

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: FL/A-21:354

APPLICANTS: Owner Ryan Klaas

SUBJECT PROPERTY: Municipal address **1824 Concession 8 Rd. W., Flamborough**

ZONING BY-LAW: Zoning By-law 05-200, as Amended 15-173

ZONING: "S1, Exception 53 and P8" (Settlement Residential, Modified (S1, Ex.53) and Conservation/Hazard - Rural (P8)) district

PROPOSAL: To permit the construction of an accessory building to be used for a garage for a proposed single detached dwelling, notwithstanding that:

1. The maximum height for an accessory building shall be 6.4 metres instead of 4.5 metres;
2. The maximum aggregate gross floor area for accessory buildings shall be 108 square metres instead of the maximum 45 square metres;

NOTES:

1. The variance was written as requested by the applicant except that a second variance was included to address the maximum gross floor area for accessory buildings.
2. The 1.1 ha lot was created by Consent Application FL/B-19:134, approved October 1, 2020. The property is currently vacant but building permits have been submitted and are under review for a new single detached dwelling and the proposed accessory building. The applicant is intending to construct the proposed accessory building after the single detached dwelling has been constructed in accordance with City of Hamilton Zoning By-law 05-200.
3. The property is within the Kirkwall Settlement Area. The portion of the property subject to the proposed development is zoned S1, Exception 53. The portion zoned P8 is located near the northerly part of the property abutting Concession 8 Road West.
4. The property is regulated by the Grand River Conservation Authority.

This application will be heard by the Committee as shown below:

DATE: Thursday, November 4th, 2021
TIME: 1:40 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: October 19th, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

SITE AND GRADING PLAN

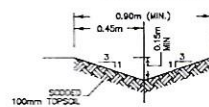
OF PART OF
LOT 20
CONCESSION 7
GEOGRAPHIC
TOWNSHIP OF BEVERLY
IN THE
CITY OF HAMILTON

SCALE 1:500 METRIC



S.D. McLAREN, O.L.S. - 2021

TYPICAL SWALE DETAIL



BEARING NOTE:

BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED
REFERENCE POINTS A AND B, BY REAL TIME NETWORK
OBSERVATIONS, UTM ZONE 17, NAD83 (CSRS) (2010.0)

NOTE:

DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY
MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.

INTEGRATION DATA

DESIGNED REFERENCE POINTS (DPR)'s UTM ZONE 17, NAD83 (CSRS) (2010.0), COORDINATES TO URBAN ACCURACY PER SEC. 14(2) OF OREG. 216/10		
POINT ID	NORTHING	EASTING
DPR A	4800864.425	568879.821
DPR B	4800966.771	568871.146

COORDINATES CANNOT, IN THEMSELVES, BE USED TO
RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

ROOFWATER
ALL ROOFWATER
SPASH PAGES
AREAS A MIN.

METRIC
DISTANCES
SHOWN ON
METRES AND
CONVERTED
BY DIVIDING

CONCESSION 8 ROAD WEST

(ORIGINAL ROAD ALLOWANCE BETWEEN CONCESSIONS 7 & 8)

PIN 17530 - 0109 (LT)

ELEVATIONS:

FIRST FLOOR = 270.55
TOP OF FOUNDATION = 270.25
U/S OF FOOTING = 268.80

ELEVATIONS:

FIRST FLOOR = 269.84
TOP OF FOUNDATION = 269.54
U/S OF FOOTING = 268.09

ELEVATIONS:

FIRST FLOOR = 270.55
TOP OF FOUNDATION = 270.25
U/S OF FOOTING = 268.80

PART 1

PART 2

PART 3

PART 4

PART 5

LOT 20

CONCESSION

WETLAND

PROPOSED BUILDING FOOTPRINT

PROPOSED SERVICE AREA

PROPOSED GARAGE

PROPOSED BUILDING OVERLAP

PROPOSED SERVICE AREA

PROPOSED GARAGE

PROPOSED BUILDING OVERLAP

PROPOSED SERVICE AREA

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PROPOSED GARAGE

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

	NAME	MAILING ADDRESS
1, 2 Registered Owners(s)		
Applicant(s)*		
Agent or Solicitor		

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:



Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

garage

☐ Secondary Dwelling Unit ☐ Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

- The pitch of the truss roof and the floor to ceiling height in the garage (12 feet) exceeds the height requirement (total height of 21 feet)
- The footprint is for 3 cars

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

PT LT 20 CON 7, BEV, FLAM.
Parts 3 and 5 on Plan 62R-21599
- 1824 Con. 8 W, FLAMBOROUGH, NIR 552

7. PREVIOUS USE OF PROPERTY

Residential ☐ Industrial ☐ Commercial ☐

Agricultural ☐ Vacant ☒ Other ☐

Other Tree farm

- 8.1 If Industrial or Commercial, specify use _____

- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐ No ☒ Unknown ☐

- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐ No ☒ Unknown ☐

- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐ No ☒ Unknown ☐

- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐ No ☒ Unknown ☐

- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐ No ☒ Unknown ☐

- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes ☐ No ☒ Unknown ☐

- 8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ☐ No ☒ Unknown ☐

- 8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

because our family has owned the property before myself for over 40 years.

