the floor, and
(ii) 7 m above adjacent ground level.
(3) The travel limit from a floor level in a *dwelling unit* to an *exit* or egress door is permitted to exceed 1 *storey* where that floor level has direct access to a balcony.

9.9.9.2. Two Separate Exits
(1) Except as provided in Sentence 9.9.7.3.(1), where an egress door from a *dwelling unit* opens onto a *public corridor* or exterior passageway it shall be possible from the location where the egress door opens onto the corridor or exterior passageway to go in opposite directions to two separate *exits* unless the *dwelling unit* has a second and separate *means of egress*.

9.9.9.3. Shared Egress Facilities
(1) A *dwelling unit* shall be provided with a second and separate *means of egress* where an egress door from the *dwelling unit* opens onto,
(a) an *exit* stairway serving more than one *suite*,
(b) a *public corridor*,
(i) serving more than one *suite*, and
(ii) served by a single *exit*,
(c) an exterior passageway,
(i) serving more than one *suite*,
(ii) served by a single *exit* stairway or ramp, and
(iii) more than 1.5 m above adjacent ground level, or
(d) a balcony,
(i) serving more than one *suite*,
(ii) served by a single *exit* stairway or ramp, and
(iii) more than 1.5 m above adjacent ground level.

PART 11 (COMPLIANCE ALTERNATIVE):
In a *house*, *exit* requirements are acceptable if at least one of the following conditions exists:
(a) a door, including a sliding door, that opens directly to the exterior from a *dwelling unit*, serves only that *dwelling unit* and has reasonable access to ground level, and the *dwelling units* are equipped with *smoke alarms* installed in conformance with Subsection 9.10.19.,
(b) an *exit* that is accessible to more than one *dwelling unit* and provides the only *means of egress* from each *dwelling unit*, provided that the *means of egress* is separated from the remainder of the *building* and common areas by a *fire separation* having a 30 min *fire-resistance rating* and provided further that the required *access to exit* from any *dwelling unit* cannot be through another *dwelling unit*, *service room* or other *occupancy*, and both *dwelling units* and common areas are provided with *smoke alarms* that are installed in conformance with Subsection 9.10.19. and are interconnected, or
(c) access to an *exit* from one *dwelling unit* which leads through another *dwelling unit* where,
(i) an additional means of escape is provided through a window that conforms to the following:
(A) the sill height is not more than 1 000 mm above or below adjacent ground level,
(B) the window can be opened from the inside without the use of tools,
(C) the window has an individual unobstructed open portion having a minimum area of 0.38 m² with no dimension less than 460 mm,
(D) the sill height does not exceed 900 mm above the floor or fixed steps,
(E) where the window opens into a window well, a clearance of not less than 1 000 mm shall be provided in front of the window, and
(F) *smoke alarms* are installed in every *dwelling unit* and in common areas in conformance with Subsection 9.10.19. and are interconnected,
(ii) an additional means of escape is provided through a window that conforms to the following:
(A) the window is a casement window not less than 1 060 mm high, 560 mm wide, with a sill height not more than 900 mm above the inside floor,
(B) the sill height of the window is not more than 5 m above adjacent ground level, and
(C) *smoke alarms* are installed in every *dwelling unit* and in common areas in conformance with Subsection 9.10.19. and are interconnected, or (iii) the *building* is *sprinklered* and the *dwelling units* are equipped with *smoke alarms* installed in conformance with Subsection 9.10.19.

SUITE ADDITIONS INC.
3-2375 Brimley Rd, Suite 807
Toronto, ON, M1S 3L6
Tel: 416-525-2628
Email:
info@suiteadditions.com



SUITE
ADDITIONS

Contractor must verify all dimensions and be responsible for reporting any discrepancies to Suite Additions Inc. before commencing with work. The drawing is an instrument of service and shall remain the property of Suite Additions Inc., the copyright of this drawing and work executed from the same being reserved. Do not scale drawings.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer



Andy Tran - Signature
Individual BCIN: 102774
Firm: Suite Additions Inc.
Firm BCIN: 102497

PROJECT:
2 FAMILY DWELLING
CONVERSION

ADDRESS:
155 HOWARD AVENUE, HAM ILTON,
ON, L9A 2W9

CLIENT: SUMING FENG

DRAWN BY: ANDY TRAN

ISSUE DATE: MAR 05, 2020RE-ISSUE DATE:

DESCRIPTION:
CONSTRUCTION
SPECIFICATIONS

SCALE: N/A

DRAWING NO:
A5.01

4

EGRESS FROM BEDROOMS

EGRESS FROM BEDROOMS SHALL COMPLY WITH OBC 9.9.10.1

PART 9:

- (1) Except where a door on the same floor level as the bedroom provides direct access to the exterior, every floor level containing a bedroom in a *suite* shall be provided with at least one outside window that,
- (a) is openable from the inside without the use of tools,
- (b) provides an individual, unobstructed open portion having a minimum area of 0.35 m² with no dimension less than 380 mm, and
- (c) maintains the required opening described in Clause (b) without the need for additional support.
- (2) Except for *basement* areas, the window required in Sentence (1) shall have a maximum sill height of 1 000 mm above the floor.
- (3) When sliding windows are used, the minimum dimension described in Sentence (1) shall apply to the openable portion of the window.
- (4) Where the sleeping area within a *live/work unit* is on a *mezzanine* with no obstructions more than 1 070 mm above the floor, the window required in Sentence (1) may be provided on the main level of the *live/work unit* provided the *mezzanine* is not more than 25% of the area of the *live/work unit* or 20 m², whichever is less, and an unobstructed direct path of travel is provided from the *mezzanine* to this window.
- (5) Where a window required in Sentence (1) opens into a window well, a clearance of not less than 550 mm shall be provided in front of the window.
- (6) Where the sash of a window referred to in Sentence (5) swings towards the window well, the operation of the sash shall not reduce the clearance in a manner that would restrict escape in an emergency.
- (7) Where a protective enclosure is installed over the window well referred to in Sentence (5), such enclosure shall be openable from the inside without the use of keys, tools or special knowledge of the opening mechanism.

5

SMOKE ALARMS

SMOKE ALARMS SHALL COMPLY WITH OBC 9.10.19. AND PART 11 COMPLIANCE – C175 OF TABLE 11.5.1.1.C.

PART 9:

9.10.19.1. Required Smoke Alarms

- (1) *Smoke alarms* conforming to CAN/ULC-S531, “Smoke Alarms”, shall be installed in each *dwelling unit* and in each sleeping room not within a *dwelling unit*.
- (2) *Smoke alarms* required in Sentence (1) shall have a visual signalling component conforming to the requirements in 18.5.3. (Light, Color and Pulse Characteristics) of NFPA 72, “National Fire Alarm and Signaling Code”.
- (3) The visual signalling component required in Sentence (2) need not, (a) be integrated with the *smoke alarm* provided it is interconnected to it, (b) be on battery backup, or (c) have synchronized flash rates, when installed in a *dwelling unit*.
- (4) The luminous intensity for visual signalling components required in Sentence (2) that are installed in sleeping rooms shall be a minimum of 175 cd.
- (5) *Smoke alarms* required in Sentence (1) shall be installed on or near the ceiling.
- 9.10.19.3. Location of Smoke Alarms
- (1) Within *dwelling units*, sufficient *smoke alarms* shall be installed so that,
- (a) there is at least one *smoke alarm* installed on each *storey*, including *basements*, and
- (b) on any *storey* of a *dwelling unit* containing sleeping rooms, a *smoke alarm* is installed,
- (i) in each sleeping room, and
- (ii) in a location between the sleeping rooms and the remainder of the *storey*, and if the sleeping rooms are served by a hallway, the *smoke alarm* shall be located in the hallway.
- (2) Within a *house* that contains an interior shared *means of egress* or common area, a *smoke alarm* shall be installed in each shared *means of egress* and common area.
- (3) A *smoke alarm* required in Sentences (1) and (2) shall be installed in conformance with CAN/ULC-S553, “Installation of Smoke Alarms”.

9.10.19.4. Power Supply

- (1) Except as provided in Sentences (2) and (3), *smoke alarms* required in Sentences 9.10.19.1.(1) and 9.10.19.3.(2) shall,
- (a) be installed with permanent connections to an electrical circuit,
- (b) have no disconnect switch between the overcurrent device and the *smoke alarm*, and
- (c) in case the regular power supply to the *smoke alarm* is interrupted, be provided with a battery as an alternative power source that can continue to provide power to the *smoke alarm* for a period of not less than 7 days in the normal condition, followed by 4 min of alarm.
- 9.10.19.5. Interconnection of Smoke Alarms
- (1) Where more than one *smoke alarm* is required in a *dwelling unit*, the *smoke alarms* shall be wired so that the activation of one alarm will cause all alarms within the *dwelling unit* to sound.

PART 11 (COMPLIANCE ALTERNATIVE):.
Smoke alarms may be battery operated.

6

CARBON MONOXIDE ALARMS

CARBON MONOXIDE ALARMS SHALL COMPLY WITH OBC 9.33.4. AND PART 11 COMPLIANCE – C197 OF TABLE 11.5.1.1.C.

