



Hamilton

**COMMITTEE OF ADJUSTMENT**

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5  
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202  
E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**NOTICE OF PUBLIC HEARING**  
**Minor Variance**

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**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
  - Applicant/agent on file, or
  - Person likely to be interested in this application
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**APPLICATION NO.:** AN/A-21:215

**APPLICANTS:** Agent Peter Treen  
Owners A. & D. Taylor

**SUBJECT PROPERTY:** Municipal address **101 Pine St., Ancaster**

**ZONING BY-LAW:** Zoning By-law 97-57, as Amended 18-105

**ZONING:** "ER" (Existing Residential) district

**PROPOSAL:** To permit the construction of a one storey rear garage addition to the existing single detached dwelling notwithstanding that;

1. A minimum rear yard of 0.9 m shall be provided instead of the minimum required rear yard of 8.9 m; and

2. A minimum of 0.9 m within the rear yard shall be unobstructed whereas the By-Law states that a minimum of 1.0 m within the rear yard shall be unobstructed and shall not contain structures, walkways, side walks, hard surfaced material and landscaping other than sod; and

3. A parking space within a private residential garage shall provide a minimum parking space width of 3.2 m instead of the minimum required parking space width of 3.5 m.

**Notes:**

Variations have been written based on the information provided by the applicant and the submitted sketch.

Variations have been written based on Elm Hill being the front lot line as it is the shorter street line as per the definition of front lot line, the side lot lines are the lot lines that meet the front lot line and the case of an irregular lot, the rear lot lines are the lot lines remaining after the determination of the side lot lines.

A maximum building height for one storey shall not be greater than 7.5 m. Insufficient details have been provided; therefore, if the proposed height exceeds the maximum permitted, further variations shall be required.

Eaves and Gutters may project into any minimum side yard a distance of not more than 60 cm, or into any minimum front or minimum rear yard a distance of not more than 1.5 m. No details provided; therefore, further variations may be required.

This application will be heard by the Committee as shown below:

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**DATE:** Thursday, September 23<sup>rd</sup>, 2021  
**TIME:** 3:25 p.m.  
**PLACE:** Via video link or call in (see attached sheet for details)  
To be streamed at  
[www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)  
for viewing purposes only

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#### **PUBLIC INPUT**

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

#### **MORE INFORMATION**

For more information on this matter, including access to drawings illustrating this request:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