- 8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ☐ No ☐

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

Sept. 21/21
Date

[Signature]
Signature Property Owner(s)
RYAN KLAAS
Print Name of Owner(s)

10. Dimensions of lands affected: *garage dimensions & lands affected*
- | | |
|-----------------|--|
| Frontage | <i>11 m</i> |
| Depth | <i>9.75 m</i> |
| Area | <i>11 x 9.75 (approx. 107 m²)</i> |
| Width of street | |

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: *n/a*

Proposed *Refer to blueprint / design*

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

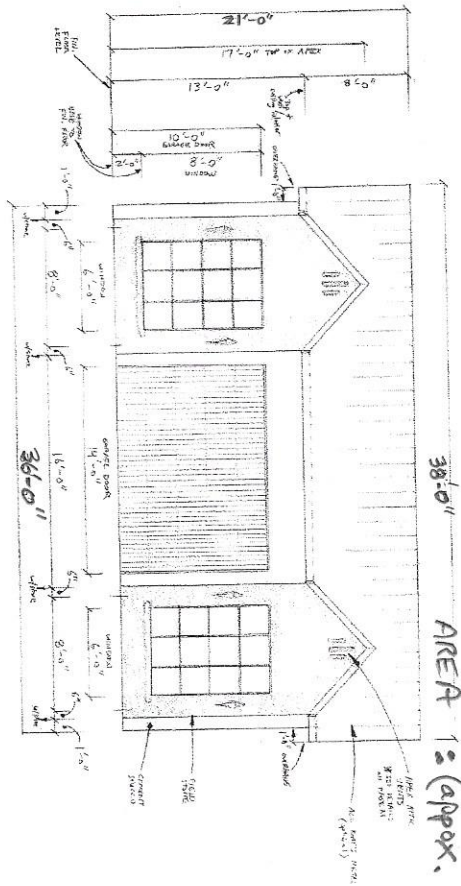
Existing: *n/a*

Proposed: *Refer to site plan*

13. Date of acquisition of subject lands:
July 12 2021
14. Date of construction of all buildings and structures on subject lands:
n/a
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
- vacant land
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
- our farm (hay fields)
17. Length of time the existing uses of the subject property have continued:
- over 40 years
18. Municipal services available: (check the appropriate space or spaces)
- | | | | |
|----------------|--------------------------|-----------|--------------------------|
| Water | <input type="checkbox"/> | Connected | <input type="checkbox"/> |
| Sanitary Sewer | <input type="checkbox"/> | Connected | <input type="checkbox"/> |
| Storm Sewers | <input type="checkbox"/> | | |
19. Present Official Plan/Secondary Plan provisions applying to the land:
residential - Hamlet settlement
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
n/a
21. Has the owner previously applied for relief in respect of the subject property?
Yes ☐ No ☒
- If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
Yes ☒ No ☐
23. Additional Information
- Consent Agreement was approved as part of the COFA severance application approval
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

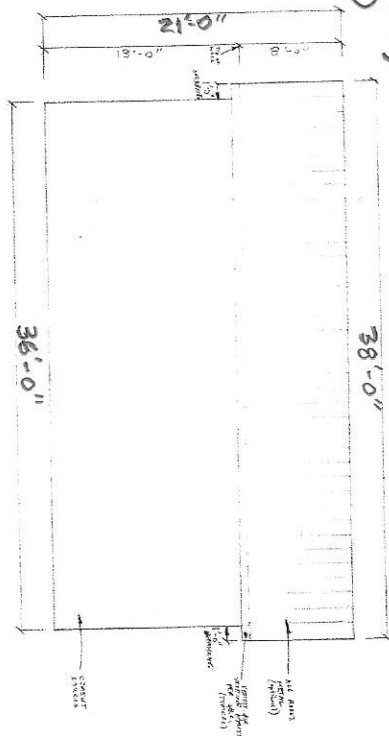
PROPOSED GARAGE

* GARAGE * (garage)
FRONT ELEVATION (EAST)

