



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: FL/A-21:255 REVISED

APPLICANTS: Owner B. & G. Clark

SUBJECT PROPERTY: Municipal address **881 Valens Rd., Flamborough**

ZONING BY-LAW: Zoning By-law 05-200, as Amended

ZONING: "A1" (Agricultural (A1) Zone

PROPOSAL: To permit construction of a 11.15m (36'7") x 14.02m (46'0") addition onto an existing 7.92m (26'0") x 10.97m (36'0") accessory building (storage shed/garage) which is accessory to the single detached dwelling notwithstanding that:

1. The accessory building (detached garage/shed) shall be permitted within a flankage yard instead of the requirement that accessory buildings shall not be located within a front or flankage yard.
2. A maximum gross floor area of 250m² shall be permitted for all accessory buildings instead of the requirement that the aggregate gross floor area of all accessory buildings shall not exceed 200m².
3. A maximum building height of 7.3m shall be permitted for the proposed 14.02m (46'0") x 18.9m (62'0') "L" shaped accessory building instead of the requirement that all accessory buildings shall have a maximum height of 6.0m.

NOTE:

- i) This is a corner lot. Valens Road has been considered the front lot line and Concession 5 Road West is considered the side (flankage) lot line.
- ii) Pursuant to Variance No. 2 above, the total accessory building gross floor area of 250m² is based on the combined gross floor areas of the 7.32m² (8' x 10') existing pool shed and the 241.8m² (62' x 46' "L" shaped storage shed/3 car garage).
The owner has advised that there is an existing "12'x 24' temporary structure" which has not been shown on the Site Plan submitted which is intended to be removed once the 46' x 62' "L" accessory building (shed/garage) is constructed.

Further, the owner advised that she is not proceeding with construction of a 16' x 24' (35.6m²) shed which was subject of Building Permit No. 19-109847. Be advised if the "12' x 24' temporary structure" is not removed/demolished and if Building Permit No. 19-109847 is not cancelled, a further variance shall be required as the gross floor area of all accessory structures will exceed 250m².

.../2

- iii) The accessory building shall not be used for human habitation, commercial or industrial uses.

This application will be heard by the Committee as shown below:

DATE: Thursday, October 21st, 2021
TIME: 1:15 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

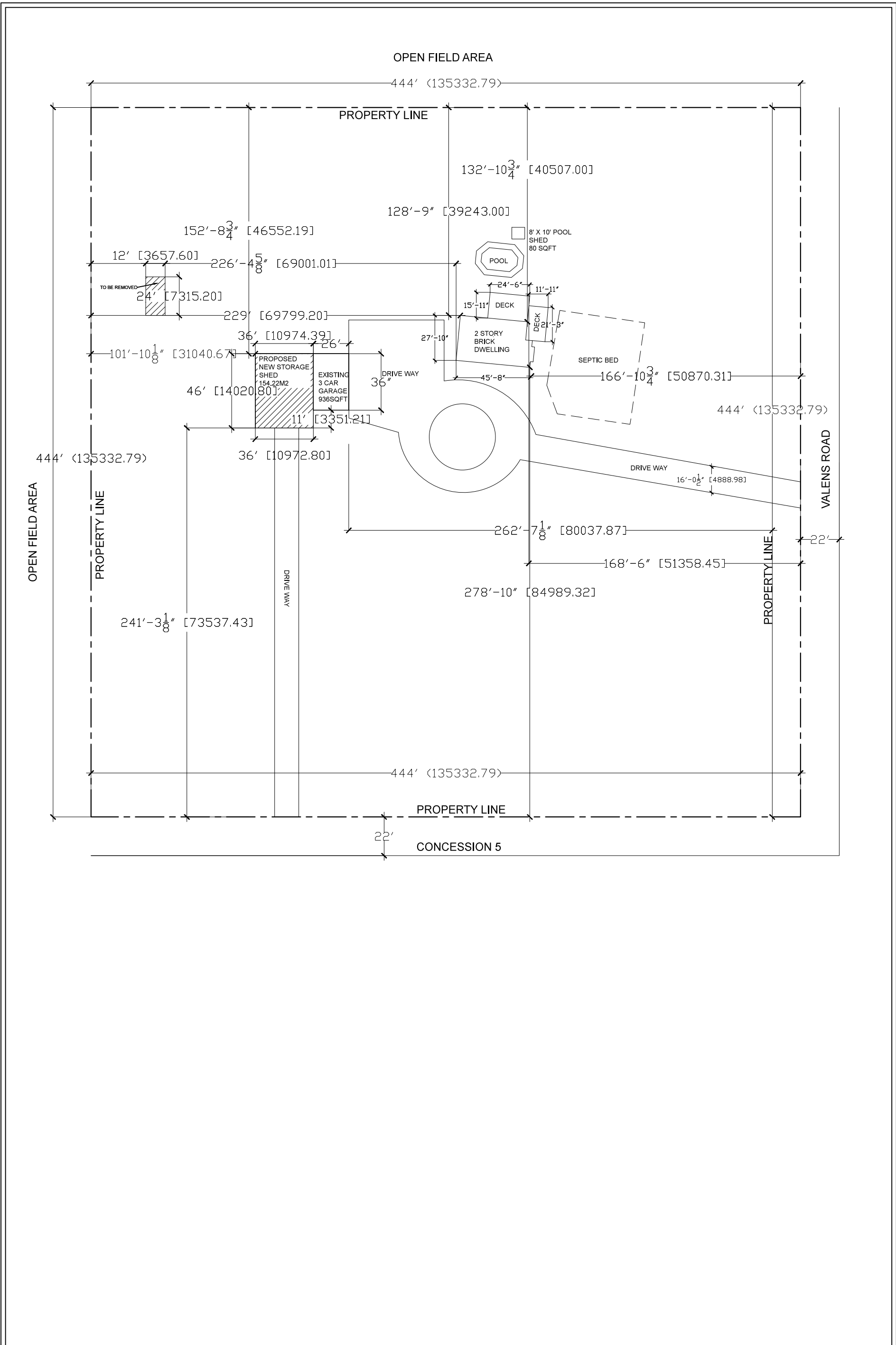
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: October 5th, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



