

## **NOTICE OF PUBLIC HEARING** **Minor Variance**

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**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
  - Applicant/agent on file, or
  - Person likely to be interested in this application
- 

**APPLICATION NO.:** AN/A-21:349

**APPLICANTS:** Owners Doug & Doris Holder  
Applicant Mel Ross and Mal Benham

**SUBJECT PROPERTY:** Municipal address **925 Montgomery Dr., Ancaster**

**ZONING BY-LAW:** Zoning By-law 87-57, as Amended by By-law 18-105

**ZONING:** ER district (Existing Residential)

**PROPOSAL:** To permit the construction of 18.99 square metre one-storey addition at the rear of the existing single family dwelling notwithstanding that:

1. A minimum 1.56 metre westerly interior side yard setback shall be permitted, instead of the minimum 2.0 metre interior side yard setback required.

**NOTE:**

1. Specific details regarding the projection of eaves/gutters of the proposed addition were not indicated on the submitted site plan. Please note that should the variance requested to Section 7.12 to permit a reduced westerly interior side yard setback be approved, eaves and gutters shall be permitted to project into the new minimum side yard a distance of not more than 0.60 metres. Additional variances may be required if compliance with Section 7.12(b) is not possible.
2. Please note that as per Section 10.3.5(1), a minimum of one metre within the side yard shall be unobstructed and shall not contain structures, walkways, sidewalks, hard surfaced material, and landscaping other than sod. Additional variances may be required if compliance with Section 10.3.5(1) is not possible.
3. Please note that this property is subject to Site Plan Control By-law No. 15-176, as amended by By-law NO. 18-104, 19-026, and 21-069.
4. Please be advised that a portion of this property is under Conservation Management. Please contact the Hamilton Conservation Authority for further information.
5. The lands are located within or adjacent to an Environmentally Sensitive Area (ESA) and are subject to Site Plan Control

6. A building permit is required for the construction of the proposed development. Be advised that Ontario Building Code regulations may require specific setback and construction types.

This application will be heard by the Committee as shown below:

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<b>DATE:</b>	<b>Thursday, November 4th, 2021</b>
<b>TIME:</b>	<b>2:00 p.m.</b>
<b>PLACE:</b>	<b>Via video link or call in (see attached sheet for details)</b>
	<b>To be streamed at</b>
	<b><a href="http://www.hamilton.ca/committeeofadjustment">www.hamilton.ca/committeeofadjustment</a></b>
	<b>for viewing purposes only</b>

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## **PUBLIC INPUT**

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

## **MORE INFORMATION**

For more information on this matter, including access to drawings illustrating this request:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

DATED: October 19th, 2021.

