

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: HM/A-21:345

APPLICANTS: Agent 7K Design Ltd. c/o R. Cao
Owners Dharmender Kumar & Shalini Rani

SUBJECT PROPERTY: Municipal address **549 Corbett St., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended

ZONING: "C" (Urban Protected Residential etc.) district

PROPOSAL: To facilitate the construction of two new single family dwellings to be created on separate lots through Consent Application HM/B-21:86, notwithstanding that:

1. The minimum lot width for the severed parcel and the retained parcel shall be 9.1 metres instead of the required 12.0 metre minimum lot width.
2. The minimum lot area for the severed parcel and the retained parcel shall be 281 square metres instead of the required 281 square metres for minimum lot area.

COMMENTS:

1. The variances are written as requested by the applicant.
2. The submitted plans do not identify parking spaces. However, the applicant has identified that the size of the required parking spaces would be in compliance with the Zoning By-law.
3. The submitted plans do not identify the number of habitable rooms to determine the number of parking spaces. However, the applicant has identified that the proposed dwellings would both contain no more than eight habitable rooms to require two parking spaces per dwelling.
4. The submitted plans do not identify eaves and gutter projections. However, the applicant has advised that the projections would be 0.3m which is in compliance with the Zoning By-law.
5. The applicant has further identified that the minimum required front yard landscaped area of 50% would be maintained on both the severed and retained parcels.
6. Consent Application HM/B-21:86 for this property will be addressed concurrently with the requested variances.

This application will be heard by the Committee as shown below:

DATE:	Thursday, October 21st, 2021
TIME:	2:15 p.m.
PLACE:	Via video link or call in (see attached sheet for details) To be streamed at www.hamilton.ca/committeeofadjustment for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

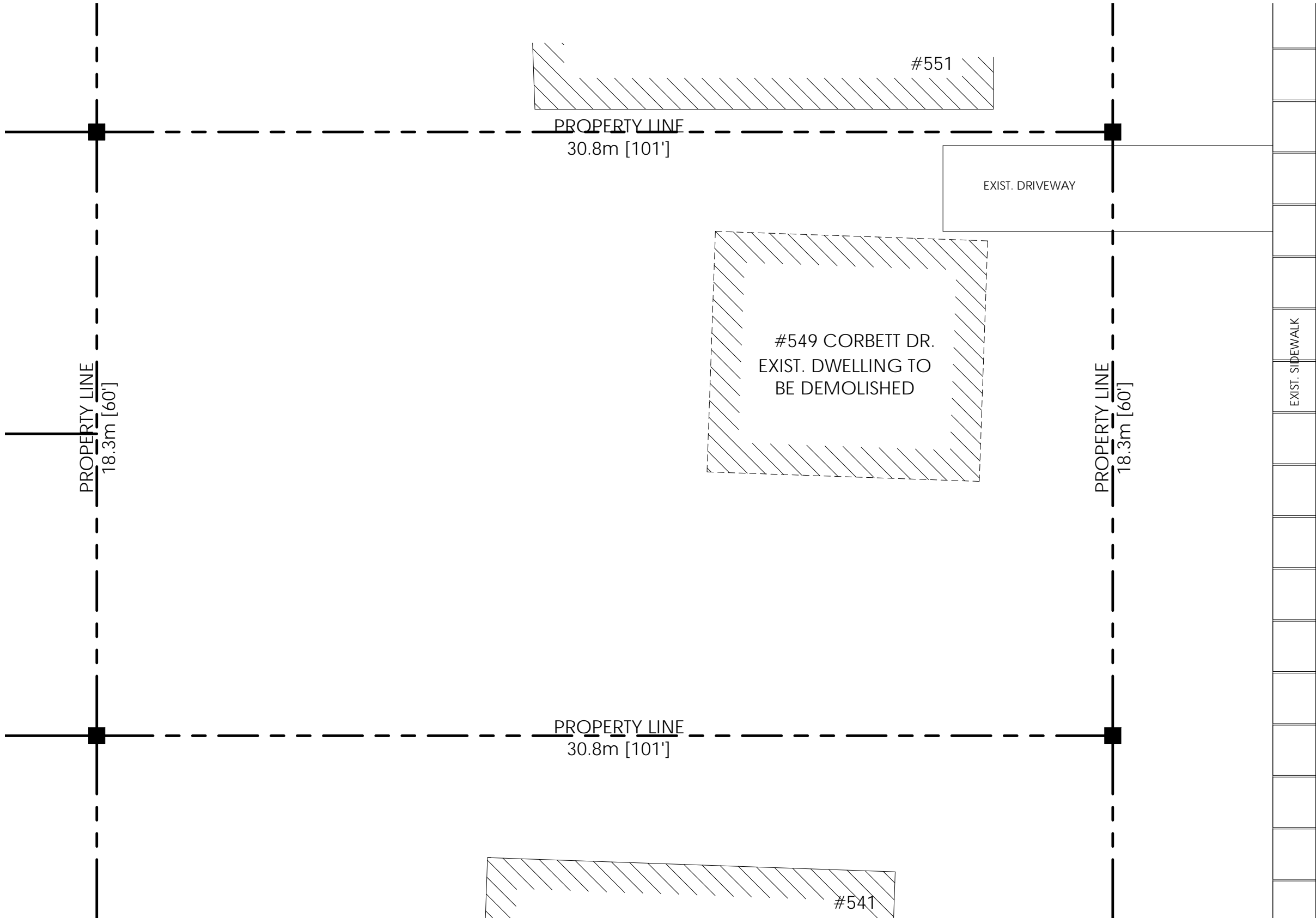
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca


DATED: October 5th, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

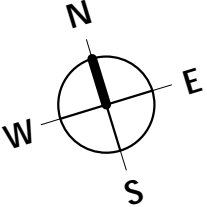
Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



EXIST. SITE PLAN



SEVEN K DESIGN
 40 Vogell Road | Unit# 5
 Richmond Hill ON Canada
 Info@sevenkdesign.com
 www.sevenkdesign.com
 + 1 647.969.3918



DO NOT SCALE DRAWINGS. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO ENGINEER & DESIGNER BEFORE PROCEEDING WITH THE WORKS.

DIMENSIONS ARE CLEAR TO THE FACE OF COLUMNS AND PARTITIONS UNLESS INDICATED OTHERWISE.

NO WORK MAY PROCEED UNTIL SEVEN K DESIGN LTD. STAMPED, SIGNED AND APPROVED DRAWINGS. THOSE DRAWINGS ARE TO BE AVAILABLE ON SITE UPON REQUEST.

ALL DRAWINGS, SPECIFICATIONS AND DETAILS REMAIN THE PROPERTY OF THE SEVEN K DESIGN LTD. AND MUST BE RETURNED AT THE COMPLETION OF ALL WORK.

EXISTING WALL TO REMAIN

PROPOSED WALL

No.	REVISION	DATE
1	Issued for Review	July 2021

Project Name
549 CorBett Dr.