881 Valens Road
Branchton ON

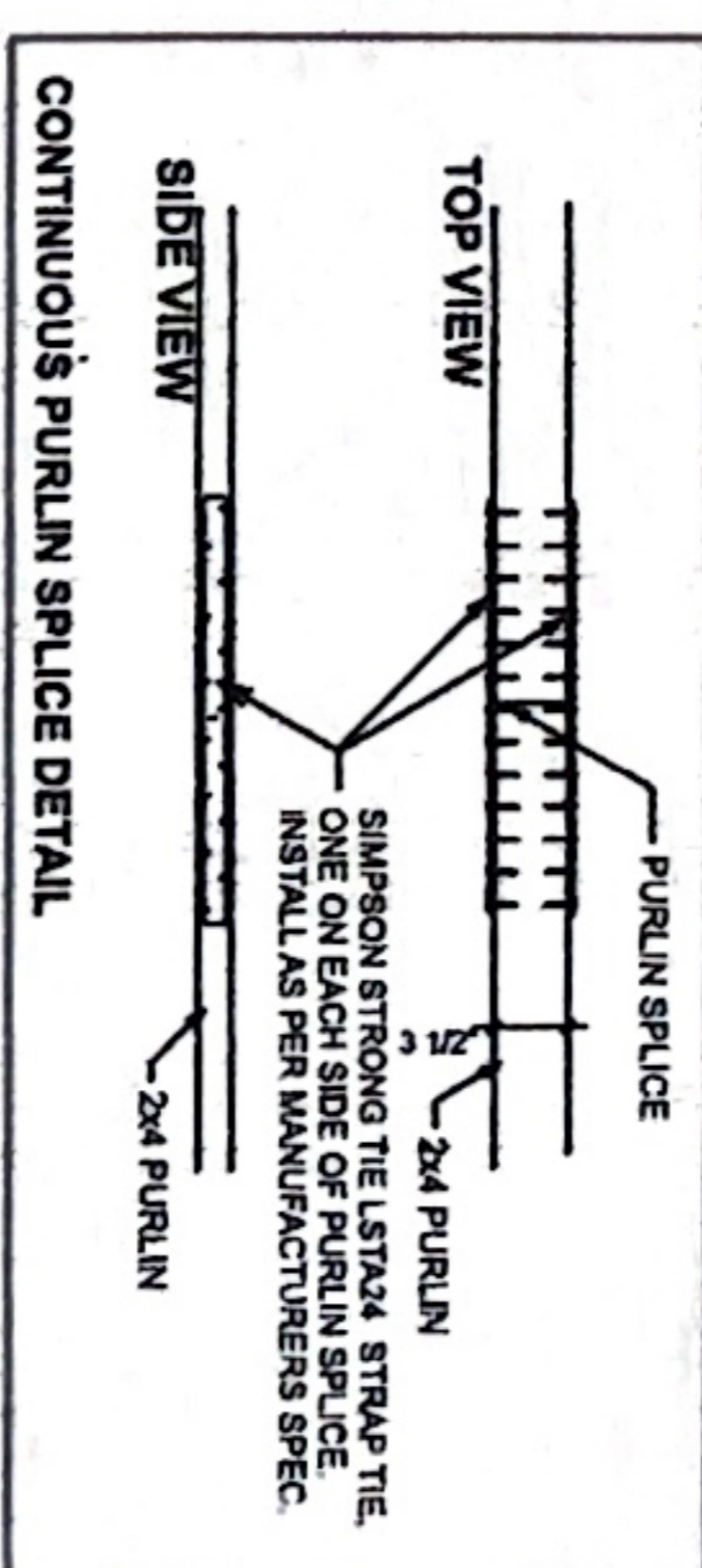
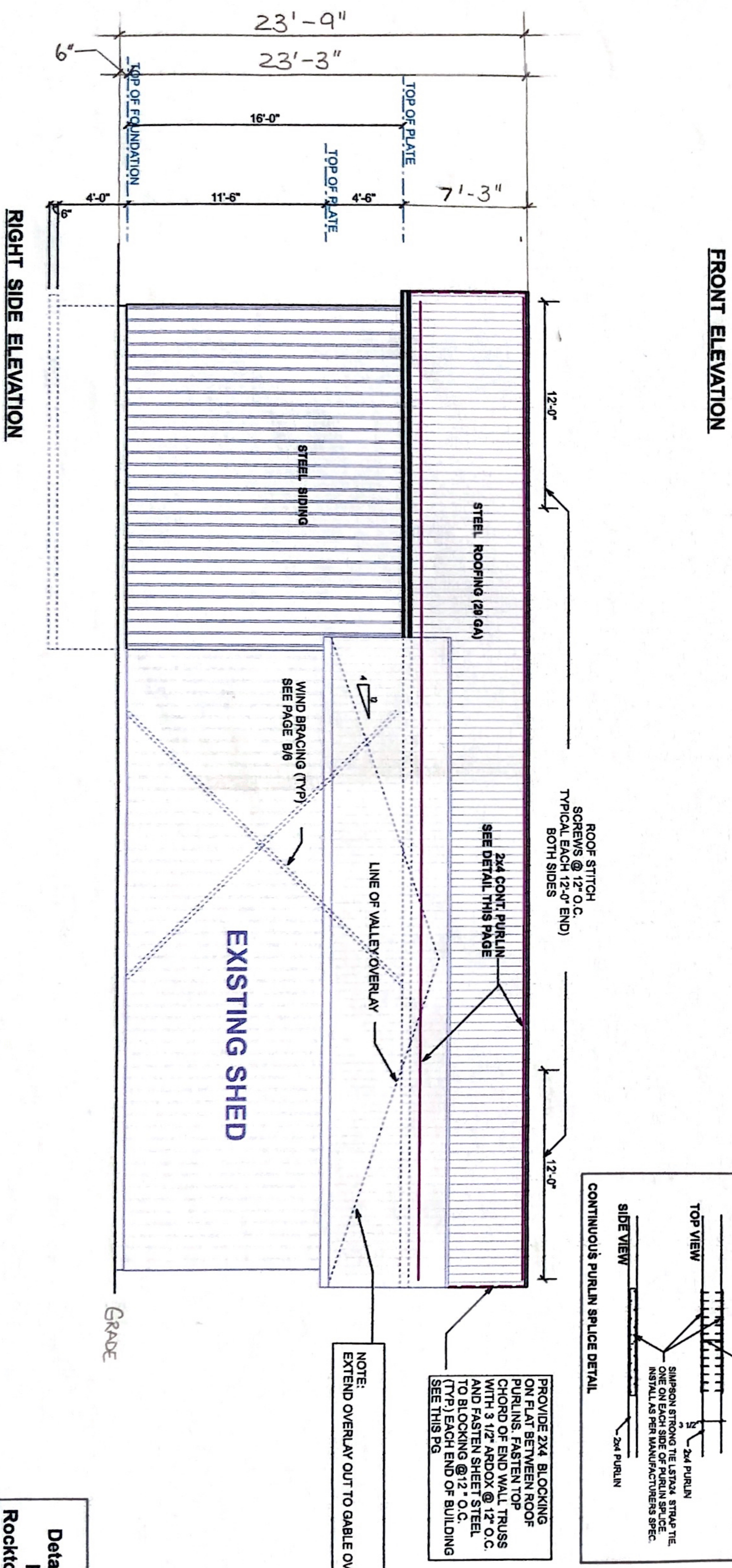
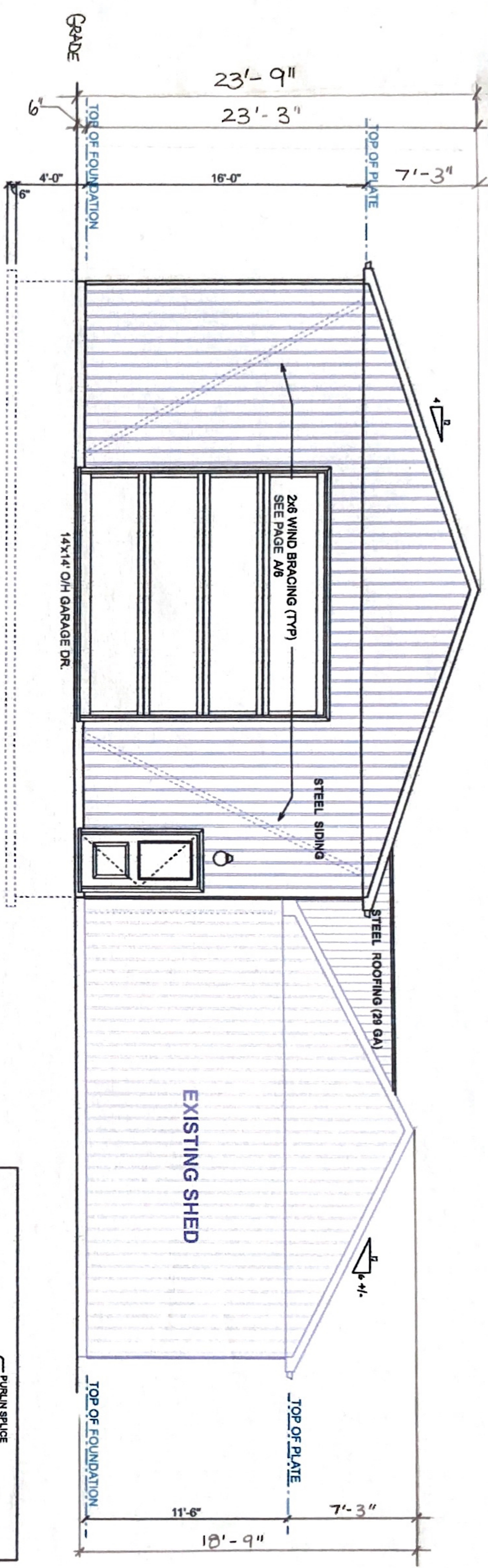
Site Plan

S1

3 1/2" ARDOX @ 8" O.C. - BLOCKING TO TRUSS TOP CHORD

ATTACH STEEL CLADDING TO BLOCKING WITH #8 X1 SCREWS @ 12" O.C. INTO BLOCKING

NAILING DETAIL FOR STITCHED SCREW (BOTH GABLE ENDS)



ROOF STITCH
SCREWS @ 12" O.C.
TYPICAL EACH 12'-0" END
BOTH SIDES

2x4 CONT. PURLIN
SEE DETAIL THIS PAGE

LINE OF VALLEY OVERLAY

WIND BRACING (TYP)
SEE PAGE B10

STEEL SIDING

STEEL ROOFING (29 GA)

12'-0"

11'-6"

7'-3"

10'-9"

GRADE

NOTE:
EXTEND OVERLAY OUT TO GABLE OVERHANGS

PROVIDE 2x4 BLOCKING ON FLAT BETWEEN ROOF PURLINS. FASTEN TOP CHORD OF END WALL TRUSS WITH 3 1/2" ARDOX @ 12" O.C. AND FASTEN SHEET STEEL TO BLOCKING @ 12" O.C. (TYP) EACH END OF BUILDING SEE THIS PG

NOTES

THESE DRAWINGS, DIMENSIONS, AND SPECIFICATIONS, MUST BE CHECKED AND VERIFIED BY THE BUILDING CONTRACTOR FOR DISCREPANCIES AND REPORT TO THIS DESIGNER BEFORE COMMENCING ANY FURTHER WORK. THIS DESIGNER ASSUMES NO RESPONSIBILITY OR LIABILITY FOR ERRORS OR OMISSIONS NOT REPORTED BY THE BUILDING CONTRACTOR. THE BUILDING CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR THEIR FAILURE TO CARRY OUT THE WORK ACCORDING TO THESE PLANS, SPECIFICATIONS AND RELATED DOCUMENTS. CONSTRUCTION MUST COMPLY WITH THE LATEST STANDARDS OF THE O.B.C., C.B.C. AND THE LOCAL MUNICIPAL REGULATIONS.