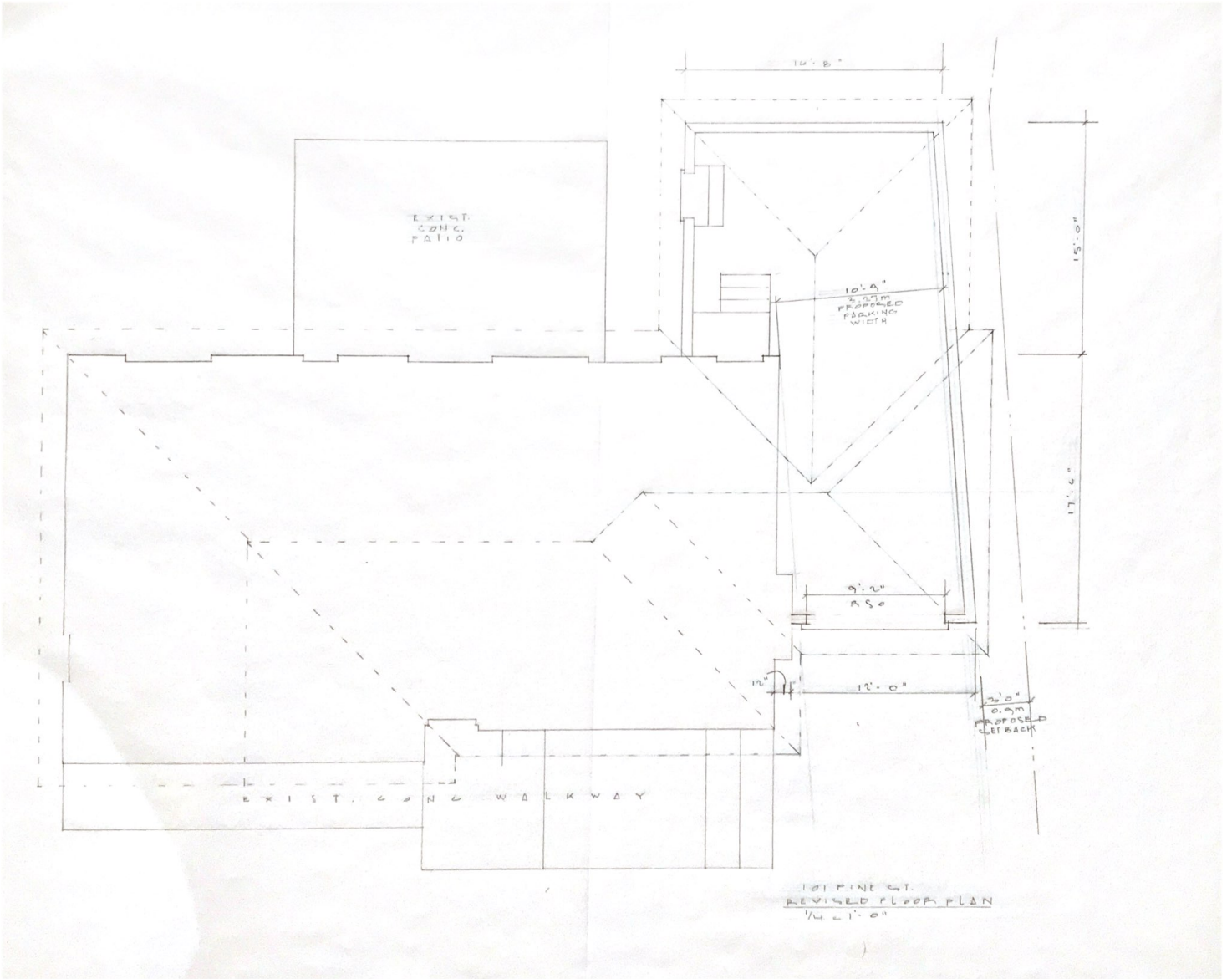
DATED: September 7<sup>th</sup>, 2021.

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

***Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.***





EXIST.  
CONC.  
PATIO

10'-0"  
3.0m  
PROPOSED  
PARKING  
WIDTH

15'-0"

17'-6"

