

## **NOTICE OF PUBLIC HEARING**

### **Minor Variance**

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**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
  - Applicant/agent on file, or
  - Person likely to be interested in this application
- 

**APPLICATION NO.:** HM/A-20:284

**APPLICANTS:** Agent Element Forensic Engineering c/o Samantha Lim  
Owner Jordan Whitelaw

**SUBJECT PROPERTY:** Municipal address **242 Balmoral Ave., Hamilton**

**ZONING BY-LAW:** Zoning By-law 6593, as Amended

**ZONING:** "D" (Urban Protected Residential - One and Two Family Dwellings, etc.) district

**PROPOSAL:** To permit the re-construction of the entire second storey and roof including the southerly roofed-over unenclosed one-storey porch at the first storey level onto the existing single family dwelling notwithstanding that:

1. A minimum front yard depth of 2.9m shall be provided instead of the minimum required front yard depth of 6.0m.
2. A minimum northerly side yard width of 0.1m shall be provided instead of the minimum required side yard width of 1.2m.
3. Eaves and gutters shall be permitted to project 0.1m into the northerly side yard so that the eaves and gutters may be as close as 0.0m from the northerly side lot line instead of the requirement that eave or gutters may project into the required side yard not more than ½ of its required width.
4. A minimum southerly side yard width of 0.4m shall be provided instead of the minimum required side yard width of 1.2m.
5. Eaves and gutters shall be permitted to project 0.4m into the southerly side yard so that the eaves and gutters may be as close as 0.0m from the southerly side lot line instead of the requirement that eave or gutters may project into the required side yard not more than ½ of its required width.

**NOTE:**

- i) Please note that no part of the eave/gutter shall encroach onto the adjacent private property (240 Balmoral Avenue South). Otherwise, an Encroachment Agreement and a Maintenance Easement shall be required which shall be entered into and registered on title for both the lot upon which the eave is encroaching onto and the subject lot.

ii) If the eaves and gutter encroach over the lot line and onto the Lawrence Road road allowance, an Encroachment Agreement with the Public Works Department may be required.

iii) A boulevard parking agreement is required for the parking spaces located on the Balmoral Avenue South road allowance.

This application will be heard by the Committee as shown below:

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<b>DATE:</b>	<b>Thursday, October 21st, 2021</b>
<b>TIME:</b>	<b>2:10 p.m.</b>
<b>PLACE:</b>	<b>Via video link or call in (see attached sheet for details)</b>
	<b>To be streamed at</b>
	<b><a href="http://www.hamilton.ca/committeeofadjustment">www.hamilton.ca/committeeofadjustment</a></b>
	<b>for viewing purposes only</b>

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## **PUBLIC INPUT**

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

## **MORE INFORMATION**

For more information on this matter, including access to drawings illustrating this request:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

DATED: October 5th, 2021.

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

***Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.***



Planning and Economic Development Department  
Planning Division

**Committee of Adjustment**  
City Hall  
5<sup>th</sup> floor 71 Main Street West  
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext.4221  
Fax (905) 546-4202

**PLEASE FILL OUT THE FOLLOWING PAGES AND  
RETURN TO THE CITY OF HAMILTON PLANNING  
DEPARTMENT.**

**FOR OFFICE USE ONLY.**

APPLICATION NO. \_\_\_\_\_ DATE APPLICATION RECEIVED \_\_\_\_\_

PAID \_\_\_\_\_ DATE APPLICATION DEEMED COMPLETE \_\_\_\_\_

SECRETARY'S  
SIGNATURE \_\_\_\_\_

**CITY OF HAMILTON  
COMMITTEE OF ADJUSTMENT  
HAMILTON, ONTARIO**

***The Planning Act***

**Application for Minor Variance or for Permission**

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1. Name of Owner Jordan Whitelaw Telephone No. [REDACTED]  
FAX NO. [REDACTED] E-mail address. [REDACTED]
2. Address [REDACTED]  
[REDACTED] Postal Code [REDACTED]
3. Name of Agent Stacey Martin Telephone No. [REDACTED]  
FAX NO. [REDACTED] E-mail address. [REDACTED]
4. Address [REDACTED]  
[REDACTED] Postal Code [REDACTED]

**Note:** Unless otherwise requested all communications will be sent to the agent, if any.

5. Names and addresses of any mortgagees, holders of charges or other encumbrances:  
Jordan Lee Whitelaw 242 Balmoral Avenue S  
Postal Code L8M-3K7  
Kari Whitelaw 242 Balmoral Avenue S.  
Postal Code L8M-3K7

6. Nature and extent of relief applied for:

To increase the volume to comply with the Ontario Building Code. For differences of height and volume, please refer to ~~our~~ the existing plans and renovation plans in our drawings

7. Why it is not possible to comply with the provisions of the By-law?

The renovations need to comply with the current Ontario Building Code. We need to increase the height and volume of the building.

8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

242 Belmore Ave. S. Hamilton.  
LT 152, PL 554, PT LT 151, PL 554 as in VM139967  
Hamilton.

9. PREVIOUS USE OF PROPERTY

Residential ☒ Industrial ☐ Commercial ☐  
Agricultural ☐ Vacant ☐  
Other \_\_\_\_\_

- 9.1 If Industrial or Commercial, specify use

N/A

- 9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐ No ☐ Unknown ☒

- 9.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐ No ☒ Unknown ☐

- 9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

- 9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

- 9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐ No ☒ Unknown ☐

- 9.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐ No ☒ Unknown ☐

- 9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐ No ☒ Unknown ☐



9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes \_\_\_\_\_ No X Unknown \_\_\_\_\_

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes \_\_\_\_\_ No X Unknown \_\_\_\_\_

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

The owner of the property, her knowledge about the property

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes \_\_\_\_\_ No X

#### ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

Nov 24 2020  
Date

Signature Property Owner

Jordan Whitelaw  
Print Name of Owner

10. Dimensions of lands affected:

Frontage 28'-7" (8.7m)  
Depth 34' (10.36m)  
Area 1261.53 ft<sup>2</sup> (117.2 m<sup>2</sup>)  
Width of street Balmoral street 21'-5" (6.5m)

11. Particulars of all buildings and structures on or proposed for the subject lands:  
(Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: BUILDING : Ground floor area = 1174.9 ft<sup>2</sup>, Basement = 1024.24 ft<sup>2</sup>,  
first floor = 1067 ft<sup>2</sup>, Second floor = 476 ft<sup>2</sup>, 2 storeys, Length = 45 feet,  
width = 26.5 feet, height @ ridge = 18.7 feet.  
DECK = ground floor area = 85.9 ft<sup>2</sup>, 9.2 feet x 9.0 feet x 15.7 feet high @ ridge.  
Proposed: BUILDING : ground floor area = Existing, Basement, first and second  
floor = Existing, 2 storeys, Length and width = Existing, height @  
ridge = 23 feet.  
DECK = ground floor area = Existing, length and width = Existing, height = 18.4 feet @  
ridge.

12. Location of all buildings and structures on or proposed for the subject lands;  
(Specify distance from side, rear and front lot lines)

Existing: Side distance = 12.1 feet (South), 1.6 feet (North)  
Rear = 62.4 feet, Front = 24.3 feet (from side walk) and  
28.6 feet from Road)

Proposed: Location = Existing.

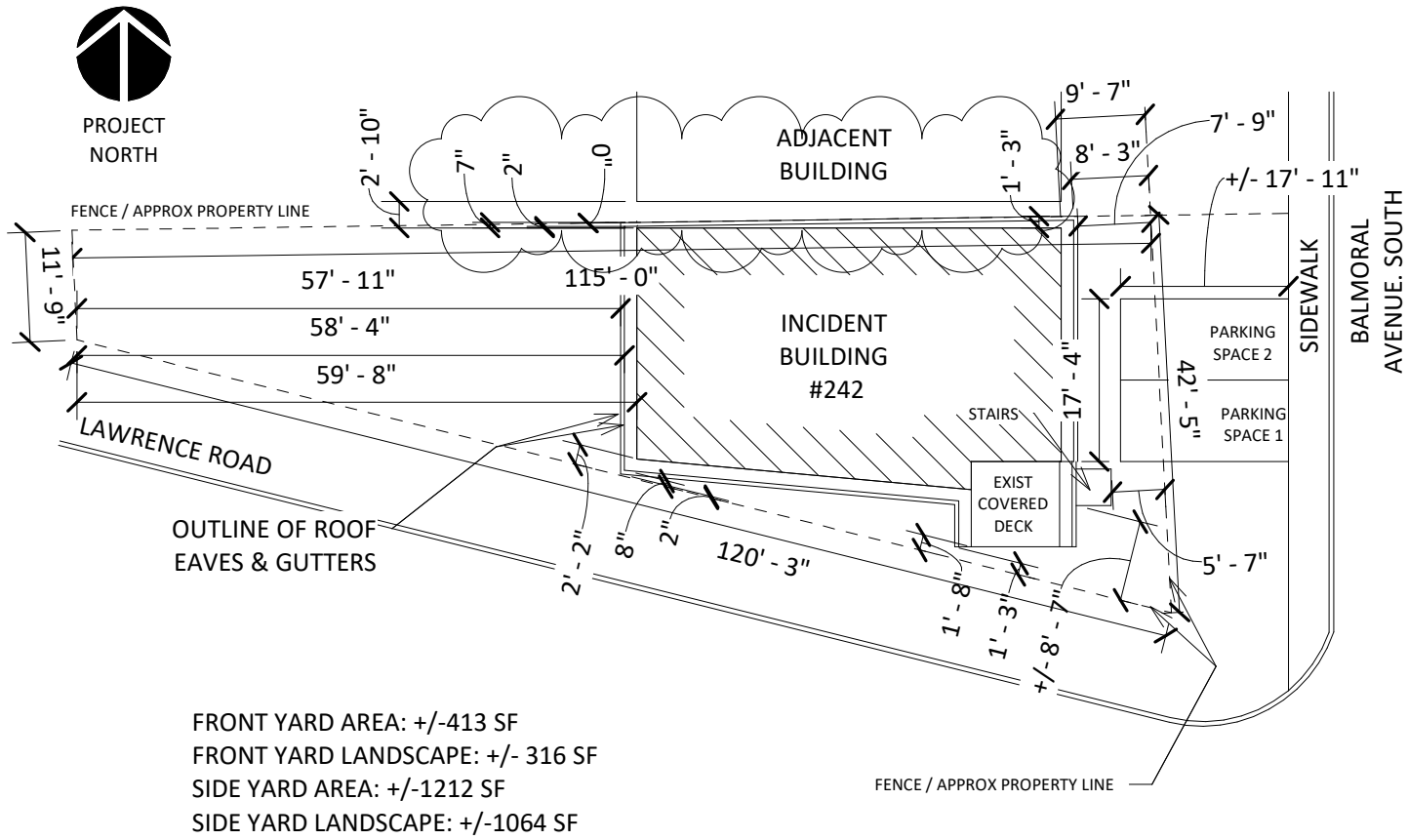
13. Date of acquisition of subject lands: September 18<sup>th</sup>, 2019
14. Date of construction of all buildings and structures on subject lands: ~1914
15. Existing uses of the subject property: Residential
16. Existing uses of abutting properties: Residential
17. Length of time the existing uses of the subject property have continued: Since time of original construction
18. Municipal services available: (check the appropriate space or spaces)  
Water ☒ Connected Unknown  
Sanitary Sewer ☒ Connected \_\_\_\_\_  
Storm Sewers Unknown
19. Present Official Plan/Secondary Plan provisions applying to the land: Neighbourhoods
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land: Bylaw 6593 Section 3(2a) + 10 (10 district)
21. Has the owner previously applied for relief in respect of the subject property?  
Yes ☐ No ☒  
If the answer is yes, describe briefly.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?  
Yes ☐ No ☒
23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

**NOTE:** It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps



# FIRE DAMAGE RESTORATION

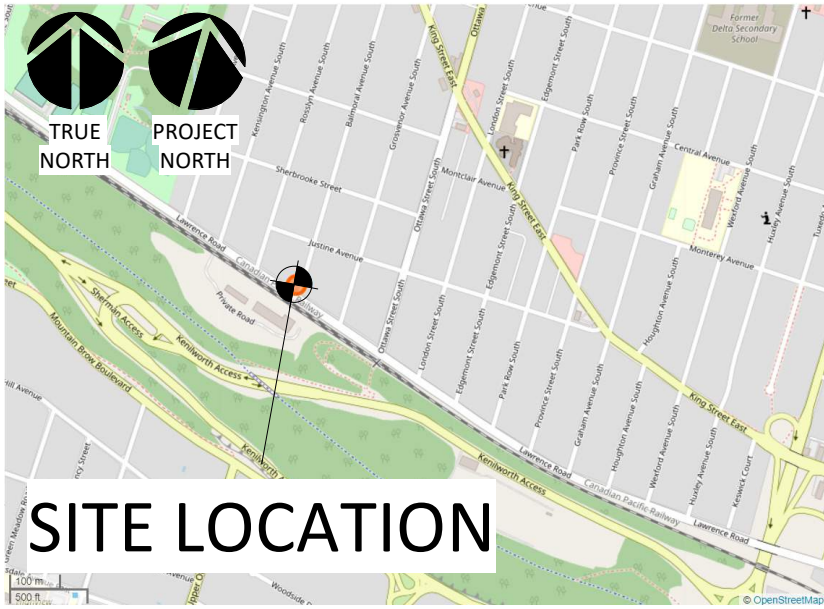
## 242 BALMORAL AVENUE SOUTH, HAMILTON, ON.



### SITE PLAN NOTES:

MEASUREMENTS WERE OBTAINED FROM SURVEY PLAN NO. 554 PROVIDED FROM THE CITY OF HAMILTON. SUBSEQUENT MEASUREMENTS WERE OBTAINED ON-SITE AND MAY NOT REFLECT LEGAL BOUNDARIES.

1 SITE PLAN  
1" = 20'-0"



2 LOCATION MAP  
NTS

SHEET LIST		
SEQUENCE	SHEET TITLE	SHEET NAME
0.01	SP0.01	TITLE SHEET
0.02	A0.02	GENERAL NOTES
1.11	A1.01	EXISTING PLANS
1.12	A1.02	EXISTING PLANS
1.13	A1.03	EXISTING PLANS
1.14	A1.04	EXISTING PLANS
1.21	A2.01	EXISTING ELEVATIONS
1.22	A2.02	EXISTING ELEVATIONS
1.31	S5.01	EXISTING SCHEDULES
1.32	S5.02	EXISTING SCHEDULES
2.01	A4.01	SCOPE OF DEMOLITION
2.02	A4.02	DEMOLITION PLAN
3.01	A3.01	SCOPE OF RENOVATION
3.11A	A3.02	RENOVATION PLANS
3.11S	A3.03	RENOVATION PLANS
3.12A	A3.04	RENOVATION PLANS
3.12S	A3.05	RENOVATION PLANS
3.13A	A3.06	RENOVATION PLANS
3.13B	A3.07	RENOVATION PLANS
3.13S	A3.08	RENOVATION PLANS
3.14A	A3.09	RENOVATION PLANS
3.14S	A3.10	RENOVATION PLANS
3.21	A2.03	RENOVATION ELEVATIONS
3.22	A2.04	RENOVATION ELEVATIONS
3.23	A2.05	RENOVATION SECTIONS AND DETAILS
3.24	A2.06	RENOVATION SECTIONS AND DETAILS
3.31	S5.03	RENOVATION SCHEDULES
4.00	S5.04	LIFE SAFETY PLAN
6.01	A0.03	GENERAL NOTES
6.02	A0.04	GENERAL NOTES
6.03	A0.05	GENERAL NOTES
6.04	A0.06	GENERAL NOTES
6.05	A0.07	GENERAL NOTES
6.06	A0.08	GENERAL NOTES



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-CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME, REPORTING ANY DISCREPANCIES TO ELEMENT FORENSIC ENGINEERING PRIOR TO COMMENCEMENT OF WORK.  
-LATEST APPROVED DRAWINGS GOVERN CONSTRUCTION.  
-DO NOT SCALE DRAWINGS.



DRAWINGS ARE SEALED FOR DESIGN PERTAINING THE RESTORATION OF LOSS RELATED DAMAGE AND ANY NOTED ALTERATION FROM THE AS-BUILT CONDITION. ELEMENT FORENSIC ENGINEERING HAS NOT CONDUCTED A DETAILED REVIEW OR REVERSE ENGINEERING ANALYSIS OF THE BUILDING FOR CONFORMITY WITH THE ONTARIO BUILDING CODE NOR THE LOCAL MUNICIPAL BYLAWS. AS A RESULT CANNOT BE HELD LIABLE OR RESPONSIBLE FOR THIS INFORMATION.

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11	JUN 25/21	REVISION 6
12	JUL 23/21	ISSUED FOR CLIENT REVIEW
13	JUL 23/21	REVISION 7

ADDRESS 242 BALMORAL AVE S., HAMILTON, ON	FILE 1911-0102-MC
CLIENT CRAWFORD & COMPANY (CANADA) INC.	SEQUENCE 0.01
TITLE TITLE SHEET	SHEET SP0.01

GENERAL NOTES

PRIOR TO THE COMMENCEMENT OF ANY WORK, THE CONTRACTOR SHALL READ AND BECOME FAMILIAR WITH THE BUILDING PERMIT RESTORATION DOCUMENTATION, INCLUSIVE OF ANY DRAWINGS AND REPORTS. ANY DEVIATION FROM THE BUILDING PERMIT RESTORATION DOCUMENTS MUST BE FIRST APPROVED, IN WRITING, BY ELEMENT FORENSIC ENGINEERING.

BASED ON A REVIEW OF THE BUILDING AREA, HEIGHT AND USE, IT IS ASSUMED THE BUILDING WAS ORIGINALLY CONSTRUCTED UNDER PART 9 OF THE OBC. RESTORATION/RENOVATION WORK WILL BE COMPLETED UNDER PART 11.

CONTRACTOR IS RESPONSIBLE TO DESIGN AND INSTALL CONSTRUCTION SHORING, AS NECESSARY, TO SUPPORT TO THE BUILDING DURING THE RESTORATION.

REFERENCES TO THE OBC SHALL BE TAKEN FROM THE MOST CURRENT EDITION OF THE OBC AT THE TIME OF BUILDING PERMIT ISSUANCE.

IN CONFORMANCE WITH PART 11 OF THE OBC, SECTION 11.3, WHERE THE EXISTING WALLS, FLOOR OR ROOF ASSEMBLIES ARE NOT SUBSTANTIALLY REMOVED, THE NEW ELEMENTS SHALL MEET OR EXCEED THE ORIGINAL PERFORMANCE LEVEL. WHERE THE EXISTING WALL, FLOORS OR ROOF ASSEMBLIES ARE SUBSTANTIALLY REMOVED, THE REPLACEMENT WALLS, FLOORS OR ROOF ASSEMBLIES, THE NEW STRUCTURAL AND FIRE-RESISTANCE ELEMENTS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE REQUIREMENTS OF PART 9, THE REMAINDER OF THE NEW ELEMENT SHALL MEET OR EXCEED THE ORIGINAL PERFORMANCE LEVEL.

ALL WORK SHALL BE COMPLETED BY A COMPETENT WORKER WHO IS QUALIFIED BECAUSE OF KNOWLEDGE, TRAINING AND EXPERIENCE TO PERFORM THE WORK, AND IS FAMILIAR WITH THE ONTARIO BUILDING CODE, MUNICIPAL BY-LAWS AND WITH THE PROVISIONS OF ALL GOVERNING REGULATIONS AND STANDARDS THAT APPLY TO THE WORK. ELEMENT FORENSIC ENGINEERING IS NOT RESPONSIBLE FOR THE CONTRACTOR, SUPPLIERS OR SUBTRADES, INCLUDING BUT NOT LIMITED TO NEGLIGENCE AND ERRORS.

ALL WORK SHALL BE IN CONFORMANCE WITH THE OBC AND APPLICABLE CSA STANDARDS. WHERE THE DRAWINGS DEViate FROM THE OBC AND APPLICABLE STANDARDS, THE MORE STRINGENT SHALL GOVERN. ALL SPECIFIED AND PROPRIETARY PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER’S SPECIFICATIONS.

ANY AMBIGUITY OR CONFLICT IN THE DRAWINGS SHALL BE IMMEDIATELY REPORTED TO ELEMENT FORENSIC ENGINEERING FOR DIRECTION.

SUBMIT ALL SHOP DRAWINGS FOR SHORING AND EXTERNALLY ENGINEERED AND PROPRIETARY COMPONENTS TO ELEMENT FORENSIC ENGINEERING FOR COMMENT PRIOR TO FABRICATION.

SHOULD IT BE UNCOVERED THAT THE AS-BUILT CONSTRUCTION DEVIATES FROM THE REFERENCED ORIGINAL CONSTRUCTION DRAWINGS, PROMPTLY, AND PRIOR TO PROCEEDING WITH THE REPAIRS, CONTACT ELEMENT FORENSIC ENGINEERING FOR DIRECTION.

ALL CONSTRUCTION RELATED ACTIVITIES AND ACCESS TO THE SITE SHALL BE COMPLETED IN CONFORMANCE WITH THE OHSA.

ONTARIO BUILDING CODE DATA MATRIX, PART 11 – RENOVATION OF EXISTING BUILDING			BUILDING CODE REFERENCE
11.1	EXISTING BUILDING CLASSIFICATION:	DESCRIBE EXISTING USE: _____ CONSTRUCTION INDEX: _____ HAZARD INDEX: _____ IMPORTANCE CATEGORY : _____  ■ NOT APPLICABLE (NO CHANGE OF MAJOR OCCUPANCY)	11.2.1 T 11.2.1.1A T 11.2.1.1B to N 4.2.1.(3) & 5.2.2.1.(2)
11.2	ALTERATION TO EXISTING BUILDING IS:	<input type="checkbox"/> BASIC RENOVATION <input checked="" type="checkbox"/> EXTENSIVE RENOVATION	11.3.3.1 11.3.3.2
11.3	REDUCTION IN PERFORMANCE LEVEL:	STRUCTURAL: ■ NO <input type="checkbox"/> YES BY INCREASE IN OCCUPANT LOAD: ■ NO <input type="checkbox"/> YES BY CHANGE OF MAJOR OCCUPANCY: ■ NO <input type="checkbox"/> YES PLUMBING: ■ NO <input type="checkbox"/> YES SEWAGE-SYSTEM: ■ NO <input type="checkbox"/> YES	11.4.2 11.4.2.1 11.4.2.2 11.4.2.3 11.4.2.4 11.4.2.5
11.4	COMPENSATING CONSTRUCTION:	STRUCTURAL: ■ NO <input type="checkbox"/> YES (EXPLAIN) INCREASE IN OCCUPANT LOAD: ■ NO <input type="checkbox"/> YES (EXPLAIN) CHANGE OF MAJOR OCCUPANCY: ■ NO <input type="checkbox"/> YES (EXPLAIN) PLUMBING: ■ NO <input type="checkbox"/> YES (EXPLAIN) SEWAGE SYSTEM: ■ NO <input type="checkbox"/> YES (EXPLAIN)	11.4.3 11.4.3.2 11.4.3.3 11.4.3.4 11.4.3.5 11.4.3.6
11.5	COMPLIANCE ALTERNATIVES PROPOSED:	■ NO <input type="checkbox"/> YES (GIVE NUMBER[S])	11.5.1



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-LATEST APPROVED DRAWINGS GOVERN CONSTRUCTION.  
-DO NOT SCALE DRAWINGS.



DRAWINGS ARE SEALED FOR DESIGN PERTAINING THE RESTORATION OF LOSS RELATED DAMAGE AND ANY NOTED ALTERATION FROM THE AS-BUILT CONDITION. ELEMENT FORENSIC ENGINEERING HAS NOT CONDUCTED A DETAILED REVIEW OR REVERSE ENGINEERING ANALYSIS OF THE BUILDING FOR CONFORMITY WITH THE ONTARIO BUILDING CODE NOR THE LOCAL MUNICIPAL BYLAWS. AS A RESULT CANNOT BE HELD LIABLE OR RESPONSIBLE FOR THIS INFORMATION.