SUPPLIERS AND SUBTRADE TO VERIFY DIMENSIONS BETWEEN THE PLAN SET. REPORT ANY DISCREPANCIES TO THIS DESIGNER BEFORE PROCEEDING THIS DESIGNER ASSUMES NO RESPONSIBILITIES FOR ERRORS NOT REPORTED.

DO NOT SCALE DRAWINGS.

BUILDING CLASSIFICATION
THIS BUILDING IS DESIGNED FOR PART 9 O.B.C. (GROUP C)

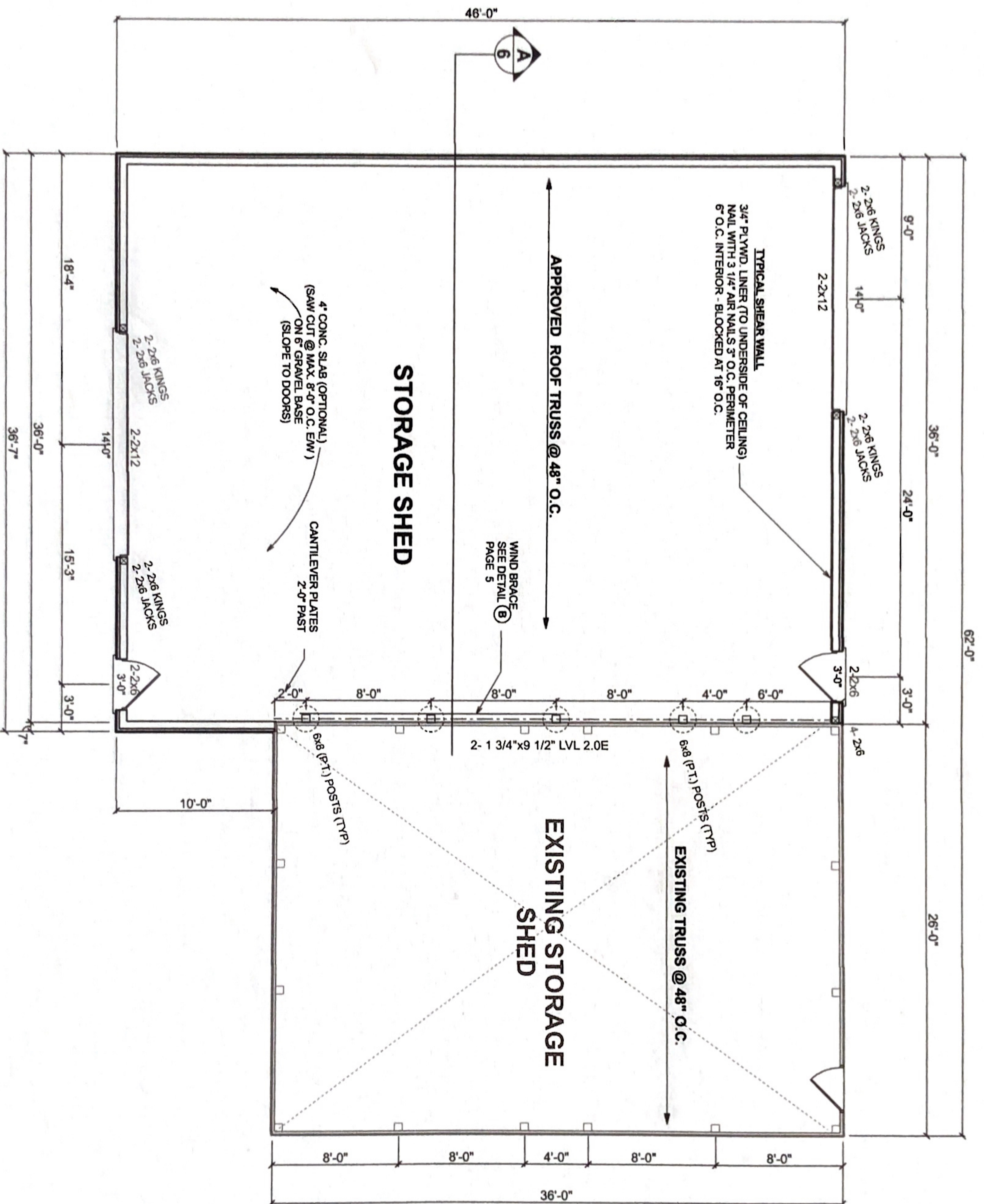
NOTE: NO ADJUSTMENTS OR CHANGES TO BE MADE TO THESE DRAWINGS WITHOUT WRITTEN APPROVAL FROM THIS DESIGNER

ROOF TRUSS DESIGNS AND LAYOUT TO BE SUBMITTED TO THIS DESIGNER FOR APPROVAL BEFORE MANUFACTURING

2x6 WIND BRACING (TYP) SEE PAGE 8

Detailed Buildings
P.O. Box 8
Rockton, Ont. L0R 1X0

<p>Detailed Buildings P.O. Box 8 Rockton, Ont. L0R 1X0</p>		<p>PHILIP H. RUHLMAN ARCHITECTURAL DESIGN 82 Piper St. 519-223-7042 Ayr, Ontario email - phil@rhlmandesign.com</p>	
<p>DECLARATION OF DESIGNER I PHILIP RUHLMAN DECLARE THAT I REVIEW AND TAKE RESPONSIBILITY FOR THE DESIGN WORK OF THIS PLAN. I AM QUALIFIED, AND I AM REGISTERED.</p>		<p>INDIVIDUAL BCIN: 21095 FIRM BCIN: 31613</p>	
<p>DRAWING TITLE ELEVATIONS</p>	<p>DATE Sept. 1, 2021</p>	<p>SCALE 1/8"=1'-0"</p>	<p>PROJECT NUMBER PHR21-744</p>
<p>PROJECT NAME GREG CLARK 881 Valens Rd. Branchton, Ont.</p>	<p>AREA 2,676 Sq. Ft.</p>	<p>DRAWING # A1</p>	



PLAN VIEW

NOTES
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AREA	936 SQ. FT. (86.95 SQ. M.)
EXISTING	1,660 SQ. FT. (154.22 SQ. M.)
PROPOSED	80 SQ. FT. (7.43 SQ. M.)
EXISTING 8x10 SHED	2,676 SQ. FT. (248.5 SQ. M.)
TOTAL	