9'-2"  
2.8m

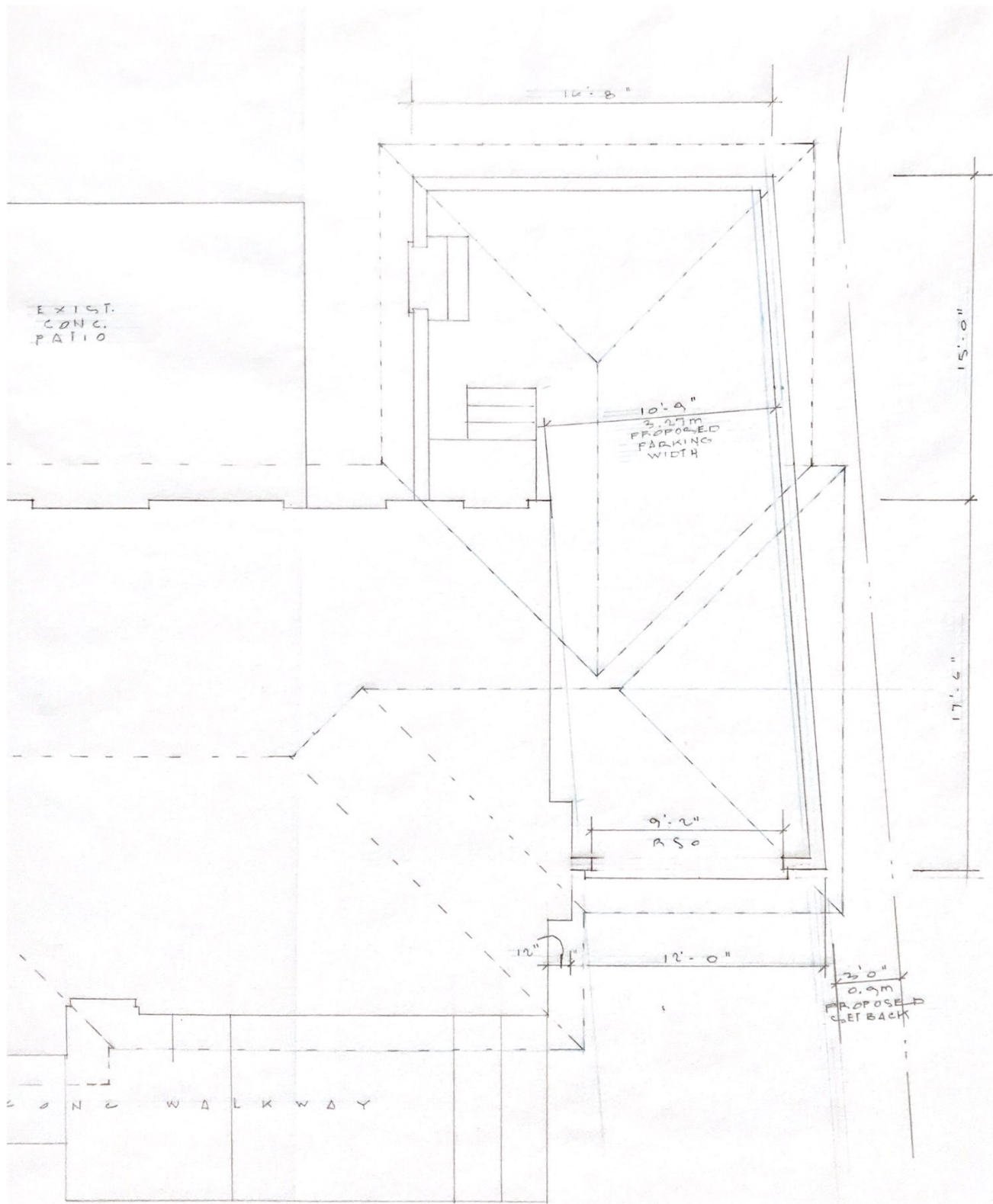
12'-0"