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

***Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.***



Tel: 519-624-1966  
1-877-624-1966  
Fax: 519-623-3994

**COMPLETE Home CONCEPTS Inc.**  
180 Sheldon Drive, Unit 2A, Cambridge ON N1R 6V1

# HOLDER RESIDENCE NEW SOLARIUM ADDITION

925 MONTGOMERY DRIVE  
ANCASTER, ONTARIO

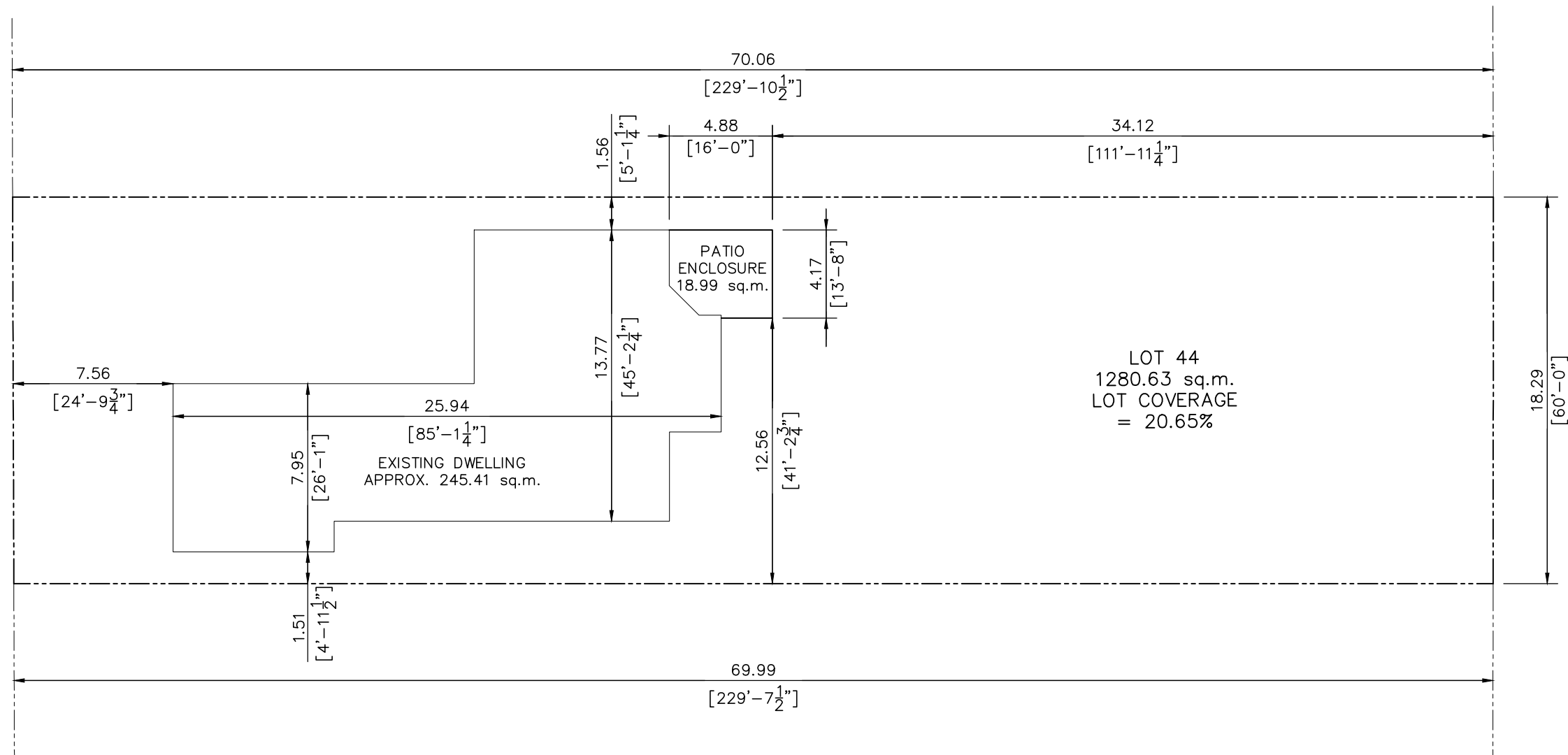
 **Colin A Lee  
Engineering Ltd.**

Tel: 519•570•4120 Fax: 519•570•9288

## LIST OF DRAWINGS:

SP1.01 - LOT LAYOUT  
A1.01 - SOLARIUM LAYOUT - PROPOSED PLANS  
A2.01 - SOLARIUM LAYOUT - PROPOSED ELEVATIONS  
A2.02 - SOLARIUM LAYOUT - PROPOSED ELEVATION  
A2.03 - REAR ELEVATION  
A2.04 - LEFT SIDE ELEVATION  
A3.01 - SOLARIUM - TYPICAL DETAILS  
A3.02 - SOLARIUM - TYPICAL DETAILS  
A3.03 - WOOD DECK DETAILS  
A3.04 - WOOD DECK DETAILS

MONTGOMERY DRIVE



LOT 44  
REG. PLAN 769 ANCASTER HEIGHTS  
TOWN OF ANCASTER  
REGIONAL MUNICIPALITY OF HAMILTON-WENTWORTH

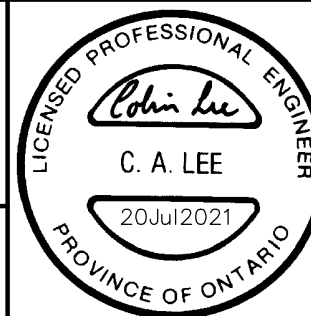


SCALE = 1:250 metric

LOT INFORMATION OBTAINED FROM SURVEYOR'S  
REAL PROPERTY REPORT PREPARED BY MacKAY,  
MacKAY & PETERS LIMITED, O.L.S. DATED 17TH  
AUG. 1999.