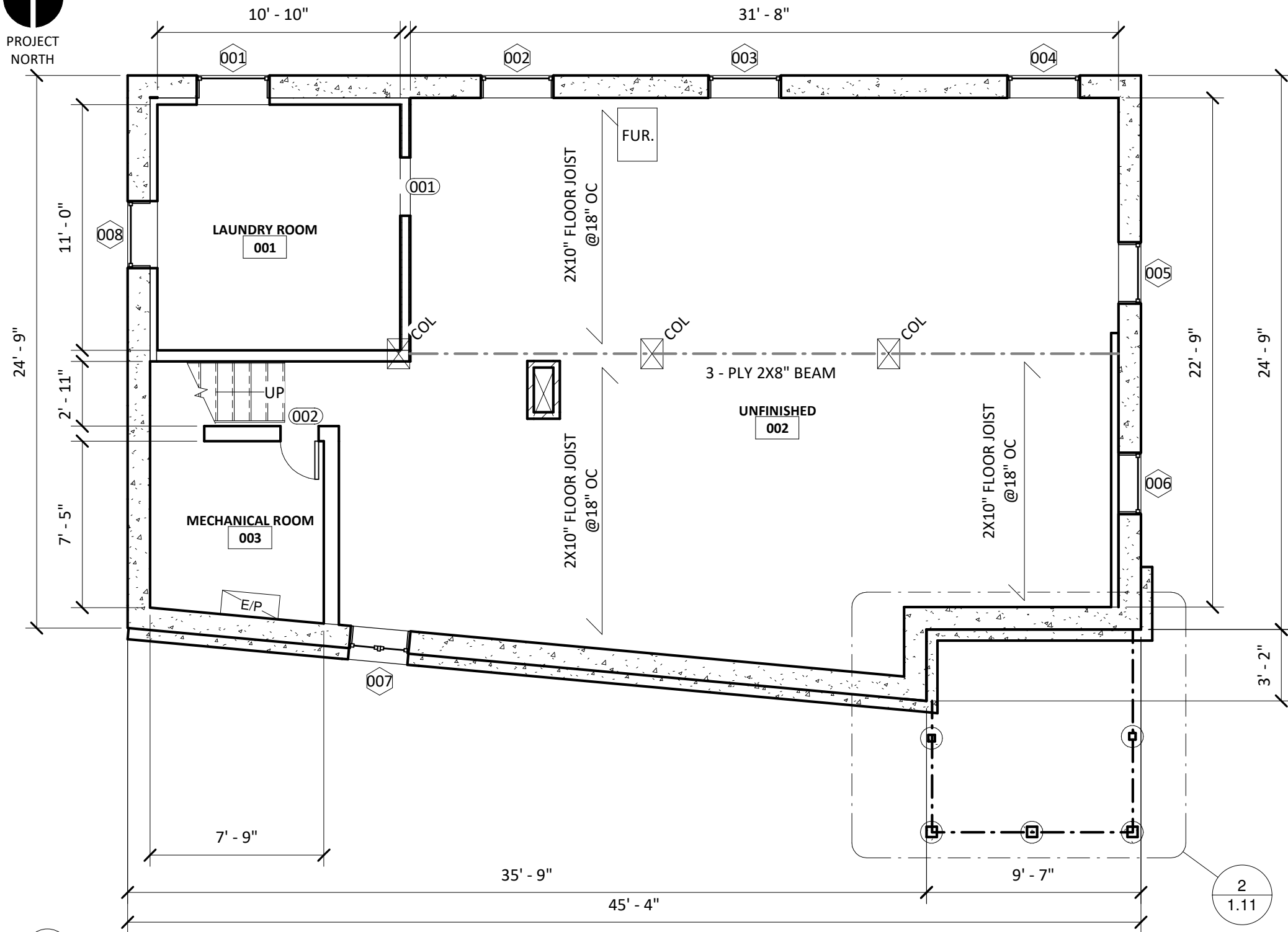
REV.	DATE	DESCRIPTION
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CLIENT CRAWFORD & COMPANY (CANADA) INC.	SEQUENCE 0.02
TITLE GENERAL NOTES	SHEET A0.02



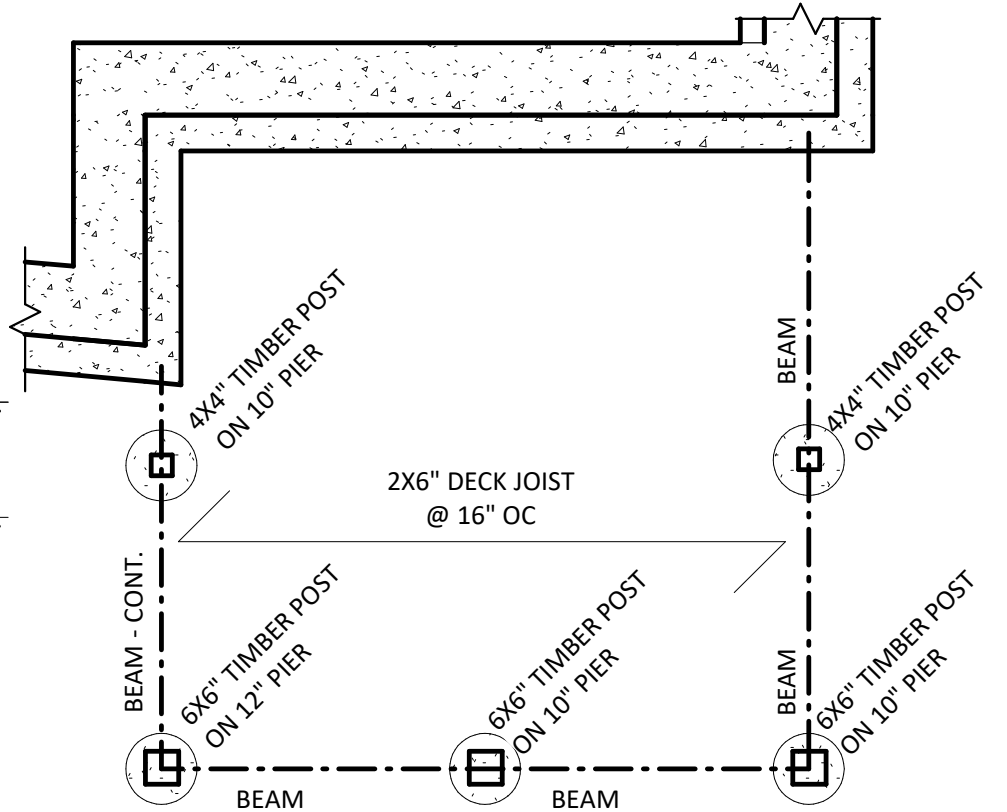


PROJECT  
NORTH



1

EXISTING PLAN BASEMENT  
3/16" = 1'-0"



2

EXISTING PARTIAL PLAN BASEMENT  
3/8" = 1'-0"



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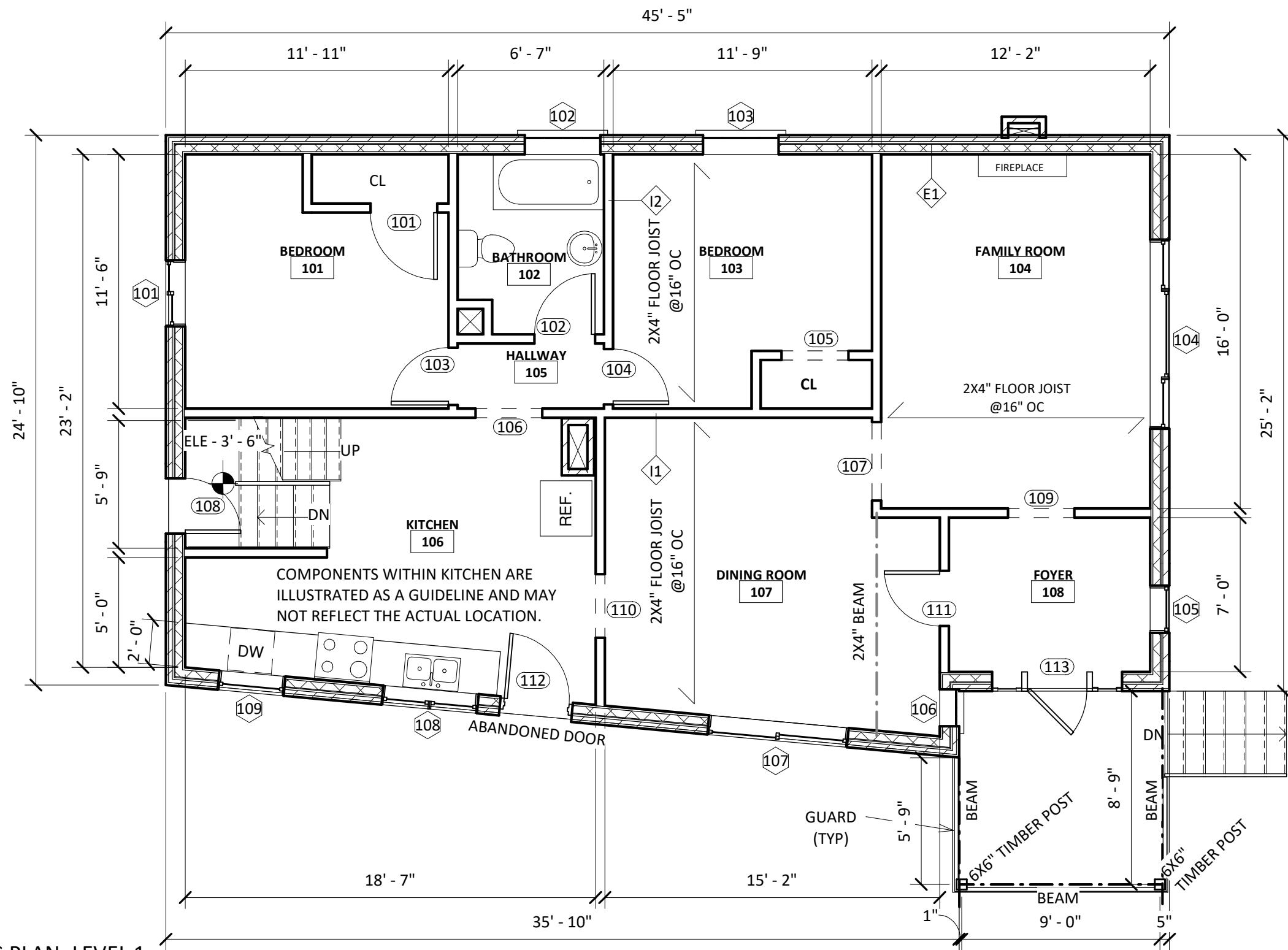
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CLIENT CRAWFORD & COMPANY (CANADA) INC.	SEQUENCE 1.11
TITLE EXISTING PLANS	SHEET A1.01



PROJECT  
NORTH



1 EXISTING PLAN LEVEL 1  
3/16" = 1'-0"



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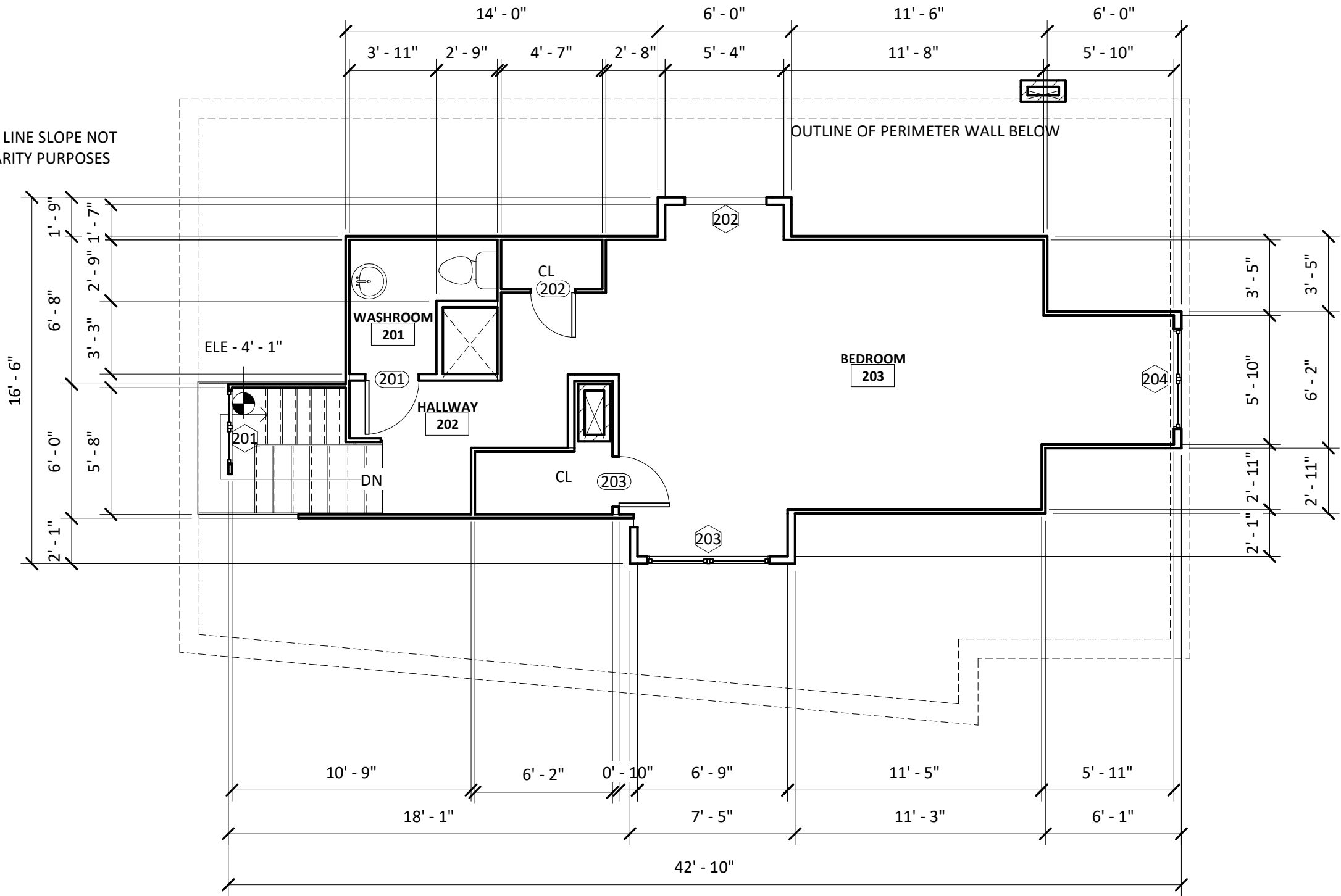
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CLIENT CRAWFORD & COMPANY (CANADA) INC.	SEQUENCE 1.12
TITLE EXISTING PLANS	SHEET A1.02



NOTES:  
APPROX CEILING LINE SLOPE NOT  
SHOWN FOR CLARITY PURPOSES



EXISTING LEVEL 2 FLOOR AREA: 475.89 SF

1 EXISTING PLAN LEVEL 2  
3/16" = 1'-0"



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WITHOUT THE EXPRESSED WRITTEN  
CONSENT OF ELEMENT FORENSIC  
ENGINEERING.  
-CONTRACTOR MUST CHECK AND VERIFY ALL  
DIMENSIONS AND BE RESPONSIBLE FOR THE  
SAME, REPORTING ANY DISCREPANCIES TO  
ELEMENT FORENSIC ENGINEERING PRIOR TO  
COMMENCEMENT OF WORK.  
-LATEST APPROVED DRAWINGS GOVERN  
CONSTRUCTION.  
-DO NOT SCALE DRAWINGS.

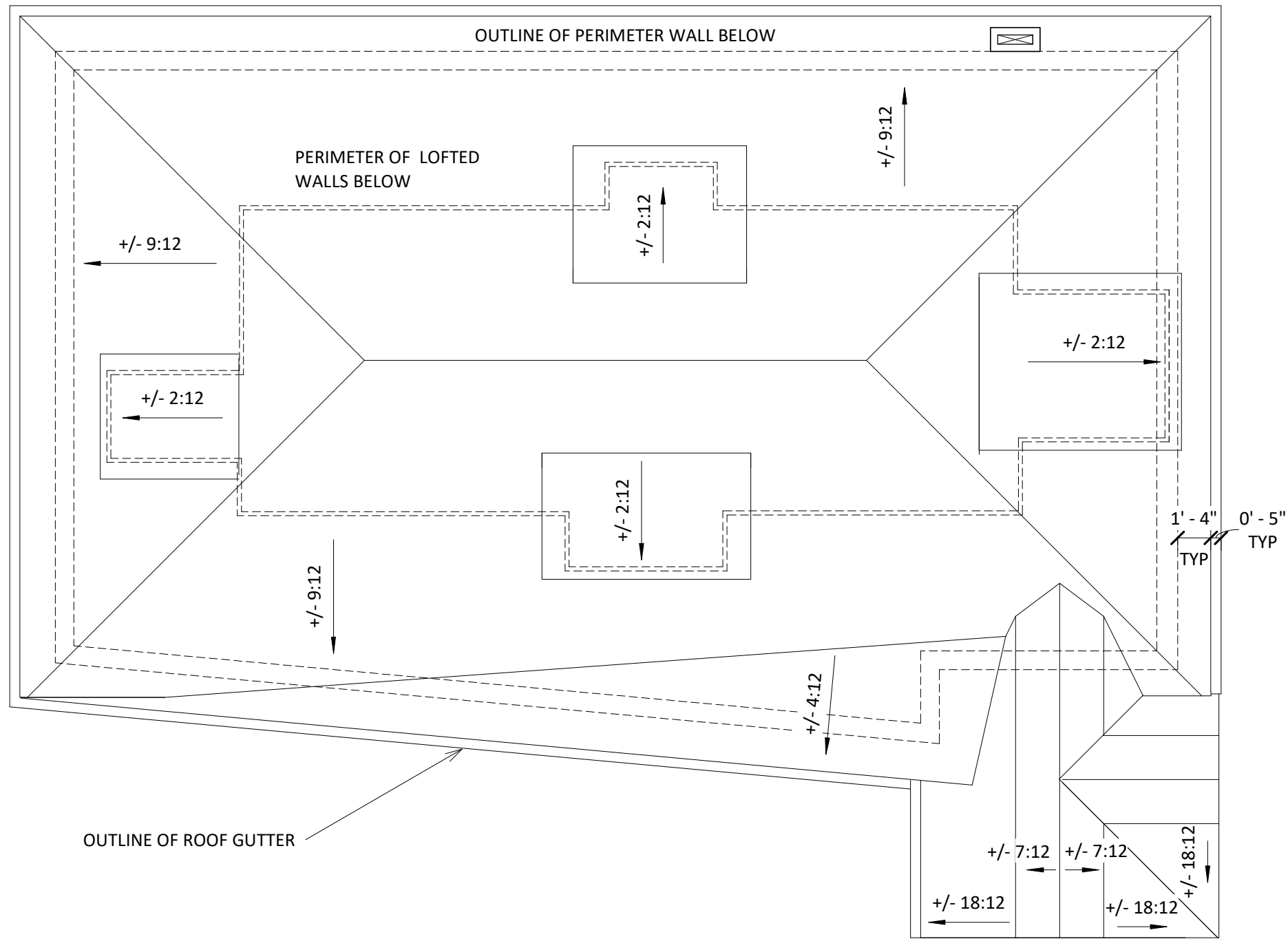


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BUILT CONDITION. ELEMENT FORENSIC  
ENGINEERING HAS NOT CONDUCTED A DETAILED  
REVIEW OR REVERSE ENGINEERING ANALYSIS OF  
THE BUILDING FOR CONFORMITY WITH THE  
ONTARIO BUILDING CODE NOR THE LOCAL  
MUNICIPAL BYLAWS. AS A RESULT CANNOT BE  
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TITLE EXISTING PLANS	SHEET A1.03





1

EXISTING PLAN ROOF  
3/16" = 1'-0"



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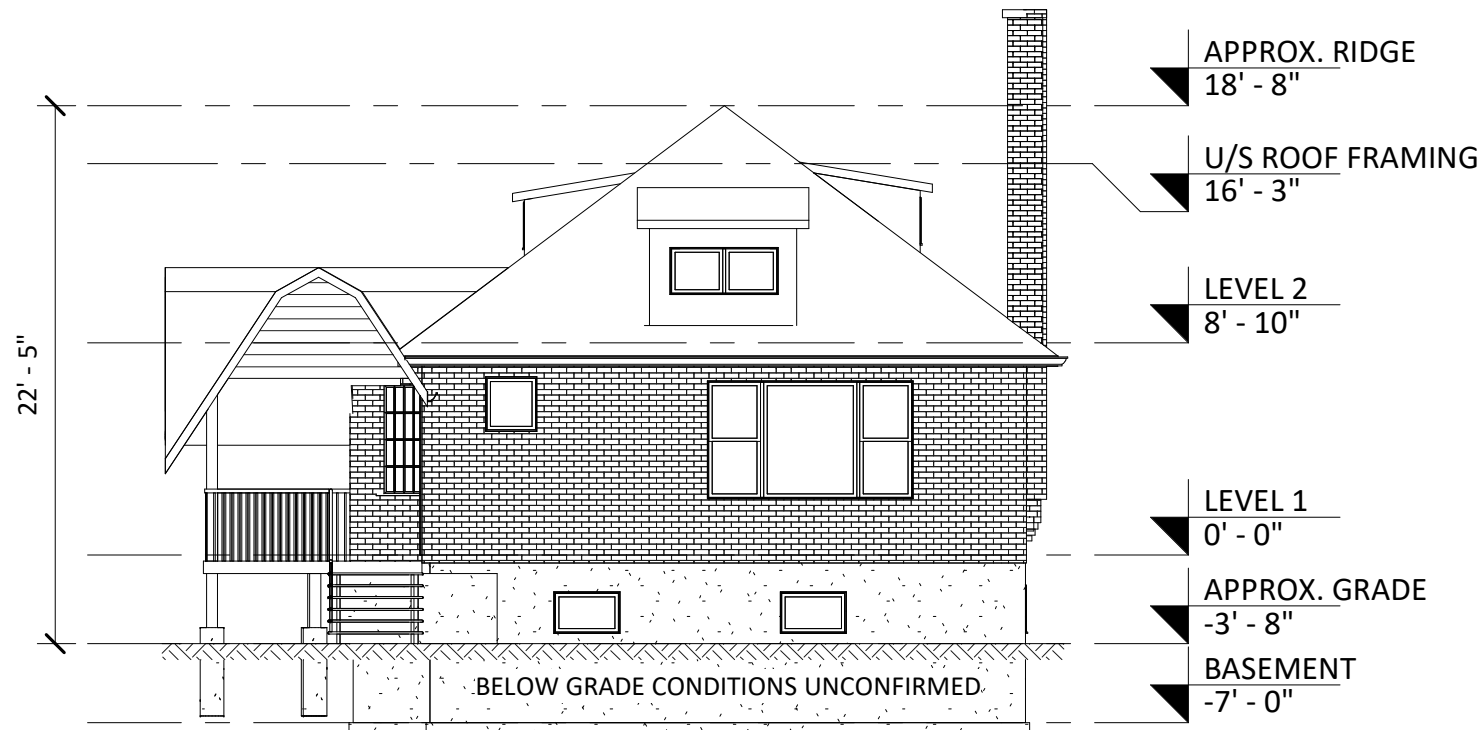
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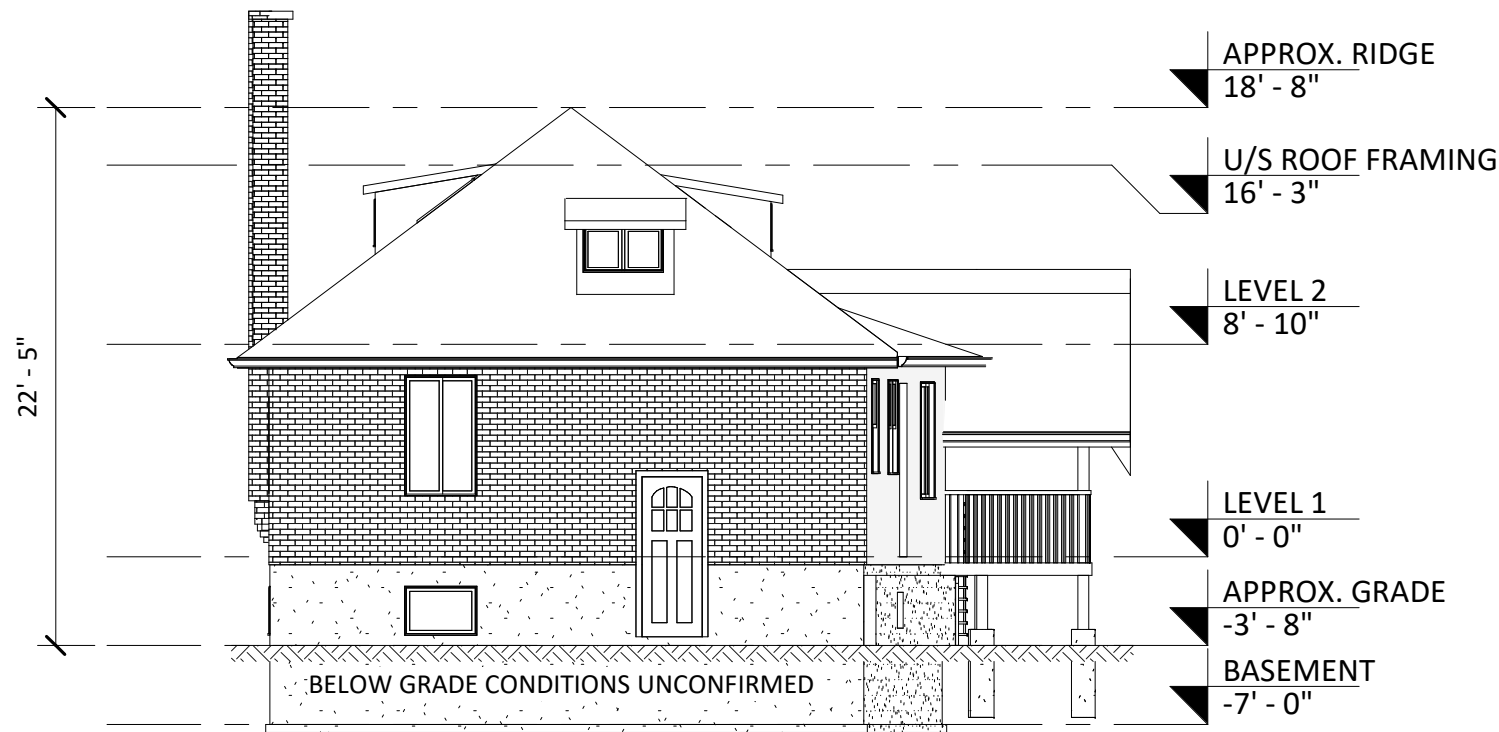
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CLIENT CRAWFORD & COMPANY (CANADA) INC.	SEQUENCE 1.14
TITLE EXISTING PLANS	SHEET A1.04



1

EXISTING ELEVATION \_ EAST  
1/8" = 1'-0"



2

EXISTING ELEVATION \_ WEST  
1/8" = 1'-0"