Detailed Buildings
 P.O. Box 8
 Rockton, Ont. L0R 1X0

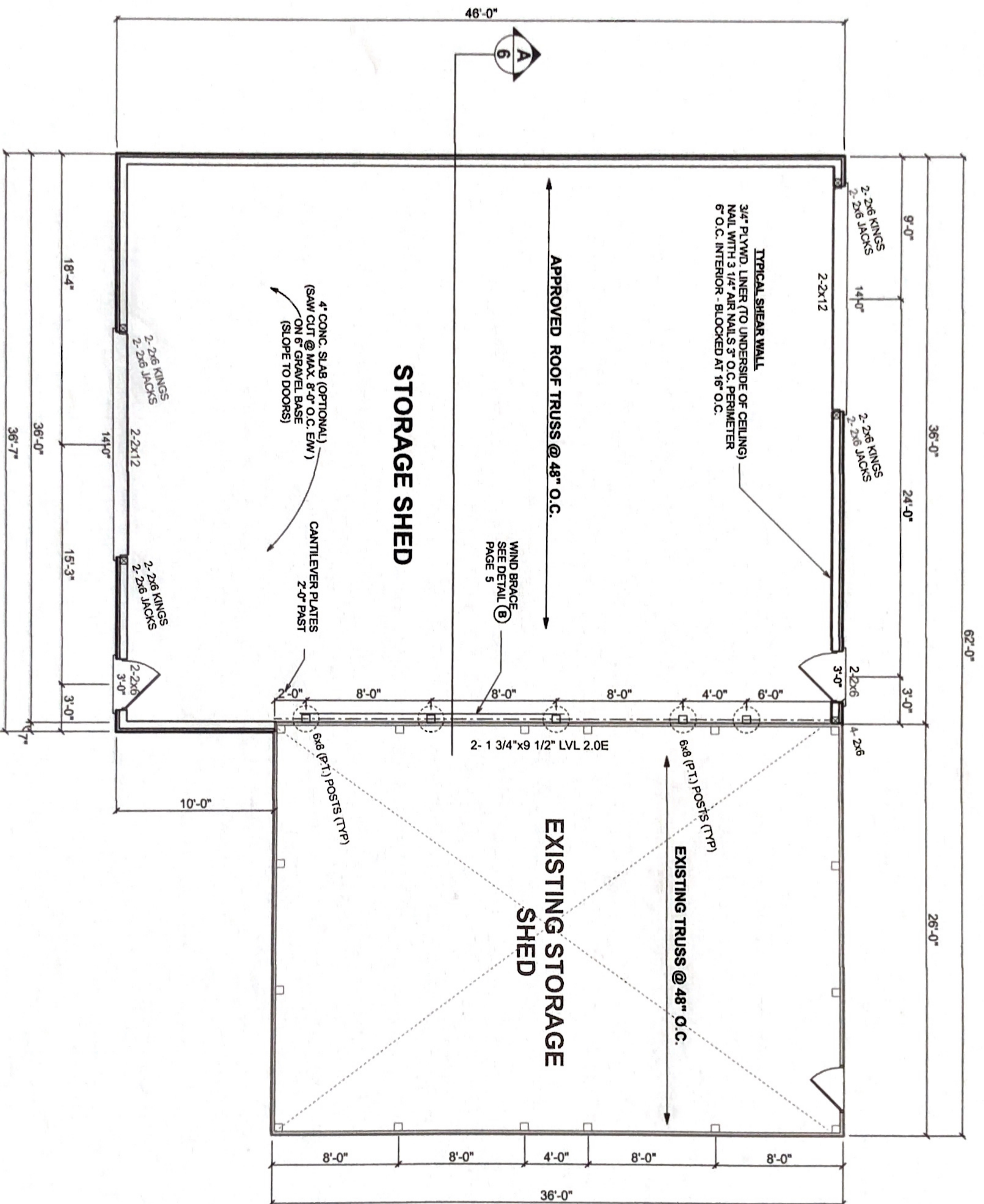
Detailed Buildings
 P.O. Box 8
 Rockton, Ont. L0R 1X0

DECLARATION OF DESIGNER
 I, PHILIP RUHLMAN DECLARE THAT I REVIEW AND TAKE RESPONSIBILITY FOR THE DESIGN WORK OF THIS PLAN. I AM QUALIFIED, AND I AM REGISTERED.

INDIVIDUAL BCIN: 21095 FIRM BCIN: 31613
PHILIP H. RUHLMAN
 ARCHITECTURAL DESIGN
 82 Piper St.
 Ayr, Ontario
 519-223-7042
 email - phil@ruhlmandesign.com

DATE Sept. 1, 2021
SCALE 1/8"=1'-0"
PROJECT NAME GREG CLARK
 881 Valens Rd.
 Branchton, Ont.

DRAWING # A3



PLAN VIEW

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AREA	EXISTING	PROPOSED	TOTAL
EXISTING 8x10 SHED	1,660 SQ. FT. (154.22 SQ. M.)	80 SQ. FT. (7.43 SQ. M.)	2,676 SQ. FT. (248.5 SQ. M.)

Detailed Buildings
 P.O. Box 8
 Rockton, Ont. L0R 1X0

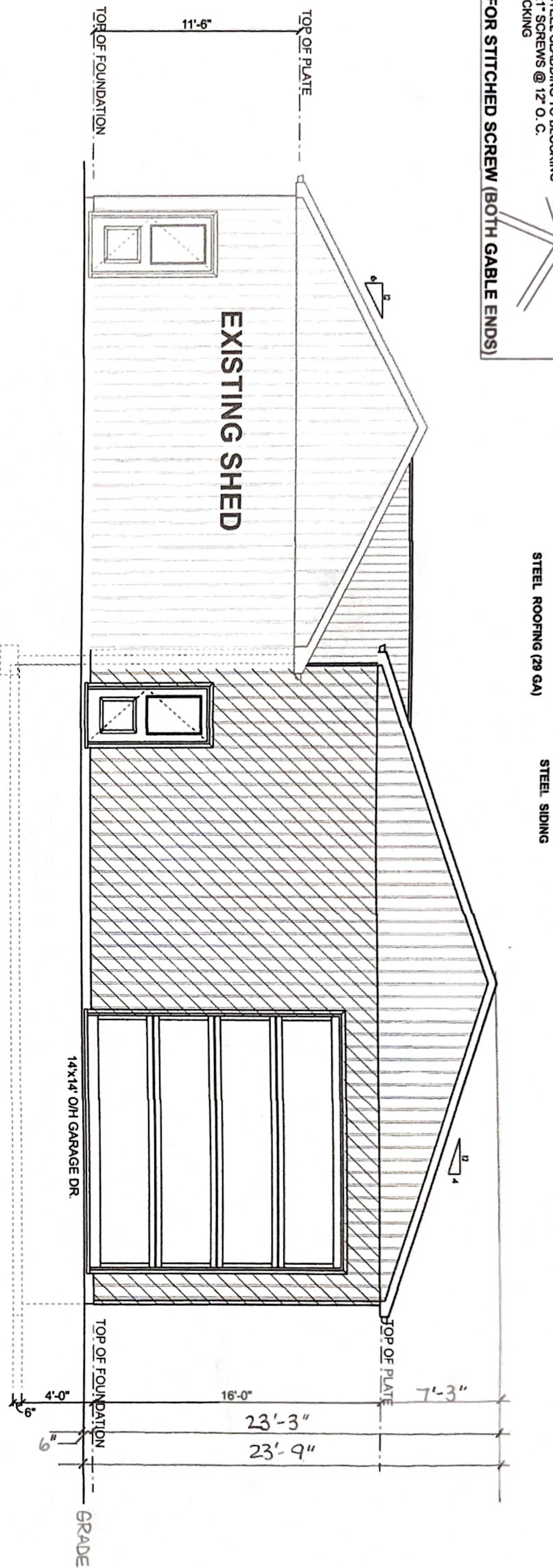
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PHILIP H. RUHLMAN
 ARCHITECTURAL DESIGN
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 Ayr, Ontario
 519-223-7042
 email - phil@ruhlmandesign.com

DATE	SCALE	PROJECT NUMBER
Sept. 1, 2021	1/8"=1'-0"	PHR21-174
PROJECT NAME	AREA	DRAWING #
GREG CLARK 881 Valens Rd. Branchton, Ont.	2,676 Sq. Ft.	A3

2x4 SOLID BLOCKING BETWEEN ROOF PURLINS
 (3 1/2" ARDOX @ 8" O.C. - BLOCKING TO TRUSS TOP CHORD)
 ATTACH STEEL CLADDING TO BLOCKING
 WITH #8 x1" SCREWS @ 12" O.C.
 INTO BLOCKING
NAILING DETAIL FOR STITCHED SCREW (BOTH GABLE ENDS)



STEEL ROOFING (29 GA)