HOLDER RESIDENCE  
925 MONTGOMERY DRIVE, ANCASTER

LOT LAYOUT



**Colin A Lee**  
Engineering Ltd.  
Tel: 519•570•4120 Fax: 519•570•9288

scale: 1:250 metric

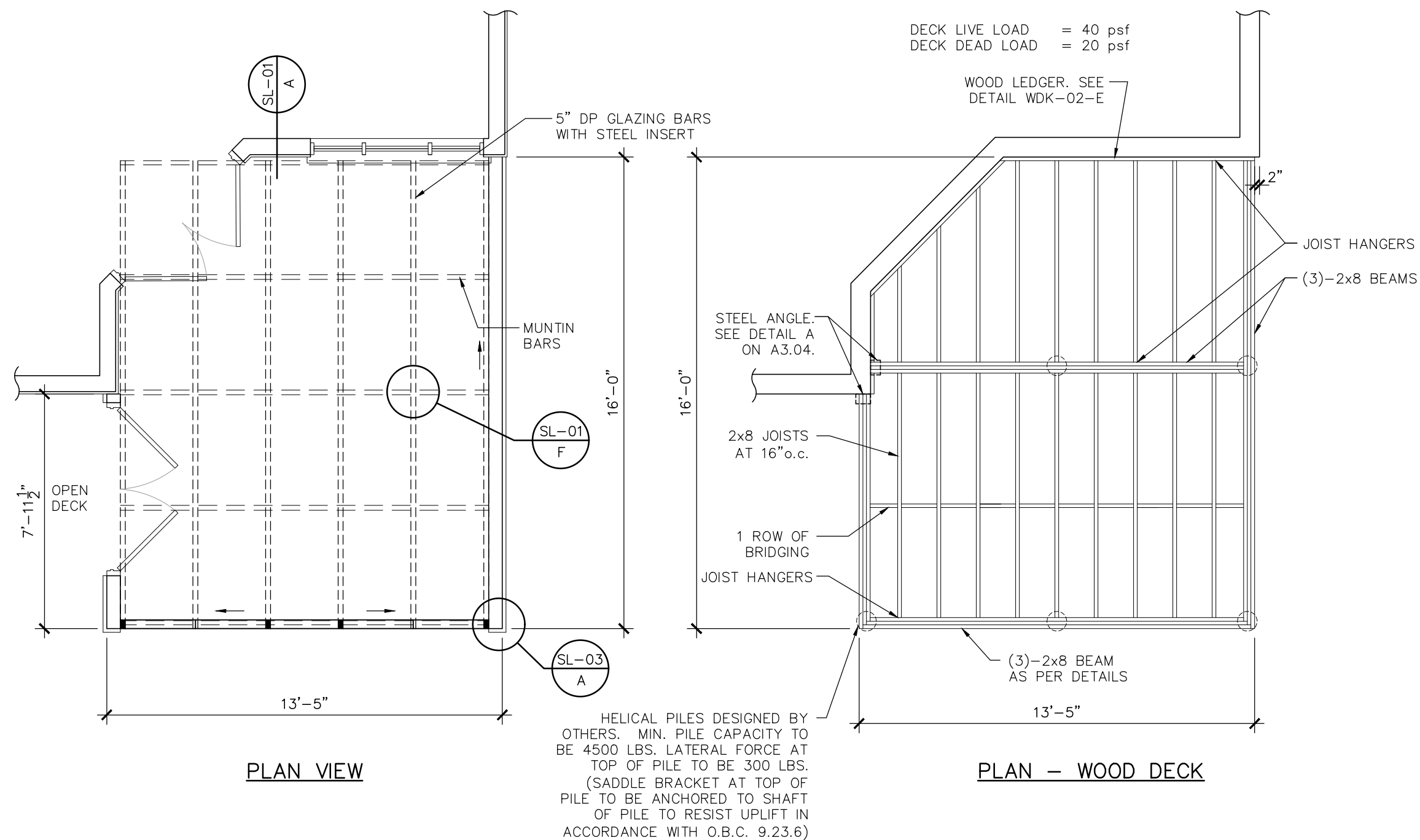
date: MAY 2021

dwg No. SP1.01



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**COMPLETE Home CONCEPTS Inc.**  
180 Sheldon Drive, Unit 2A, Cambridge ON N1R 6V1