PART 9:

9.33.4.1. Application

- (1) This Subsection applies to every *building* that,
- (a) contains a *residential occupancy*, and
- (b) contains a fuel-burning *appliance* or a *storage garage*.

9.33.4.2. Location of Carbon Monoxide Alarms

- (1) Where a fuel-burning *appliance* is installed in a *suite* of *residential occupancy*, a carbon monoxide alarm shall be installed adjacent to each sleeping area in the *suite*.
- (2) Where a fuel-burning *appliance* is installed in a *service room* that is not in a *suite* of *residential occupancy*, a carbon monoxide alarm shall be installed,
- (a) adjacent to each sleeping area in every *suite* of *residential occupancy* that is adjacent to the *service room*, and
- (b) in the *service room*.
- (3) Where a *storage garage* is located in a *building* containing a *residential occupancy*, a carbon monoxide alarm shall be installed adjacent to each sleeping area in every *suite* of *residential occupancy* that is adjacent to the *storage garage*.
- (4) Where a *storage garage* serves only the *dwelling unit* to which it is attached or built in, a carbon monoxide alarm shall be installed adjacent to each sleeping area in the *dwelling unit*.
- (5) A carbon monoxide alarm shall be mechanically fixed,
- (a) at the manufacturer’s recommended height, or
- (b) in the absence of specific instructions, on or near the ceiling.

9.33.4.3. Installation and Conformance to Standards

- (1) The carbon monoxide alarm required by Article 9.33.4.2. shall,
- (a) except as permitted in Sentence (2), be permanently connected to an electrical circuit and shall have no disconnect switch between the overcurrent device and the carbon monoxide alarm,
- (b) be wired so that its activation will activate all carbon monoxide alarms within the *suite*, where located within a *suite* of *residential occupancy*,
- (c) be equipped with an alarm that is audible within bedrooms when the intervening doors are closed, where located adjacent to a sleeping area, and
- (d) conform to,
- (i) CAN/CSA-6.19, “Residential Carbon Monoxide Alarming Devices”, or
- (ii) UL 2034, “Single and Multiple Station Carbon Monoxide Alarms”.
- (2) Where the *building* is not supplied with electrical power, carbon monoxide alarms are permitted to be battery operated.

PART 11 (COMPLIANCE ALTERNATIVE):.

Carbon monoxide alarms may be battery operated or plugged into an electrical outlet.

7

FIRE-RESISTANCE RATINGS FOR WALLS, COLUMNS AND ARCHES

FIRE-RESISTANCE RATINGS FOR WALLS, COLUMNS AND ARCHES SHALL COMPLY WITH OBC 9.10.8.3 AND PART 11 COMPLIANCE - C147 OF TABLE 11.5.1.1.C.

PART 9:

- (1) Except as otherwise provided in this Subsection, all *loadbearing* walls, columns and arches in the *storey* immediately below a floor or roof assembly shall have a *fire-resistance rating* of not less than that required for the supported floor or roof assembly.

PART 11 (COMPLIANCE ALTERNATIVE):.

- (a) Except as provided in (b) and (c), 30 min rating is acceptable.
- (b) In a *house*, 15 min horizontal *fire separation* is acceptable where,
- (i) *smoke alarms* are installed in every *dwelling unit* and in common areas in conformance with Subsection 9.10.19., and
- (ii) *smoke alarms* are interconnected.
- (c) In a *house*, the *fire-resistance rating* of the *fire separation* is waived where the *building* is *sprinklered*.

8

SEPARATION OF SERVICE ROOMS

SEPARATION OF SERVICE ROOMS SHALL COMPLY WITH OBC 9.10.10.4

PART 9:

9.10.10.4. Appliances and Equipment to be Located in a Service Room

- (1) Except as provided in Sentences (2) and (3) and Article 9.10.10.5., fuel-fired *appliances* shall be located in a *service room* separated from the remainder of the *building* by a *fire separation* having not less than a 1 h *fire-resistance rating*.
- (2) Except as required in the *appliance* installation standards referenced in Sentences 6.2.1.4.(1) and 9.33.1.2.(1), fuel fired *space-heating appliances*, *space-cooling appliances* and *service water heaters* **need not be separated from the remainder of the building** as required in Sentence (1) where the equipment serves,
- (a) not more than one room or *suite*,
- (b) a *house*, or
- (c) a *building*, other than a *house*, with a *building* area of not more than 400 m² and a *building height* of not more than 2 *storeys*.
- (3) Sentence (1) does not apply to fireplaces and cooking *appliances*.