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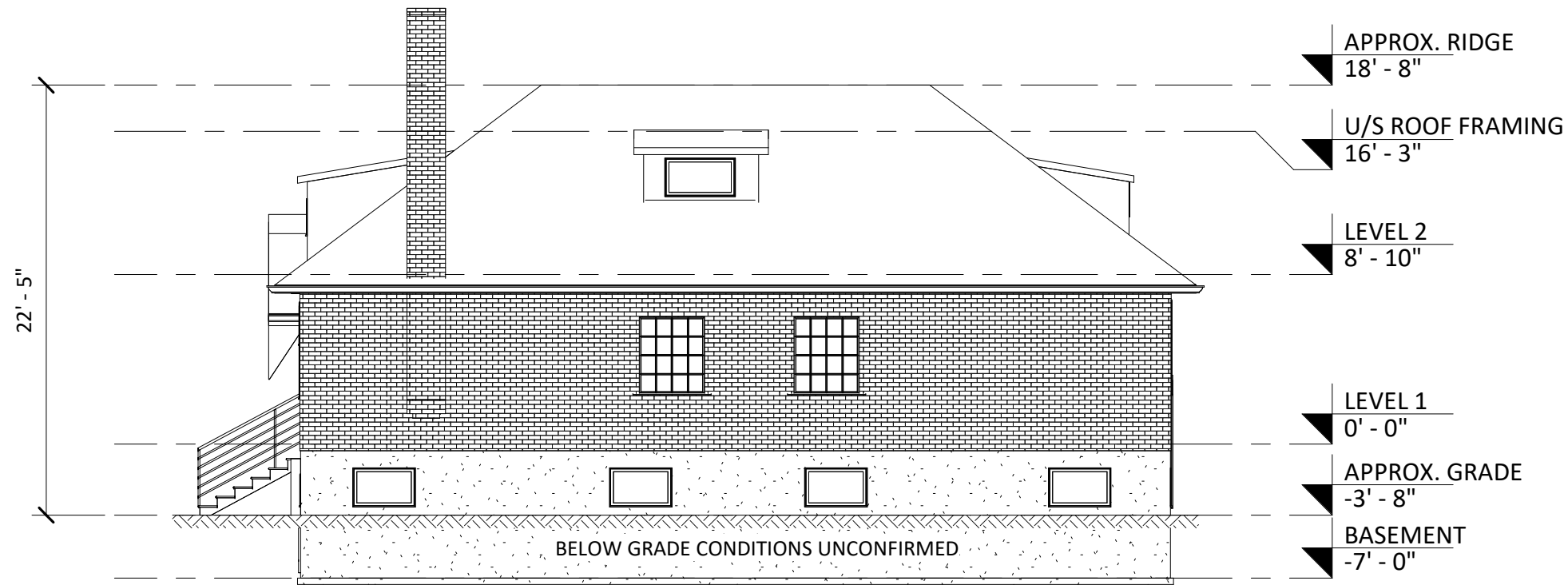
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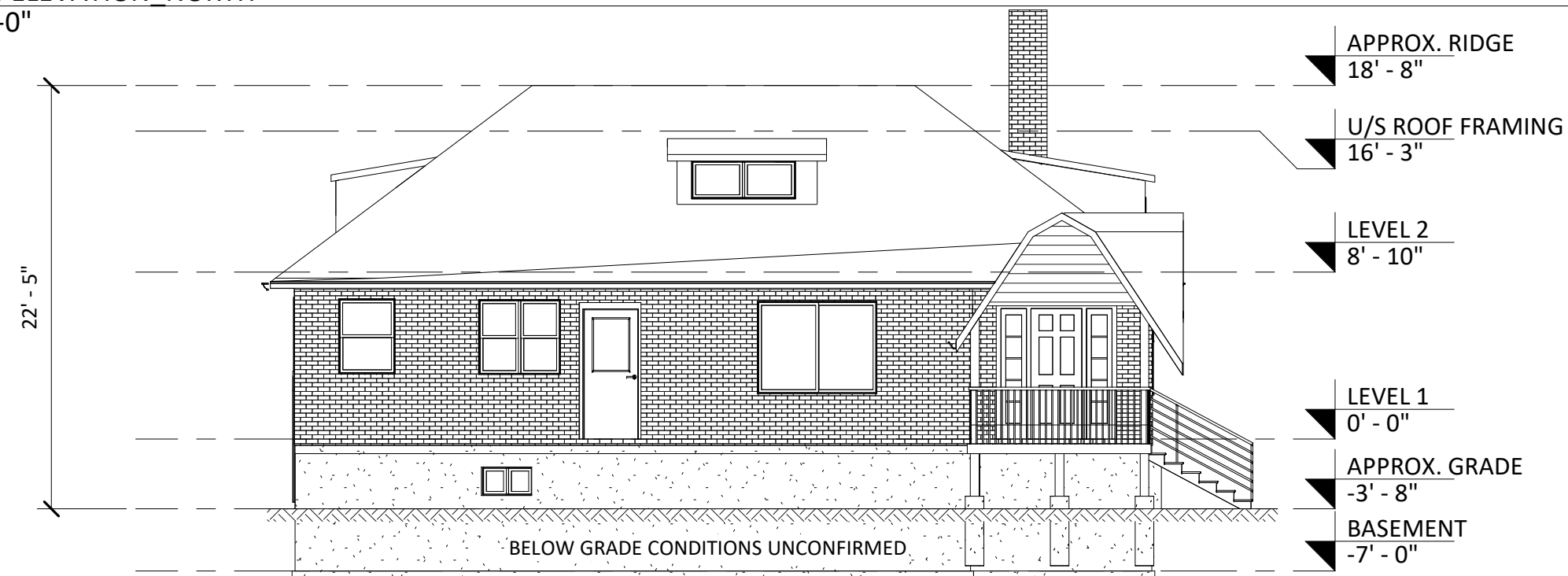
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TITLE EXISTING ELEVATIONS	SHEET A2.01



1 EXISTING ELEVATION\_NORTH  
1/8" = 1'-0"



2 EXISTING ELEVATION\_SOUTH  
1/8" = 1'-0"



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CLIENT CRAWFORD & COMPANY (CANADA) INC.	SEQUENCE 1.22
TITLE EXISTING ELEVATIONS	SHEET A2.02



F1

FOUNDATION WALL

SIDE - EXT  
DAMPPROOF UNCONFIRMED (BELOW GRADE)  
STRUCTURE CONCRETE  
SIDE - INT

E1

EXTERIOR WALL

SIDE - EXT  
MASONRY 3-1/2" BRICK  
MASONRY 4" SOLID BLOCK  
STRAPPING 2X2" @ 16" WOOD STRAPPING  
VB&AB 6 MIL POLYETHELYENE  
FINISH LATH & PLASTER (GYP LATH)  
SIDE - INT

I1

INTERIOR WALL

SIDE-INT  
FINISH GYPSUM LATH AND PLASTER  
STRUCTURE 2X4" DIMENSIONAL STUDS @ 16" OC  
FINISH GYPSUM LATH AND PLASTER  
SIDE-INT

I2

INTERIOR WALL

SIDE-INT  
FINISH GYPSUM LATH AND PLASTER  
STRUCTURE 2X4" DIMENSIONAL STUDS @ 16" OC  
FINISH GYPSUM LATH AND PLASTER  
SIDE-INT

EXISTING WALL & CEILING ASSEMBLY NOTES:

CONTRACTOR TO FIELD VERIFY ALL AFFECTED WALL/CEILING ASSEMBLIES DURING REMOVAL, REPORTING ANY DEVIATIONS TO ELEMENT FORENSIC ENGINEERING FOR DIRECTION PRIOR TO CONTINUING WITH THE REPAIRS.

EXISTING WALL ASSEMBLIES WERE NOT FULLY CONFIRMED AT THE TIME THE DRAWINGS WERE PREPARED.

ELEMENT

FORENSIC ENGINEERING

PHONE: 519.502.8832 | EMAIL: ELEMENT@ELEMENTFE.CA  
BURLINGTON | CAMBRIDGE | OSHAWA

LICENSED PROFESSIONAL ENGINEER

J.G.MARTIN  
100168670  
JUL 23/21  
PROVINCE OF ONTARIO

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ADDRESS 242 BALMORAL AVE S., HAMILTON, ON	FILE 1911-0102-MC
CLIENT CRAWFORD & COMPANY (CANADA) INC.	SEQUENCE 1.31
TITLE EXISTING SCHEDULES	SHEET S5.01

EXISTING WINDOW AND DOOR NOTES:

EXISTING WINDOW AND DOOR DIMENSIONS WERE TAKEN FROM THE INSIDE FACE OF THE TRIM. CONTRACTOR TO FIELD VERIFY ALL AFFECTED WINDOW AND DOOR ASSEMBLIES DURING REMOVAL, REPORTING ANY DEVIATIONS TO ELEMENT FORENSIC ENGINEERING FOR DIRECTION PRIOR TO CONTINUING WITH THE REPAIRS.

EXISTING ROOM SCHEDULE		
ROOM NUMBER	NAME	LEVEL
001	LAUNDRY ROOM	BASEMENT
002	UNFINISHED	BASEMENT
003	MECHANICAL ROOM	BASEMENT
101	BEDROOM	LEVEL 1
102	BATHROOM	LEVEL 1
103	BEDROOM	LEVEL 1
104	FAMILY ROOM	LEVEL 1
105	HALLWAY	LEVEL 1
106	KITCHEN	LEVEL 1
107	DINING ROOM	LEVEL 1
108	FOYER	LEVEL 1
201	WASHROOM	LEVEL 2
202	HALLWAY	LEVEL 2
203	BEDROOM	LEVEL 2

EXISTING DOOR SCHEDULE			
DOOR NUMBER	DOOR WIDTH	DOOR HEIGHT	LEVEL
001	2' - 7"	5' - 10"	BASEMENT
002	1' - 9"	5' - 10"	BASEMENT
101	3' - 0"	6' - 8"	LEVEL 1
102	2' - 9"	6' - 8"	LEVEL 1
103	2' - 7"	6' - 8"	LEVEL 1
104	2' - 6"	6' - 8"	LEVEL 1
105	3' - 0"	6' - 8"	LEVEL 1
106	3' - 0"	6' - 8"	LEVEL 1
107	3' - 7"	6' - 8"	LEVEL 1
108	2' - 6"	6' - 8"	LEVEL 1
109	3' - 0"	6' - 8"	LEVEL 1
110	2' - 11"	6' - 8"	LEVEL 1
111	2' - 6"	6' - 8"	LEVEL 1
112	3' - 0"	6' - 11"	LEVEL 1
113	2' - 8"	6' - 11"	LEVEL 1
201	2' - 5"	6' - 3"	LEVEL 2
202	2' - 0"	6' - 8"	LEVEL 2
203	2' - 3"	5' - 5"	LEVEL 2

EXISTING WINDOW SCHEDULE				
WINDOW NUMBER	WIDTH	HEIGHT	SILL HEIGHT	LEVEL
001	3' - 3"	2' - 0"	3' - 8"	BASEMENT
002	3' - 3"	2' - 0"	3' - 8"	BASEMENT
003	3' - 3"	2' - 0"	3' - 8"	BASEMENT
004	3' - 3"	2' - 0"	3' - 8"	BASEMENT
005	2' - 9"	1' - 9"	3' - 8"	BASEMENT
006	2' - 9"	1' - 9"	3' - 8"	BASEMENT
007	2' - 8"	1' - 6"	4' - 0"	BASEMENT
008	3' - 0"	2' - 0"	3' - 8"	BASEMENT
101	3' - 0"	5' - 0"	2' - 6"	LEVEL 1
102	3' - 5"	4' - 0"	2' - 8"	LEVEL 1
103	3' - 5"	4' - 0"	2' - 8"	LEVEL 1
104	8' - 7"	4' - 11"	2' - 4"	LEVEL 1
105	2' - 2"	2' - 3"	5' - 2"	LEVEL 1
106	1' - 8"	4' - 7"	2' - 6"	LEVEL 1
107	6' - 4"	4' - 11"	2' - 5"	LEVEL 1
108	4' - 4"	4' - 0"	3' - 5"	LEVEL 1
109	3' - 0"	4' - 0"	3' - 6"	LEVEL 1
201	3' - 4"	1' - 11"	3' - 0"	LEVEL 2
202	3' - 8"	2' - 0"	4' - 1"	LEVEL 2
203	5' - 6"	2' - 0"	3' - 11"	LEVEL 2
204	4' - 6"	2' - 0"	2' - 0"	LEVEL 2



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CLIENT CRAWFORD & COMPANY (CANADA) INC.	SEQUENCE 1.32
TITLE EXISTING SCHEDULES	SHEET S5.02

DEMOLITION NOTES:

DEMOLISH THE ROOF STRUCTURE, INCLUDING CHIMNEYS (INTERNAL AND EXTERNAL) AND PORCH, DOWN TO TOP OF LEVEL ONE WALL FRAMING. MAINTAIN THE FOUNDATION, LEVEL ONE FLOOR AND WALL FRAMING.

CONTRACTOR TO PROVIDE ADEQUATE BRACING OF REMAINING STRUCTURE PRIOR TO EXISTING ROOF REMOVAL AND THE INSTALLATION OF NEW ROOF STRUCTURE.

VERIFY DIMENSIONS, APPEARANCE AND LOCATION OF PRE-LOSS CONDITIONS PRIOR TO DEMOLITION.

EXERCISE CARE DURING DEMOLITION TO PROTECT ANY REMAINING AND ADJACENT BUILDINGS AND BUILDING COMPONENTS.

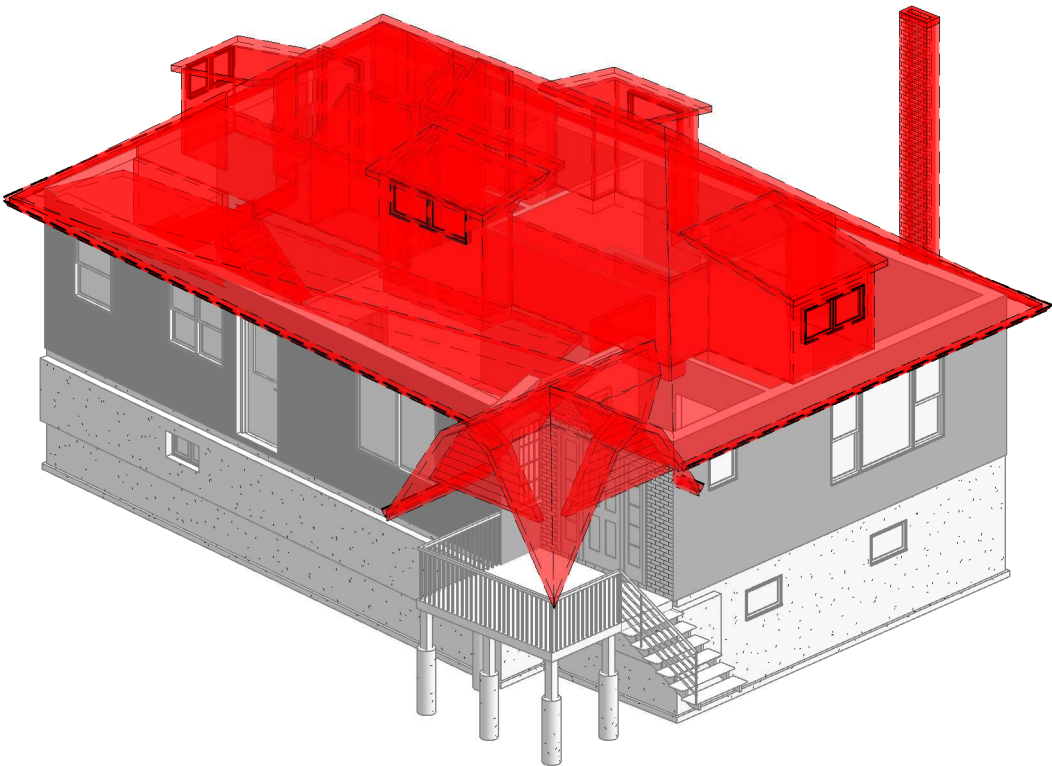
THE CONTRACTOR IS RESPONSIBLE FOR ANY REQUIRED DISCONNECT OF UTILITIES.

ALL GRADING BEYOND THE PERIMETER OF THE BUILDING SHALL BE MAINTAINED OR REINSTATED TO MATCH PRE-LOSS.

FOLLOWING COMPLETION OF THE DEMOLITION, PRIOR TO ANY ACCESS INTO THE BUILDING, CONTRACTOR TO COORDINATE WITH ELEMENT FORENSIC ENGINEERING AN INSPECTION OF THE REMAINING STRUCTURE.

NO HEAVY EQUIPTMENT WITHIN 3 FEET OF FOOTPRINT DURING DEMOLITION.

REFER TO DEMOLITION AND EXCAVATION NOTES FOR ADDITIONAL DETAILS.



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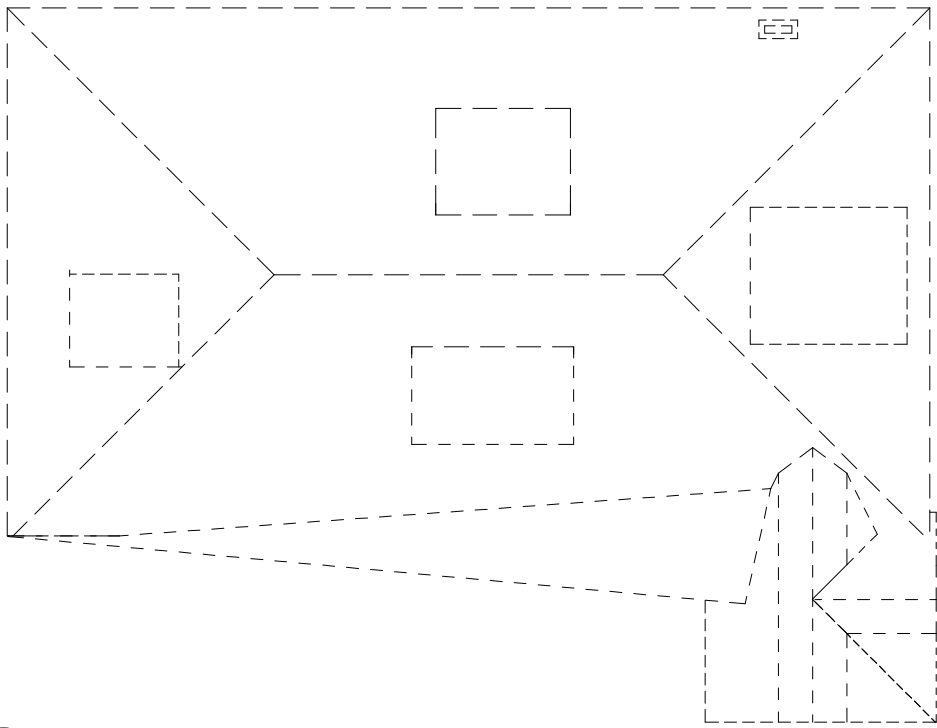


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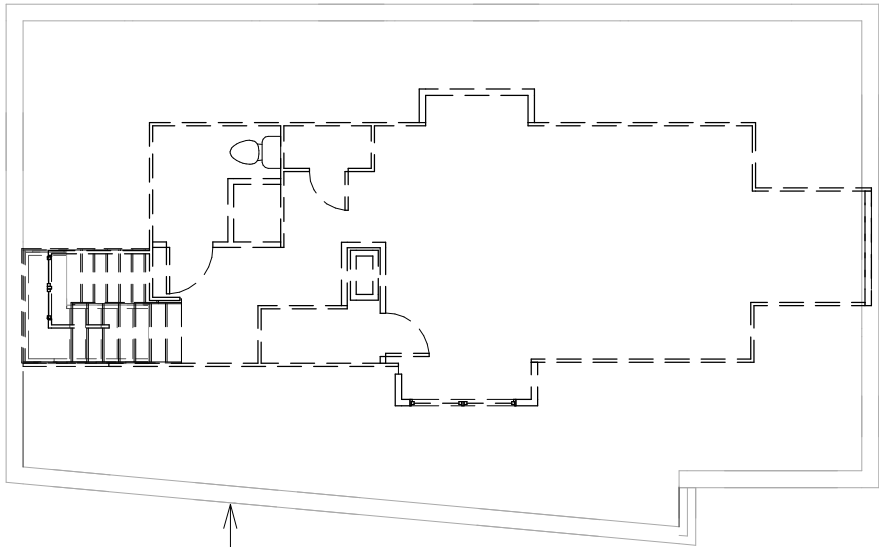
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CLIENT CRAWFORD & COMPANY (CANADA) INC.	SEQUENCE 2.01
TITLE SCOPE OF DEMOLITION	SHEET A4.01



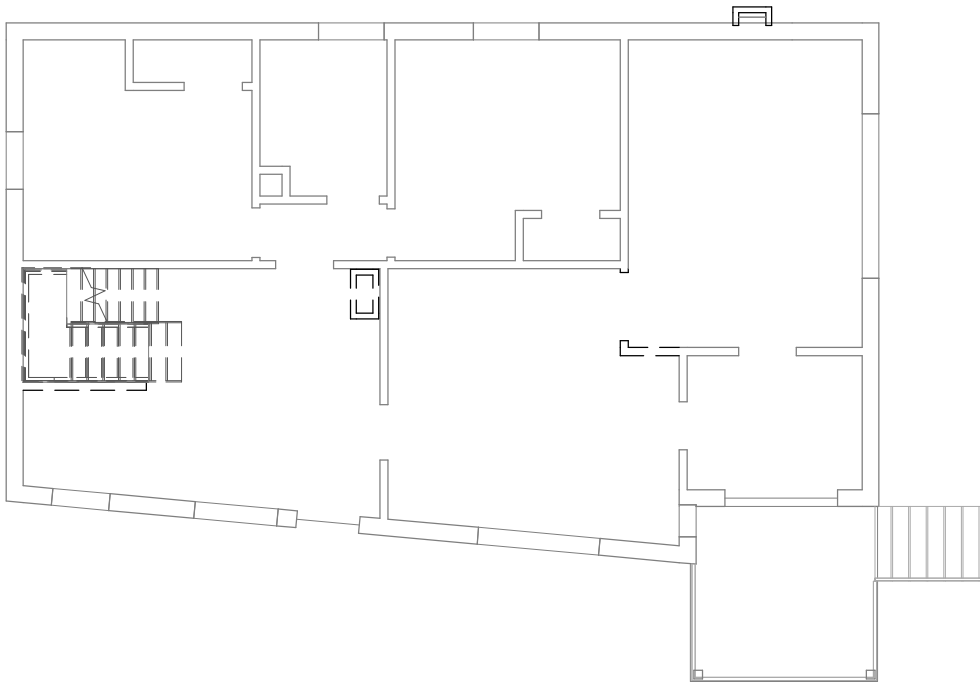


1 DEMOLITION PLAN \_ ROOF  
1" = 10'-0"

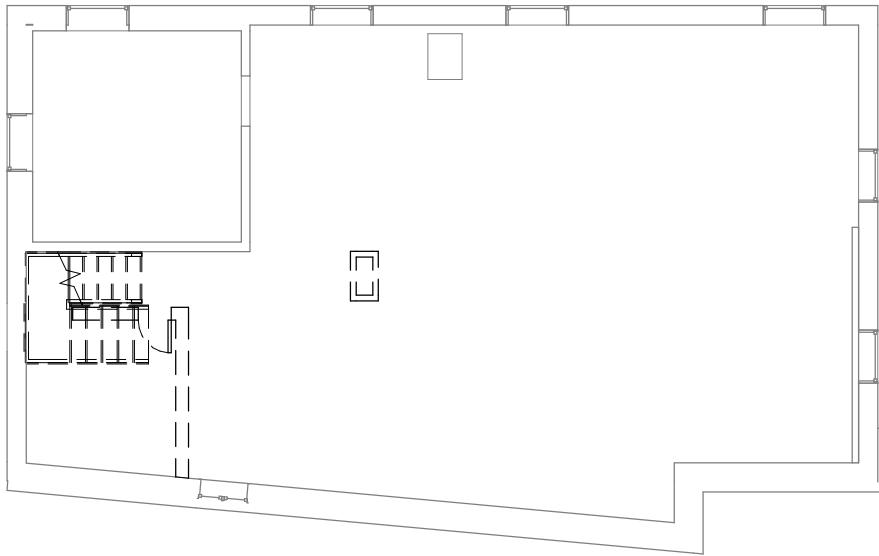


TYPICAL WALL FRAMIING BELOW  
TO REMAIN

2 DEMOLITION PLAN \_ LEVEL 2  
1" = 10'-0"



3 DEMOLITION \_ LEVEL 1  
1" = 10'-0"



4 DEMOLITION PLAN \_ BASEMENT  
1" = 10'-0"

LEGEND DEMOLITION

- REMOVE WALL ASSEMBLY
- ===== EXISTING WALL TO REMAIN
- REMOVE ENCLOSED FLOOR/STAIRS/ROOF ASSEMBLY
- ===== EXISTING ENCLOSED FLOOR/ ROOF ASSEMBLY TO REMAIN



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CLIENT CRAWFORD & COMPANY (CANADA) INC.	SEQUENCE 2.02
TITLE DEMOLITION PLAN	SHEET A4.02

SCOPE OF REPAIRS:

REMOVE AND REPLACE INTERIOR FINISHES, INCLUDING GYPSUM WALL BOARD / LATH AND PLASTER, MILLWORK/FINISH CARPENTRY, AND FIXTURES AS REQUIRED, TO REINSTATE THE INTERIOR OF THE BUILDING TO MATCH THE PRE-LOSS.

THE CONTRACTOR SHALL FIELD VERIFY THE PRESENCE OF BLOCKING FOR THE INSTALLATION OF (FUTURE) GRAB BARS IN THE MAIN BATHROOM. IF ABSENT, INSTALL THE REQUISITE BLOCKING AS A CODE REQUIRED UPGRADE. THE BLOCKING SHALL BE INSTALLED IN CONFORMANCE WITH SECTION 9.5.2.3 OF THE OBC. SEE DETAIL SHEETS

WALL STUDS SHALL BE CONTINUOUS FOR THE FULL STOREY HEIGHT, EXCEPT AT OPENINGS AND SHALL NOT BE SPLICED. INTERIOR WALL ASSEMBLIES SHALL BE UPGRADED AS NECESSARY FOR CONTINUITY.

INSTALL AN ATTIC HATCH TO MATCH SPECIFICATIONS IN DRAWING.

REMOVE AND REPLACE THE INSULATION THROUGHOUT THE BUILDING. WHERE AN ASSEMBLY IS SUBSTANTIALLY REMOVED, THE NEW INSULATION SHALL MEET THE THERMAL PERFORMANCE OF MMAH SB-12 (RESIDENTIAL OCCUPANCY), COMPLIANCE PACKAGE A1 (REFER TO SEQUENCE 6.06 FOR FURTHER DETAILS PERTAINING COMPLIANCE PACKAGE A1), OTHERWISE THE NEW INSULATION SHALL MATCH PRE-LOSS THERMAL PERFORMANCE.

ALL EXTERIOR ASSEMBLIES, SEPARATING CONDITIONED AND UNCONDITIONED SPACE, MUST INCLUDE A CONTINUOUS 6 MIL POLYETHYLENE VAPOUR DIFFUSION RETARDER AND AIR BARRIER INSTALLED ON THE CONDITIONED SIDE OF THE INSULATION.

REPLACE THE DAMAGED DOORS AND WINDOWS TO MATCH PRE-LOSS. THE REMAINDER OF THE DOORS AND WINDOWS SHOULD BE CLEANED AND ADDRESSED AS REQUIRED.

REPLACE THE DAMAGED EXTERIOR FINISHES, INCLUDING EAVES TROUGHS, DOWNSPOUTS, FLASHING, SOFFITS, FACIA, TRIM AND ROOF VENTS, AS REQUIRED, TO REINSTATE THE EXTERIOR OF THE BUILDING TO MATCH THE PRE-LOSS.