2'-0"  
0.6m  
PROPOSED  
CLEARANCE

EXIST. CONC. WALKWAY

101 PINE ST.  
REVISED FLOOR PLAN  
1/4" = 1'-0"





101 PINE ST.  
 REVISED FLOOR PLAN  
 1/4" = 1'-0"



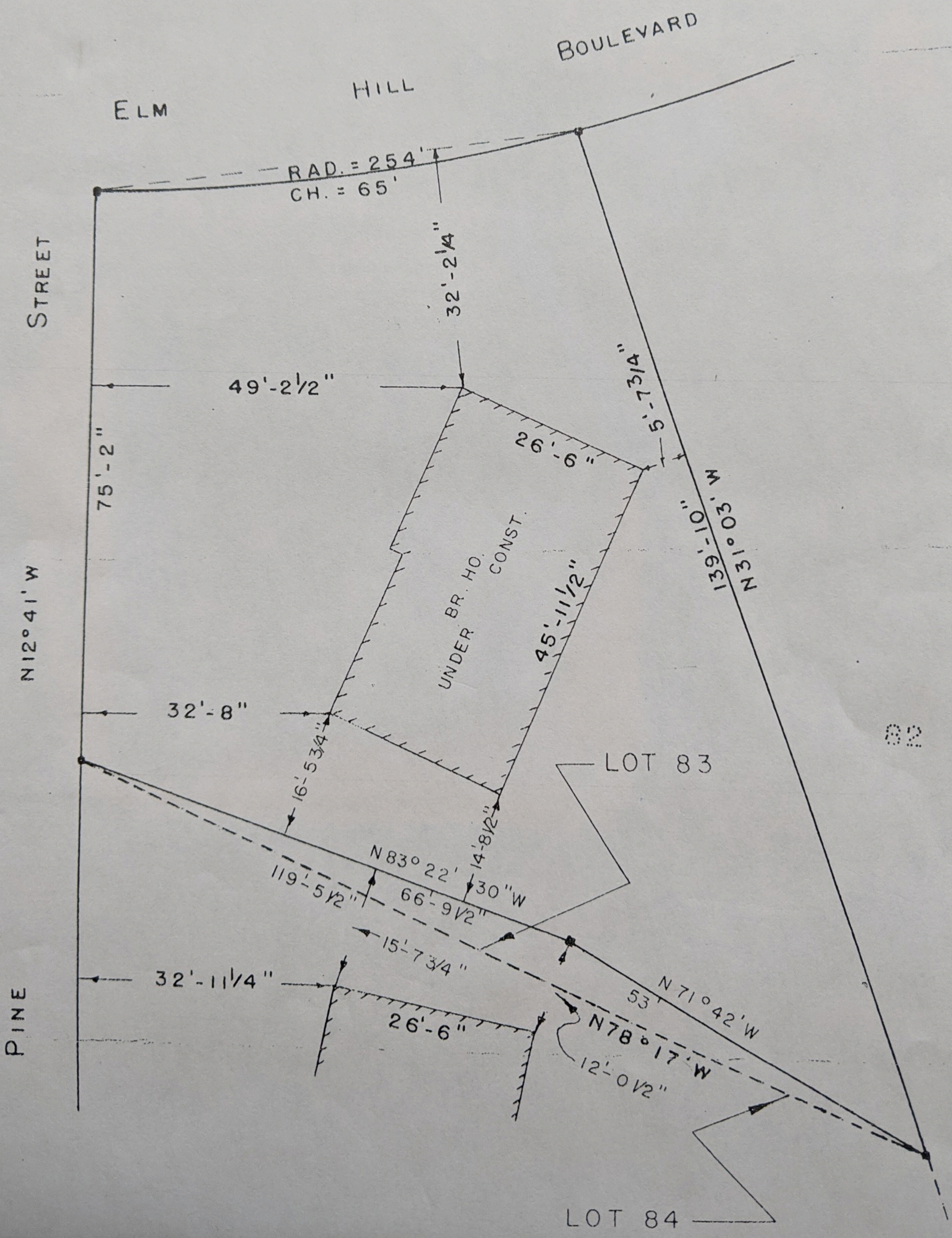
PLAN  
OF

LOT 83

PINE CREST SURVEY REG. PLAN No. 935

IN THE  
TOWNSHIP OF ANCASTER

SCALE 1 IN. = 20 FT.





Tuesday August 17, 2021

To whom it may concern,

I am writing in regard to our recent C of A application AN/A-215 for 101 Pine St in Ancaster. Our original application (see attached) was circulated and there were two variances identified.

- 1) *To reduce the required minimum rear yard setback from 8.9 metres to 0.6 metres;*  
*and*
- 2) *To reduce the required unobstructed minimum rear yard setback from 1.0 metres to 0.6 metres.*

Comments received from planning and engineering just prior to the hearing prompted us to defer the application and look at ways of amending the proposal that would meet with the approval of these two departments. We believe we have done this.

Having recently spoken with engineering (Himanshi Juneja) and planning (Tage Crooks) it appears there is a consensus that a 0.9 m setback would be acceptable.

*\* If so, a third variance would also be required for a reduced interior parking width of 3.2 m whereas 3.5 m is required.*

We wish to have the application re-circulated and re-scheduled.  
Please find the revised drawings attached.

As for payment of the re-circulation fee, please contact the owner,  
Del Taylor for over the phone cc payment. He can be reached at 289-239-8455

Thanks for your attention to this.

regards,



Peter Treen  
applicant  
416-720-4416