## NOTES:

### DESIGN STANDARDS

- (a) 2012 BUILDING CODE COMPENDIUM (VOL. 1 & 2)
- (b) ALUMINUM: CAN-S157 - SUB-SECTION 4.1.3 "STRENGTH DESIGN IN ALUMINUM" AS PER OBC-DIV B, 4.3.5. ALUMINUM ALLOY TO BE 6063-T6 WITH A MINIMUM YIELD STRENGTH OF 170 MPa (25 KSI)
- (c) GLASS: CAN/CGSB-12.20-M "STRUCTURAL DESIGN OF GLASS FOR BUILDINGS" AS PER OBC-DIV B, 4.3.6 SLOPED ROOF GLASS TO BE LAMINATED WITH PVB INTERLAYER AS PER CAN/CGSB-12.20-M
- (d) STRUCTURAL STEEL: CSA STANDARD S16-01 "LIMITS STATES DESIGN OF STEEL STRUCTURES"
- (e) TIMBER: CAN/CSA-086 "ENGINEERING DESIGN IN WOOD". ALL DIMENSION LUMBER TO BE NO. 2 SPF OR BETTER.

### DESIGN LOADS

#### ROOF:

ROOF SNOW LOAD (SNOW + RAIN)  
= 33 PSF + SNOW SHADOW  
ROOF DEAD LOAD = 6 PSF  
WIND LOAD Q (1/50) = 10 PSF

#### FLOOR:

LIVE LOAD = 40 PSF  
DEAD LOAD = 20 PSF

### SOLARIUM NOTES:

MODEL: CUSTOM SOLARIUM (SE), (14')  
5 BAY UNIT, 1 STORY MOUNT

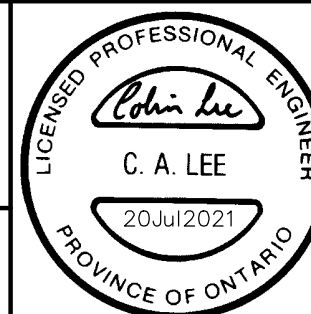
COLOR: WHITE

GLASS: ROOF: SOLARBAN 70 VT / CLEAR  
FRONT WALL: SOLARBAN 70 VT / CLEAR

WINDOWS: (2)-GDI DOUBLE BAY SLIDERS CA8  
OTHER: 5" GLAZING BARS (RAFTER GLAZING  
BARS REINFORCED W/ 1 1/2" x 4"  
x 3/16" HSS STL. TUBE)

HOLDER RESIDENCE  
925 MONTGOMERY DRIVE, ANCASTER

SOLARIUM LAYOUT - PROPOSED PLANS



**Colin A Lee**  
Engineering Ltd.  
Tel: 519-570-4120 Fax: 519-570-9288

scale: 1/4"=1'-0"