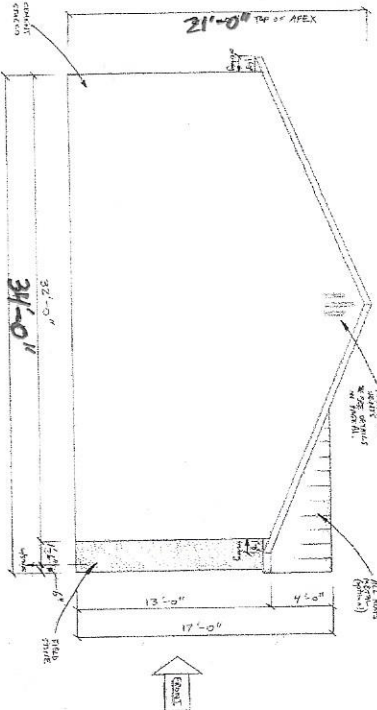


HEIGHT : 21 ft (6.4m)
LENGTH : 36 ft (10.9m)
DEPTH : 32 ft (9.7m)
AREA : 12 (approx. 107m)

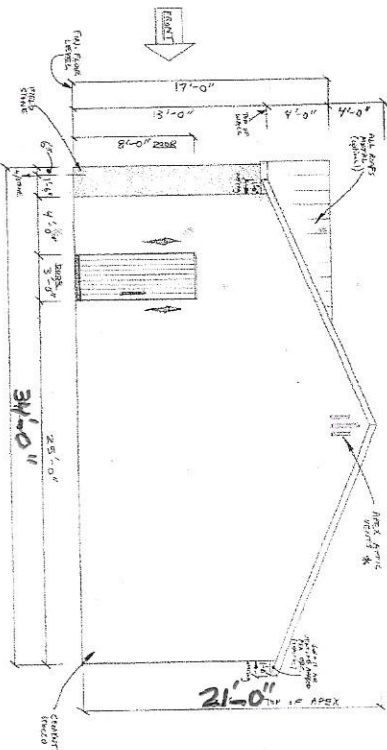
* GARAGE * (garage)
REAR ELEVATION (WEST)



* GARAGE * (garage)
LEFT SIDE ELEVATION (SOUTH)



* GARAGE * (garage)
RIGHT SIDE ELEVATION (NORTH)



SCALE: 1/2" = 1'-0"

TITLE: FRONT ELEVATION, REAR ELEVATION,
LEFT SIDE ELEVATION, RIGHT SIDE ELEVATION
* GARAGE * (garage)

PERSONAL RESIDENCE:
MR. & MRS. R. KLANS
1100 W. WENT. ONT.

DATE: MARCH 7, 2024

DESIGN BY: RYAN KLANS



Administration Centre: 400 Clyde Road, P.O. Box 729 Cambridge, ON N1R 5W6

Phone: 519-621-2761 Toll free: 1-866-900-4722 Fax: 519-621-4844 www.grandriver.ca

September 7, 2021

Ryan Klaas, Nathan Klaas & Aaron Klaas
1285 Kirkwall Road
Cambridge, ON N1R 5S2

Re: Application for Permission No. 715/21, Pursuant to Ontario Regulation 150/06

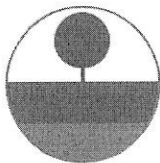
The Grand River Conservation Authority approved your application on September 2, 2021. The permit and attached schedules are enclosed. The schedules form part of the permit and describe the work as approved by the Grand River Conservation Authority. Any changes to these plans must be reviewed and approved by Grand River Conservation Authority staff.

Please note that this permission is based on existing information, policies, and practices, and does not bind nor imply that any other permission will be forthcoming. Please review when the permit expires (maximum is 2 years) and keep a copy of the permit on-site.

If you have questions regarding this letter or the conditions described on the permit, please contact Jenn Simons, Resource Planner, at (519) 621-2763 ext. 2230.

Encl.

c.c. Clerk, City of Hamilton
Building Inspector, City of Hamilton



Permit No. 715/21

Grand River Conservation Authority

Under Ontario Regulation 150/06 made under the Conservation Authorities Act, R.S.O. 1990, Chapter C.27, permission is granted to:

Ryan Klaas, Nathan Klaas & Aaron Klaas

Whose address for purposes pertaining to this project is:

1285 Kirkwall Road
Cambridge, ON
N1R 5S2

To execute proposed works in accordance with the following particulars and conditions:

Location of Work: 1816, 1820 & 1824 Concession 8 West
City of Hamilton

Purpose of Work: To construct three residences with septic systems.

This permit is valid from: **September 2, 2021**

And expires on: **September 2, 2023**

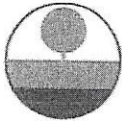
The attached Schedules form parts of this permit describing the approved work and must be implemented in order so that the true intent of the permit can be achieved.

The Permittee, by acceptance and in consideration of the issuance of this permit, agrees to the conditions listed on the reverse side of Schedule "A".