THE NEW HANDRAILS AND GUARDS SHALL MEET THE REQUIREMENTS OF OBC PART 9, SECTION 9.8.7 AND 9.8.8

REMOVE AND REPLACE DAMAGED LIFE SAFETY COMPONENTS. NEW LIFE SAFETY COMPONENTS SHALL BE INSTALLED IN CONFORMANCE WITH THE OBC AND AS DETAILED ON THE LIFE SAFETY PLANS.

CLEAN ALL EXPOSED SURFACES, CONTAMINATED WITH SMOKE, SOOT AND OTHER COMBUSTION BY-PRODUCTS, TO A VISIBLY CLEAN CONDITION. CLEANING MAY REQUIRE THE USE OF MEDIA BLASTING. ALL BUILDING MATERIALS SHALL BE DRIED TO <12% WME. OPAQUE BUILDING MATERIALS SHALL BE ENCAPSULATED WITH A SUFFICIENTLY THICK COATING OF NON-SYNTHETIC SHELLAC.

SCOPE OF RENOVATION:

CONTRACTOR SHALL COORDINATE STAIRS AND STAIR OPENING TO ENSURE CLEAR HEIGHT OVER STAIRS MEETS THE REQUIREMENTS OF OBC PART 9, SECTION 9.8.2.2 .

SHORING WALL:

PRIOR TO INSTALLING NEW BEAM, SUPPLY AND INSTALL A CONSTRUCTION SHORING WALL (TEMP WALL). THE TEMP WALL SHALL BE IN CONFORMANCE WITH THE BELOW DESCRIPTION.

-THE TEMP WALL SHALL COMPRISE DOUBLE LAMINATED 2X4”STUDS SPACED AT A MAXIMUM 16”OC WITH DOUBLE TOP AND BOTTOM PLATES. REMOVE BUILDING FINISHES, AS NECESSARY, TO FACILITATE DIRECT CONTACT BETWEEN THE TEMP WALL ELEMENTS AND THE EXISTING WOOD FRAMING.

-THE TEMP WALL SHALL EXTEND FROM THE UNDERSIDE OF THE LEVEL ONE FLOOR FRAME TO THE TOP OF THE BASEMENT FLOOR SLAB.

-SECURE TEMP WALL TO EXISTING FRAMING WITH ONE 3-1/2”SCREW PER JOIST.

-SECURE BOTTOM PLATE TO CONCRETE WITH 1/4" Ø MASONRY SCREWS SPACED AT MAX 12”OC WITH MIN 1-1/2”EMBEDMENT CENTERED ON THE WALL.

-INSTALL ONE SET OF 2X4" CROSS BRACES ON THE TEMP WALL. LOCATE THE OPPOSING DIAGONALS OF THE CROSS BRACES ON OPPOSING FACES OF THE TEMP WALL. ORIENT THE DIAGONALS AT A MAX 45 DEGREES OFF THE HORIZONTAL. SECURE DIAGONALS TO THE TOP AND BOTTOM PLATES WITH TWO 3-1/2" SCREWS AND AT EACH INTERSECTING STUD WITH ONE 3-1/2”SCREW. DIAGONALS TO BE CONTINUOUS FROM TOP TO BOTTOM.

-IF REQUIRED FOR ACCESS, INSTALL AN OPENING, MAX ONE LOCATION PER TEMP WALL, MAX 40”WIDE, WITH 2 PLY 2X8" HEADER SUPPORTED ON JACK STUDS LAMINATED TO DOUBLE KING STUDS. THE OPENING SHALL NOT INTERFERE WITH THE CROSS BRACES.



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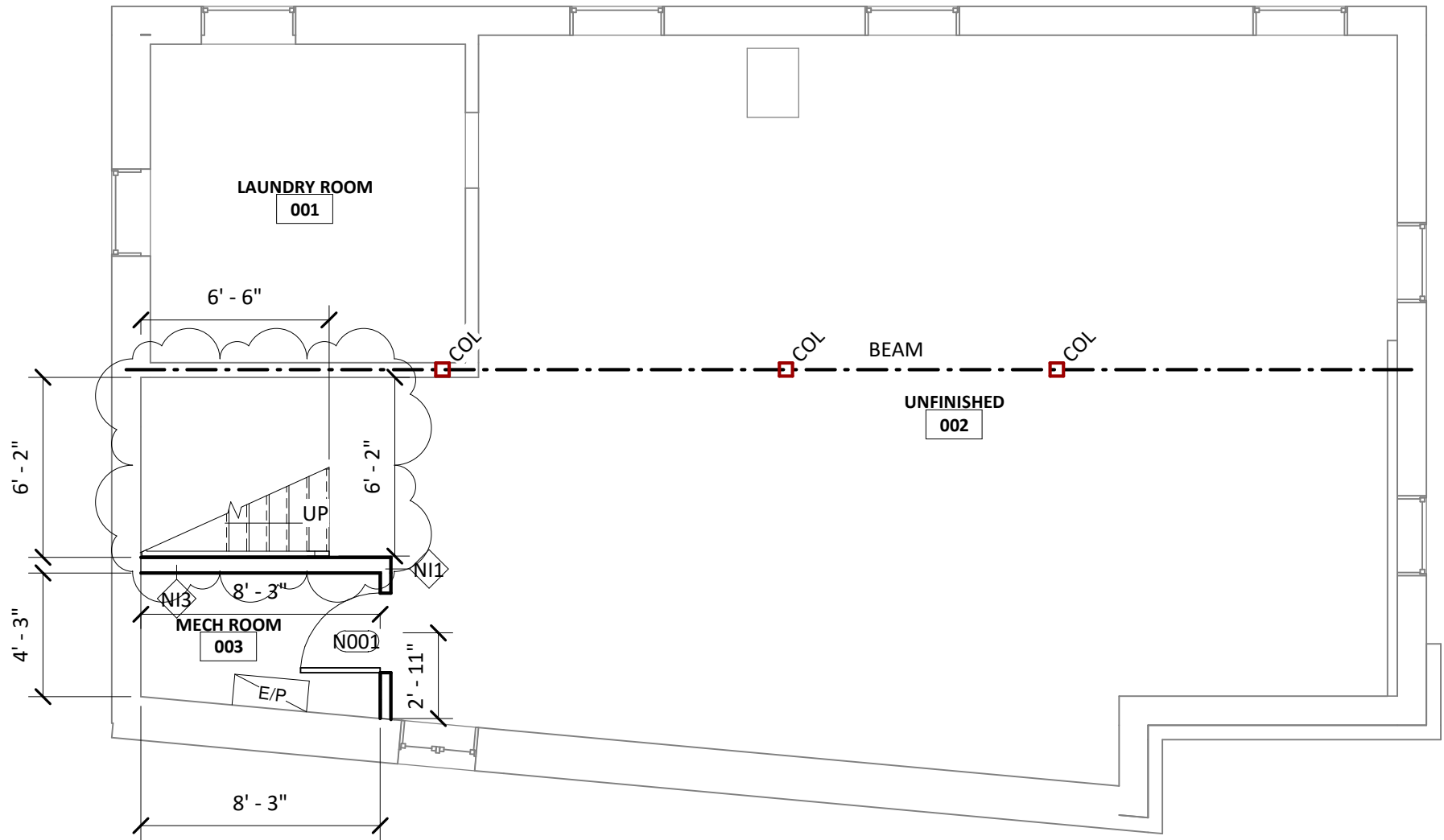
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-LATEST APPROVED DRAWINGS GOVERN CONSTRUCTION.  
-DO NOT SCALE DRAWINGS.



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TITLE SCOPE OF RENOVATION	SHEET A3.01



**NOTE:**  
REFER TO EXISTING PLANS FOR SUPPLEMENTAL INFORMATION

1 RENOVATION PLAN BASEMENT ARCH  
3/16" = 1'-0"



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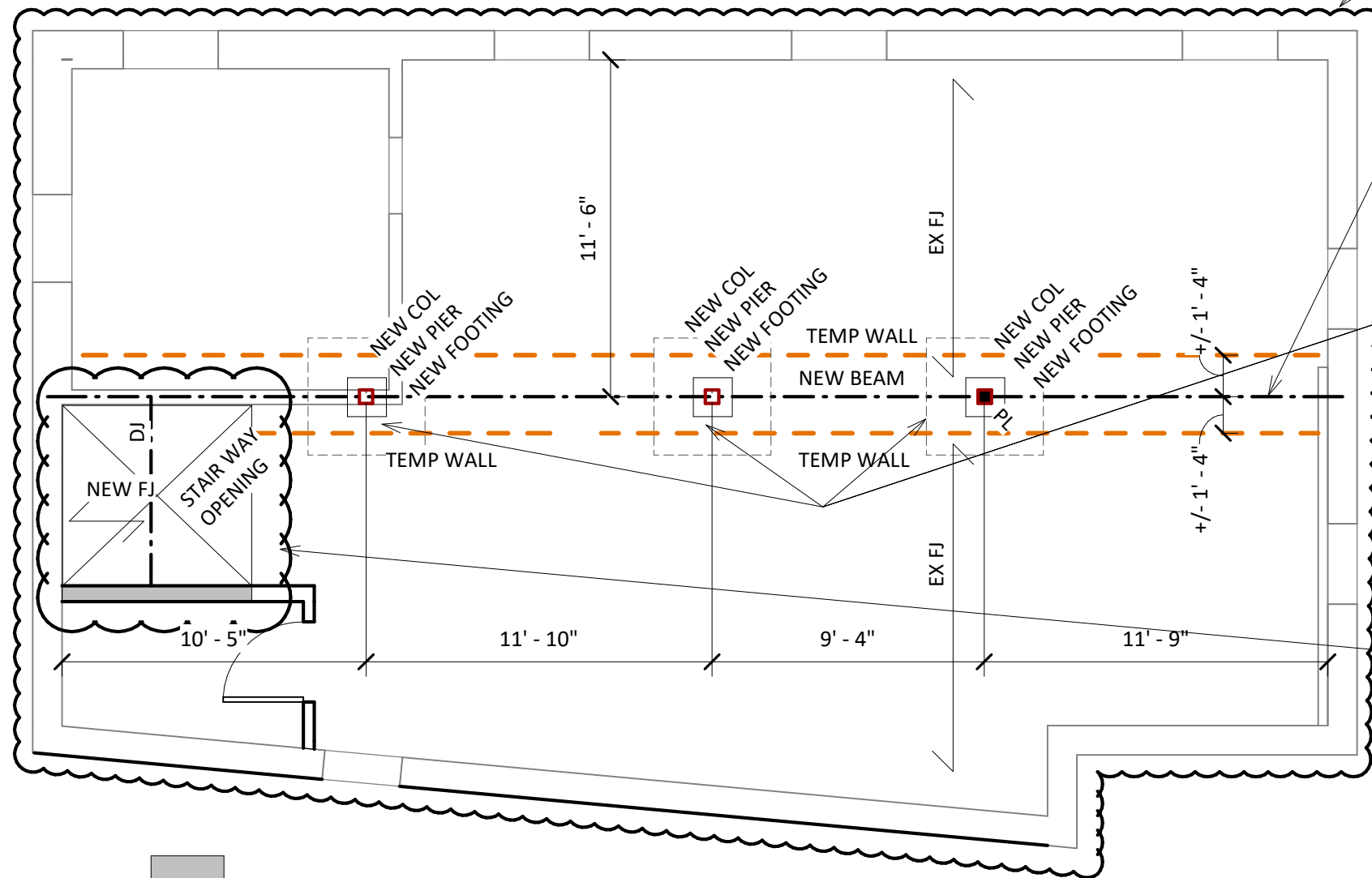
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TITLE RENOVATION PLANS	SHEET A3.02





PROJECT  
NORTH



 DENOTES LOAD BEARING WALL

CONTRACTOR TO SITE VERIFY THE LOCATIONS OF COMPROMISED FLOOR FRAMING ELEMENTS. LAMINATE FULL LENGTH 2X10" MEMBERS ALONG SIDE ANY FLOOR JOISTS NOTCHED BEYOND PRESCRIBED LIMITS OF OBC.

UNDER TEMPORARY SUPPORT TO THE SUPPORTED FRAMING AND PRIOR TO INSTALLATION OF LEVEL 2 FLOOR FRAMING REMOVE AND REPLACE THE EXISTING BEAM, NEW BEAM SHALL COMPRISE OF W8X18 STEEL BEAM. BUILD UP THE EXISTING POCKET IN THE FOUNDATION WALL TO SUIT NEW BEAM DEPTH.

REMOVE AND REPLACE EXISTING COLUMNS, NEW COLUMNS SHALL BE HSS 4X4X1/4" OR HSS 4" DIA. X 1/4"

REMOVE AND REPLACE EXISTING PIER, NEW PIER SHALL COMPRISE OF 16" X16" CONCRETE PIER W/ 4 - 10M REINFORCEMENT BAR. TYPICAL OF 3 LOCATIONS. NEW PIER SHALL BE LEVEL W/ BASEMENT LEVEL AND EXTEND TO TOP OF FOOTING. DOWEL THE PIER TO THE FOOTING W/ FOUR 10M REBAR 18" LONG W 8" EMBEDMENT INTO THE FOOTING. ALIGN DOWELS W/ PIER REINFORCEMENT.

SUPPLY AND INSTALL 3 NEW FOOTING, NEW FOOTING SHALL BE FOUNDED ON STABLE SOIL, NEW FOOTING SHALL BE 50"X50"X12" CONCRETE FOOTING C/W 10M @ 8" OC BOTTOM REINFORCEMENT BAR EW.

REPLACE LOAD BEARING WALL, NEW WALL SHALL BE AS OUTLINE IN THE RENOVATION PLAN AND RENOVATION SCHEDULES.  
-SECURE THE WALL TO THE FLOOR WITH 1/4" DIAMETER MASONRY SCREWS, SPACED AT 8" OC, CENTERED ON THE BOTTOM PLATE, WITH MIN 2" EMBEDMENT.  
-NEW LOAD BEARING WALL SHALL BEAR ON THE EXISTING CONCRETE FLOORSLAB. CONTRACTOR TO CONFIRM FLOOR SLAB IS ATLEAST 3" THICK AND THAT THERE ARE NO VOIDS BETWEEN SLAB AND UNDERLYING SOIL. SHOULD THE SLAB BE LESS THAN 3" THICK OR THERE BE A VOID BELOW THE SLAB, CONTACT OUR OFFICE FOR DIRECTION.

FOLLOWING THE INSTALLATION OF LOADBEARING WALL, CUT AND REMOVE EXISTING JOISTS AT NEW STAIR OPENING.  
SUPPLY AND INSTALL NEW 2 PLY 2X10" FLOOR JOISTS AT EDGE OF OPENING.  
-REPLACE LANDING JOISTS, NEW JOIST SHALL COMPRISE OF 2X6" @ 16" OC.  
-SUPPLY AND INSTALL DOUBLE JOIST AT ALL INTERSECTING STRINGER LOCATIONS.

1 RENOVATION PLAN BASEMENT STRUCT  
3/16" = 1'-0"



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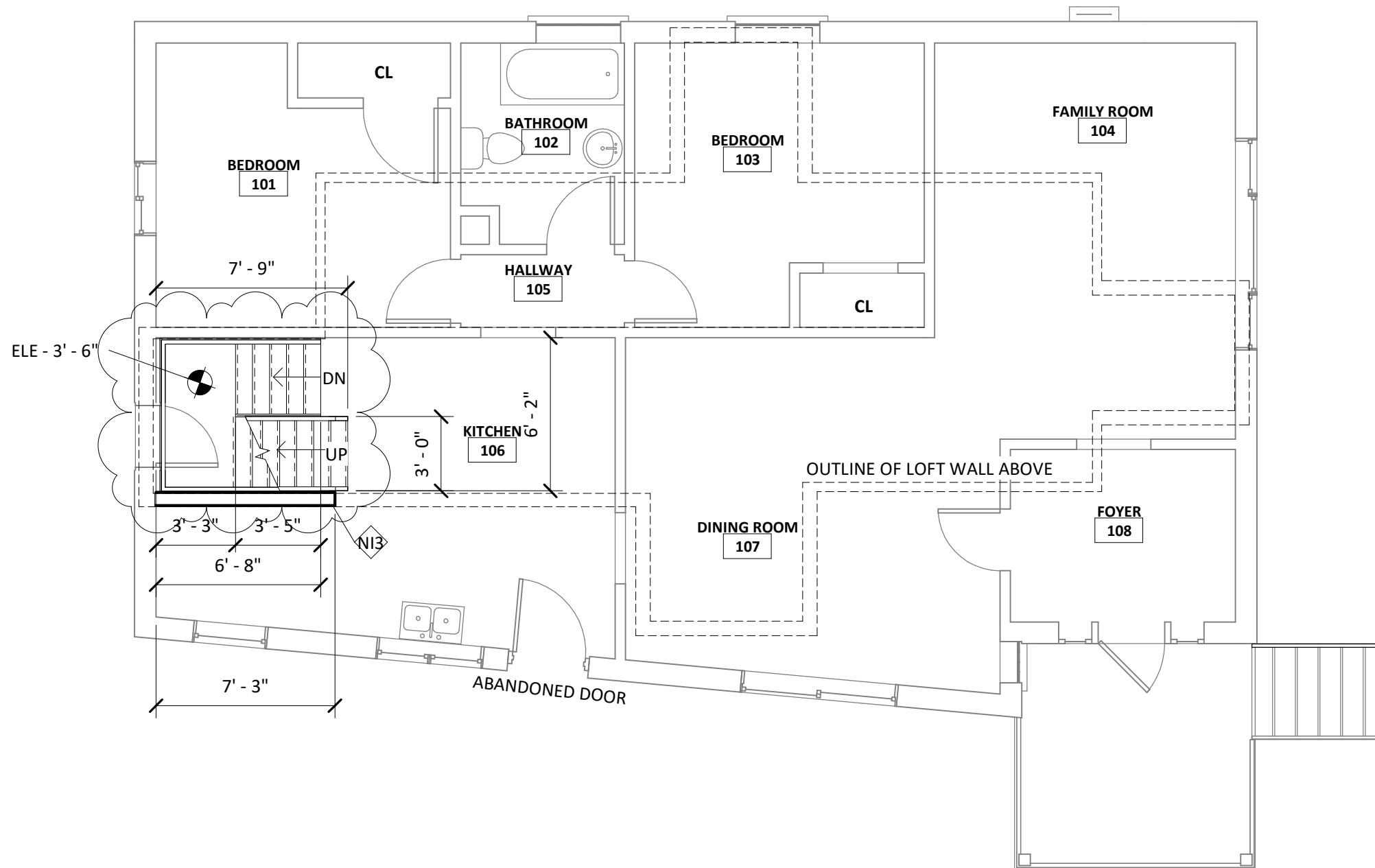
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TITLE RENOVATION PLANS	SHEET A3.03



NOTE:  
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1 RENOVIATION PLAN LEVEL 1 ARCH  
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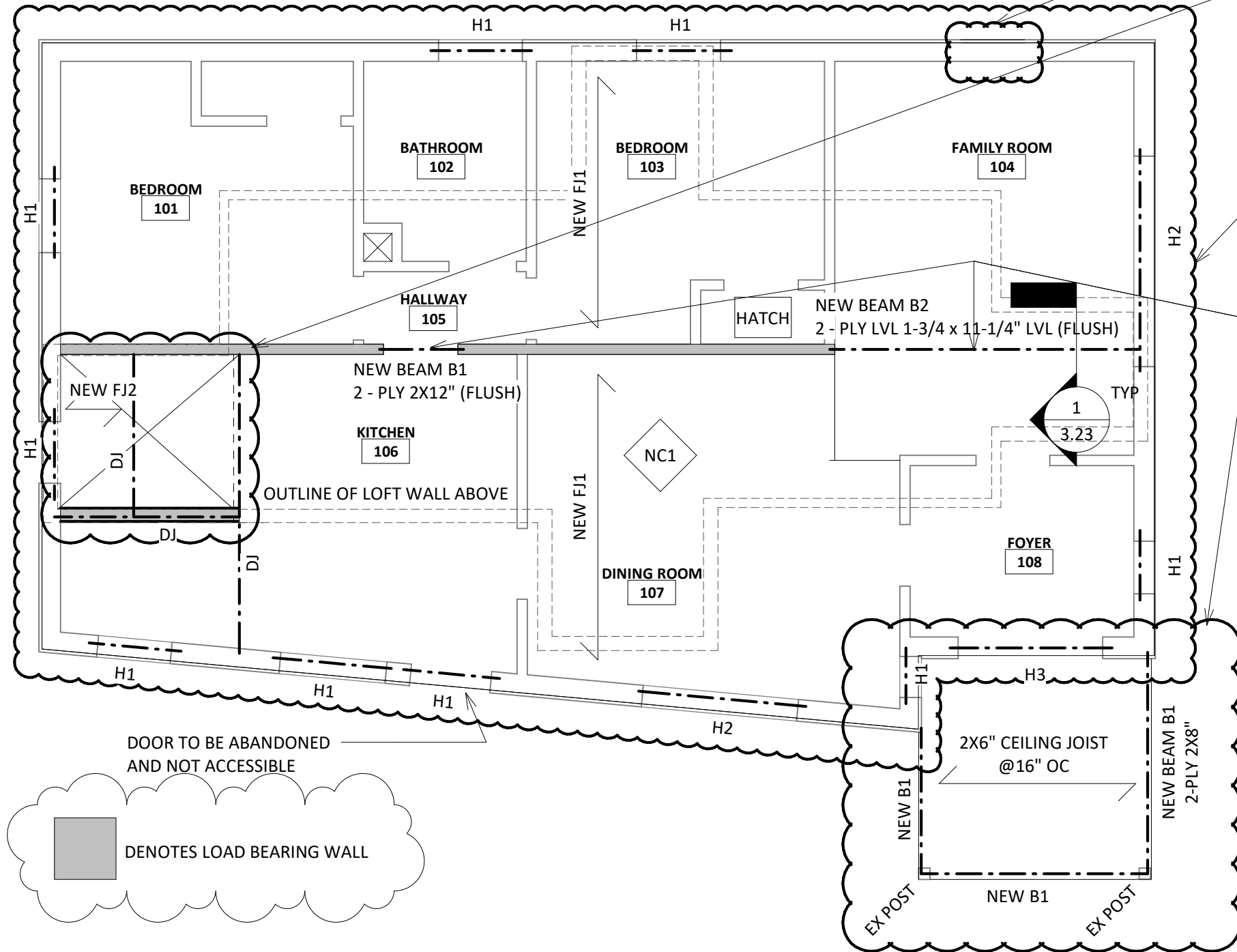
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PROJECT  
NORTH



- CONDUCT MASONRY REPAIR AT FORMER CHIMNEY LOCATION.
- REPLACE LOAD BEARING WALL, NEW WALL SHALL ALIGN BETWEEN LEVELS, NEW WALL SHALL BE AS OUTLINE IN THE RENOVATION PLAN AND RENOVATION SCHEDULES.
- REPLACE LANDING JOISTS, NEW JOISTS "FJ2" SHALL COMPRISE OF 2X6" @ 16" OC.
- SUPPLY AND INSTALL DOUBLE JOIST AT ALL INTERSECTING STRINGER LOCATIONS.
- REPLACE FLOOR JOISTS TO MATCH EXISTING UNDERSIDE ELEVATION AND AS OUTLINED ON THE PLANS, INCLUDING LOCATIONS OF DOUBLE JOISTS. NEW FLOOR JOISTS "FJ1" SHALL COMPRISE 2X12" @ 16" OC.
- REPLACE TWO FLUSH BEAMS.
- REPLACE CANOPY FRAMING AS NOTED ON THE PLANS. NEW JOIST TO MATCH TOP ELEVATION OF JOISTS ATOP LIVING SPACE. UNDER TEMPORARY SUPPORT TO THE SUPPORTED FRAMING, REMOVE AND REPLACE THE COLUMNS IF NECESSARY TO ACHIEVE THE REQUISITE HEIGHT TO SUPPORT THE NEW CANOPY ROOF BEAMS

HEADER SCHEDULE

H1 = 2 L 3-1/2 x 3-1/2 x 5/16"  
H2 = 2 L 6 x 4 x 7/16"  
H3 = 2 L 5 x 3 -1/2 x 5/16"

HEADER NOTES:

DOUBLE ANGLES LINTELS TO BE BACK TO BACK WITH LONG LEG VERTICAL

INTERCONNECT ANGLES AT TOP & BOTTOM WITH 1/4" FILLET WELDS 2" LONG @ 12" OC SPACED ALONG LENGTHS AND AT ENDS.

NEW HEADER OR BEAM TO MATCH EXISTING, CONTACT ELEMENT FORENSIC ENGINEERING FOR DIRECTIONS SHOULD THE EXISTING HEADER OR BEAM BE LESS THAN THE SPECIFIED MINIMUM.