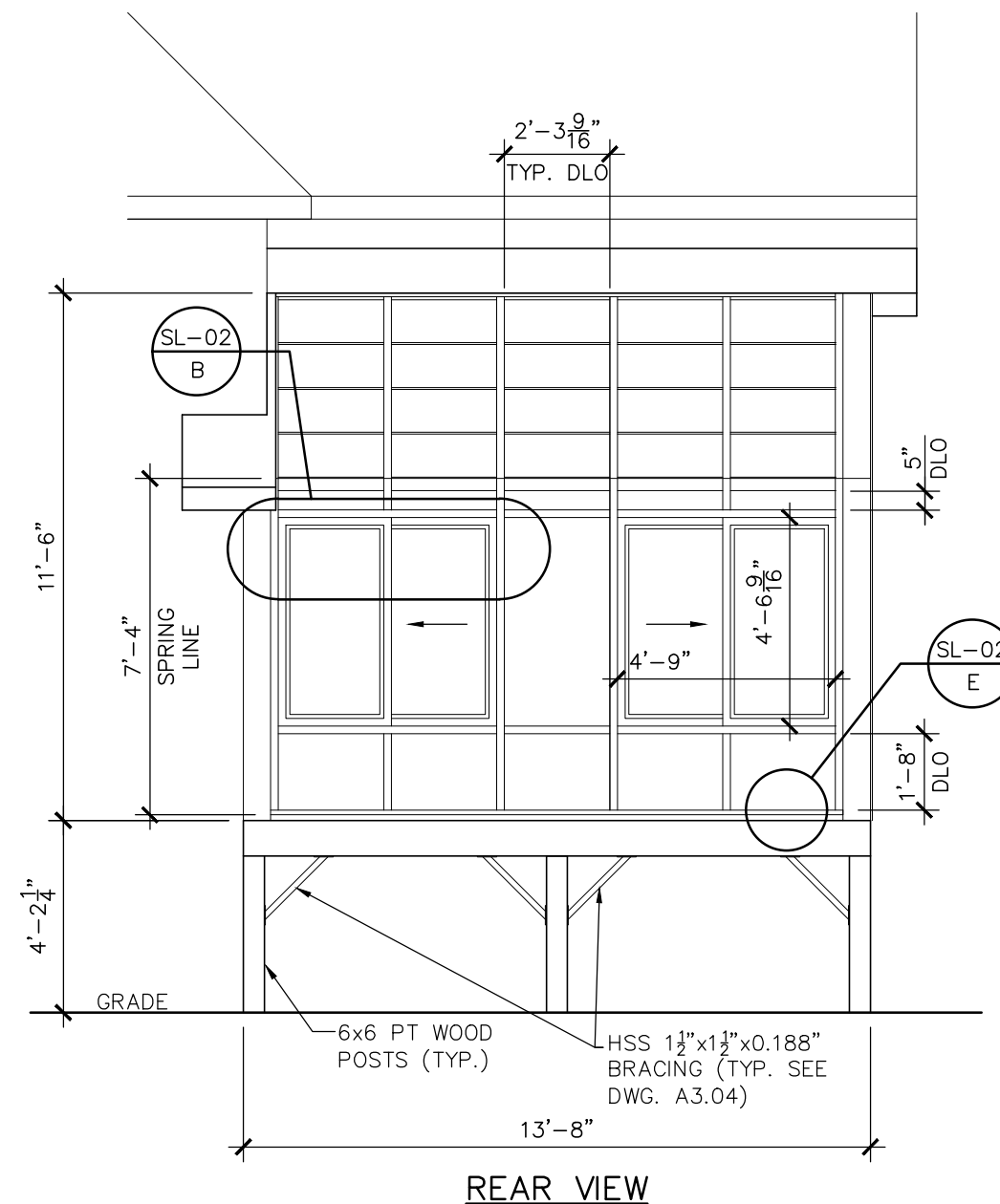
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dwg No. **A1-01**