STEEL SIDING

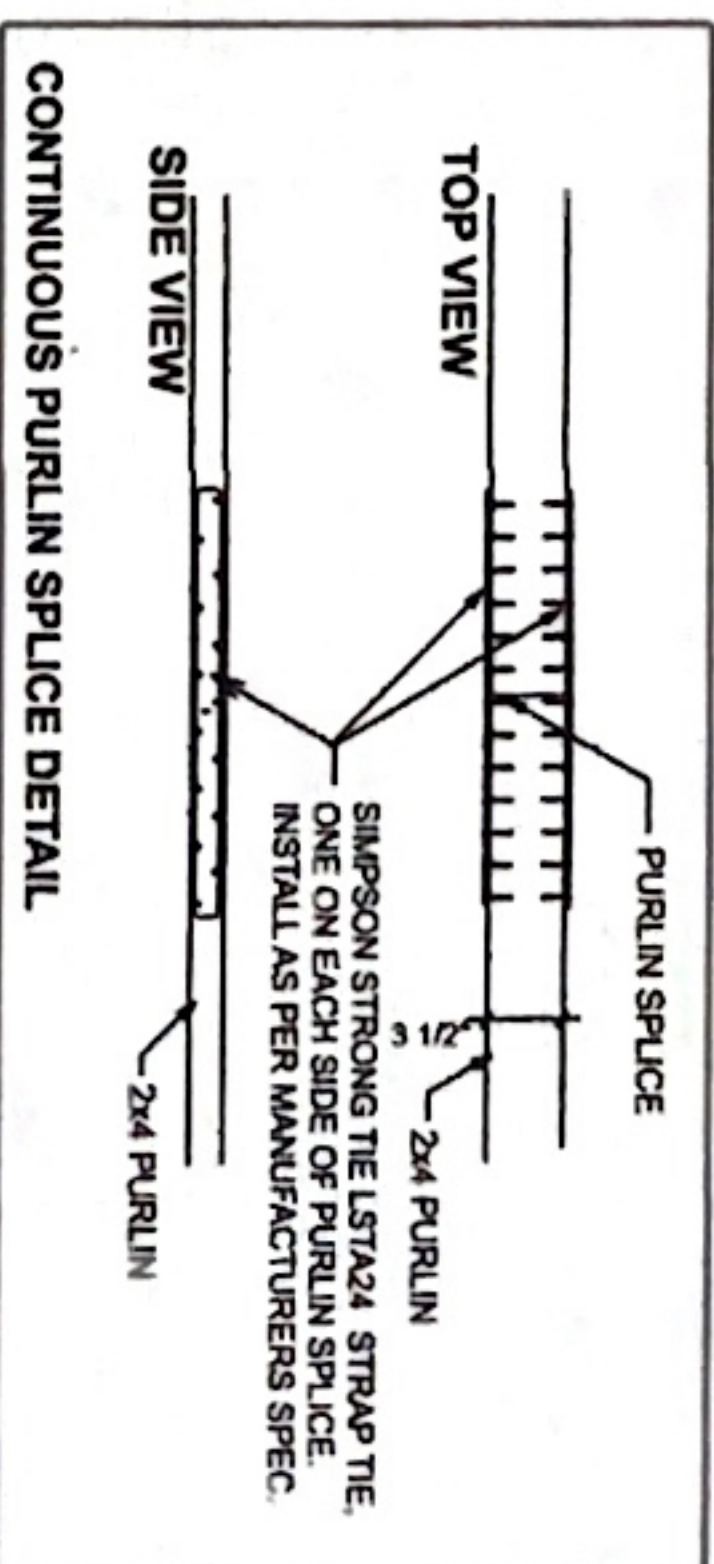
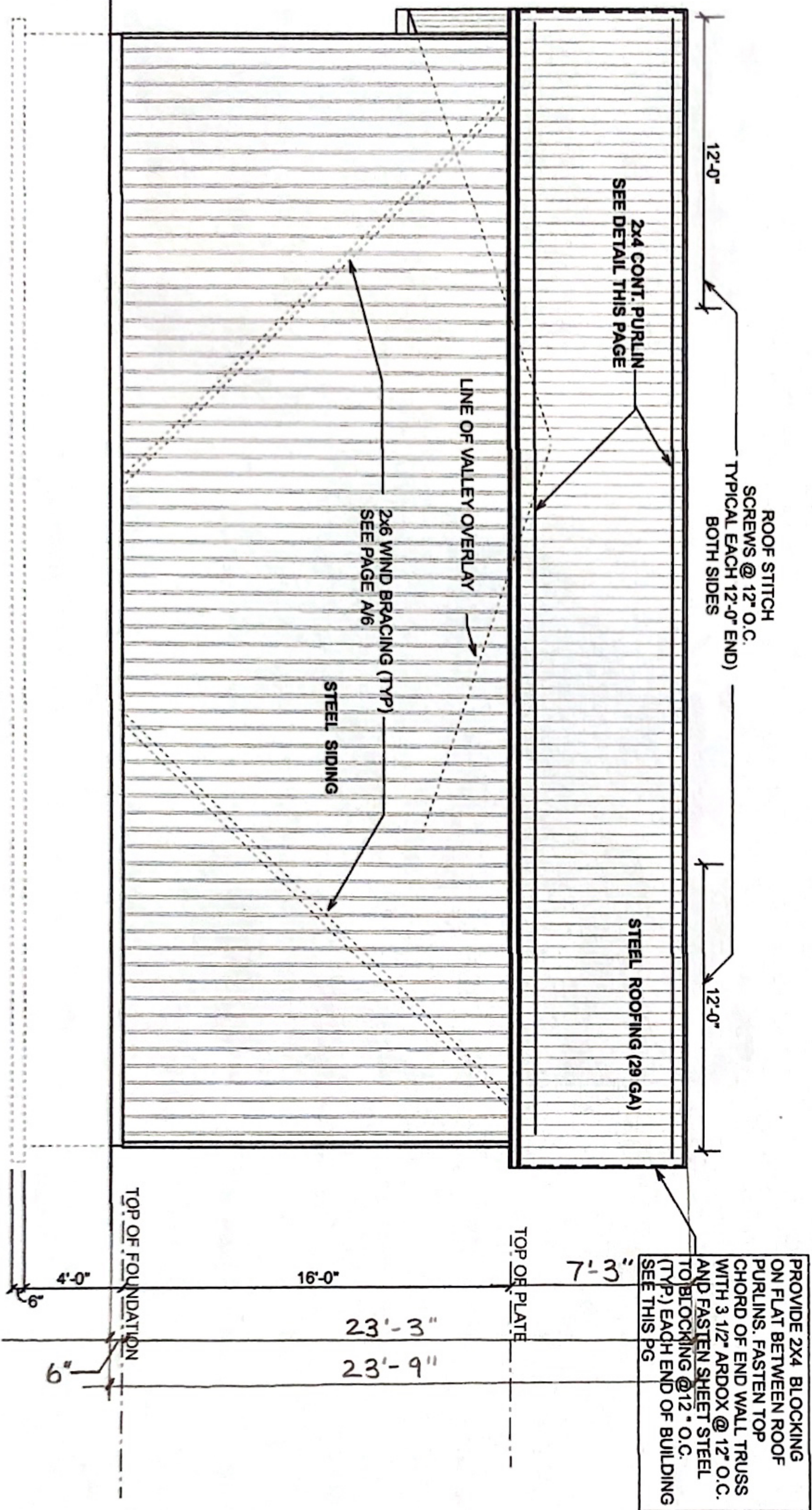
2x6 WIND BRACING (TYP)
 SEE PAGE A/6

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BUILDING CLASSIFICATION
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REAR ELEVATION



Detailed Buildings
 P.O. Box 8
 Rockton, Ont. L0R 1X0

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PHILIP H. RUIHLMAN

ARCHITECTURAL DESIGN
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 email: phil@ruihmandesign.com

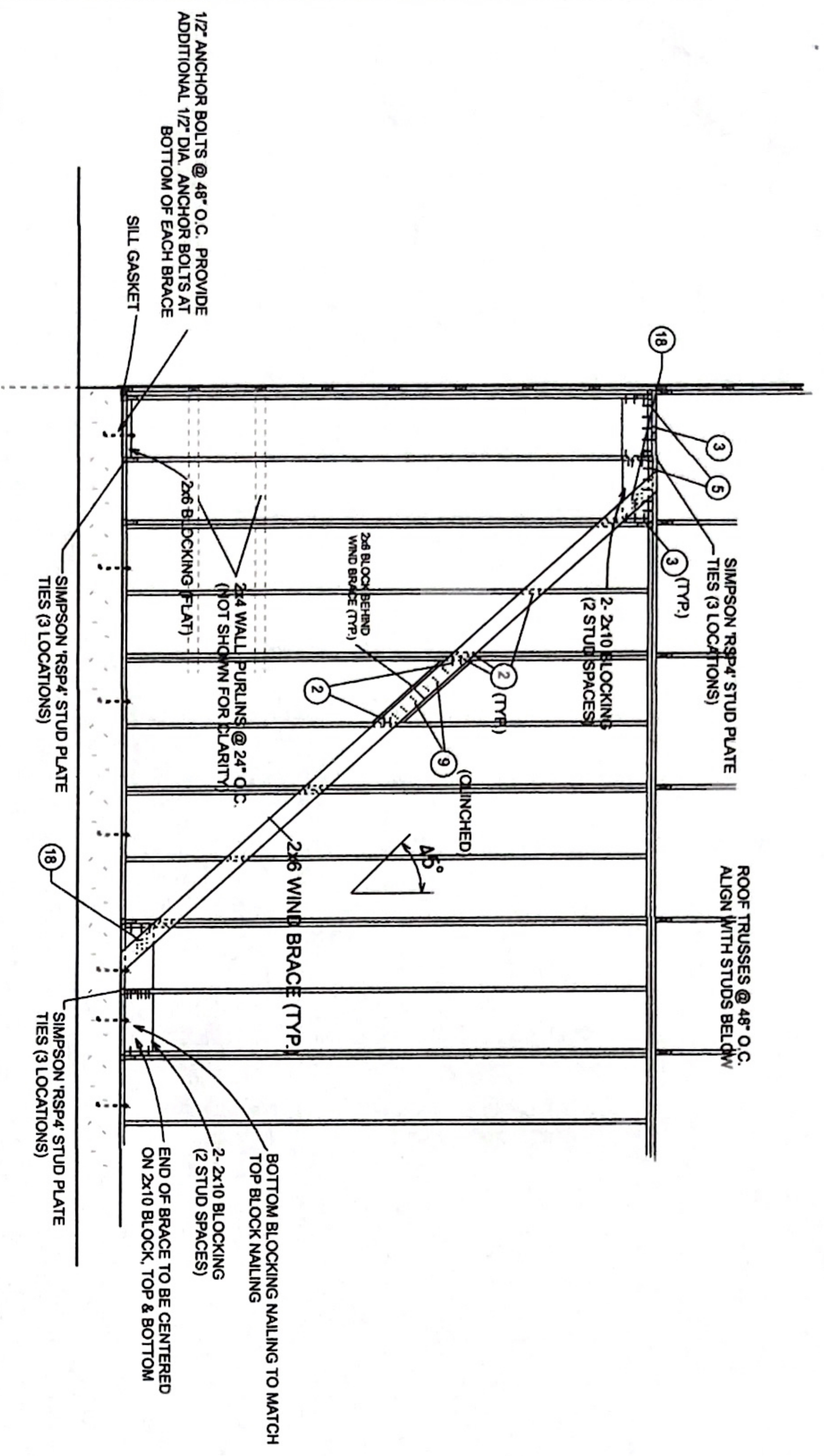
DRAWING TITLE
ELEVATIONS

DATE
 Sept. 1, 2021

SCALE
 1/8"=1'-0"