1 RENOVATION PLAN\_LEVEL 1\_STRUCT  
3/16" = 1'-0"

FLOOR PLAN OF LEVEL 1 TO REMAIN UNALTERED



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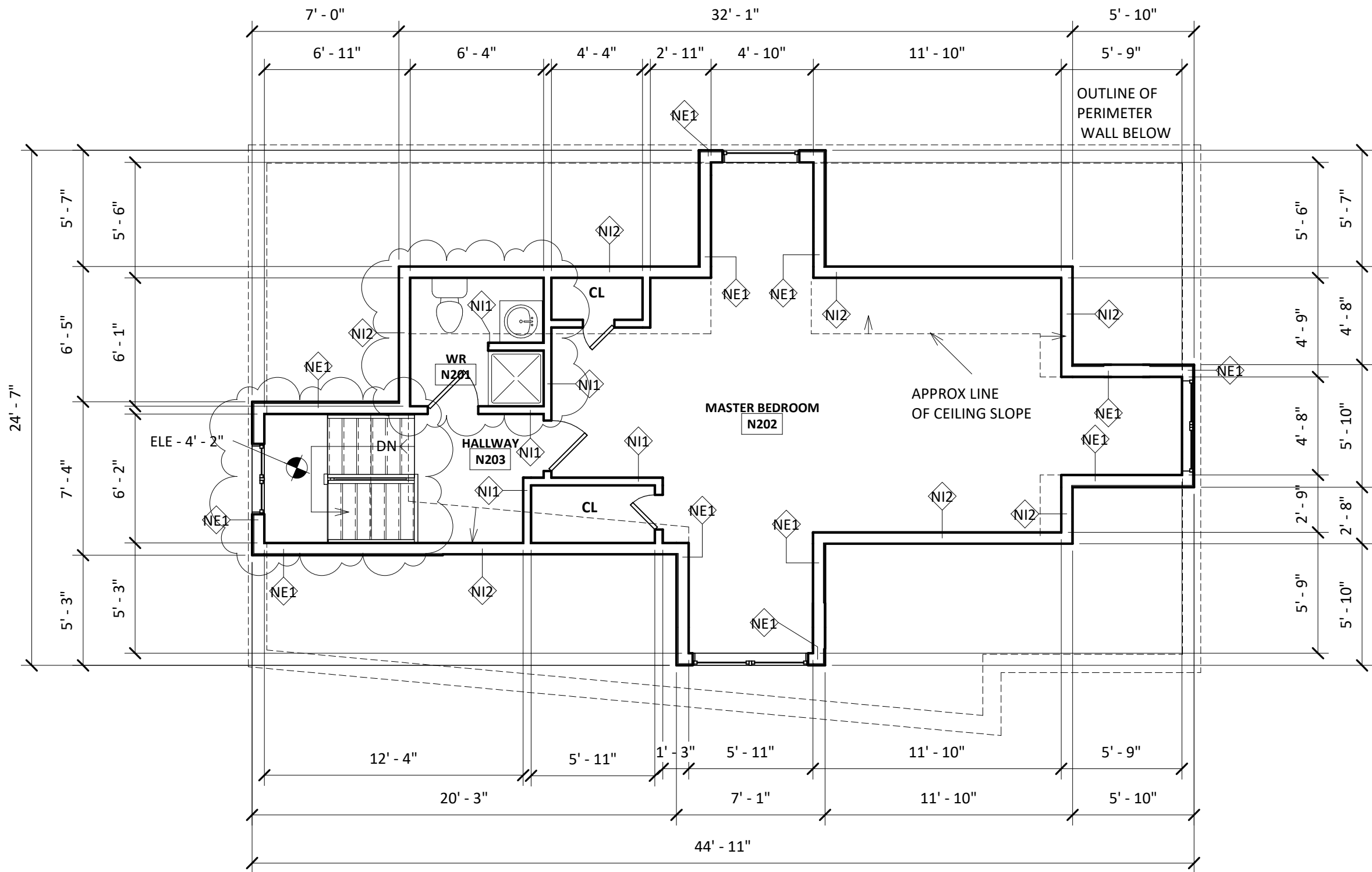
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1

RENOVATION PLAN\_LEVEL 2\_ARCH A  
3/16" = 1'-0"

PROPOSED LEVEL 2 FLOOR AREA: 472.38 SF



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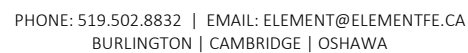


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A circular professional engineer seal for the Province of Ontario. The outer ring contains the text "LICENSED PROFESSIONAL ENGINEER" at the top and "PROVINCE OF ONTARIO" at the bottom. The center of the seal features a signature, the name "J.G. MARTIN", the license number "100168670", and the expiration date "JUL 23/21".

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SHEET

**A3.07**



PROJECT  
NORTH

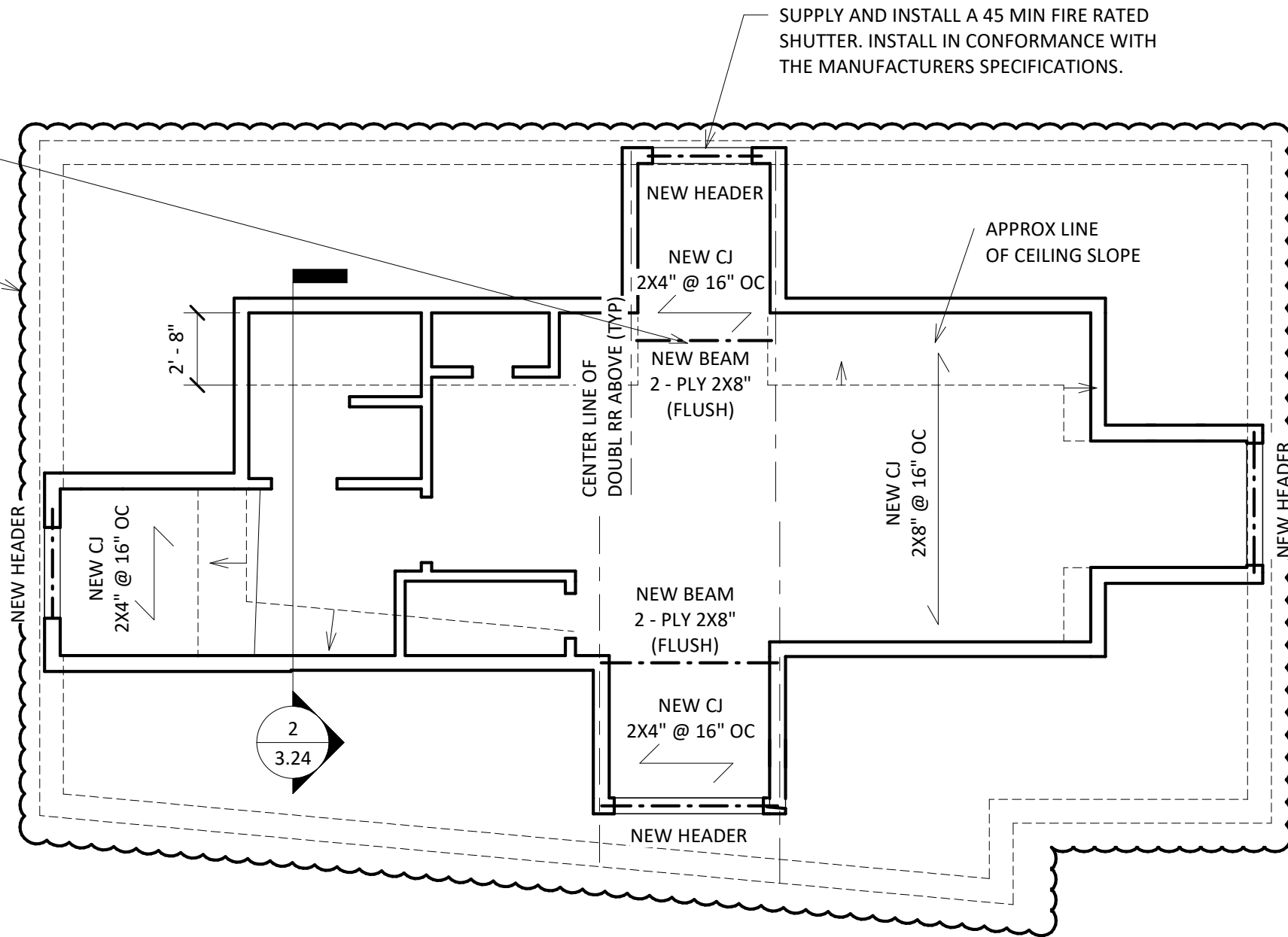
SUPPLY AND INSTALL NEW FLUSH BEAM,  
NEW BEAM AS PER PLAN SECURED TO  
ADJACENT ROOF RAFTERS.

REPLACE CEILING JOIST TO MATCH UNDERSIDE  
ELEVATION, NEW CEILING JOIST AS PER PLAN  
ALIGN AND INTERCONNECT CEILING JOISTS  
WITH RAFTERS. FOR INSTALLATION PURPOSES,  
THE CEILING JOISTS SHALL ACT AS COLLAR  
TIES.

CONTRACTOR SHALL COORDINATE CEILING  
ABOVE STAIRWAY TO ENSURE CLEAR HEIGHT  
OVER STAIRS MEETS THE REQUIREMENTS  
OF OBC PART 9, SECTION 9.8.2.2.

REPLACE LEVEL 2 INTERIOR AND EXTERIOR  
WALLS, INCLUSIVE OF HEADERS AND BEAM.  
NEW FRAMING AS OUTLINED ON THE  
RENOVATION PLAN AND NEW WALL  
SCHEDULE. NEW HEADERS SHALL COMPRISE  
2 - PLY 2X8".

REMOVE AND REPLACE DAMAGED SUBFLOOR.  
NEW SUBFLOOR SHALL BE CONDUCTED WITH  
EXTERIOR GRADE PLYWOOD, INSTALLED IN  
FULL SHEETS WHERE FEASIBLE, MATCHING  
EXISTING.



1

## RENOVATION PLAN LEVEL 2 STRUCT

3/16" = 1'-0"



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SAME, REPORTING ANY DISCREPANCIES TO  
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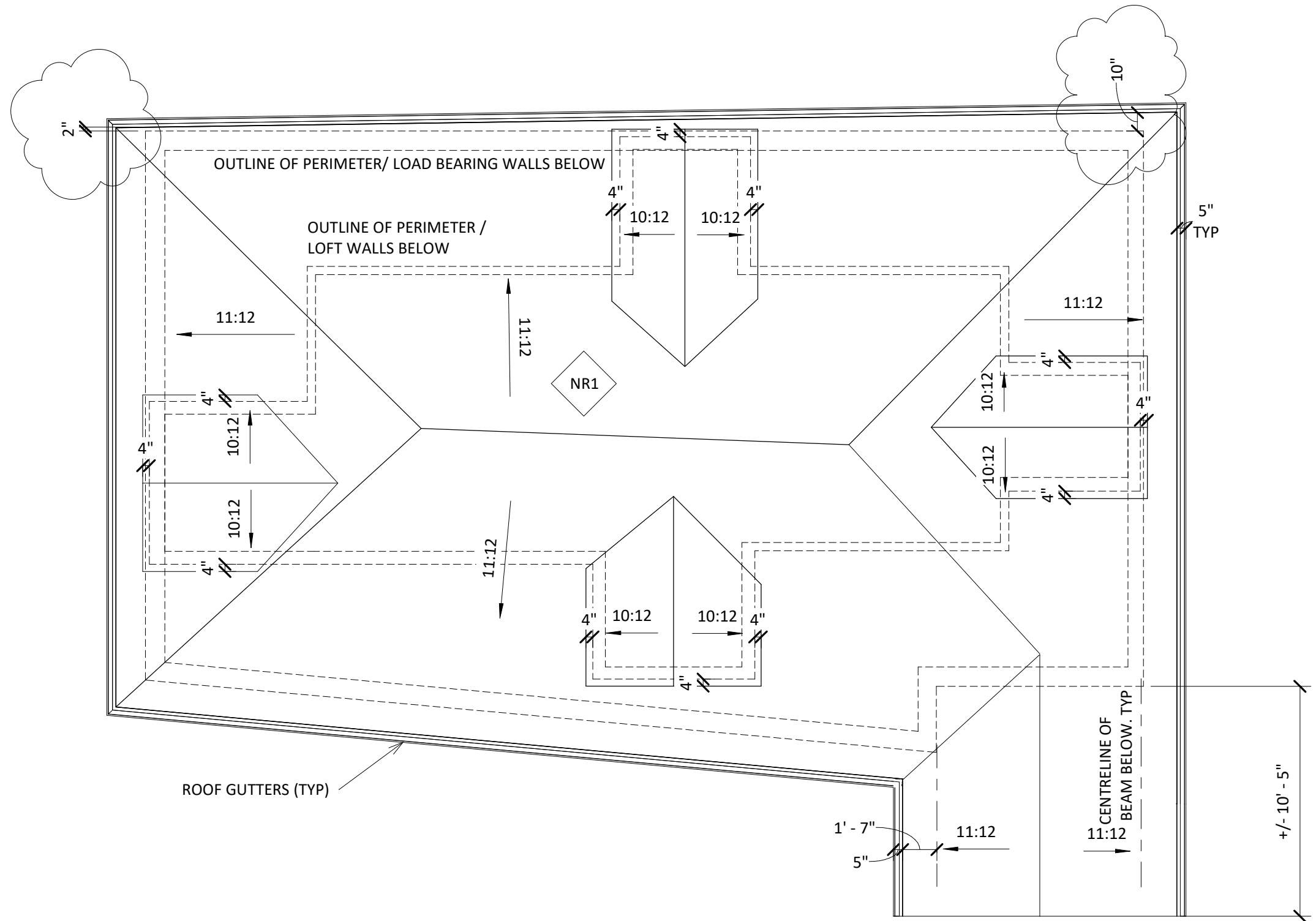
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THE BUILDING FOR CONFORMITY WITH THE  
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PROJECT  
NORTH



1 RENOVIATION PLAN \_ROOF\_ARCH A  
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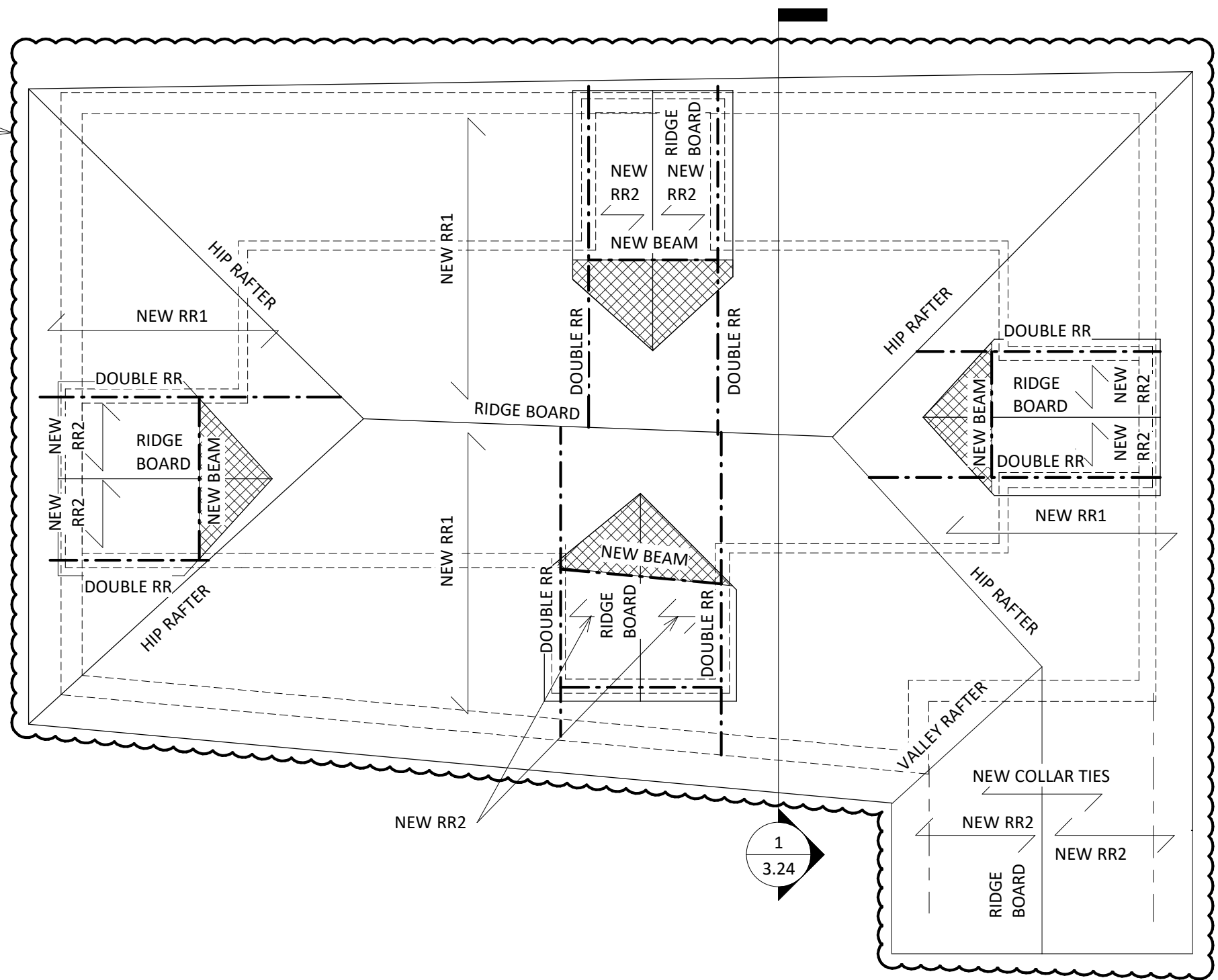
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TITLE RENOVATION PLANS	SHEET A3.09



REPLACE THE ROOF FRAMING, INCLUSIVE OF ROOF RAFTERS, RIDGE BOARDS, HIP RAFTERS AND COLLAR TIES, MAINTAIN EXISTING INTERIOR HEAD HEIGHT OF ALL ROOF FRAMING ELEMENTS.

- NEW ROOF RAFTER (RR1) TO BE 2X12" @ 16" OC, W/2X2" CROSS PURLINS. NEW RIDGE BOARD TO BE 1 3/4" X 14" LVL.
- NEW ROOF RAFTER (RR2) TO BE 2X6" @ 16" OC. NEW RIDGE BOARD TO BE 2X8".
- NEW COLLAR TIES (WITHING THE CANOPY) TO BE 2X4" @ 16" OC LOCATED AT MID HEIGHT.
- NEW BEAM SHALL BE 2 - PLY 2X10".

NEW SHINGLES SHALL MATCH PRE-LOSS.  
SUPPLY AND INSTALL EAVE PROTECTION AT THE BASE OF THE ROOF ASSEMBLY AND ALL VALLEYS.



1 RENOVATION PLAN - ROOF STRUCT  
3/16" = 1'-0"



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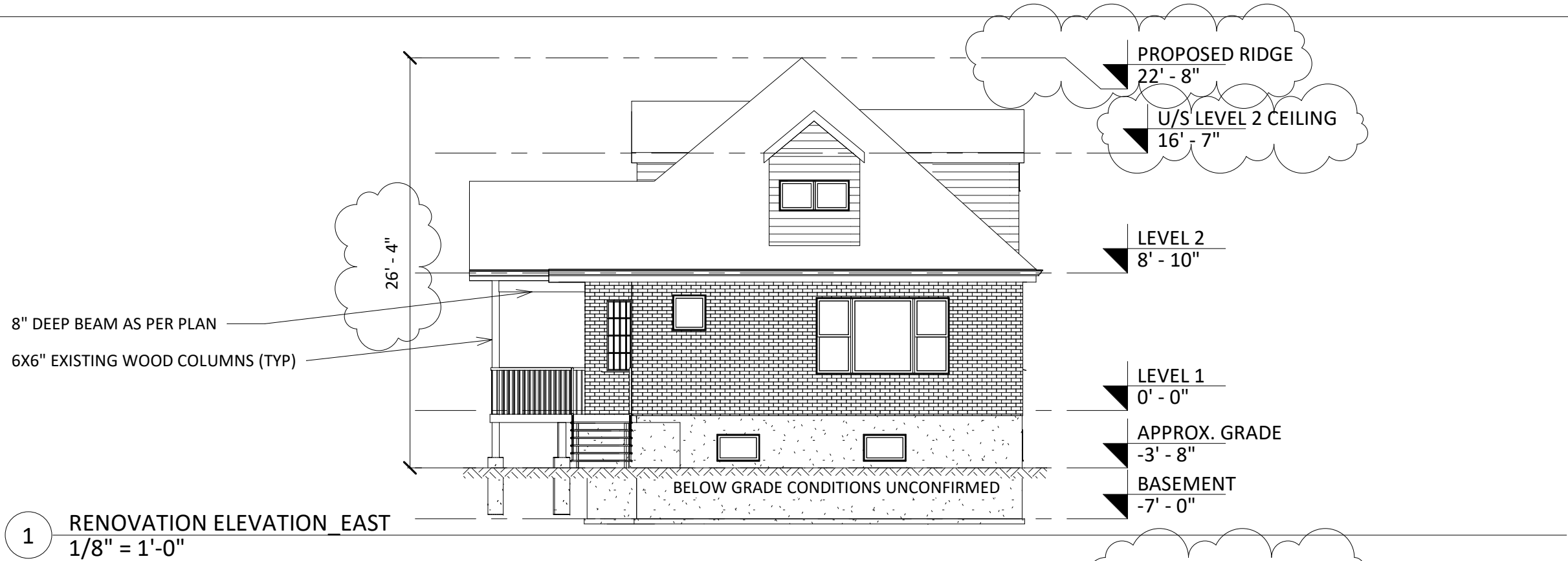


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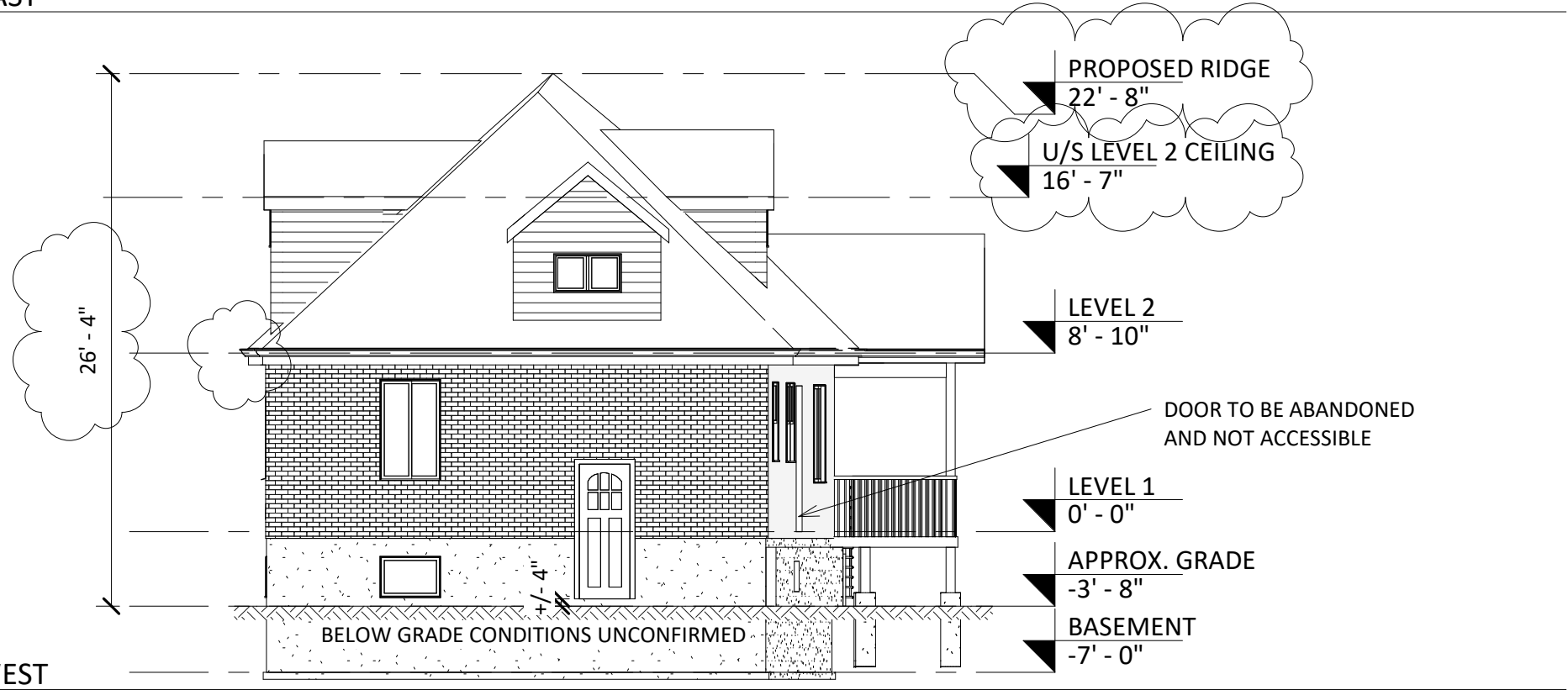
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1 RENOVATION ELEVATION EAST  
1/8" = 1'-0"



2 RENOVATION ELEVATION WEST  
1/8" = 1'-0"



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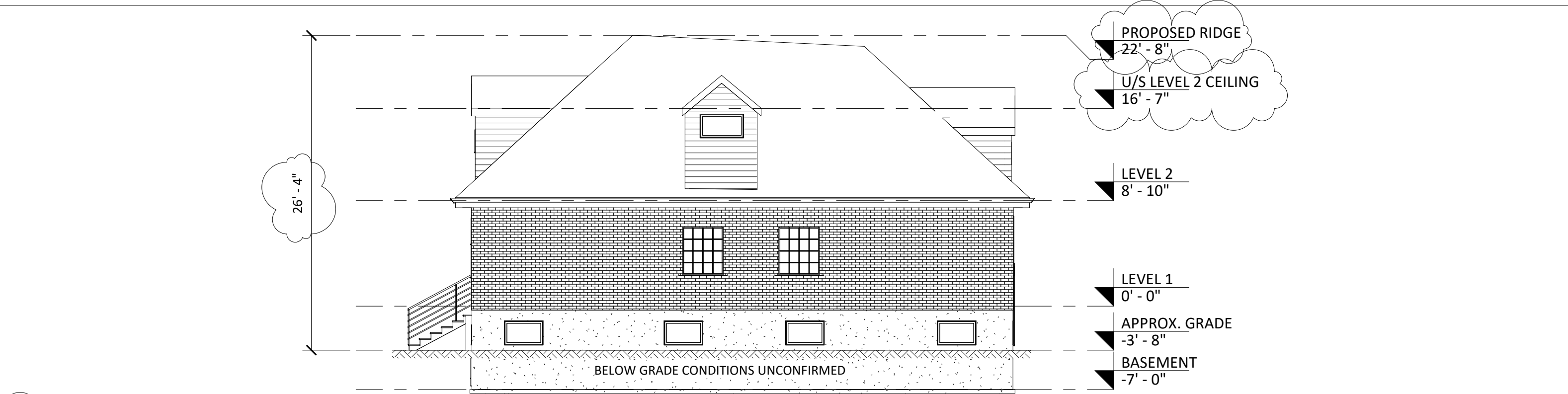
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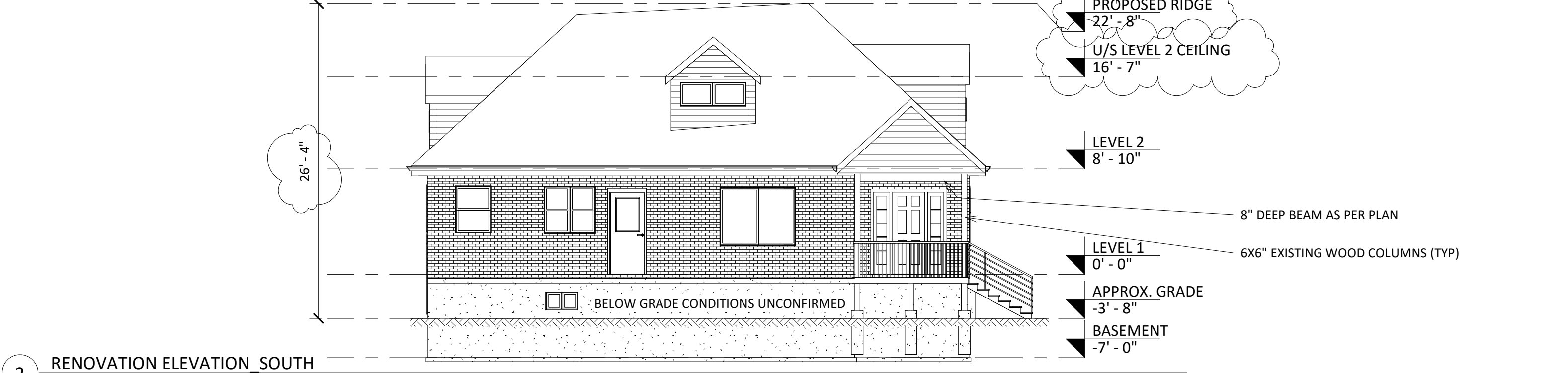
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TITLE RENOVATION ELEVATIONS	SHEET A2.03



