

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: AN/A-21:340

APPLICANTS: Agent David Wray
Owner Brian & Leigh Wood

SUBJECT PROPERTY: Municipal address **132 Valmont St., Ancaster**

ZONING BY-LAW: Zoning By-law 87-57, as Amended 18-105

ZONING: "R4-394" (Residential "R4") Zone

PROPOSAL: To permit the construction of a roofed-over unenclosed deck in the rear yard of the existing single family dwelling, notwithstanding that;

1. A minimum rear yard of 6.4 metres shall be permitted instead of the minimum 7.5 metres required.

NOTE:

1. The submitted minor variance application requested a variance to Section 34 and the site specific regulations for the R4-394 Zone, to permit a maximum lot coverage exceeding the permitted 35% for lots having a minimum lot area of 540 square metres or greater. Please note that a roofed-over unenclosed deck at the rear of a dwelling is considered to be part of the principle building, but is not subject to lot coverage requirements, as it does not meet the definition of "building" as per Ancaster Zoning By-law No. 87-57. Please note that should the proposed roofed-over deck be enclosed, additional variances may be required.

2. Please note that elevation drawings were not provided as part of this application to confirm the height of the proposed roofed-over unenclosed porch. As per Section 12.2(g) of Ancaster Zoning By-law No. 87-57, the maximum permitted height is 10.5 metres. Should compliance with Section 12.2(g) not be possible, additional variances may be required.

3. Please note that specific details regarding the projection of eaves or gutters has not been indicated on the submitted site plan. As per Section 7.12(b), eaves and gutters may project into any minimum side yard a distance of not more than 0.6 metres, or into any minimum rear yard a distance of not more than 1.5 metres. Should compliance with Section 7.12(b) not be possible, additional variances may be required.

4. The proposed development is subject to the issuance of a building permit in the normal manner. Be advised that Ontario Building Code regulations may require specific setbacks and construction types.

This application will be heard by the Committee as shown below:

DATE:	Thursday, October 21st, 2021
TIME:	1:50 p.m.
PLACE:	Via video link or call in (see attached sheet for details) To be streamed at www.hamilton.ca/committeeofadjustment for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

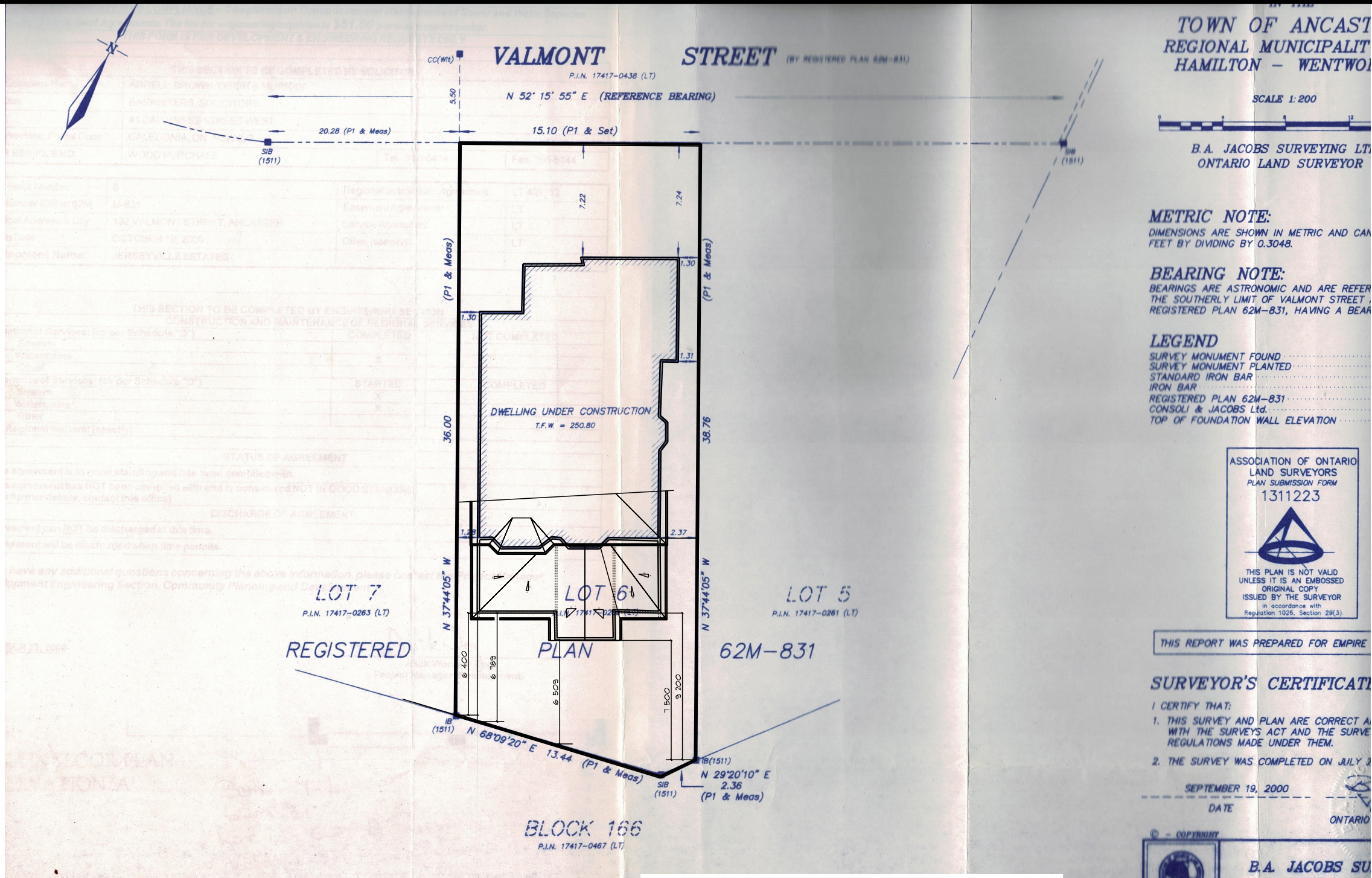
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: October 5th, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