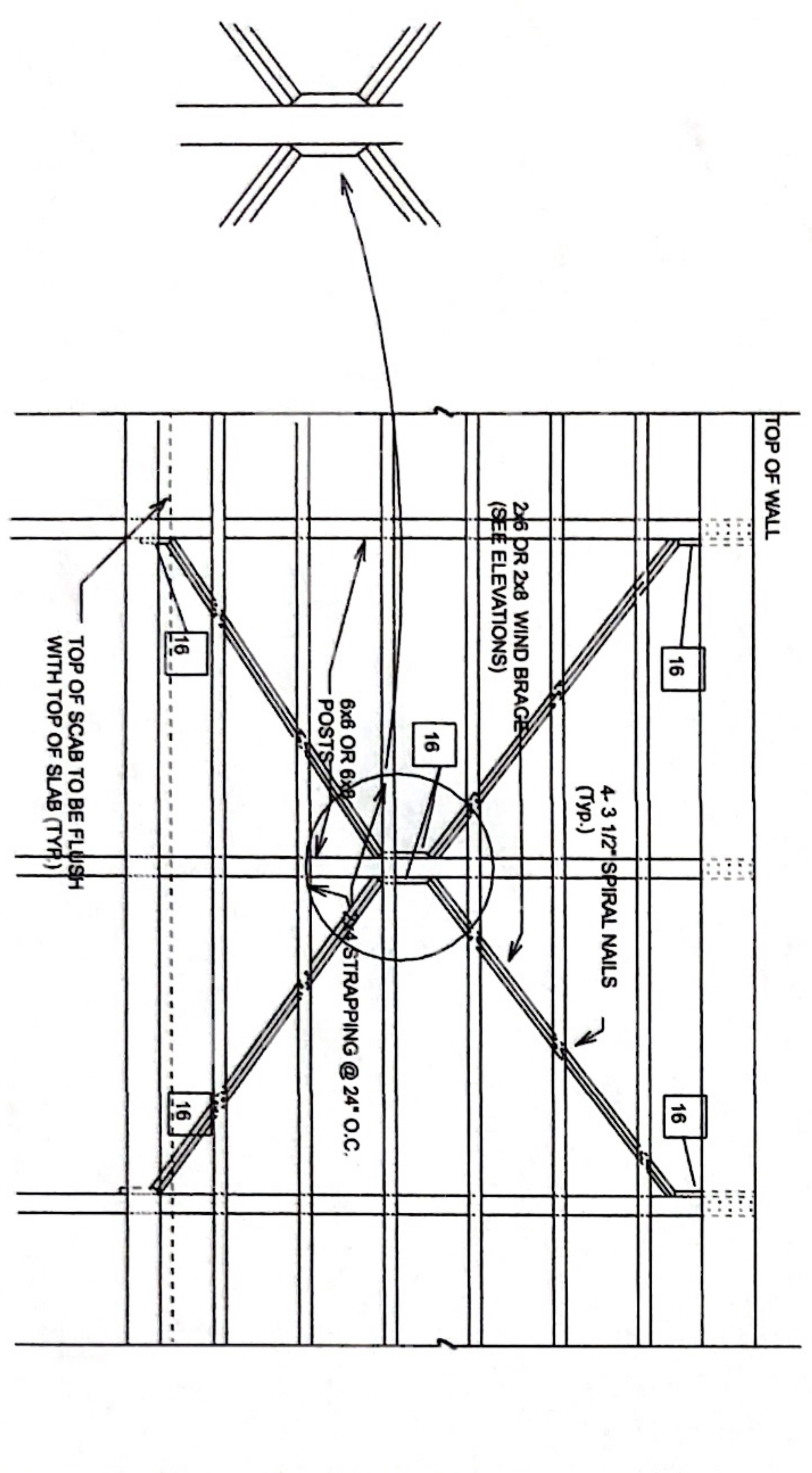
PROJECT NAME
Detailed Buildings
 P.O. Box 8
 Rockton, Ont. L0R 1X0

DRAWING #
A4



A TYPICAL WIND BRACE DETAIL

NUMBER OF 3 1/2" ARDOX NAILS (COMMON SPIRAL HAND NAILS)



B TYPICAL WIND BRACE DETAIL (3 POST)

NOTES

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BUILDING CLASSIFICATION:
THIS BUILDING IS DESIGNED FOR RESIDENTIAL PART 9 O.B.C. (GROUP C)

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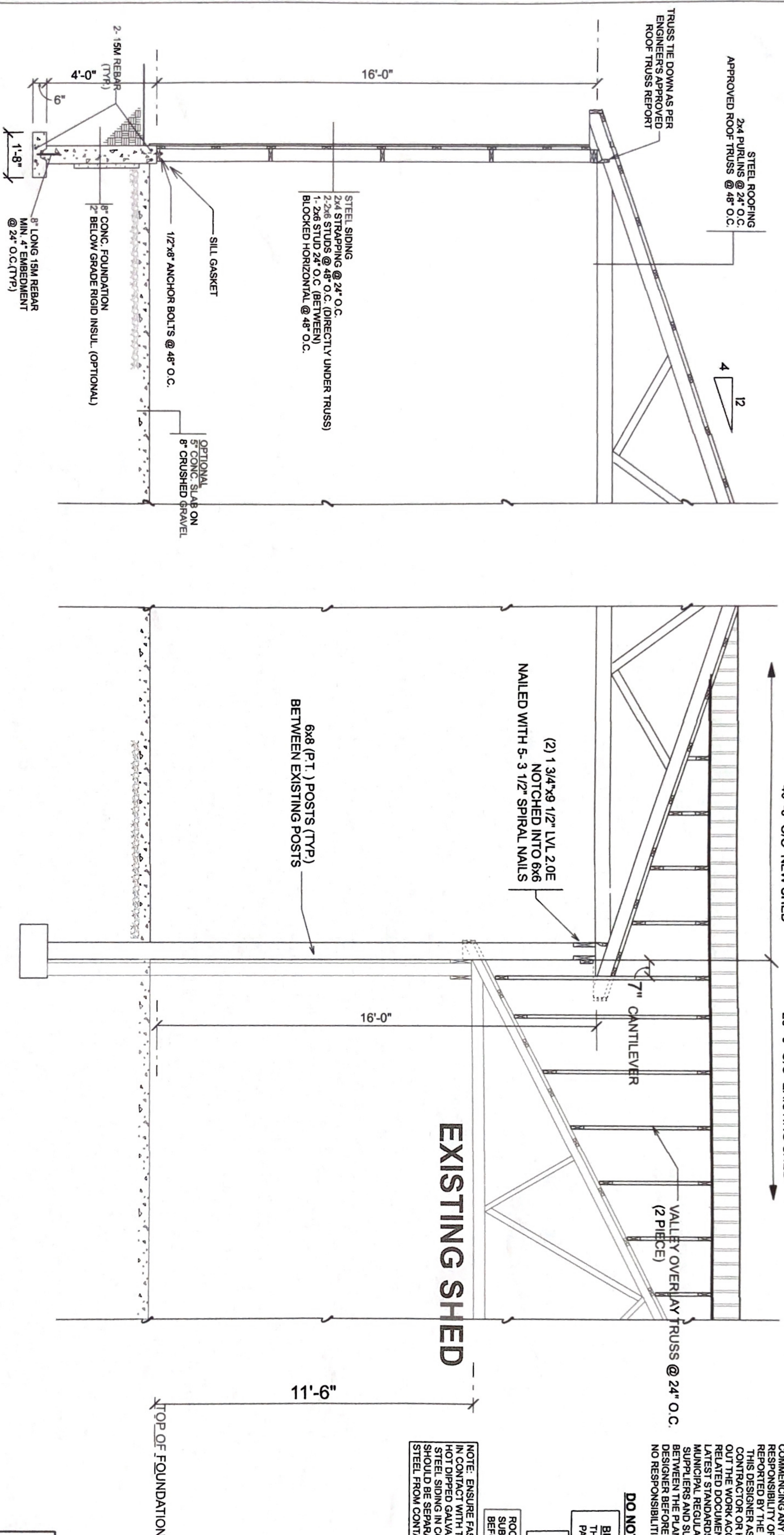
NOTE: ENSURE FASTENERS OR METAL CONNECTORS IN CONTACT WITH TREATED WOOD PRODUCTS ARE HOT DIPPED GALVANIZED (HDO) OR STAINLESS STEEL. STEEL SIDING IN CONTACT WITH TREATED WOOD PRODUCTS SHOULD BE SEPARATED WITH SUITABLE MATERIAL TO PROTECT STEEL FROM CONTACT.