1 RENOVATION ELEVATION\_ NORTH  
1/8" = 1'-0"



2 RENOVATION ELEVATION\_ SOUTH  
1/8" = 1'-0"



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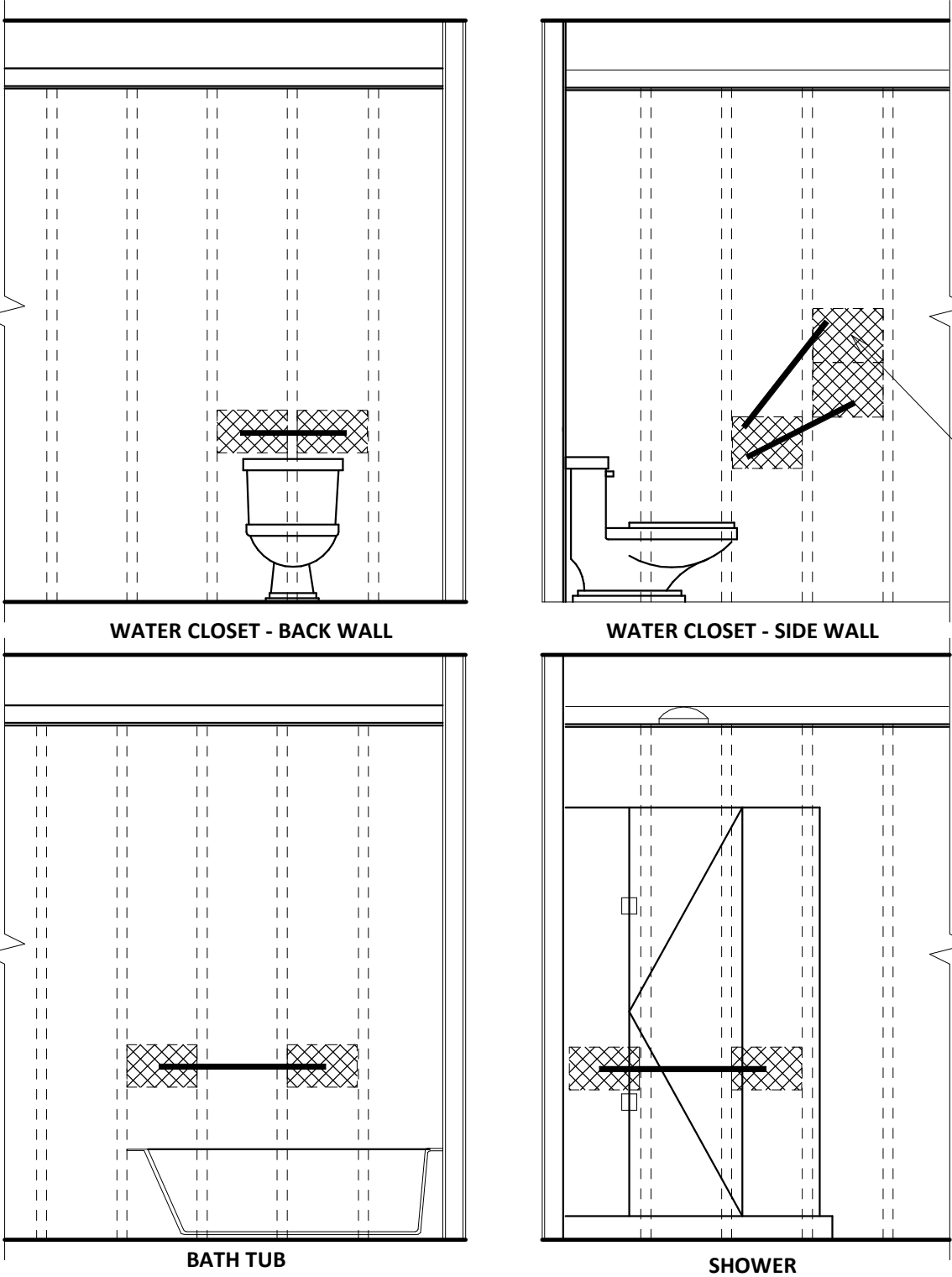


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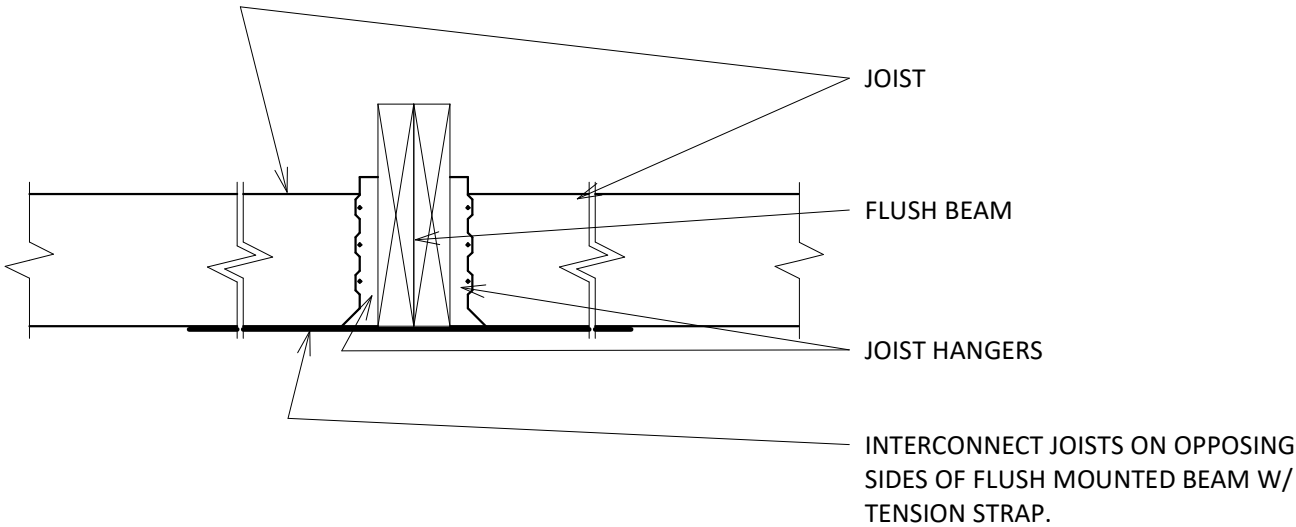
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TITLE RENOVATION ELEVATIONS	SHEET A2.04

GRAB BAR DETAILS  
NOT TO SCALE, ILLUSTRATED FOR DETAIL PURPOSES ONLY.



WHEN REQUIRED GRAB BARS SHALL BE PROVIDED WITH BLOCKING AND DESIGNED TO RESIST A LOAD OF NOT LESS THAN 1.3 KN APPLIED VERTICALLY AND HORIZONTALLY

SHADED AREAS INDICATES BLOCKING



1 TYPICAL JOIST TIE AT LEVEL 2 FLOOR FRAMING  
1 1/2" = 1'-0"



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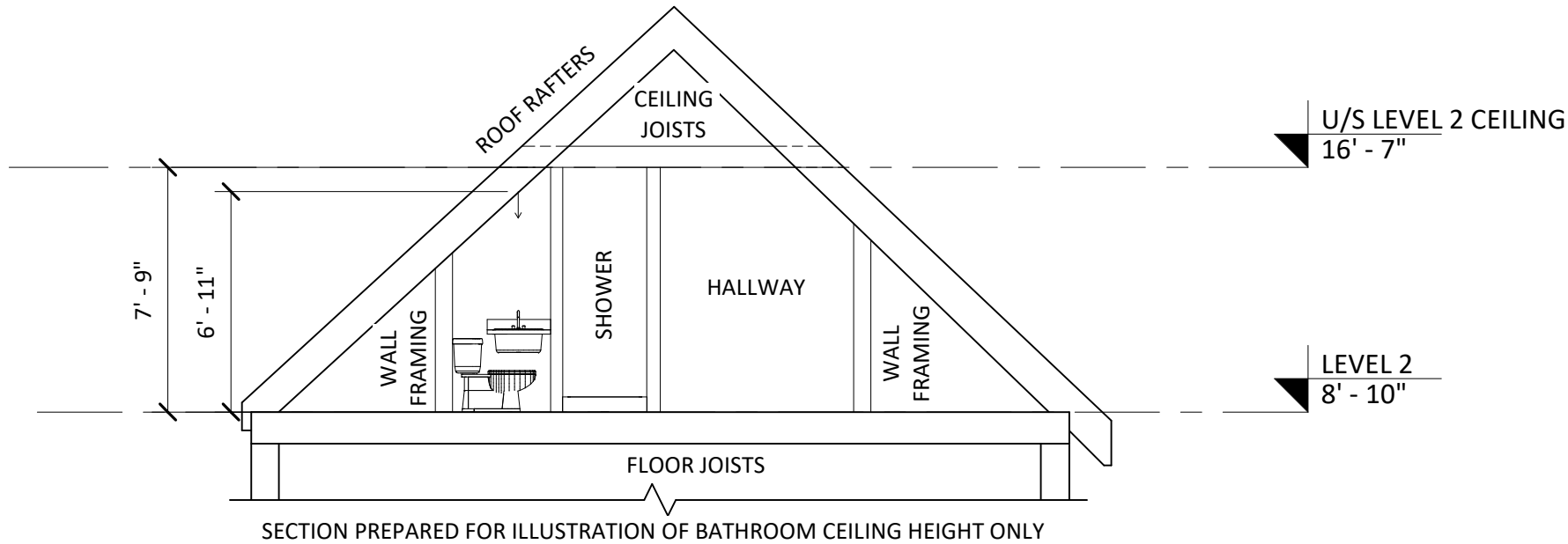
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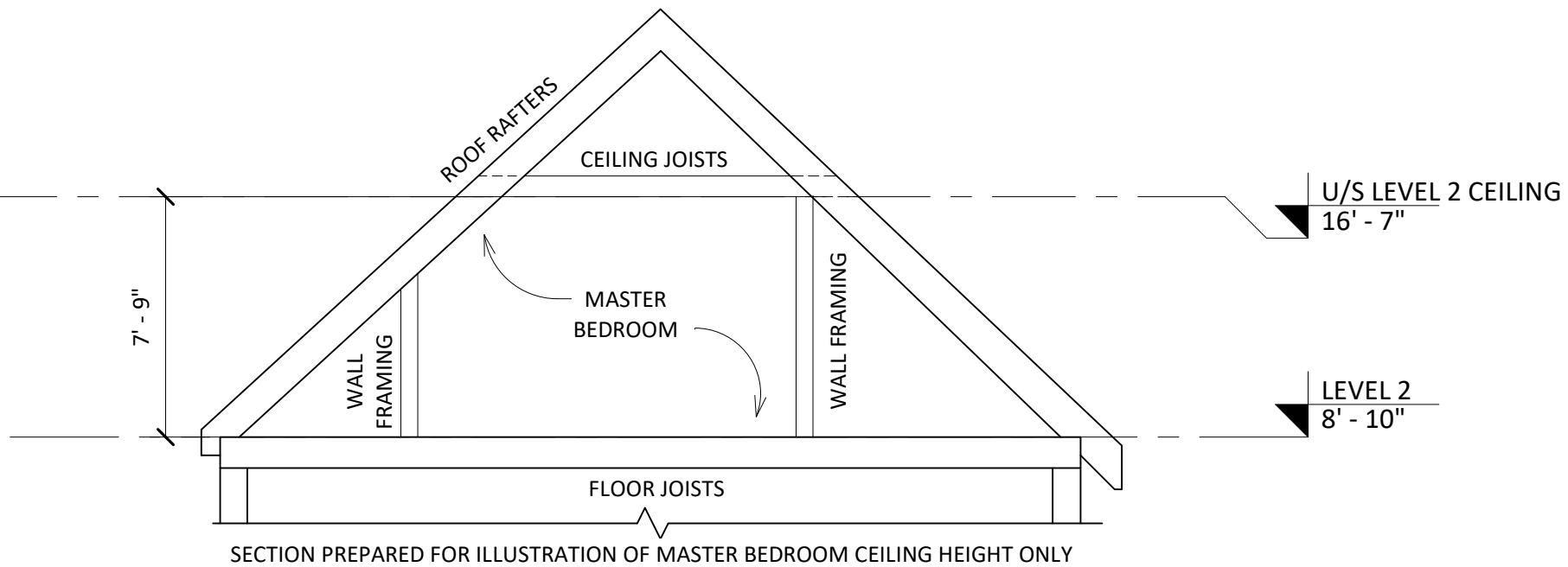
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TITLE RENOVATION SECTIONS AND DETAILS	SHEET A2.05



2 SECTION - BATHROOM - LEVEL 2  
3/16" = 1'-0"



1 SECTION - MASTER BEDROOM - LEVEL 2  
3/16" = 1'-0"



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TITLE RENOVATION SECTIONS AND DETAILS	SHEET A2.06



NR1

ROOF

TOP

RA

ASPHALT SHINGLES + ICE AND WATER SHIELD (AT BASE)

SHEATHING

PLYWOOD

STRUCTURE

REFER TO PLANS

INSULATION

BLOWN

FINISH

1/2" GYPSUM BOARD

BOTTOM

NI3

INTERIOR WALL

SIDE-INT

FINISH

1/2" GYPSUM BOARD

STRUCTURE

2X6" WOOD STUDS @ 16" OC

FINISH

1/2" GYPSUM BOARD

SIDE-INT

NE1

EXTERIOR WALL

SIDE - EXT

CLADDING

SIDING ②

SM

TYPAR/BUILDING PAPER

SHEATHING

PLYWOOD

STRUCTURE

2X6" WOOD STUDS @ 16" OC W/ STEEL CROSS BRACES

INSULATION

FIBERGLASS BATT (FILL STUD CAVITY)

VB&AB

6 MIL POLYETHYLENE

FINISH

1/2" GYPSUM BOARD ①

SIDE - INT

NC1

FLOOR

TOP

FINISH

VARIES

SUBFLOOR

PLYWOOD

STRUCTURE

REFER TO PLANS

FINISH

1/2" GYPSUM BOARD

BOTTOM

NI1

INTERIOR WALL

SIDE-INT

FINISH

1/2" GYPSUM BOARD

STRUCTURE

2X4" WOOD STUDS @ 16" OC

FINISH

1/2" GYPSUM BOARD

SIDE-INT

NI2

INTERIOR WALL

SIDE-INT

SHEATHING

PLYWOOD

STRUCTURE

2X6" WOOD STUDS @ 16" OC

INSULATION

FIBERGLASS BATT (FILL STUD CAVITY)

VB&AB

6 MIL POLYETHYLENE

FINISH

1/2" GYPSUM BOARD

SIDE-INT

RESTORATION WALL, FLOOR & ROOF ASSEMBLY SCHEDULE NOTES:

REFER TO EXISTING WALL, FLOOR & ROOF ASSEMBLY SCHEDULE FOR ADDITIONAL INFORMATION (INCLUDING WALL TAGS WHERE NOT OTHERWISE SHOWN).

NEW RATED ASSEMBLIES / NEW COMPONENTS OF FIRE RATED ASSEMBLIES SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE REFERENCED MMAH / ULC STANDARD.

① WHERE THE PROXIMITY OF ANY WALL IS LESS THAN 4’ 0” FROM THE PROPERTY LINE, AND THE WALL FINISHES ARE BEING REPLACED, THE WALL FINISH SHALL BE REVISED TO 5/8” TYPE “X” GYPSUM BOARD, INCLUDING BETWEEN INTERSECTING INTERIOR WALLS, JOIST POCKETS (ABOVE AND BELOW) AND ATTIC SPACE GABLE END WALLS, CONSTRUCTED IN CONFORMANCE WITH MMAH SUPPLEMENTAL STANDARDS SB-2; 2.3.4 METHOD OF CALCULATION, TO PROVIDE A 45 MINUTE FIRE RESISTANCE RATING. WITHIN JOIST POCKETS, THE PERIMETER OF THE GYPSUM BOARD SHALL BE FIRE CAULKED. ALONG GABLE END WALLS, THE GYPSUM BOARD SHALL EXTEND TO THE UNDERSIDE OF THE ROOF SHEATHING. REFER TO FIRE RESISTANCE RATING PLANS FOR ADDITIONS DETAILS WHERE APPLICABLE.

② WHERE THE PROXIMITY OF ANY WALL IS LESS THAN 2’ 0” FROM THE PROPERTY LINE, THE WALL SHALL BE CLAD WITH NONCOMBUSTIBLE MATERIAL.

PROPOSED ROOM SCHEDULE			
ROOM NUMBER	NAME	LEVEL	AREA
N201	WR	LEVEL 2	38 SF
N202	MASTER BEDROOM	LEVEL 2	385 SF
N203	HALLWAY	LEVEL 2	34 SF

PROPOSED WINDOW SCHEDULE				
WINDOW NUMBER	WIDTH	HEIGHT	SILL HEIGHT	LEVEL
N201	3' - 8"	2' - 0"	5' - 3"	LEVEL 2
N202	4' - 6"	2' - 0"	4' - 0"	LEVEL 2
N203	5' - 6"	2' - 0"	5' - 3"	LEVEL 2
N204	3' - 4"	1' - 11"	3' - 0"	LEVEL 2

PROPOSED DOOR SCHEDULE				
DOOR NUMBER	WIDTH	HEIGHT	SILL HEIGHT	LEVEL
N001	2' - 9"	5' - 8"	0' - 0"	BASEMENT
N201	1' - 6"	6' - 8"	0' - 0"	LEVEL 2
N202	2' - 5"	6' - 8"	0' - 0"	LEVEL 2
N204	1' - 8"	6' - 8"	0' - 0"	LEVEL 2
N205	2' - 5"	6' - 8"	0' - 0"	LEVEL 2



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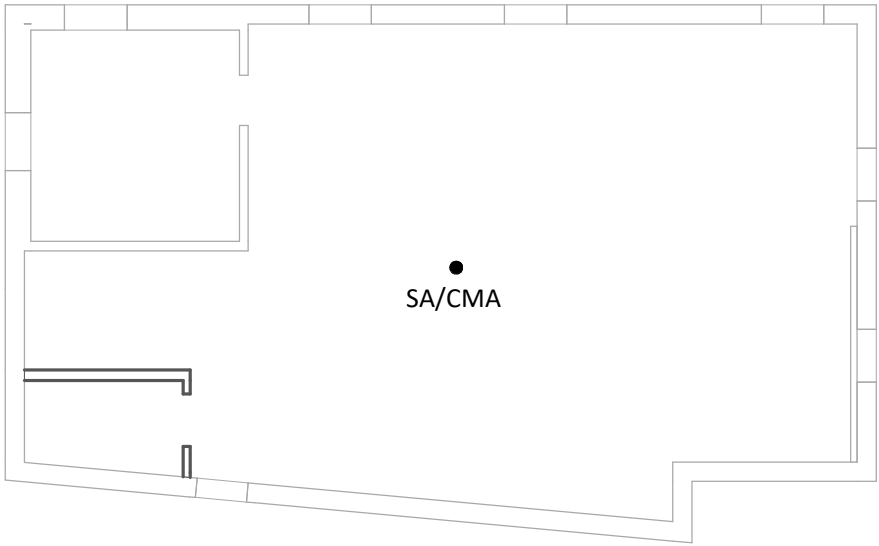
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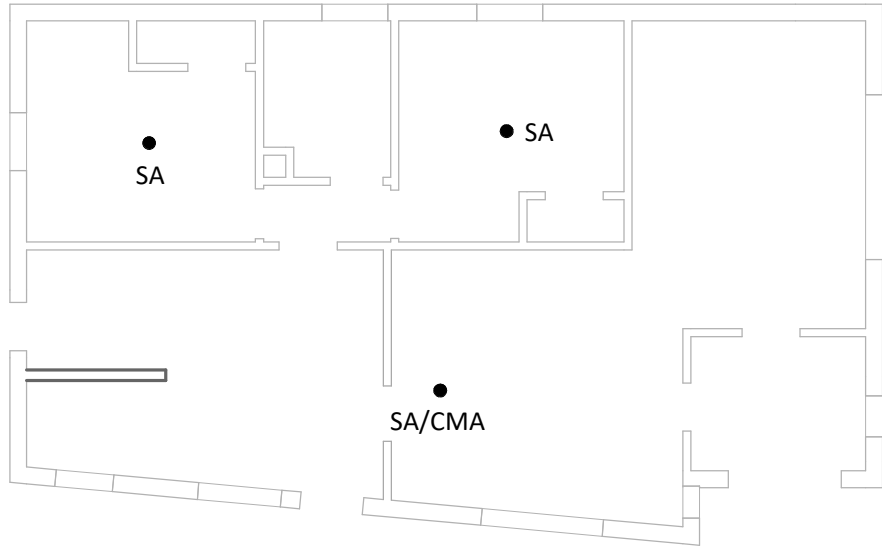
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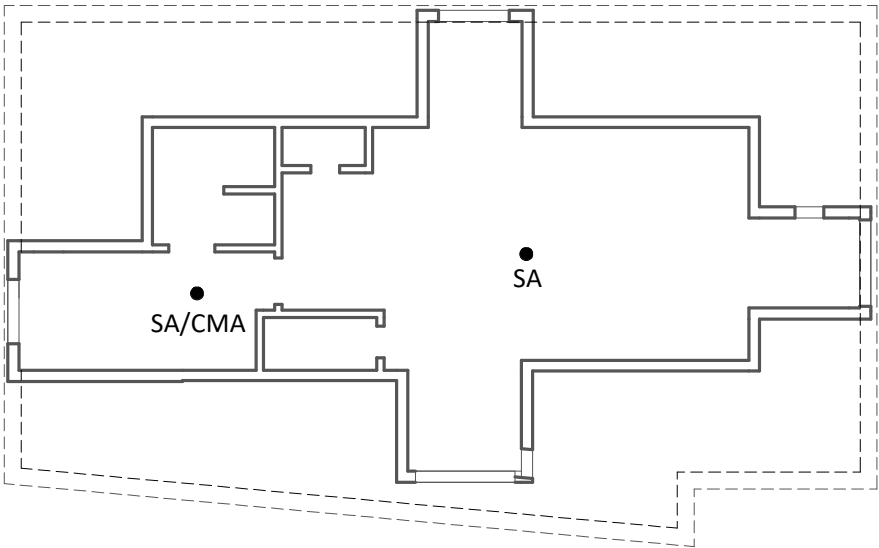
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TITLE RENOVATION SCHEDULES	SHEET S5.03



1 LIFE SAFETY PLAN BASEMENT  
1" = 10'-0"



2 LIFE SAFETY PLAN LEVEL 1  
1" = 10'-0"



3 LIFE SAFETY PLAN LEVEL 2  
1" = 10'-0"

LIFE SAFETY NOTES

THESE PLANS ARE INTENDED TO BE USED AS A GENERAL GUIDELINE IN CONFORMANCE WITH THE CURRENT OBC. MINOR VARIANCE IS PERMITTED, PROVIDED COMPLIANCE WITH THE 2012 OBC. PROPOSED LIFE SAFETY COMPONENTS ARE TO ONLY BE INSTALLED ON THE RESPECTIVE FLOOR WHERE FINISHES ARE SUBSTANTIALLY REMOVED. WHERE THE FINISHES ARE NOT REMOVED, LIFE SAFETY COMPONENTS ARE TO BE REINSTATED TO A PRE-LOSS LOCATION, PERFORMANCE AND CONDITION.



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TITLE LIFE SAFETY PLAN	SHEET S5.04

MATERIALS, SYSTEMS AND EQUIPMENT

WOOD

- ALL LUMBER SHALL BE SPRUCE-PINE-FIR NO. 1 & 2, AND SHALL BE IDENTIFIED BY A GRADE STAMP.
- ALL LVL SHALL HAVE A MODULUS OF ELASTICITY (E) = 2.0X10<sup>6</sup> PSI
- PLYWOOD SHALL BE EXTERIOR GRADE.
- MAXIMUM MOISTURE CONTENT 19% AT TIME OF INSTALLATION.
- WOOD FRAMING EXPOSED TO THE ELEMENTS IN THE FINAL CONDITION OR WITHIN 8" OF GRADE SHALL BE PRESSURE TREATED. ALL CUT ENDS OF PRESSURE TREATED WOOD FRAMING SHALL BE TREATED TO PREVENT DECAY.

CONCRETE

- TYPE "R"
- 3 1/8" +/- 1 1/8" SLUMP
- GARAGE AMD CARPORT FLOORS AND ALL EXTERIOR FLATWORK SHALL HAVE 5-8% AIR ENTRAINMENT.

ELEMENT	COMPRESSIVE STRENGTH*
GARAGE AND CARPORT FLOORS AND ALL EXTERIOR FLATWORK	4,640 PSI (32 MPA)
INTERIOR FLOORS OTHER THAN GARAGE AND CARPORT FLOORS	2,900 PSI (20 MPA)
ALL OTHER APPLICATIONS	2,175 PSI (15 MPA)

\* COMPRESSIVE STRENGTH IS MEASURED 28 DAYS AFTER CASTING

- NON-SHRINK GROUT 5,000 PSI (35 MPA) COMPRESSIVE STRENGTH AT 28 DAYS.
- STEEL

ELEMENT	GRADE
BEAMS	350W
COLUMNS	ASTM A500 GRADE C
LINTELS	300W

MASONRY

- 2,175 PSI (15 MPA) COMPRESSIVE STRENGTH AT 28 DAYS.
- TYPE "S" GROUT
- ALL MASONRY SHALL BE SUPPORTED ON MASONRY, CONCRETE OR STEEL.