Dated at Cambridge, Ontario, this 2nd day of September, 2021

GRAND RIVER CONSERVATION AUTHORITY

Samantha Lawson,
Chief Administrative Officer



Grand River Conservation Authority

Administration Office:

400 Clyde Road, P.O. Box 729, Cambridge, Ontario N1R 5W6
Telephone: 519-621-2761 Fax: (519) 621-4945

**GRCA USE ONLY
APPLICATION NUMBER**

715/21

Schedule "A" - Application for Development, Interference with Wetlands and Alterations to Shorelines and Watercourses Permit (Pursuant to Ontario Regulation 150/06)

Please read, complete each section as required, attach fee and sign and date this application.

Owner's name: RYAN KLAAS, NATHAN KLAAS, AARON KLAAS E-mail: info@klaasdesign.com
Mailing address: 1285 KIRK WALL RD. City/Town: CAMBRIDGE Postal Code: N1R 5S2
Telephone: Bus. (519) 623 4418 Res. (310) 699 6496 Fax ()

Agent's name (Consultant/Contractor): *same as above
Mailing address: _____ City/Town: _____ Postal Code: _____
Telephone: Bus. () Fax () Email: _____

Location of proposed work:

Lot No. (original lot # 1806) Concession No. 8th W. Township Flamborough
Municipal address of property: (newly assigned) # 1816 #1820 #1824
City/Town/Village: FLAMBOROUGH County/Region: Hamilton
(Circle One)

Application is hereby made for:

For examples of Minor, Standard and Major applications please refer to the Fee Schedule on pages 3 and 4.

- ☒ Minor Development
☐ Minor Interference with Wetlands, Alteration to Shorelines & Watercourses
☐ Standard Development
☐ Standard Interference with Wetlands, Alteration to Shorelines & Watercourses
☐ Major Development
☐ Major Interference with Wetlands, Alteration to Shorelines & Watercourses

Description of proposed work: personal residences

This application must include four (4) FOLDED copies of each appropriate plan(s) showing the proposed work.

Land Use: Present farm Proposed change (if any) personal residences

I declare that I have read and agree to the General Conditions of Permit on the reverse of this form and that all information provided is true.