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS	
Registered Owners(s)			
Applicant(s)*			
Agent or Solicitor			

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

Secondary Dwelling Unit Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial
Agricultural Vacant Other

Other _____

8.1 If Industrial or Commercial, specify use _____

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes _____ No _____ Unknown _____

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes _____ No _____ Unknown _____

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes _____ No _____ Unknown _____

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes _____ No _____ Unknown _____

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes _____ No _____ Unknown _____

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes _____ No _____ Unknown _____

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes _____ No _____ Unknown _____

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes _____ No _____ Unknown _____

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes _____ No _____ Unknown _____

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

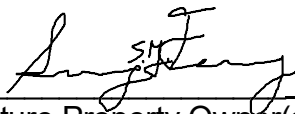
8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes _____ No _____

9. **ACKNOWLEDGEMENT CLAUSE**

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

Date



Signature Property Owner(s)

Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage _____
Depth _____
Area _____
Width of street _____

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _

Proposed

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

Proposed:

- Date of construction of all buildings and structures on subject lands:

- Existing uses of the subject property (single family, duplex, retail, factory etc.):

16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):

18. Municipal services available: (check the appropriate space or spaces)

Connected

Connected

19. Present Official Plan/Secondary Plan provisions applying to the land:

21. Has the owner previously applied for relief in respect of the subject property?

No

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

No

24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

Permit# 15989983

Paid ☒**HAMILTON MUNICIPAL PARKING SYSTEM
RESIDENTIAL DRIVEWAY ACCESS PERMIT**

Property Address: 155 HOWARD AVE , HAMILTON
Lot#/Concession: _____
Mailing Address: 3-2375 BRIMLEY ROAD SUITE 807, SCARBOROUGH **Postal Code:** M1S 3L6
Applicant: ANDY TRAN **Phone:** 416-525-2628 **Fax:** _____
Survey: Yes [] No [X]

Type of request: ☐ Construct a new entrance ☒ Change the design of an existing entrance
☐ Relocation of an existing entrance ☐ Construct a temporary entrance

The applicant requires the authorization of Public Works for the use of any other bonded contractor.

CLASSIFICATION, USE, PURPOSE AND DETAIL OF ACCESS

In the case that the Owner/Applicant or Agent installs the access, it is understood that is their responsibility to contact the CALL BEFORE YOU DIG (1-800-400-2255) for all utility locates prior to excavation. Any utility relocation required as a result of this access installation must be to the satisfaction of the respective utility company. All works, including utility relocation, will be reconstructed, altered, maintained or operated at the expense of the undersigned, and work must not begin before a permit has been issued by the City. The issuance of a permit by the City does not relieve the holder of the responsibility of complying with relevant Municipal By-Laws.

In consideration of any permit issued in respect to: this application, we, the Applicants for ourselves, our Heirs, Executors, Administrators, Successors and Assigns hereby agree to observe, keep and perform and be subject to the regulations and conditions of the said permit and to indemnify and save harmless, the City and its agents from and against all loss, cost, damages, expenses, claims and demands whatsoever to with the City may be put or which the City may be liable by reason of anything done or omitted to be done in the construction, maintenance, alterations or operation of the works authorized. The General Manager of Public Works may issue permits upon such terms as considered proper and may cancel any such permit at any time as provided for in the Streets By-law R77-109 and 86-077.

Access required for: Rural area ☐ Urban area ☒

Applicant's Details Widen existing driveway 10ft 3in to the south to accommodate parking for a 2nd dwelling unit.

Signature of applicant _____ **Dated** _____

Please provide a detailed sketch of where you would like the parking space, approach ramp, approach ramp extension, culvert entrance or culvert extension to be located. Please clearly indicate the measurements of your proposal. When writing descriptions, please use North, South, East and West directions.

FOR OFFICE USE ONLY

Approved ☒ Denied ☐ Concrete Approach ☒ Culvert ☐

Access to be constructed by: Approach ramp length 0.00

District # _____ Bonded contractor ☐ Culvert diameter 0.00 Culvert length 0.00

Formeman/Superintendent _____ Phone # _____

Permit#

15989983

Paid

☒

HAMILTON MUNICIPAL PARKING SYSTEM
RESIDENTIAL DRIVEWAY ACCESS PERMIT

Property Address: 155 HOWARD AVE , HAMILTON

Lot#/Concession:

Details

May 3, 2021. Approach estimate required. Approved by: Andrew Brown
Existing driveway to be widened 3.1m to the south for a total driveway width of 6.1m.
Public Works to determine new width of approach ramp.
Attachment with visual included in Hansen.