Detailed Buildings
P.O. Box 8
Rockton, Ont. L0R 1X0

DRAWING TITLE		SECTIONS & DETAILS	
DATE	SCALE	AREA	PROJECT NO.
May 11, 2021	1/4"=1'-0"	1,800 Sq. Ft.	PHR20-74
PROJECT NAME	DRAWING #		
GREG CLARK 881 Valens Rd. Branchton, Ont.	A5		

PHILIP H. RULLMAN
ARCHITECTURAL DESIGN
82 PIPER ST.
MILTON, ONT. L9T 9R0
email - phil@rullmandesign.com

DECLARATION OF DESIGNER
I, PHILIP RULLMAN, DECLARE THAT I REVIEWED AND APPROVED THE DESIGN WORK OF THIS PLAN. I AM A REGISTERED ARCHITECT AND INDIVIDUAL BCN: 21095 P90 BCN: 31613



A
TYPICAL SECTION

40'-0" O/O NEW SHED
26'-0" O/O EXISTING SHED

(2) 1 3/4"x9 1/2" LVL 2.0E
NOTCHED INTO 6x6
NAILED WITH 5-3 1/2" SPIRAL NAILS

EXISTING SHED

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6x8 (P.T.) POSTS (TYP.)
BETWEEN EXISTING POSTS

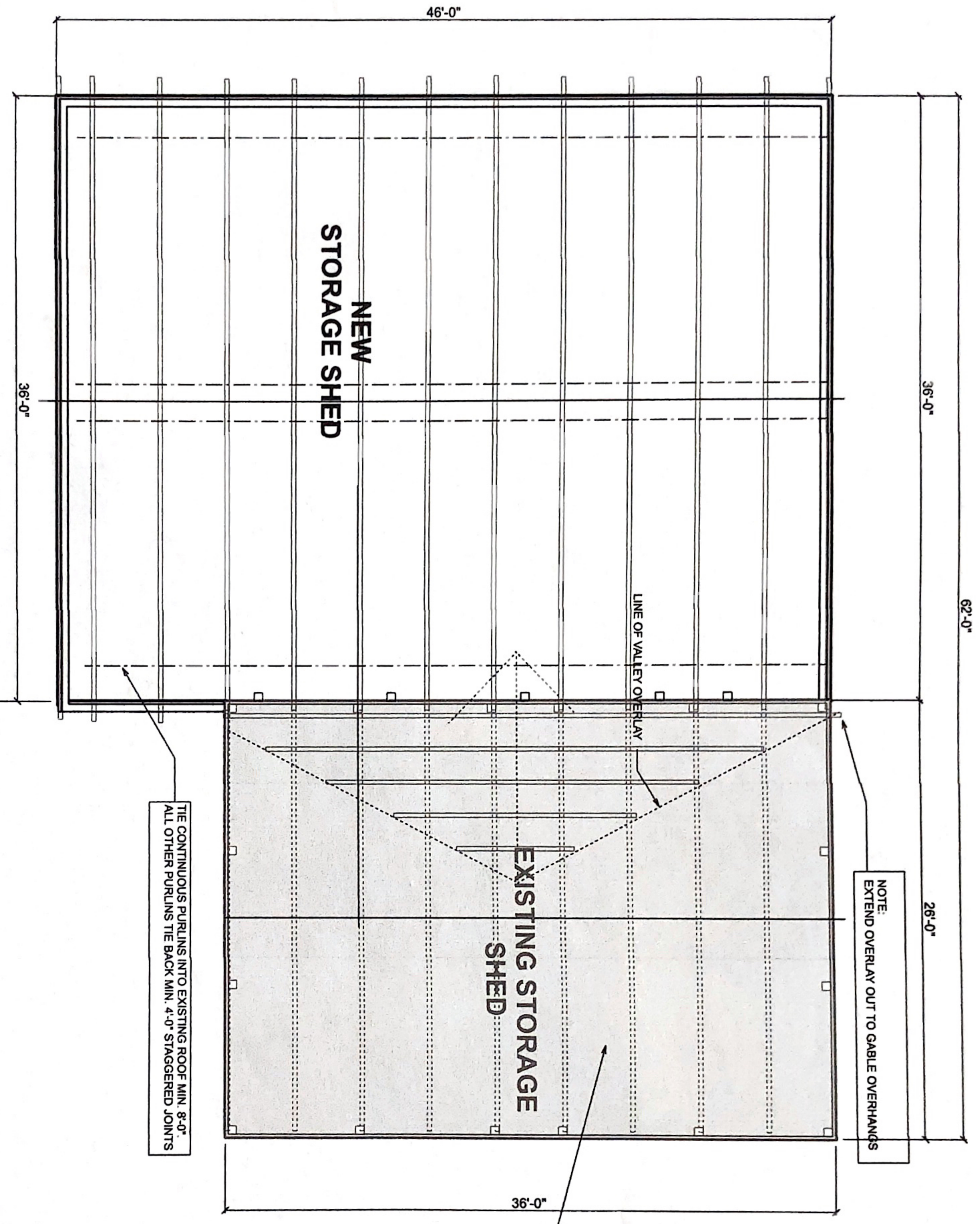
TOP OF FOUNDATION

PHILIP H. RUIHLMAN
ARCHITECTURAL DESIGN
82 PIPER ST.
AVR, ONTARIO
519-223-7042
email - phil@ruhlmansdesign.com

DECLARATION OF DESIGNER
I, PHILIP RUIHLMAN DECLARE THAT I REVIEW AND TAKE RESPONSIBILITY FOR THE DESIGN WORK OF THIS PLAN. I AM QUALIFIED, AND I AM REGISTERED.
INDIVIDUAL BCIN: 21095 FIRM BCIN: 31613

SECTIONS & DETAILS

DRAWING TITLE		PROJECT NO.	
Detailed Buildings P.O. Box 8 Rockton, Ont. L0R 1X0		PHR20-774	
DATE	SCALE	AREA	DRAWING #
Sept. 1, 2021	1/4"=1'-0"	2,676 Sq. Ft.	A6
PROJECT NAME		DRAWING #	
GREG CLARK 881 Valens Rd. Branchton, Ont.		A6	



ROOF PLAN

NOTE:
EXTEND OVERLAY OUT TO GABLE OVERHANGS

THE CONTINUOUS PURLINS INTO EXISTING ROOF MIN. 8'-0"
ALL OTHER PURLINS THE BACK MIN. 4'-0" STAGGERED JOINTS

EXISTING ROOF TRUSS TO BE
REVIEWED ON SITE BY ENGINEER
FOR ADDITIONAL LOADING

NOTES
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BUILDING CLASSIFICATION
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<p>Detailed Buildings P.O. Box 8 Rockton, Ont. L0R 1X0</p>			
<p>PHILIP H. RUHLMAN ARCHITECTURAL DESIGN 82 Piper St. Ayr, Ontario email - phil@ruhlmandesign.com</p>		<p>INDIVIDUAL BCIN: 21096 FIRM BCIN: 31613</p>	
<p>DECLARATION OF DESIGNER I, PHILIP RUHLMAN DECLARE THAT I REVIEW AND TAKE RESPONSIBILITY FOR THE DESIGN WORK OF THIS PLAN. I AM QUALIFIED, AND I AM REGISTERED.</p>			
<p>DATE: Sept. 1, 2021</p>		<p>SCALE: 1/8"=1'-0"</p>	
<p>DRAWING TITLE: ROOF PLAN</p>		<p>PROJECT NUMBER: PHR21-774</p>	
<p>PROJECT NAME: GREG CLARK 881 Valens Rd. Branchton, Ont.</p>		<p>AREA: 2,678 Sq. Ft.</p>	
<p>DRAWING #</p>		<p>A7</p>	