Drawing Name
Existing Site Plan

Project number

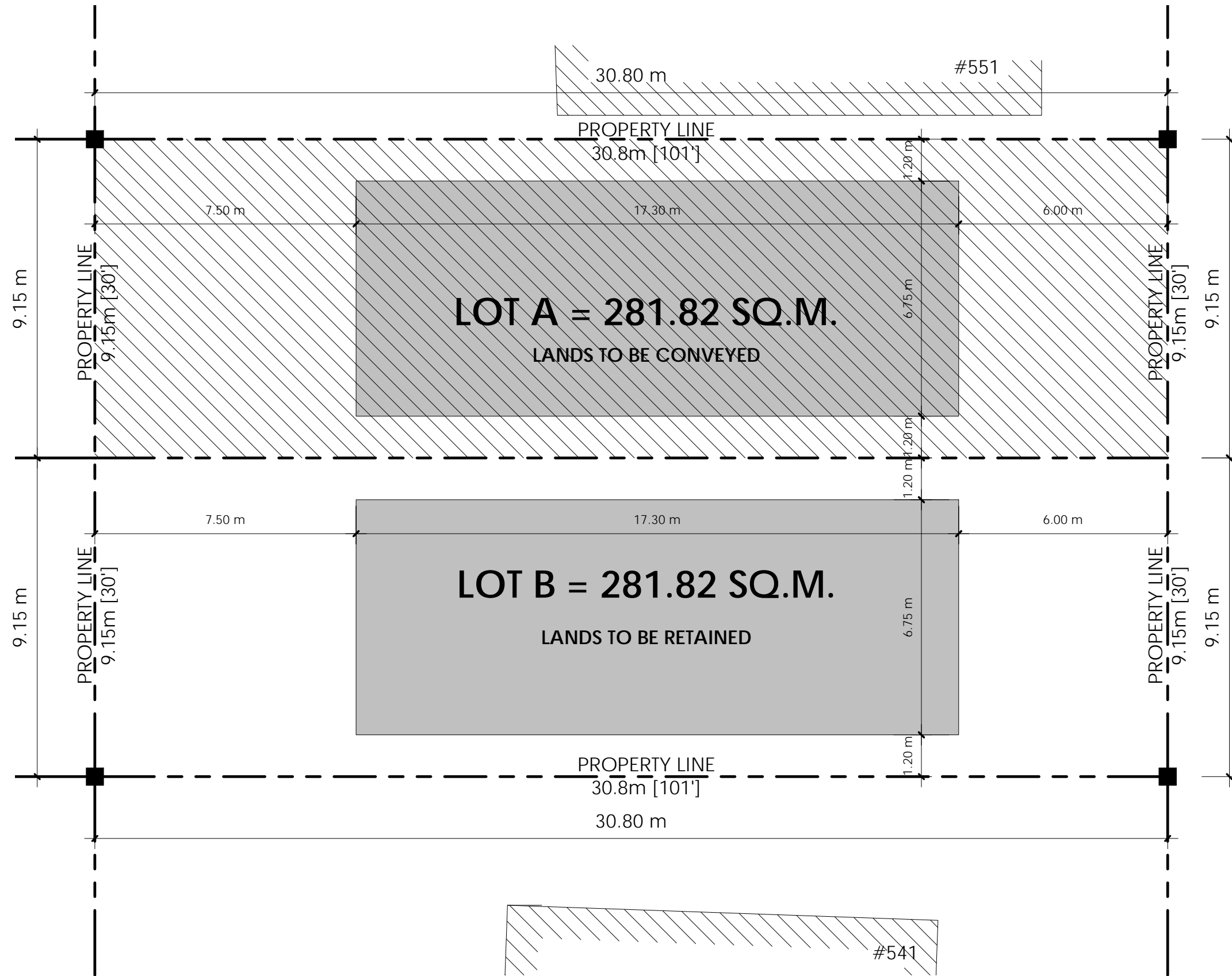
Date
 July-2021

Drawn by
 RC

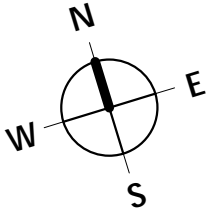
Checked by
 RC

Scale
 1 : 125

SPA0.1



SEVEN K DESIGN
40 Vogell Road | Unit# 5
Richmond Hill ON Canada
Info@sevenkdesign.com
www.sevenkdesign.com
+ 1 647.969.3918



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PROPOSED WALL

1	Issued for Review	July 2021
No.	REVISION	DATE

Project Name
549 CorBett Dr.

Drawing Name
Proposed Site Plan

Project number

Date July-2021

Drawn by RC

Checked by RC

Scale 1 : 125

SPA0.2

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	
Registered Owners(s)	Dharmender Kumar and Shalini Rani	
Applicant(s)*	Dharmender Kumar and Shalini Rani	
Agent or Solicitor	Ronald Cao 7K Design Ltd.	

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

1. Minimum Lot Area - Required: 360.00 s.m. - Provided: 281.82 s.m.
2. Minimum Lot Frontage (Width) - required 12.00m - Provided: 9.15m

☐ Secondary Dwelling Unit ☒ Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

2 lots were merged

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

549 CORBETT ST, HAMILTON

7. PREVIOUS USE OF PROPERTY

Residential ☒ Industrial ☐ Commercial ☐
Agricultural ☐ Vacant ☐ Other ☐

Other _____

8.1 If Industrial or Commercial, specify use _____

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐ No ☐ Unknown ☒

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐ No ☒ Unknown ☐

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐ No ☒ Unknown ☐

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐ No ☒ Unknown ☐

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐ No ☒ Unknown ☐

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes ☐ No ☒ Unknown ☐

- 8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ☐ No ☒ Unknown ☐

- 8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

EXISTING AND PREVIOUS LAND USE BASED ON HISTORICAL MAP OVERVIEW

- 8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.


Is the previous use inventory attached? Yes ☐ No ☒

9. **ACKNOWLEDGEMENT CLAUSE**

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

Aug.31.2021

Date



Signature Property Owner(s)

Dharmender Kumar / Shalini Rani

Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage 18.3m

Depth 30.8m

Area 563.64 sq.m.

Width of street

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _

Refer to site plan

Proposed

Ground Floor Area: 116.77 sq.m. Gross Floor Area: 233.54 sq.m.

No. of Storeys: 2

Width: 6.75m Length: 17.30m Height: 11m

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

Refer to site plan

Proposed:

Front Yard: 6.0m

Rear Yard: 7.5m

Side Yards: 1.2m

13. Date of acquisition of subject lands:
2021
14. Date of construction of all buildings and structures on subject lands:
unknown
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
single family dwelling
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
single family dwelling
17. Length of time the existing uses of the subject property have continued:
18. Municipal services available: (check the appropriate space or spaces)
- | | | | |
|----------------|-------------------------------------|-----------|-------------------------------------|
| Water | <input checked="" type="checkbox"/> | Connected | <input checked="" type="checkbox"/> |
| Sanitary Sewer | <input checked="" type="checkbox"/> | Connected | <input checked="" type="checkbox"/> |
| Storm Sewers | <input checked="" type="checkbox"/> | | |
19. Present Official Plan/Secondary Plan provisions applying to the land:
Urban Hamilton Official Plan designation
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
Urban Protected Residential 'C'
21. Has the owner previously applied for relief in respect of the subject property?
Yes ☐ No ☒
If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
Yes ☒ No ☐
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.