FLASHING

- ALL REQUIRED FLASHING TO BE 28 GAUGE PRE-PAINTED.

DESIGN OF AREAS, SPACES AND DOORWAYS

DOORS AND WINDOWS

- EVERY FLOOR LEVEL CONTAINING A BEDROOM AND NOT SERVED BY AN EXTERIOR DOOR SHALL CONTAIN AT LEAST SERVED BY AN EXTERIOR DOOR SHALL CONTAIN AT LEAST WINDOW HAVING AN UNOBSTRUCTED OPEN AREA OF 0.35M2 AND NO DIMENSIONS LESS THAN 380MM, WHICH IS OPENABLE FROM THE INSIDE WITHOUT TOOLS, MAXIMUM SILL HEIGHT 1000MM FOR FIN FLOORS ABOVE GRADE.
- EXTERIOR HOUSE DOORS AND WINDOWS WITHIN 2000MM FROM GRADE SHALL BE CONSTRUCTED TO RESIST FORCED ENTRY. DOORS SHALL HAVE A DEADBOLT LOCK.
- THE PRINCIPAL ENTRY DOOR SHALL HAVE EITHER A DOOR VIEWER, TRANSPARENT GLAZING OR A SIDELIGHT .
- MAXIMUM U-VALUE 1.8 FOR WINDOWS AND SLIDING GLASS DOORS.

CLADDING

MASONRY VENEER

- MINIMUM 2-3/4" THICK IF JOINTS ARE NOT RAKED AND 3-1/2" THICK IF JOINTS ARE RAKED
- MINIMUM 1" AIR SPACE TO SHEATHING
- PROVIDE WEEP HOLES @ 2' 7-1/2" O.C. AT THE BOTTOM OF THE CAVITY AND OVER DOORS AND WINDOWS
- DIRECT DRAINAGE THROUGH WEEP HOLES WITH 20 MIL POLY FLASHING EXTENDING MINIMUM 6" UP BEHIND THE SHEATHING PAPER
- VENEER TIES MINIMUM 30 MIL THICK X 55/64" WIDE CORROSION RESISTANT STRAPS SPACED @ 1' 7-11/16" VERTICALLY AND 1' 11-5/8" HORIZONTALLY
- FASTEN TIES WITH CORROSION RESISTANT 1/8" DIAMETER SCREWS OR SPIRAL NAILS WHICH PENETRATE AT LEAST 1-1/4" INTO STUDS.
- STEEL LINTELS SHALL HAVE MIN 6" EVEN AND LEVEL BEARING AT END SUPPORTS.

REPOINTING

REPOINTING SHALL BE COMPLETED IN CONFORMANCE WITH THE REQUIREMENTS OF CAN/CSA A371-04. REPOINTING SHALL INCLUDE RAKING OUT MORTAR TO SOUND MATERIAL (MIN 1"). CONTRACTOR RESPONSIBLE FOR ANY AND ALL ASSOCIATED SHORING. CARE SHALL BE EXERCISED TO PREVENT DAMAGE TO THE REMAINING MATERIAL. RAKING SHALL LEAVE A CLEAN, SQUARE FACE AT BACK OF JOINT. JOINT GREATER THAN 1" SHALL BE POINTED WITH AN INITIAL LAYER TO BRING THE DEPTH TO A UNIFORM 1" DEEP.

SHEATHING MEMBRANE

- INSTALLED HORIZONTALLY SO THAT JOINTS ARE LAPPED NOT LESS THAN 4" (UPPER SHEETS TO OVERLAP THE LOWER SHEETS)
- NEW SHEATHING MEMBRANE SHALL BE TIED INTO EXISTING

FLASHING

REINSTATE THROUGH WALL FLASHING AT BASE OF WALL ASSEMBLY AND OPENINGS.

STAIRS, RAMPS, HANDRAILS AND GUARDS

DESIGN BY OTHERS UNO

HANDRAILS AND GUARDS

- A HANDRAIL IS REQUIRED FOR INTERIOR STAIRS CONTAINING MORE THAN 2 RISERS AND EXTERIOR STAIRS CONTAINING MORE THAN 3 RISERS.
- GUARDS ARE REQUIRED AROUND EVERY ACCESSIBLE SURFACE WHICH IS MORE THAN 1' 11-5/8" ABOVE THE ADJACENT LEVEL AND WHERE THE ADJACENT SURFACES HAS A SLOPE MORE THAN 1:2.
- INTERIOR AND EXTERIOR GUARDS MINIMUM 2' 11-7/16" HEIGHT EXTERIOR GUARDS SHALL BE 3' 6-1/8" HIGH WHERE HEIGHT ABOVE ADJACENT SURFACE EXCEEDS 5' 10-3/4".
- GUARDS SHALL HAVE OPENINGS SMALLER THAN 3-15/16" AND NO MEMBER BETWEEN 5-1/2" AND 2' 11-1/2" THAT WILL FACILITATE CLIMBING.
- GUARDS SHALL BE DESIGNED IN COMNFORMANCE WITH THE REQUIREMENTS OF OBC PART 9, SECTION 9.8.7 AND 9.8.8

STAIRS

	PRIVATE	PUBLIC
MAXIMUM RISE	7-7/8"	7-3/32"
MINIMUM RUN	8-17/64"	11-1/32"
MINIMUM TREAD	9-1/4"	NO LIMIT
MINIMUM HEAD ROOM	6' 4-49/64"	6' 8-45/64"
MINIMUM WIDTH	2' 9-55/64"	2' 11-7/16"*

- CURVED STAIRS SHALL HAVE A MINIMUM RUN OF 6" AT ANY POINT AND A MINIMUM AVERAGE RUN OF 8"MM.
- WINDERS WHICH CONVERGE TO A POINT IN STAIRS MUST TURN THROUGH AN ANGLE OF NO MORE THAN 90 DEGREES, WITH NO LESS THAN 30 DEGREES OR MORE THAN 45 DEGREES PER TREAD. SETS OF WINDERS MUST BE SEPARATED BY 47-1/4" ALONG THE RUN OF THE STAIR .
- A LANDING IS REQUIRED AT THE TOP OF ANY STAIR LEADING TO THE PRINCIPAL ENTRANCE TO A DWELLING AND OTHER EXTERIOR ENTRANCES WITH MORE THAN 3 RISERS.
- THE MAXIMUM VERTICAL HEIGHT BETWEEN ANY LANDINGS SHALL NOT EXCEED 12' 1-43/64".
- EXTERIOR CONCRETE STAIRS WITH MORE THAN 2 RISERS REQUIRE FOOTINGS.

\*OR 5/16" PER PERSON BASED ON CODE PRESCRIBED OCCUPANT LOAD, WHICH EVER IS GREATER.

FLOORING

CERAMIC TILE

WHEN CERAMIC TILE IS APPLIED TO A MORTAR BED WITH ADHESIVE, THE BED SHALL BE A MINIMUM ½" THICK AND REINFORCED WITH GALVANIZED DIAMOND MESH LATH, APPLIED OVER POLYETHYLENE ON SUBFLOORING ON JOISTS AT NO MORE THAN 16" O.C. WITH AT LEAST 2 ROWS CROSS BRIDGING.

STRUCTURAL REQUIREMENTS

DESIGN LOADS (UNFACTORED)

FLOOR	
LIVE LOAD:	40 PSF (1.9 KPA)
DEAD LOAD:	16 PSF (0.75 KPA)
ROOF	
SNOW LOAD:	26 PSF (1.25 KPA)
DEAD LOAD:	16 PSF (.75 KPA)
WIND UPLIFT:	50 PSF (2.4 KPA)

WHEN REFERENCING THE PRESCRIBED TABLE OF THE ONTARIO BUILDING CODE, THE SPECIFIED DESIGN LOADS SHALL BE ROUNDED UP.



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-LATEST APPROVED DRAWINGS GOVERN CONSTRUCTION.  
-DO NOT SCALE DRAWINGS.



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DEMOLITION AND EXCAVATION

DEMOLITION OF STRUCTURES

-SHALL NOT INTERFERE WITH THE USE OF ADJACENT BUILDINGS. MAINTAIN FREE AND SAFE PASSAGE TO AND FROM.

-PREVENT MOVEMENT OR SETTLEMENT OF ADJACENT STRUCTURES. CONTRACTOR IS LIABLE FOR ANY SUCH MOVEMENT OR SETTLEMENT AND ANY DAMAGE OR INJURY CAUSED.

-CEASE OPERATIONS AND NOTIFY ELEMENT FORENSIC ENGINEERING IMMEDIATELY IF SAFETY OF ANY ADJACENT STRUCTURES APPEAR TO BE ENDANGERED. TAKE ALL PRECAUTIONS TO PROPERLY SUPPORT THESE STRUCTURES. DO NOT RESUME OPERATIONS UNTIL PERMISSION IS GRANTED BY ELEMENT FORENSIC ENGINEERING.

-REPAIR ALL DEMOLITION PERFORMED IN EXCESS OF THAT INDICATED OR REQUIRED, TO THE APPROVAL OF ELEMENT FORENSIC ENGINEERING AND AT NO COST TO THE OWNER.

-TAKE PARTICULAR CARE IN AREAS OF NEW WORK ENSURING PROTECTION OF EXISTING FOUNDATIONS AND SUPPORTING STRUCTURES. PROVIDE UNDERPINNING WORK FOR THE PROTECTION OF EXISTING FOUNDATIONS IF REQUIRED DUE TO THE SITE CONDITIONS.

-THE USE OF EXPLOSIVES, LASERS AND BURNING OF MATERIALS ON SITE IS NOT PERMITTED.

-WHERE BACKFILLING IS SPECIFIED, THE BACKFILL SHALL BE COMPLETED WITH CRUSHED BRICK, STONE AND CONCRETE RECOVERED FROM THE DEMOLITION, SUPPLEMENTED, AS NECESSARY, WITH IMPORTED MATERIAL. ALL BACKFILL SHALL BE FREE FROM FROZEN LUMPS, CINDERS, ASHES, REFUSE, VEGETABLE OR ORGANIC MATTER, ROCKS AND BOULDERS OVER 150 MM IN ANY DIMENSION, AND OTHER DELETERIOUS MATERIAL. PRIOR TO IMPORTING, ELEMENT FORENSIC ENGINEER SHALL APPROVE MATERIAL SELECTION, THE INTENT BEING THAT THIS MATERIAL, IF LATER REMOVED, CAN BE RECYCLED AS OPPOSED TO BEING LANDFILLED. THE TOP 2’ OF THE BACKFILL SHALL BE COMPLETED WITH GRANULAR B COMPACTED IN 12” LIFTS WITH PRUDENT USE OF WATER.

-REMOVE ALL DEMOLISHED MATERIAL, DEBRIS, TOOLS AND EQUIPMENT FROM THE SITE UPON COMPLETION OF WORK. LEAVE THE SITE IN A CONDITION ACCEPTABLE TO ELEMENT FORENSIC ENGINEERING.

-WHERE NECESSARY, THE WORK SHALL BE SPRAYED PERIODICALLY WITH WATER TO REDUCE DUST. PRECAUTIONS SHALL BE TAKEN TO PREVENT MATERIAL FROM BEING BLOWN FROM THE BUILDING STRUCTURE AND SITE BY STRONG WIND, OR FROM TRUCKS MOVING DEMOLITIONS MATERIALS FROM THE SITE. ALL MATERIALS FROM THE BUILDING SHALL BE PREVENTED FROM ENTERING THE MUNICIPAL SEWERS OR WATER SOURCES.

-DEMOLITION SHALL BE CARRIED OUT IN AN ORDERLY AND CAREFUL MANNER, AND CONFORM TO THE MUNICIPAL AND PROVINCIAL SAFETY REGULATIONS AND STANDARDS. EXCEPT AS OTHERWISE NOTED OR CLARIFIED, THE SEQUENCE SHALL BE IN REVERSE TO ORIGINAL CONSTRUCTION OF THE BUILDING.

EXCAVATION AND BACKFILL

-EXCAVATION SHALL BE UNDERTAKEN IN A MANNER SO AS TO PREVENT MOVEMENT WHICH WOULD CAUSE DAMAGE TO ADJACENT PROPERTY, STRUCTURES, UTILITIES, ROADS AND SIDEWALKS. CONTRACTOR TO CONTACT LOCAL UTILITIES PRIOR TO COMMENCING EXCAVATION.

-THE TOPSOIL AND VEGETABLE MATTER IN UNEXCAVATED AREAS UNDER A BUILDING SHALL BE REMOVED. THE BOTTOM OF EXCAVATIONS FOR FOUNDATIONS SHALL BE FREE OF ALL ORGANIC MATERIAL.

-IF TERMITES ARE KNOWN TO EXIST, ALL STUMPS, ROOTS AND WOOD DEBRIS SHALL BE REMOVED TO A MINIMUM OF 300MM IN EXCAVATED AREAS UNDER A BUILDING, AND THE CLEARANCE BETWEEN UNTREATED STRUCTURAL WOOD ELEMENTS AND THE GROUND SHALL BE NO LESS THAN 450MM.

-BACKFILL WITHIN 600MM OF THE FOUNDATION WALLS SHALL BE FREE OF DELETERIOUS DEBRIS AND BOULDERS OVER 250MM IN DIAMETER.

ROOFING

-FASTENERS FOR ROOFING SHALL BE CORROSION RESISTANT. ROOFING NAILS SHALL PENETRATE THROUGH OR AT LEAST ½” INTO ROOF SHEATHING

-EVERY ASPHALT SHINGLE SHALL BE FASTENED WITH AT LEAST 4 NAILS FOR 3’ 3” WIDE SHINGLE

-EAVE PROTECTION SHALL EXTEND 3’ UP THE ROOF SLOPE FROM THE EDGE, AND AT LEAST 12” FROM THE INSIDE FACE OF THE EXTERIOR WALL, AND SHALL CONSIST OF TYPE M OR TYPE S ROLL ROOFING LAID WITH MINIMUM 4” HEAD AND END LAPS CEMENTED TOGETHER, OR GLASS FIBRE OR POLYESTER FIBRE COATED BASE SHEETS, OR SELF SEALING COMPOSITE MEMBRANES CONSISTING OF MODIFIED BITUMINOUS COATED MATERIAL OR NO. 15 SATURATED FELT LAPPED AND CEMENTED. EAVE PROTECTION IS NOT REQUIRED FOR UNHEATED BUILDINGS, FOR ROOFS EXCEEDING A SLOPE OF 1 IN 1.5, OR WHERE A LOW SLOPE ASPHALT SHINGLE APPLICATION IS PROVIDED

-OPEN VALLEYS SHALL BE FLASHED WITH 2 LAYERS OF ROLL ROOFING, OR 1 LAYER OF SHEET METAL MIN 24” WIDE

-FLASHING SHALL BE PROVIDED AT THE INTERSECTION OF SHINGLE ROOFS WITH EXTERIOR WALLS AND CHIMNEYS

-SHEET METAL FLASHING SHALL CONSIST OF NOT LESS THAN 68 MIL SHEET LEAD, 13 MIL GALVANIZED STEEL, 1/64” COPPER, 14 MIL ZINC, OR 19 MIL ALUMINUM

ELECTRICAL FACILITIES

ELECTRICAL

-AN EXTERIOR LIGHT CONTROLLED BY AN INTERIOR SWITCH IS REQUIRED AT EVERY ENTRANCE.

-A LIGHT CONTROLLED BY A SWITCH IS REQUIRED IN EVERY KITCHEN, BEDROOM, LIVING ROOM, UTILITY ROOM, LAUNDRY ROOM, DINING ROOM, UTILITY ROOM LAUNDRY ROOM, DINING ROOM, BATHROOM, VESTIBULE, HALLWAY, GARAGE AND CARPORT. A SWITCHED RECEPTACLE MAY BE PROVIDED INSTEAD OF A LIGHT IN BEDROOMS AND LIVING ROOMS.

-STAIRS SHALL BE LIGHTED, AND EXCEPT WHERE SERVING AN UNFINISHED BASEMENT SHALL BE CONTROLLED BY A 3 WAY SWITCH AT THE HEAD AND FOOT OF THE STAIRS.

-BASEMENTS REQUIRE A LIGHT FOR EACH 323 FT<sup>2</sup>, CONTROLLED BY A SWITCH AT THE HEAD OF THE STAIRS.

CRAWL SPACES AND ATTIC SPACES

ACCESS TO ATTICS AND CRAWLSPACES

-ACCESS HATCH MINIMUM 1’ 9-1/2 X 1’ 11-1/4” TO BE PROVIDED TO EVERY ROOF SPACE WHICH IS 100 FT<sup>2</sup> OR MORE IN AREA AND MORE THAN 1’ 11-5/8” IN HEIGHT

-ACCESS HATCH MINIMUM 1’ 7-3/4 X 2’ 3-1/2” TO BE PROVIDED TO EVERY CRAWL SPACE

PERMITS

NO PERSON SHALL CONSTRUCT OR DEMOLISH A BUILDING OR CAUSE A BUILDING TO BE CONSTRUCTED OR DEMOLISHED UNLESS A PERMIT HAS BEEN ISSUED THEREFORE BY THE CHIEF BUILDING OFFICIAL.

-CONSTRUCT MEANS TO DO ANYTHING IN THE ERECTION, INSTALLATION, EXTENSION OR MATERIAL ALTERATION OR REPAIR OF A BUILDING AND INCLUDES THE INSTALLATION OF A BUILDING UNIT FABRICATED OR MOVED FROM ELSEWHERE AND “CONSTRUCTION” HAS A CORRESPONDING MEANING.

-DEMOLISH MEANS TO DO ANYTHING IN THE REMOVAL OF A BUILDING OR ANY MATERIAL PART THEREOF AND “DEMOLITION” HAS A CORRESPONDING MEANING.

AT EACH STAGE OF CONSTRUCTION SPECIFIED IN THE BUILDING CODE, THE CONSTRUCTOR OR OTHER APPOINTED PERSON SHALL NOTIFY THE CHIEF BUILDING OFFICIAL, WHERE APPLICABLE TO THE PROJECT (REFER TO OBC DIVISION C, SECTION 1.3.5.1), AND WHERE MANDATED BY THE APPROVED PERMIT DOCUMENTS, ISSUED BY THE LOCAL MUNICIPAL BUILDING DEPARTMENT.

ELECTRICAL INSTALLATION, REPAIR AND REPLACEMENT WORK NEEDS TO BE DONE IN COMPLIANCE WITH THE ONTARIO ELECTRICAL SAFETY CODE. IT IS THE CONSTRUCTOR’S RESPONSIBILITY TO OBTAIN ALL/ANY PERMIT (ALSO CALLED A NOTIFICATION) NECESSARY UNDER THE ELECTRICAL SAFETY AUTHORITY (ESA).

HVAC SYSTEMS SHALL BE CLEANED, AS DETERMINED BY A QUALIFIED PERSON, IN ACCORDANCE WITH INDUSTRY STANDARD FOR THE ASSESSMENT, CLEANING AND RESTORATION OF HVAC SYSTEMS. SHOULD PARTIAL, SUBSTANTIAL OR COMPLETE REMOVAL AND REPLACEMENT BE DEEMED REQUIRED, THE LOCAL MUNICIPAL BUILDING DEPARTMENT MAY REQUIRE A BUILDING PERMIT FOR REPAIR. IT IS THE CONSTRUCTOR’S RESPONSIBILITY TO COORDINATE WITH THE MUNICIPAL INSPECTOR, SHOULD A BUILDING PERMIT REQUIRED BASED ON THE SCOPE OF WORK. THE MECHANICAL CONTRACTOR SHALL COMPLETE HEAT LOSS CALCULATIONS AND DRAWINGS BY A QUALIFIED DESIGNER (PERSON SHALL MEET THE REQUIREMENTS SET OUT IN THE BUILDING CODE TO BE A DESIGNER), SHOULD A BUILDING PERMIT BE REQUIRED, SUBMITTING TO THE LOCAL MUNICIPAL BUILDING DEPARTMENT IN ORDER TO OBTAIN A BUILDING PERMIT.

ANY TREE(S) THAT FALL WITHIN THE CONSTRUCTION AREA, SHALL BE PROTECTED IN CONFORMANCE WITH THE APPLICABLE REGULATIONS OR BY-LAWS, AS GOVERNED BY THE MUNICIPALITY. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY REQUISITE PERMITS. PRIOR TO ACCESSING A TREE PROTECTION ZONE, DAMAGING OR REMOVING A TREE(S), THE CONTRACTOR SHALL OBTAIN ANY NECESSARY PERMITS.



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WOOD FRAME CONSTRUCTION

WOOD FRAME CONSTRUCTION

- WOOD FRAMING MEMBERS WHICH ARE SUPPORTED ON CONCRETE IN DIRECT CONTACT WITH SOIL SHALL BE SEPARATED FROM THE CONCRETE WITH 6 MIL POLYETHYLENE OR TYPE 'S' ROLL ROOFING
- NEW FRAMING ELEMENTS SHALL NOT BE SPLICED.
- NEW FLUSH MOUNT CONNECTIONS SHALL BE SUPPORTED ON JOIST HANGERS.
- OVERCUTTING OF BIRDMOUTHS AND STAIR STRINGER NOTCHES IS NOT PERMITTED.
- TERMITES ARE KNOWN TO BE IN SOUTHERN ONTARIO. PRIOR TO BREAKING GROUND THE CONTRACTOR MUST CONDUCT A SURVEY/INSPECTION BY A COMPETENT PROFESSIONAL AND NOTIFY OUR OFFICE SHOULD TERMITES BE PRESENT.
- SOLID FUEL-BURNING FIREPLACES SHALL HAVE A MINIMUM 4” CLEARANCE BETWEEN COMBUSTIBLE FRAMING EXCEPT AT EXTERIOR WALLS, WERE A MINIMUM 2” CLEARANCE IS PERMITTED. SMOKE CHAMBERS OF SOLID FUEL-BURNING FIREPLACES SHALL HAVE A MINIMUM 2” CLEARANCE BETWEEN COMBUSTIBLE FRAMING EXCEPT AT EXTERIOR WALLS, WERE A MINIMUM 1” CLEARANCE IS PERMITTED.

WALLS

- REFER TO WALL SCHEDULE FOR STUD SIZE AND SPACING REQUIREMENTS
- SILL PLATES SHALL NOT BE LESS THAT 2X4” MATERIAL FIXED TO FOUNDATION WITH ½” ANCHOR BOLTS @ MAX 7’ 10”O.C. UNO.
- STUD WALLS SHALL INCLUDE A SINGLE BOTTOM PLATE AND DOUBLE TOP PLATE, OF A MATCHING SIZE TO THE STUD, UNO.
- WHERE LOAD BEARING WALLS ARE NOT SHEATHED ON BOTH SIDES, INSTALL SOLID BRIDGING AT 4’ O.C.
- INSTALL JACK STUDS (WITH ADJACECENT KING STUDS) BELOW ALL HEADERS.

FLOORS

- REFER TO DAMAGE RESTORATION/NEW CONSTRUCTION DRAWINGS FOR FLOOR JOIST SIZE AND SPACING REQUIREMENTS
- JOISTS TO HAVE MINIMUM 1 1/2" OF END BEARING
- JOISTS SHALL BEAR ON A TOP PLATE OR SILL PLATE FIXED TO FOUNDATION WITH 1/2" ANCHOR BOLTS @ 7'10" O.C.
- HEADER JOISTS BETWEEN 3’ 11” AND 10’ 5” IN LENGTH SHALL BE DOUBLED. HEADER JOISTS EXCEEDING 10’ 5” SHALL BE SIZED BY CALCULATIONS
- TRIMMER JOISTS SHALL BE DOUBLED WHEN SUPPORTED HEADER IS BETWEEN 2’ 7-1/2” AND 6’ 6-1/2”. TRIMMER JOISTS SHALL BE SIZED BY CALCULATIONS WHEN SUPPORTED HEADER EXCEEDS 6’ 6-1/2”
- 2X2” CROSS BRIDGING REQUIRED NOT MORE THAN 6’ 10-1/2” FROM EACH SUPPORT AND FROM OTHER ROWS OF BRIDGING
- JOISTS SHALL BE SUPPORTED ON JOIST HANGERS AT ALL FLUSH BEAMS, TRIMMERS AND HEADERS
- NON-LOAD BEARING PARTITIONS SHALL BE SUPPORTED ON A JOIST OR ON BLOCKING BETWEEN JOISTS.

ROOF & CEILINGS

- REFER TO DAMAGE RESTORATION/NEW CONSTRUCTION DRAWINGS FOR RAFTER, ROOF JOISTS AND CEILING JOIST SIZE AND SPACING REQUIREMENTS
- HIP AND VALLEY RAFTER SHALL BE A MINIMUM 2” DEEPER THAN COMMON RAFTERS
- 2X4” COLLAR COLLAR TIES @ RAFTER SPACING WITH 1X4” CONTINUOUS BRACE AT MID SPAN IF COLLAR TIE EXCEEDS 7’ 10” IN LENGTH
- WHERE PRESENT, ANCHOR TRUSSES WITH SIMPSON H1 HURRICANE TIES.

NOTCHING & DRILLING OF TRUSSES, JOISTS, RAFTERS

- HOLES IN FLOOR, ROOF AND CEILING MEMBERS TO BE NOT LARGER THAN ¼ THE ACTUAL DEPTH OF MEMBER AND NOT LESS THAN 2” FROM EDGES
- NOTCHES IN FLOOR, ROOF AND CEILING MEMBERS TO BE LOCATED ON TOP OF THE MEMBER WITH ½ THE ACTUAL DEPTH FROM THE EDGE OF BEARING AND NOT GREATER THAN 1/3 THE JOIST DEPTH
- WALL STUDS MAY BE NOTCHED OR DRILLED PROVIDED THAT NO LESS THAN 2/3 THE DEPTH OF THE STUD REMAINS, IF LOAD BEARING, AND 1-5/8” IF NON-LOAD BEARING
- ROOF TRUSS MEMBERS SHALL NOT BE NOTCHED, DRILLED OR WEAKENED UNLESS ACCOMMODATED IN THE DESIGN

COLUMNS, BEAMS AND LINTELS

- MINIMUM 3-1/2” END BEARING FOR WOOD AND STEEL BEAMS, WITH 8” SOLID MASONRY BENEATH THE BEAM
- WOOD COLUMNS FOR CARPORTS AND GARAGES SHALL BE MINIMUM 3-1/2” X 3-1/2”; IN ALL OTHER CASES EITHER 6 X 6” OR 8” ROUND, UNLESS CALCULATIONS BASED ON ACTUAL LOADS SHOW LESSER SIZES ARE ADEQUATE. ALL COLUMNS SHALL BE NOT LESS THAN THE WIDTH OF THE SUPPORTING MEMBER
- PROVIDE SOLID BLOCKING THE FULL WIDTH OF THE SUPPORTED MEMBER UNDER ALL CONCENTRATED LOADS
- CARRY ALL POINT LOADS DOWN TO FOUNDATION OF SUITABLE DESIGN SUPPORT. PROVIDE SOLID BLOCKING WITHIN FLOOR SPACE.