SITE

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
DAVID WRAY 33427

DATE SIGNATURE

ON THE 6 DESIGNS

PHONE:
FAX:
MOBILE:

WOOD RESIDENCE

132 Valmont
ANCASTER
ONTARIO

PHONE:
FAX:
MOBILE:

DRAWN BY: D.W.

SCALE: 0.0420" = 1'-0"

DATE: September 7, 2021

PAGE:

5/5

SITE PLAN



Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME
Registered Owners(s)	Brian Wood Leigh Wood
Applicant(s)*	
Agent or Solicitor	David Wray

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:
Increase lot coverage and rear yard setback for rear covered porch

☐ Secondary Dwelling Unit ☒ Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?
Lot area currently maxed and rear yard tapers

APPLICATION IS TO ADD ROOF TO EXISTING DECK

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):
132 Valmont St Ancaster, ON L9G 4Z9

7. PREVIOUS USE OF PROPERTY

Residential ☒ Industrial ☐ Commercial ☐
Agricultural ☐ Vacant ☐ Other ☐
Other _____

- 8.1 If Industrial or Commercial, specify use _____
- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
Yes ☐ No ☒ Unknown ☐
- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?
Yes ☐ No ☒ Unknown ☐
- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
Yes ☐ No ☒ Unknown ☐
- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
Yes ☐ No ☒ Unknown ☐
- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
Yes ☐ No ☒ Unknown ☐
- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?
Yes ☐ No ☐ Unknown ☐
- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
Yes ☐ No ☒ Unknown ☐
- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?
Yes ☐ No ☒ Unknown ☐

- 8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ☐ No ☒ Unknown ☐

- 8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

Owner provided information

- 8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ☐ No ☐

9. **ACKNOWLEDGEMENT CLAUSE**

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

August 17, 2021.
Date

Brian Wood, Leigh Wood
Signature Property Owner(s)

Brian Wood, Leigh Wood
Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage	<u>15.1m</u>
Depth	<u>36/38.76</u>
Area	<u>6233 sqft</u>
Width of street	<u></u>

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _

main floor area including garage is 2191 sq ft

Proposed

Adding 620 sq ft for covered porch

12. Location of all buildings and structures on or proposed for the subject lands: (Specify distance from side, rear and front lot lines)

Existing:

side yard set backs are 1.28 and 2.37
rear setback 37'11" at closest point

Proposed:

side yard set backs to remain the same
closest rear yard setback will be 22'3"

13. Date of acquisition of subject lands:
Jan 2001
-
14. Date of construction of all buildings and structures on subject lands:
Oct 2000
-
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
Single family home
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
Single family homes
17. Length of time the existing uses of the subject property have continued:
18. Municipal services available: (check the appropriate space or spaces)
- | | | | |
|----------------|-------------------------------------|-----------|-------------------------------------|
| Water | <input checked="" type="checkbox"/> | Connected | <input checked="" type="checkbox"/> |
| Sanitary Sewer | <input checked="" type="checkbox"/> | Connected | <input checked="" type="checkbox"/> |
| Storm Sewers | <input checked="" type="checkbox"/> | | |
19. Present Official Plan/Secondary Plan provisions applying to the land:
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
max lot coverage of 35% and rear yard set back
21. Has the owner previously applied for relief in respect of the subject property?
Yes ☐ No ☒
If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
Yes ☐ No ☒
23. Additional information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.