Hamilton

Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

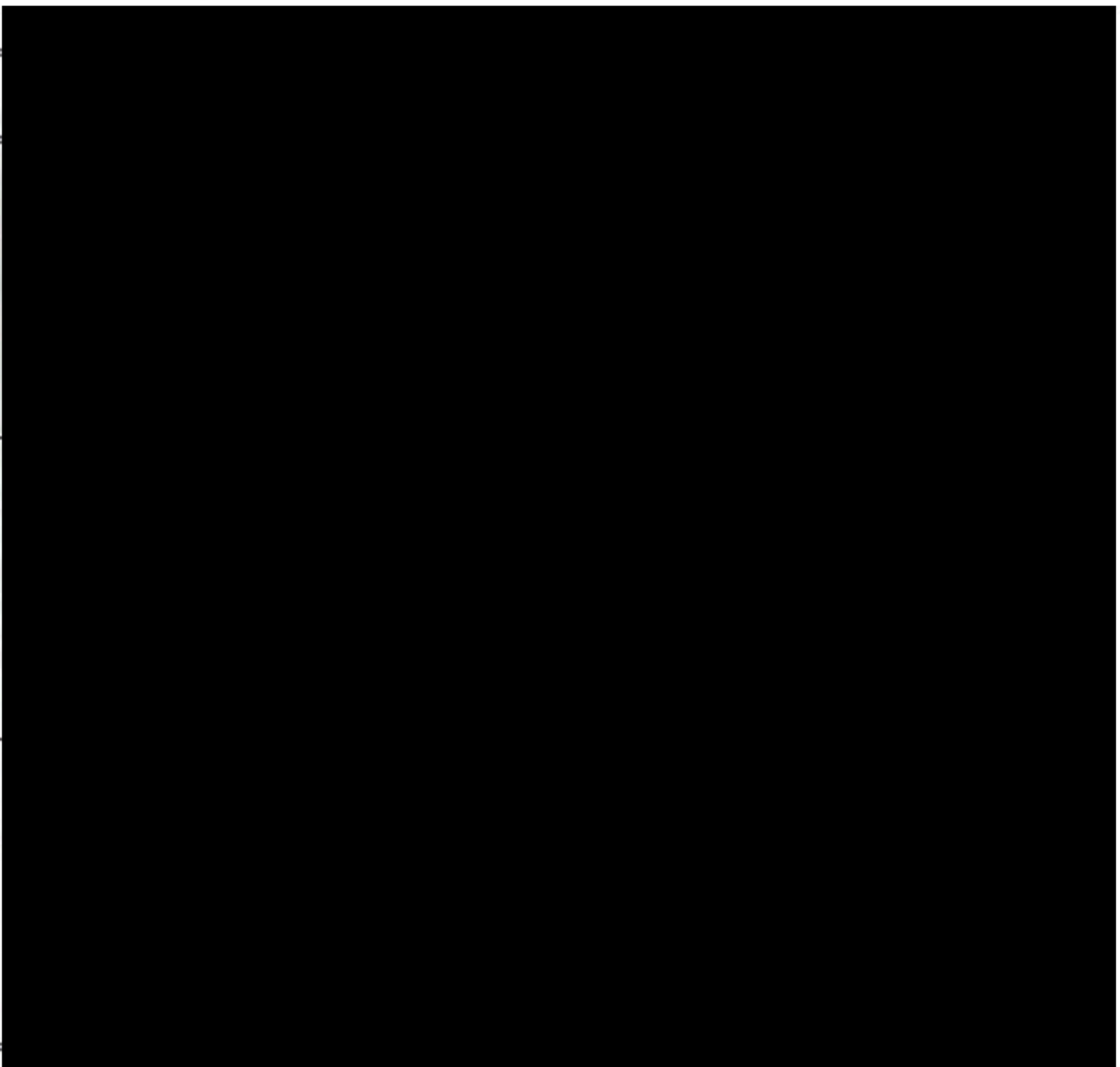
SECRETARY'S
SIGNATURE _____

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME
Registered Owners(s)	Bonnie Clark Greg Clark Erenest Bergsma Katherine Bergsma
Applicant(s)*	Bonnie Clark
Agent or Solicitor	N/A



Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

The Royal Bank of Canada 304 Dundas St E Waterdown ONL0R 2H0

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:
 Requesting to increase the allowable size of a accessory building to ^{248.6m²} from the allowed 200m² and increase the height of the building to 7.13m from the allowed 6.0m as well as allowing the accessory building to be located on the front yard of the property.

Secondary Dwelling Unit Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?
 We require a large storage building for our personal storage and our RV inside and hight are required to accomodate the RV. The location is requested as this is where the existing accessory structure is located and we are adding to the current building.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

881 Valens Road Branchton ON N0B1L0 - (Con 5 PT lot 24 Bev FLM Reg 4.53 AC 444FR 444 D)

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial
 Agricultural Vacant Other

Other _____

8.1 If Industrial or Commercial, specify use _____

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

Common Knowledge of the area

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application - by reason of its approval to this Application.

June 17, 2021
Date

[Signature]
Signature Property Owner(s)

Bonnie Clark, Greg Clark
Print Name of Owner(s) Katherine Bergsma
ERNEST BERGSMA

10. Dimensions of lands affected:

Frontage	444'	_____
Depth	444'	_____
Area	18314.53m ²	_____
Width of street	22'	_____

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _

Dwelling unit - 2 story, Length 46', Width 28', Height 23' 1288 SQFT, Gross floor area 2576 SQFT

3 car accessory building - 1 story, Length 36', Width 26', Height 19' 936 SQFT

Proposed

Accessory building - 1 story Length ~~36'~~ 46", Width ~~26'~~ 36' 7", Height 23'-5" Area ~~280~~ 154.22m²

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

Dwelling unit - Front Yard 168'-6" Side R- 128'-9" Side L- 288' Rear 229'
Existing accessory building - Front yard -280' Side R- 152'-9" Side L- 252'-3" Rear- 137'-7"

Proposed:

Accessory Building - Front yard - 280' Side R - 152'-8" Side L- ~~231'-3"~~ 241' 3/8" Rear ~~97'-10"~~ 116' 4"

13. Date of acquisition of subject lands:
August 2016
-
14. Date of construction of all buildings and structures on subject lands:
Dwelling unit 1985, Accessory Building unknown
-
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
Single Family Home
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
Agriculture
17. Length of time the existing uses of the subject property have continued:
18. Municipal services available: (check the appropriate space or spaces)
- | | | | |
|----------------|--------------------------|-----------|--------------------------|
| Water | <input type="checkbox"/> | Connected | <input type="checkbox"/> |
| Sanitary Sewer | <input type="checkbox"/> | Connected | <input type="checkbox"/> |
| Storm Sewers | <input type="checkbox"/> | | |
19. Present Official Plan/Secondary Plan provisions applying to the land:
None
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
None
21. Has the owner previously applied for relief in respect of the subject property?
Yes No
If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
Yes No
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

FL/A-21:255 – 881 Valens Road Flamborough

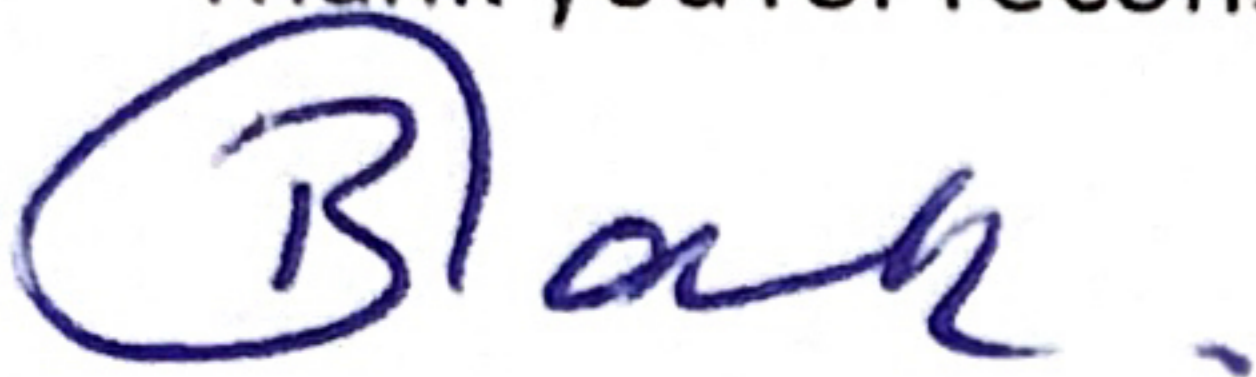
Committee of Adjustments

As per the committee of adjustment meeting on August 12, 2021, we tabled the request for relief as it was suggested the area of accessory structure was too large.

At this time we have revised the size of the proposed building, we are now requesting a addition to our current accessory structure that is 36' x 46' the new area of the addition is 1660 sqft or 154.22m² this will now be a total of 248.6m² of accessory structures.

We are asking the committee to keep in mind that our lot is 444' x 444' we are proposing to cover only about 1.4% of the property in accessory structures.

Thank you for reconsidering this variance.



Bonnie Clark