SHEATHING/SUBFLOOR

- SHEATHING/SUBFLOOR SHALL BE EXTERIOR GRADE, INSTALLED IN FULL SHEETS WHERE FEASIBLE, FULLY SUPPORTED AT ALL EDGES
- SUBFLOOR SHALL BE TONGUE AND GROOVE.
- STAGGER JOINTS
- WHERE THE PRE-LOSS SHEATHING/SUBFLOOR IS GREATER THAN THE MINIMUM REQUIRED THICKNESS, THE NEW SHEATHING/SUBFLOOR CAN CONSIST OF MULTIPLE LAYERS, BUILT UP TO MATCH THE THICKNESS OF THE REMAINING ADJACENT. WHEN THE SHEATHING/SUBFLOOR IS BUILT UP, THE SHEET ADJACENT TO THE FRAMING, MUST MEET THE MINIMUM REQUIRED THICKNESS

SHEATHING/SUBFLOOR THICKNESS

TYPE	MIN REQUIRED THICKNESS (IN)
SUBFLOOR	5/8
ROOF SHEATHING	1/2
WALL SHEATHING	3/8

PLUMBING FACILITIES

PLUMBING

- EVERY DWELLING REQUIRES A KITCHEN SINK, LAVATORY, WATER CLOSET, BATHTUB OR SHOWER SHALL AND THE INSTALLATION OR AVAILABILITY OF LAUNDRY FACILITIES
- A FLOOR DRAIN SHALL BE INSTALLED IN THE BASEMENT AND CONNECTED TO THE SANITARY SEWER WHERE GRAVITY DRAINAGE IS POSSIBLE. IN OTHER CASES, IT SHALL BE CONNECTED TO A SEWAGE EJECTION PUMP.
- SUPPLY AIR INTAKES SHALL BE LOCATED SO AS TO AVOID CONTAMINATION FROM EXHAUST OUTLETS.

VENTILATION

NATURAL VENTILATION

- DO NOT BLOCK OR OTHERWISE PREVENT THE FLOW OF AIR TO THE VENTILATION/WEEP HOLES AT THE TOP AND BOTTOM OF NEW OR REMAINING BRICK VENEER WALLS.
- INSTALLATION OF THE NEW ATTIC INSULATION SHALL NOT OBSTRUCT VENTING AT THE SOFFIT.
- EVERY ROOF SPACE ABOVE AN INSULATED CEILING SHALL BE VENTILATED WITH UNOBSTRUCTED OPENINGS EQUAL TO NOT LESS THAN 1/300 OF THE INSULATED CEILING AREA.
- INSULATED ROOF SPACES NOT INCORPORATING AN ATTIC SHALL BE VENTILATED WITH UNOBSTRUCTED OPENINGS EQUAL TO NOT LESS THAN 1/150 OF THE INSULATED CEILING AREA.
- ROOF VENTS SHALL BE UNIFORMLY DISTURBED WITH MIN 25% AT TOP OF THE SPACE AND 25% AT THE BOTTOM OF THE SPACE DESIGNED TO PREVENT THE ENTRY OF RAIN, SNOW OR INSECTS.
- UNHEATED CRAWL SPACES SHALL BE PROVIDED WITH 1.1 FT² OF VENTILATION FOR EACH 540 FT².
- MINIMUM NATURAL VENTILATION AREAS, WHERE MECHANICAL VENTILATION IS NOT PROVIDED, ARE:
  - BATHROOMS: 1 FT²
  - OTHER ROOMS: 3 FT²
  - UNFINISHED BASEMENT: 0.2% OF FLOOR AREA

MECHANICAL VENTILATION

- A MECHANICAL VENTILATION SYSTEM IS REQUIRED WITH A TOTAL CAPACITY AT LEAST EQUAL TO THE SUM OF:
  - 10.0 L/S EACH FOR BASEMENT AND MASTER BEDROOM
  - 5.0 L/S FOR EACH OTHER ROOM.
- A PRINCIPAL DWELLING EXHAUST FAN SHALL BE INSTALLED AND CONTROLLED BY A CENTRALLY LOCATED SWITCH IDENTIFIED AS SUCH.
- SUPPLEMENTAL EXHAUST SHALL BE INSTALLED SO THAT THE TOTAL CAPACITY OF ALL KITCHEN, BATHROOM AND OTHER EXHAUSTS, LESS THE PRINCIPAL EXHAUST, IS NOT LESS THAN THE TOTAL REQUIRED CAPACITY.
- A HEAT RECOVERY VENTILATOR MAY BE EMPLOYED IN LIEU OF EXHAUST TO PROVIDE VENTILATION. AN HRV IS REQUIRED IF ANY SOLID FUEL BURNING APPLIANCES ARE INSTALLED.



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FOOTINGS AND FOUNDATIONS

FOOTINGS (STRIP, SPREAD AND UNDERPINNING)  
-FOUNDED ON NATURAL UNDISTURBED SOIL, ROCK OR COMPACTED GRANULAR FILL WITH MINIMUM ALLOWABLE BEARING CAPACITY OF 1,600 PSF (75 KPA) (FREE OF WATER, ICE, FROST AND DEBRIS) TO BE VERIFIED BY EITHER ELEMENT FORENSIC ENGINEERING OR A SOIL ENGINEER RETAINED BY THE CONTRACTOR.  
-THE BASE OF THE FOOTING SHALL BE LEVEL. CHANGES IN THE UNDESIDE ELEVATION SHALL BE ACHIEVED WITH STEP FOOTOINGS.  
-THE BASE OF THE FOTING SHALL BE SET AT AN ELEVATION BELOW THE DEPTH OF FROST PENETRATION AND A MINIMUM OF 4’.  
-THE PROJECTION OF AN UNREINFORCED FOOTING BEYOND THE SUPPORTED WALL SHALL NOT BE GREATER THAN ITS THICKNESS.

STEP FOOTINGS  
-2’ MAX. RISE  
-2’ MIN. RUN

FOUNDATION WALLS  
-TO BE POURED CONCRETE, UNIT MASONRY, ICF OR PRESERVED WOOD (SEE DRAWINGS FOR TYPE AND THICKNESS).  
-DAMPPROOFING SHALL BE A HEAVY COAT OF BITUMINOUS MATERIAL.  
-FOUNDATION WALL TO EXTEND MINIMUM 6" ABOVE FINISH GRADE.  
-A DRAINAGE LAYER IS REQUIRED ON THE OUTSIDE OF A FOUNDATION WALL WHERE THE INTERIOR INSULATION EXTENDS MORE THAN 3’ BELOW EXTERIOR GRADE. A DRAINAGE LAYER SHALL CONSIST OF:  
-MINIMUM ¾” MINERAL FIBRE INSULATION WITH MIN DENSITY OF 3.55 LBS/FT³  
-MINIMUM 4” OF FREE DRAINAGE GRANULAR MATERIAL, OR  
-AN APPROVED SYSTEM WHICH PROVIDES EQUIVALENT PERFORMANCE.  
-FOUNDATION WALLS SHALL BE BRACED OR HAVE THE FLOOR JOISTS INSTALLED BEFORE BACKFILLING.

FLOORS ON GROUND

CONCRETE FLOOR SLABS  
-MINIMUM 3” THICK, PLACED ON A MINIMUM 4” OF COURSE, CLEAN, GRANULAR MATERIAL, OVERLYING UNDISTURBED, FOUNDED ON NATURAL UNDISTURBED SOIL OR ADEQUATELY COMPACTED GRANULAR FILL .  
-ALL FILL OTHER THAN COURSE CLEAN MATERIAL PLACED BENEATH CONCRETE SLABS SHALL BE COMPACTED TO PROVIDE UNIFORM SUPPORT.

FOUNDED ON NATURAL UNDISTURBED SOIL, ROCK OR COMPACTED GRANULAR FILL WITH MINIMUM ALLOWABLE BEARING CAPACITY OF 1,600 PSF (75 KPA)  
-SET AT AN ELEVATION BELOW THE DEPTH OF FROST PENETRATION AND A MINIMUM OF 4’

STEEL CONSTRUCTION

-PROVIDE SOLID BLOCKING THE FULL WIDTH OF THE SUPPORTED MEMBER UNDER ALL CONCENTRATED LOADS.  
-ALL NEW STEEL SHALL BE SHOP PRIMED  
-ALL CONNECTIONS SHALL DEVELOP THE MAXIMUM CAPACITY OF THE SUPPORTED SECTION, UNO.  
-ALL EXPOSED WELDS SHALL BE GROUND SMOOTH

COLUMNS  
-HAVE MINIMUM OUTSIDE DIAMETER 2-7/8” AND MINIMUM WALL THICKNESS OF 3/16”.  
-SHALL BE FITTED WITH NOT LESS THAN 4X4X1/4” STEEL CAP PLATE AND BASEPLATES EXCEPT WHERE THE COLUMN SITS ON A FOUNDATION WALL, USE 4X8X5/8” BASEPLATE, AND WHERE THE COLUMN SITS ON A FOOTING, USE 6X6X5/8” BASEPLATE.  
-WHERE THE COLUMN SUPPORTS A WOOD BEAM, THE TOP PLATE SHALL EXTEND ACROSS THE FULL WIDTH OF THE BEAM.  
-MECHANICALLY SECURE CAP PLATE AND BASEPLATE TO THE STRUCTURE  
-SECURE BASEPLATE TO FOUNDATION/FOOTING WITH TWO 5/8” Ø ANCHORS BOLTS WITH 8” EMBEDMENT PLUS 2” HOOK, LOCATED ON OPPOSING SIDES.

BEAMS  
-MINIMUM 3-1/2” END BEARING, WITH MIN 8” SOLID MASONRY BENEATH THE BEAM.

LINTELS  
-MINIMUM 6” END BEARING, WITH MIN 8” SOLID MASONRY BENEATH THE BEAM.



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FIRE PROTECTION

EXTERIOR WALLS

-NO WINDOWS OR OTHER UNPROTECTED OPENINGS ARE PERMITTED IN EXTERIOR WALLS LESS THAN 1200MM FROM PROPERTY LINES.

-15.9MM TYPE 'X' FIRE RATED DRYWALL SHALL BE INSTALLED ON THE INSIDE FACE OF ATTACHED GARAGE EXTERIOR WALLS AND GABLE ENDS OF ROOFS WHICH ARE LESS THAN 1200MM AND NOT LESS THAN 600MM FROM PROPERTY LINES.

-NON COMBUSTIBLE CLADDING SHALL BE INSTALLED ON EXTERIOR WALLS LESS THAN 600MM FROM PROPERTY LINES.

GARAGE GASPROOFING

-THE WALLS AND CEILING OF AN ATTACHED GARAGE SHALL BE CONSTRUCTED AND SEALED SO AS TO PROVIDE AN EFFECTIVE BARRIER TO EXHAUST FUMES.

-ALL PLUMBING AND OTHER PENETRATIONS THROUGH THE WALLS AND CEILING SHALL BE CAULKED.

-DOORS BETWEEN THE DWELLING AND ATTACHED GARAGE MAY NOT OPEN INTO A BEDROOM AND SHALL BE WEATHERSTRIPPED AND HAVE A SELF-CLOSER.

SMOKE ALARMS

FOR FULL REQUIREMENTS, REFER TO OBC 9.10.19

SMOKE ALARMS CONFORMING TO CAN/ULC-S531, “SMOKE ALARMS”, SHALL BE INSTALLED IN EACH DWELLING UNIT AND IN EACH SLEEPING ROOM NOT WITHIN A DWELLING UNIT.

SMOKE ALARMS SHALL HAVE A VISUAL SIGNALLING COMPONENT CONFORMING TO THE REQUIREMENTS IN 18.5.3. (LIGHT, COLOUR, AND PULSE CHARACTERISTICS) OF NFPA 72, “NATIONAL FIRE ALARM AND SIGNALING CODE”. WITHIN DWELLING UNITS, SUFFICIENT SMOKE ALARMS ARE TO BE INSTALLED SO THAT THERE IS AT LEAST ONE SMOKE ALARM INSTALLED ON EACH STOREY, INCLUDING BASEMENTS, AND ON ANY STOREY OF A DWELLING UNIT CONTAINING SLEEPING ROOMS, A SMOKE ALARM IS INSTALLED,

1. IN EACH SLEEPING ROOM, AND

2. IN A LOCATION BETWEEN THE SLEEPING ROOMS AND THE REMAINDER OF THE STOREY, AND IF THE SLEEPING ROOMS ARE SERVED BY A HALLWAY, THE SMOKE ALARM SHALL BE LOCATED IN THE HALLWAY.

SMOKE ALARMS SHALL BE INSTALLED ON OR NEAR THE CEILING

SMOKE ALARMS SHALL BE INSTALLED WITH PERMANENT CONNECTIONS TO AN ELECTRICAL CIRCUIT, HAVE NO DISCONNECT SWITCH BETWEEN THE OVERCURRENT DEVICE AND THE SMOKE ALARM, AND IN CASE THE REGULAR POWER SUPPLY TO THE SMOKE ALARM IS INTERRUPTED, BE PROVIDED WITH A BATTERY AS AN ALTERNATIVE POWER SOURCE THAT CAN CONTINUE TO PROVIDE POWER TO THE SMOKE ALARM FOR A PERIOD OF NOT LESS THAN 7 DAYS IN THE NORMAL CONDITION, FOLLOWED BY 4 MIN OF ALARM.

WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED IN A DWELLING UNIT, THE SMOKE ALARMS SHALL BE WIRED SO THAT THE ACTIVATION OF ONE ALARM WILL CAUSE ALL ALARMS WITHIN THE DWELLING UNIT TO SOUND.

CARBON MONOXIDE ALARMS

FOR FULL REQUIREMENTS, REFER TO OBC 9.33.4

WHERE A FUEL-BURNING APPLIANCE IS INSTALLED IN A SUITE OF RESIDENTIAL OCCUPANCY, A CARBON MONOXIDE ALARM SHALL BE INSTALLED ADJACENT TO EACH SLEEPING AREA IN THE SUITE.

A CARBON MONOXIDE ALARM SHALL BE MECHANICALLY FIXED, AT THE MANUFACTURER'S RECOMMENDED HEIGHT, OR IN THE ABSENCE OF SPECIFIC INSTRUCTIONS, ON OR NEAR THE CEILING.

THE CARBON MONOXIDE ALARM SHALL BE PERMANENTLY CONNECTED TO AN ELECTRICAL CIRCUIT AND SHALL HAVE NO DISCONNECT SWITCH BETWEEN THE OVERCURRENT DEVICE AND THE CARBON MONOXIDE ALARM, BE WIRED SO THAT ITS ACTIVATION WILL ACTIVATE ALL CARBON MONOXIDE ALARMS WITHIN THE SUITE, BE EQUIPPED WITH AN ALARM THAT IS AUDIBLE WITHIN BEDROOMS WHEN THE INTERVENING DOORS ARE CLOSED, WHERE LOCATED ADJACENT TO A SLEEPING AREA.

CARBON MONOXIDE ALARMS ARE TO CONFORM TO,

(I) CAN/CSA-6.19, “RESIDENTIAL CARBON MONOXIDE ALARMING DEVICES”, OR

(II) UL 2034, “SINGLE AND MULTIPLE STATION CARBON MONOXIDE ALARMS”.

DECKS

ALL SCREWS AND BOLTS SHALL BE OF A CORROSION RESISTANT TYPE.

WOOD FOR PICKETS SHALL BE FREE OF LOOSE KNOTS.

FASTENERS AND THE ASSOCIATED INSTALLATION SHALL NOT CAUSE SPLITTING OF THE WOOD ELEMENTS.

PROVIDE A SUITABLE POST, RETURN OR SOLID SUPPORT AT EACH END OF THE GUARD.

ALTERNATIVES TO THE SPECIFIED GUARD SYSTEM MUST BE DESIGNED IN ACCORDANCE WITH SECTION 9.8.8 OF THE 2012 OBC, STAMPED BY A PROFESSIONAL ENGINEER, AND SUBMITTED TO ELEMENT FORENSIC ENGINEERING, PRIOR TO FABRICATION, FOR COMMENT AND RECORD PURPOSES.

SUBSTITUTIONS

ALL REQUESTS FOR CHANGES AND SUBSTITUTIONS MUST BE SUBMITTED, IN WRITING, TO THE CLIENT AND ELEMENT FORENSIC ENGINEERING FOR APPROVAL. THE REQUEST SHALL INCLUDE A DETAILED DESCRIPTION OF ANY IMPACTS TO SCHEDULE AND COST (INCLUDING INCREASES AND DECREASES) AND A COPY OF ANY ASSOCIATED MANUFACTURER'S SPECIFICATIONS. APPROVAL OF CHANGES/SUBSTITUTIONS, BY ELEMENT FORENSIC ENGINEERING, WILL BE PROVIDED IN WRITING. ANY VERBAL DISCUSSIONS PERTAINING CHANGES AND SUBSTITUTIONS ARE FOR DISCUSSION PURPOSES ONLY AND DO NOT NEGATE THE NEED FOR WRITTEN REQUEST OR APPROVAL. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR A PROFESSIONAL ENGINEER TO SIGN AND SEAL ANY DESIGNED COMPONENT OF THE CHANGE/SUBSTITUTION. UNLESS SPECIFICALLY WRITTEN IN OUR APPROVAL, ELEMENT FORENSIC IS NOT RESPONSIBLE FOR THE DESIGN, SIGNING OR SEALING.

ABBREVIATIONS

&	AND	OD	OUTSIDE DIAMETER
@	AT	OF	OUTSIDE FACE
ADD'L	ADDITIONAL	OHSA	OCCUPATIONAL HEALTH AND SAFETY ACT
B/W	BETWEEN	OSB	ORIENTED STRAND BOARD
BLL	BOTTOM LOWER LAYER	PL	PLATE
BOT	BOTTOM	PLY	PLYWOOD
BUL	BOTTOM UPPER LAYER	PA	POST ABOVE
CANT	CANTILEVER	PT	PRESSURE TREATED
CI	CONTINUOUS INSULATION	RA	ROOFING APPLICATION
CL	CENTERLINE	REINF	REINFORCING
CMA	CARBON MONOXIDE ALARM	R/W	REINFORCED WITH
CMU	CONCRETE MASONRY UNIT	SA	SMOKE ALARM
COL	COLUMN	SIM	SIMILAR
CONT	CONTINUOUS	SM	SHEATHING MEMBRANE
C/W	COMPLETE WITH	SOG	SLAB ON GRADE
DJ	DOUBLE JOIST	SPDD	STANDARD PROCTOR DRY DENSITY
DL	DEAD LOAD	SPP	SECONDARY PLANE OF PROTECTION
EA	EACH	TF	FACTORED TENSION
EF	EACH FACE	THK	THICK
ELE	ELEVATION	TJ	TRIPLE JOIST
EW	EACH WAY	TL	TOTAL LOAD (DL+LL)
EX	EXISTING	TLL	TOP LOWER LAYER
EXT	EXTERIOR	TO	TOP OF
FJ	FLOOR JOIST	TOS	TOP OF SLAB/STEEL
FTG	FOOTING	TUL	TOP UPPER LAYER
GL	GRID LINE	TYP	TYPICAL
GT	GIRDER TRUSS	T&G	TONGUE AND GROOVE
HORZ	HORIZONTAL	UDL	UNIFORMLY DISTRIBUTED LOAD
IF	INSIDE FACE	UNO	UNLESS NOTED OTHERWISE
LG	LONG	U/S	UNDERSIDE
LLV	LONG LEG VERTICAL	VERT	VERTICAL
LL	LIVE LOAD	VB&AB	VAPOUR BARRIER AND AIR BARRIER
LVL	LAMINATED VENEER LUMBER	VF	FACTORED SHEAR
MAX	MAXIMUM	WME	WOOD MOISTURE EQUIVALENT
MF	FACTORED MOMENT	WWM	WELDED WIRE MESH
MIN	MINIMUM	W/	WITH
MMAH	MINISTRY OF MUNICIPAL AFFAIRS AND HOUSING		
NTS	NOT TO SCALE		
OBC	ONTARIO BUILDING CODE		
OC	ON CENTER		



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Table 3.1.1.2.A (IP)  
ZONE 1 - Compliance Packages for Space Heating Equipment with AFUE ≥ 92%  
Forming Part of Sentence 3.1.1.2.(1)

Component	Thermal Values <sup>(8)</sup>	Compliance Package					
		A1	A2	A3	A4	A5	A6
Ceiling with Attic Space	Min. Nominal R <sup>(1)</sup>	60	60	50	60	50	60
	Max. U <sup>(2)</sup>	0.017	0.017	0.020	0.017	0.020	0.017
	Min. Effective R <sup>(2)</sup>	59.22	59.22	49.23	59.22	49.23	59.22
Ceiling Without Attic Space	Min. Nominal R <sup>(1)</sup>	31	31	31	31	31	31
	Max. U <sup>(2)</sup>	0.036	0.036	0.036	0.036	0.036	0.036
	Min. Effective R <sup>(2)</sup>	27.65	27.65	27.65	27.65	27.65	27.65
Exposed Floor	Min. Nominal R <sup>(1)</sup>	31	31	35	31	35	31
	Max. U <sup>(3)</sup>	0.034	0.034	0.031	0.034	0.031	0.034
	Min. Effective R <sup>(3)</sup>	29.80	29.80	32.02	29.80	32.02	29.80
Walls Above Grade	Min. Nominal R <sup>(1)</sup>	22	19 + 5 ci	14 + 7.5 ci	22 + 5 ci	19 + 5 ci	22 + 5 ci
	Max. U <sup>(3)</sup>	0.059	0.049	0.054	0.047	0.049	0.047
	Min. Effective R <sup>(3)</sup>	17.03	20.32	18.62	21.40	20.32	21.40
Basement Walls <sup>(6)</sup>	Min. Nominal R <sup>(1)</sup>	20 ci	12 +10 ci	20 ci	20 ci	12 + 5 ci	20 ci
	Max. U <sup>(4)</sup>	0.047	0.048	0.047	0.047	0.063	0.047
	Min. Effective R <sup>(4)</sup>	21.12	20.84	21.12	21.12	15.96	21.12
Below Grade Slab Entire Surface > 600 mm Below Grade	Min. Nominal R <sup>(1)</sup>	—	—	—	—	—	—
	Max. U <sup>(4)</sup>	—	—	—	—	—	—
	Min. Effective R <sup>(4)</sup>	—	—	—	—	—	—
Heated Slab or Slab ≤ 600 mm Below Grade	Min. Nominal R <sup>(1)</sup>	10	10	10	10	10	10
	Max. U <sup>(4)</sup>	0.090	0.090	0.090	0.090	0.090	0.090
	Min. Effective R <sup>(4)</sup>	11.13	11.13	11.13	11.13	11.13	11.13
Edge of Below Grade Slab ≤ 600 mm Below Grade	Min. Nominal R <sup>(1)</sup>	10	10	10	10	10	10
Windows and Sliding Glass Doors	Max. U <sup>(5)</sup>	0.28	0.28	0.25	0.28	0.28	0.28
	Energy Rating	25	25	29	25	25	25
Skylights	Max. U <sup>(5)</sup>	0.49	0.49	0.49	0.49	0.49	0.49
Space Heating Equipment	Min. AFUE	96%	96%	94%	96%	94%	92%
HRV	Min. SRE	75%	75%	81%	75%	70%	65%
Domestic Water Heater <sup>(7)</sup>	Min. EF	0.80	0.70	0.67	0.67	0.80	0.80
Column 1	2	3	4	5	6	7	8

HEAT TRANSFER, AIR LEAKAGE AND CONDENSATION CONTROL

INSULATION & WEATHERPROOFING

-INSULATION SHALL BE PROTECTED WITH GYPSUM BOARD OR AN EQUIVALENT INTERIOR FINISH, EXCEPT FOR UNFINISHED BASEMENTS WHERE 6 MIL POLY IS SUFFICIENT FOR FIBERGLASS TYPE INSULATIONS.

-DUCTS PASSING THROUGH UNHEATED SPACE SHALL BE MADE AIRTIGHT WITH TAPE OR SEALANT.

-CAULKING SHALL BE PROVIDED FOR ALL EXTERIOR DOORS AND WINDOWS BETWEEN THE FRAME AND THE EXTERIOR CLADDING.

-WEATHERSTRIPPING SHALL BE PROVIDED ON ALL DOORS AND ACCESS HATCHES TO THE EXTERIOR, EXCEPT DOORS FROM A GARAGE TO THE EXTERIOR.

-EXTERIOR WALLS, CEILINGS AND FLOORS SHALL BE CONSTRUCTED SO AS TO PROVIDE A CONTINUOUS BARRIER TO THE PASSAGE OF WATER VAPOUR FROM THE INTERIOR AND TO THE LEAKAGE OF AIR FRAME THE EXTERIOR.

Notes to Table 3.1.1.2.A (IP):

- (1) The values listed are minimum Nominal R-Values for the thermal insulation component only.
- (2) U-Value and effective R value shall include entire ceiling assembly components, from interior air film to vented space air film above insulation.
- (3) U-Value and effective R value shall include entire exposed floor or above grade wall assembly components, from interior air film to exterior air film.
- (4) U-Value and effective R value shall include entire basement wall or slab assembly components and interior air film.
- (5) U-Value is the overall coefficient of heat transfer for a window assembly, sliding glass door assembly or skylight assembly expressed in Btu/(h•ft²•F).
- (6) In the case of basement wall assemblies, where R20 ci is required R12 + 10 ci is permitted to be used or vice versa; or where R12 + 5 ci is required, R15 ci is permitted to be used or vice versa.
- (7) If an EF of a water tank is not indicated in a compliance package, there is no EF requirement for water tank for that specific compliance package.
- (8) Nominal and effective R values are expressed in (h•ft²•F)/Btu. U-Values are expressed in Btu/(h•ft²•F).



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