[Signature]
Signature of Owner

July, 27 2021
Date

[Signature]
Signature of Agent

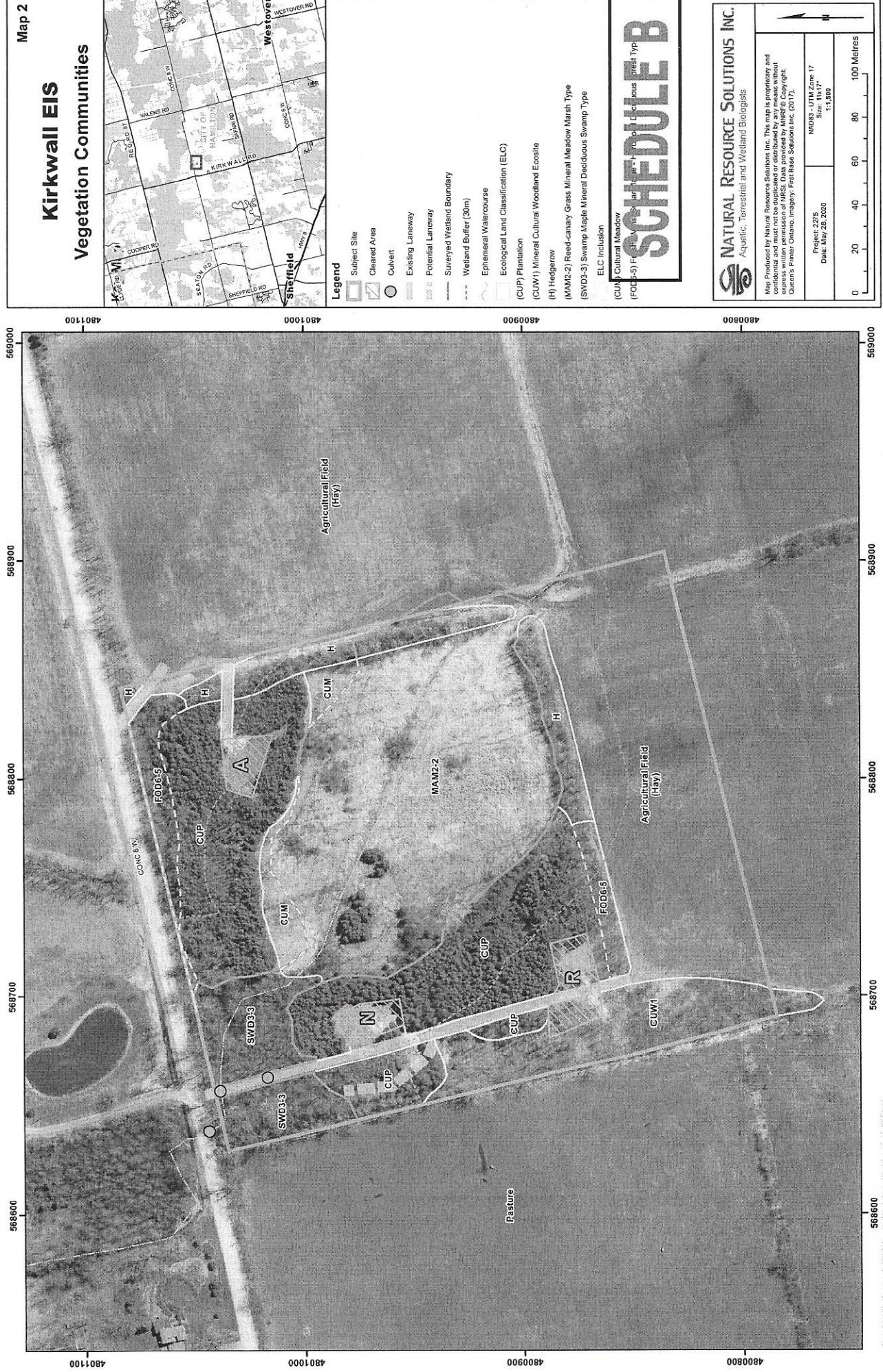
January 1, 2020

GENERAL CONDITIONS OF PERMIT

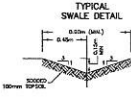
1. This permit does not absolve the permittee of the responsibility of obtaining necessary permission from applicable federal and provincial agencies or local municipalities.
2. The permittee agrees by acceptance of the permit:
 - (a) to indemnify and save harmless, the Grand River Conservation Authority and its officers, employees, or agents, from and against all damage, injury, loss, costs, claims, demands, actions and proceedings, arising out of or resulting from any act or omission of the permittee or of any of his agents, employees or contractors relating to any of the particular terms or conditions of this permit.
 - (b) that this permit shall not release the permittee from any legal liability or obligation and remains in force subject to all limitations, requirements and liabilities imposed by law.
 - (c) that all complaints arising from the proposed works authorized under this permit shall be reported immediately by the permittee to the Grand River Conservation Authority. The permittee shall indicate any action which has been taken, or is planned to be taken, with regard to each complaint.
 - (d) to provide certification of conformance to ensure compliance with the intent of the permit. This certification must be provided by an accredited professional and is to be submitted as may be specified in the permit.
3. Authorized representatives of the Grand River Conservation Authority will be granted entry at any time into lands and buildings which are the subject of this permit application in order to make such surveys, examinations, investigations, inspections or other arrangements which such representatives deem necessary.
4. The Grand River Conservation Authority may cancel this permit or may change any of the conditions at any time and without prior notice if it is determined that:
 - (a) the works are not in conformance to the intent of the permission granted;
 - (b) the information presented to obtain a permit is false;
 - (c) the works or method of construction have detrimental impacts on the environment.
5. This permit shall not be assigned (non-transferable).
6. Permits are valid for two years. No notice will be issued on expiration of the permit and it is the responsibility of the permittee to ensure a valid permit is in effect at the time work is occurring.
7. The Grand River Conservation Authority may make copies of Schedule A, as required, for the purposes of assessing the proposal and, where approved, to form part of the permit issued.

NOTICE OF COLLECTION

Pursuant to section 29(2) of the Municipal Freedom of Information and Protection of Individual Privacy Act, 1989, the personal information contained on this form is collected under the legal authority of the Conservation Authorities Act, R.S.O. 1980, c85, as amended. This information is used to assess applications for and, where approved, issue the Permit. Information on this form may be disclosed to Government and Municipal Agencies for review and comment. The name of the applicant, location of the work and a description of the project may be published in GRCA documents including agendas, reports and meeting minutes which are posted on the GRCA website. Questions about the collection of personal information should be directed to the Freedom of Information Co-ordinator, Administration Division, Grand River Conservation Authority, 400 Clyde Road, P.O. Box 729, Cambridge, Ontario, N1R 5W6, (519) 621-2761.



SITE AND GRADING PLAN
OF PART OF
LOT 20
CONCESSION 7
TOWNSHIP OF BEVERLY
IN THE
CITY OF HAMILTON
SCALE 1:500 METRIC
S.D. McLaren, O.L.S. - 2021



BEARING NOTE:
BEARINGS ARE TRUE GRID, DERIVED FROM OBSERVED
REFERENCE POINTS A AND B, BY REAL TIME NETWORK
OBSERVATIONS, UTM ZONE 17, NAD83 (CPRS) (2010.0)

NOTE:
DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY
MULTIPLYING BY THE CORRECTION SCALE FACTOR OF 0.999999999

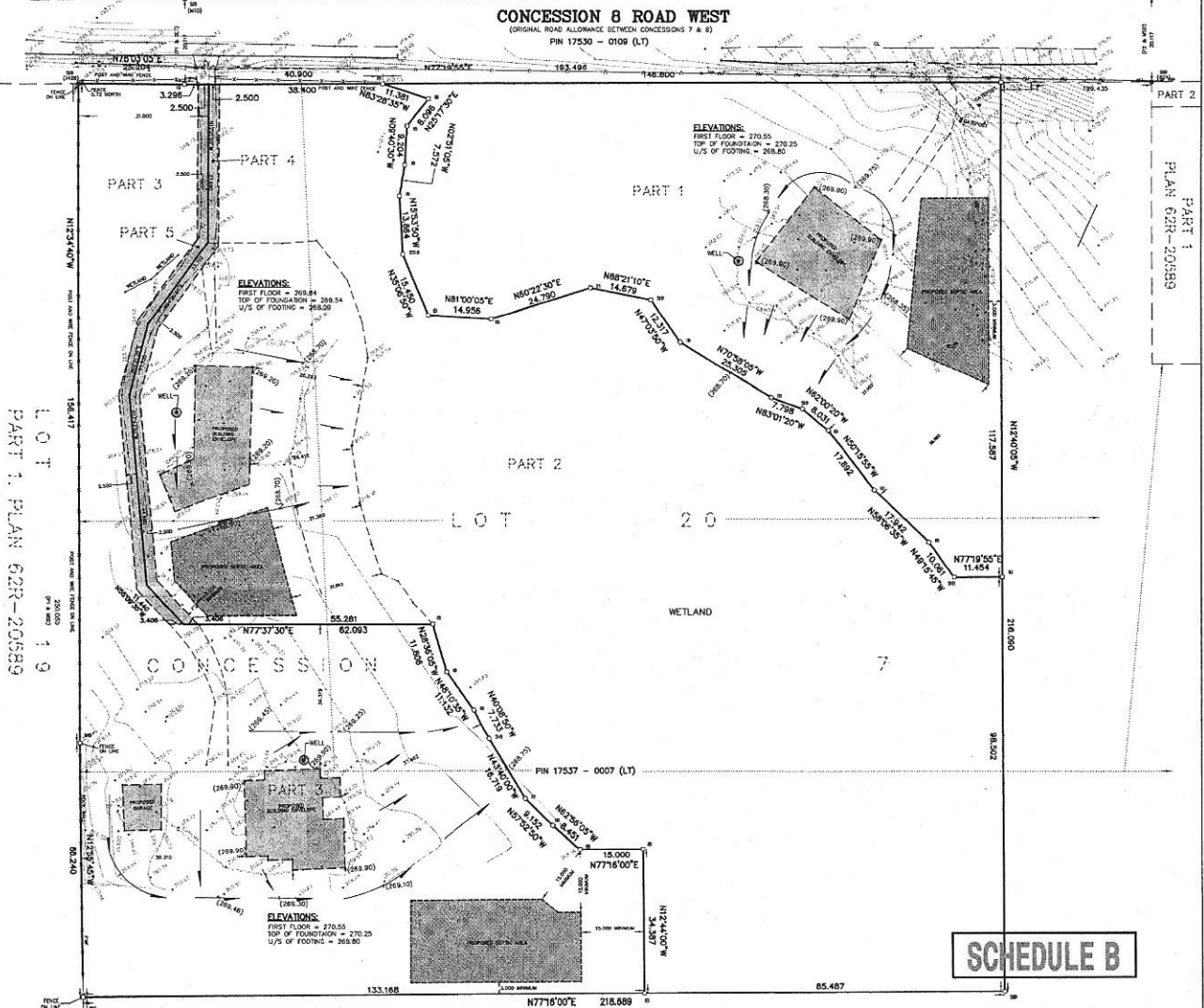
INTEGRATION DATA

POINT	COORDINATES	ELEVATION
POINT A	N60°42'00"E	168.74
POINT B	N60°42'00"E	168.74

COORDINATES CANNOT BE USED TO
RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN

ROOFWATER LEADERS:
ALL ROOFWATER LEADERS SHALL DISCHARGE INTO
SEWER PIPS AND THEN TO GRADES OR LANDSCAPED
AREAS A MIN. OF 0.6m FROM THE BUILDING FACE.

METRIC NOTE:
DISTANCES AND COORDINATES
SHOWN ON THIS PLAN ARE IN
METRES AND CAN BE
CONVERTED TO FEET
BY DIVIDING BY 0.3048



GENERAL GRADING NOTES:

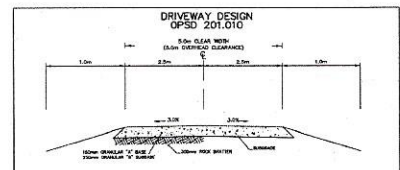
1. ALONG ADJOINING PROPERTIES GRADE TO MEET EXISTING OR PROPOSED ELEVATIONS WITH SLOPED SLOPES (MIN. 3% TO 1%) AND/OR RETAINING WALLS AS SPECIFIED.
2. ALL RETAINING WALLS, WALKWAYS, CURBS, ETC., SHALL BE PLACED A MIN. OF 0.40m OFF THE PROPERTY LINE. ALL WALLS 1.0m OR HIGHER SHALL BE DESIGNED BY A P.E.
3. SHOULD A RETAINING WALL BE REQUIRED, THE TOP OF WALL ELEVATIONS SHALL BE SET 150mm ABOVE THE PROPOSED SIDE YARD GRADES.
4. RETAINING WALLS 0.60m IN HEIGHT OR GREATER REQUIRE CONSTRUCTION OF FENCE OR GUARDRAIL AT THE TOP OF THE FACE OF THE WALL. GUARDS FOR RETAINING WALLS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF EXISTING GUARDS AS CONTAINED IN THE ONTARIO BUILDING CODE.
5. SLOPES OF SWALES FOR BOTH "BACK AND FRONT" AND "SPLIT" DRAINAGE SHALL BE NO LESS THAN 2.0% GRADE AND NO GREATER THAN 3.0%.
6. WHEN MATCHING TO EXISTING PROPERTIES WHERE 2% SLOPE CANNOT BE ACHIEVED, A 1.0% GRADE IS PERMITTED. PROVIDED A 150mm SUB-DRAIN IS INSTALLED BELOW THE BOTTOM OF THE SWALE AND DRAINED TO A SUTTERLY OUTLET (WITH A MINIMUM OF 0.30m COVER OVER THE SUB-DRAIN), OR OTHER MITIGATED MEASURES.
7. MINIMUM GRADE FOR A WALK-AROUND SWALE IN THE BACKYARD SHALL BE 1.0%.
8. UNLESS OTHERWISE NOTED, THE GROUND BETWEEN PROPOSED ELEVATIONS ON SIDE LOTS SHALL BE GRADED AS A STRAIGHT LINE.
9. TOP OF FOUNDATION WALLS FOR BUILDINGS SHALL BE 150mm (min.) ABOVE FINISHED GRADE.
10. DRIVEWAY SLOPES SHALL BE NO LESS THAN 2% AND NO MORE THAN 7%.
11. GARAGE FLOOR ELEVATION TO BE SET 0.30m (min.) HIGHER THAN BACK OF WALK, UNLESS OTHERWISE SPECIFIED.
12. ALL FILL PLACED ON LOTS SHALL BE COMPACTED TO A MINIMUM SIX SP (UNLESS OTHERWISE RECOMMENDED BY THE GEOTECHNICAL ENGINEER). ALL MATERIAL SHALL BE PLACED IN LAYERS NOT EXCEEDING 300mm LIFTS.
13. FOR DELINEATION OF TREE PROTECTION ZONES, BUFFERS, REMOVALS AND PROTECTION SCHEMATICS, ETC. REFER TO TREE PROTECTION PLAN.
14. THE WRITTEN PERMISSION REQUIRED FROM THE ADJACENT LANDOWNER SHALL BE OBTAINED PRIOR TO ENTERING THE LANDS. SHOULD PERMISSION NOT BE OBTAINED ON WITNESSED DEED TO COMMENCE THE WORK, THE DEVELOPER SHALL LIMIT HIS ACTIVITIES TO THE LIMITS OF THE DEVELOPMENT OF THE SITE.
15. DRIVEWAYS AND DRIVEWAY APPROACHES SHALL BE LOCATED SUCH THAT WINDING WALLS AND OTHER STREET FURNITURE ARE A MINIMUM 1.0m FROM THE PROJECTIONS OF THE OUTSIDE GARAGE WALLS.

GENERAL NOTES:

1. ALL WORK INVOLVED IN CONSTRUCTION, RELOCATION, REPAIR OF MUNICIPAL SERVICES FOR THE PROJECT SHALL BE TO THE SATISFACTION OF THE DIRECTOR OF PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT.
2. FIRE ROUTE SIGNS AND 3-WAY FIRE HYDRANTS SHALL BE ESTABLISHED TO THE SATISFACTION OF THE CITY FIRE DEPARTMENT AND AT THE EXPENSE OF THE OWNER.
3. MAIN DRIVEWAY EMERGENCIES AT THE PROPERTY LINE BOUNDARIES ARE PLUS OR MINUS 1.5m UNLESS OTHERWISE STATED.
4. ALL DRIVEWAYS FROM PROPERTY LINES FOR THE FIRST 7.5m SHALL BE WITHIN 5% MAXIMUM GRADE, THEREAFTER, ALL DRIVEWAYS SHALL BE 10% MAXIMUM GRADE.
5. THE APPROVAL OF THIS SITE PLAN DOES NOT EXEMPT THE OWNER'S BOND CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:
-BUILDING PERMITS
-ROAD CUT PERMITS
-APPROACH APPROVAL PERMITS
-COMMITTEE OF ADJUSTMENT
-ENCROACHMENT AGREEMENTS
6. ABANDONED ACCESSES MUST BE REMOVED AND THE CURB AND BOULEVARD RESTORED WITH CDD AT THE OWNER'S EXPENSE TO THE SATISFACTION OF THE TRAFFIC ENGINEERING SECTION, PUBLIC WORKS DEPARTMENT.
7. ALL NEW SIGNS MUST COMPLY WITH THE REGULATIONS OF SIGN BY-LAW 10-187.
8. ALL FENCING SHALL CONFORM TO FENCE BY-LAW 10-142.
9. THIS PROPERTY IS EXEMPT FOR WEEKLY COLLECTION OF GARBAGE, RECYCLING, GRASSCUTS, AND LEAF AND YARD WASTE, THROUGHOUT THE CITY OF HAMILTON, SUBJECT TO THE REQUIREMENTS OF THE CITY OF HAMILTON DEPARTMENT AND SUBJECT TO COMPLIANCE WITH THE CITY'S SOLID WASTE MANAGEMENT BY-LAW 09-06/AS AMENDED.
10. EXITS AND OUTLETS SHALL CONFORM TO SECTION 4.1.81 (B) OF BY-LAW 3092-92.
11. ANY PARKING AREA, PARKING SPACES, LOADING SPACES, DRIVEWAY HANDLING AREA, OR ASSESSMENT TO BE PROVIDED OR PERMITTED ACCORDING TO THE PROVISIONS OF THIS BY-LAW FOR ANY USE IN ANY ZONE SHALL BE PROVIDED AND MAINTAINED IN ACCORDANCE WITH THIS BY-LAW.
12. UNENCLOSED PORCHES MAY PROJECT INTO ANY REQUIRED FRONT YARD 1.5m, THE PROPOSED UNENCLOSED PORCH AT THE FRONT HAS A MAXIMUM ENCROACHMENT OF 1.2m, WHICH CONFORMS.
13. SUBJECT TO THE ISSUANCE OF A BUILDING PERMIT IN THE NORMAL MANNER.
14. THE DESIGNER SHALL ENSURE THAT THE FIRE ACCESS ROUTE CONFORMS TO THE ONTARIO BUILDING CODE.
15. A MINIMUM OF 1.2m SEPARATION MUST BE PROVIDED WITHIN THE CITY'S ROAD ALLOWANCE AREA BETWEEN AN ACCESS AND ANY UTILITY, FIRE HYDRANT, TREE, SIGN, ETC. ANY ACCESS FOR TRUCKS, SIGN OR UTILITY RELOCATION ARE THE SOLE RESPONSIBILITY OF THE APPLICANT/OWNER.

LEGEND:

- 1. DRIVEWAY DESIGN
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- NOTES:**
1. A PORTION OF ROADWAY OR YARD PROVIDED AS A REQUIRED ACCESS ROUTE FOR FIRE DEPARTMENT USE SHALL:
 2. HAVE A CLEAR WIDTH NOT LESS THAN 5m, UNLESS IT CAN BE SHOWN LESSER WIDTHS ARE SATISFACTORY.
 3. HAVE A CENTRELINE RADIUS NOT LESS THAN 50m.
 4. HAVE AN OVERHEAD CLEARANCE NOT LESS THAN 5m.
 5. HAVE A CHANGE OF GRADIENT NOT MORE THAN 1 IN 12.5 OVER A MINIMUM DISTANCE OF 15m.
 6. BE DESIGNED TO SUPPORT THE EXPECTED LOADS IMPOSED BY FIRE-FIGHTER EQUIPMENT (40-50kg OR 80,000lbs) AND BE SURFACED WITH CONCRETE, ASPHALT OR OTHER MATERIAL DESIGNED TO PERMIT ACCESSIBILITY UNDER ALL CLIMATIC CONDITIONS.
 7. HAVE TURNAROUND FACILITIES FOR ANY DEAD-END PORTION OF THE ACCESS ROUTE MORE THAN 90m LONG.
 8. BE CONNECTED WITH A PUBLIC THROUGHFARE.

GRCA Permit Approval

From: Planning (planning@grandriver.ca)
To: info@klaasdesign.com
Cc: clerk@hamilton.ca; building@hamilton.ca
Date: Tuesday, September 7, 2021, 03:54 PM EDT

Hello,

The Grand River Conservation Authority has approved permit application 715/21 for the proposed work at 1816, 1820 & 1824 Concession 8 West. Please find a copy of the permit in the form of an attachment or a link provided below.

We're aware of the garage in part three on the second Schedule B and have no issues with it.

Should you have any further questions, please contact the GRCA planning department at planning@grandriver.ca.

Thank you.



GRCA Permit 715-21.pdf
2.3MB