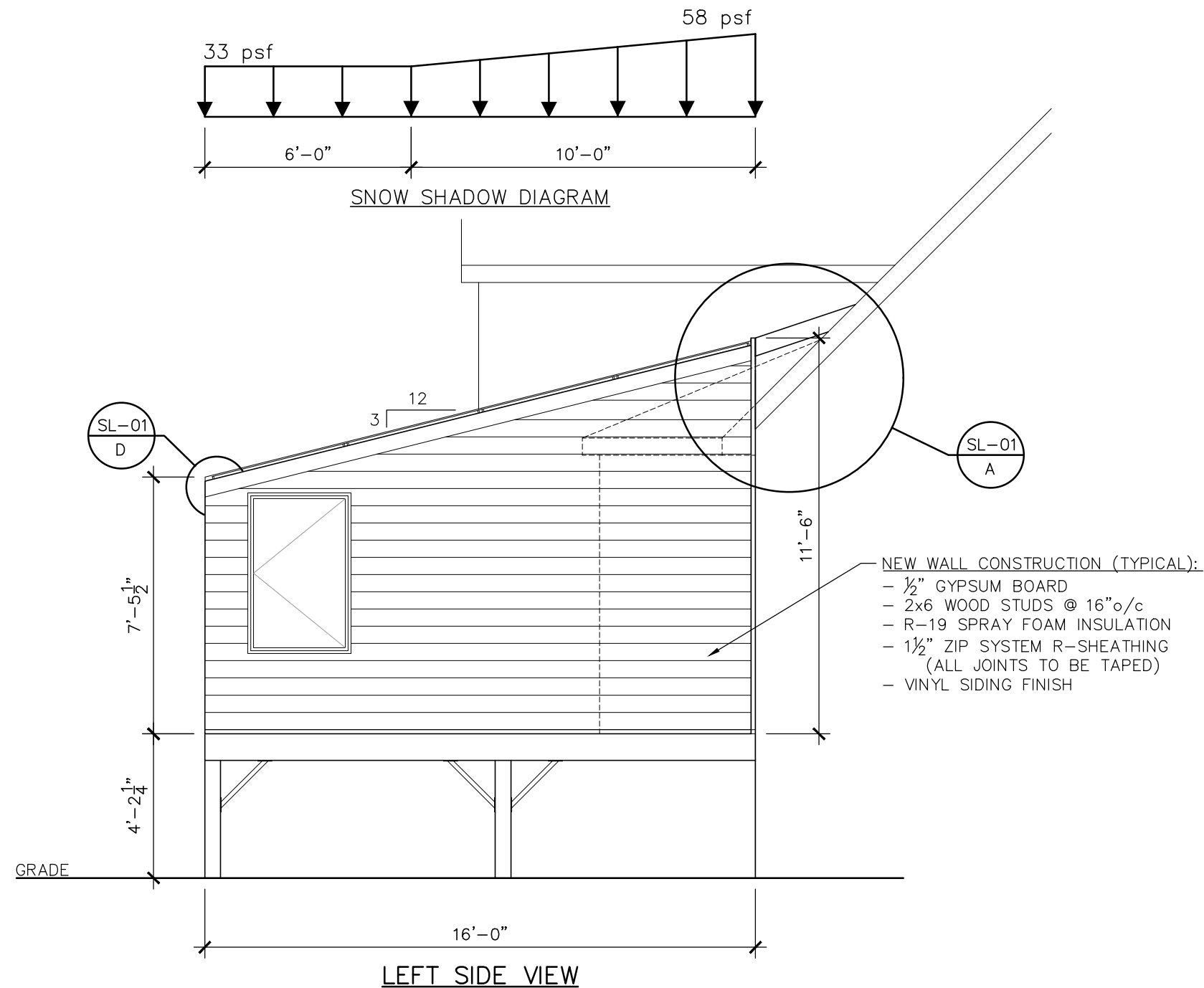


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**COMPLETE Home CONCEPTS Inc.**  
180 Sheldon Drive, Unit 2A, Cambridge ON N1R 6V1

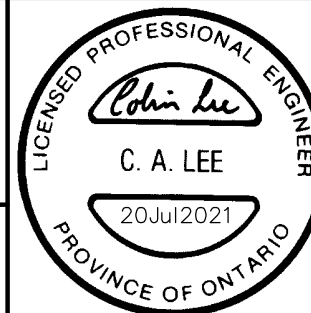


**COMPLETE Home CONCEPTS Inc.**  
180 Sheldon Drive, Unit 2A, Cambridge ON N1R 6V1



HOLDER RESIDENCE  
925 MONTGOMERY DRIVE, ANCASTER

SOLARIUM LAYOUT – PROPOSED ELEVATION



**Colin A Lee**  
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Tel: 519•570•4120 Fax: 519•570•9288

scale: 1/4"=1'-0"

date: MAY 2021

dwg No. **A2.02**



Tel: 519-624-1966  
1-877-624-1966  
Fax: 519-623-3994

**COMPLETE Home CONCEPTS Inc.**  
180 Sheldon Drive, Unit 2A, Cambridge ON N1R 6V1



HOLDER RESIDENCE  
925 MONTGOMERY DRIVE, ANCASTER

REAR ELEVATION



**Colin A Lee**  
Engineering Ltd.  
Tel: 519•570•4120 Fax: 519•570•9288

scale: 3/16"=1'-0"

date: MAY 2021

dwg No. **A2.03**



Tel: 519-624-1966  
1-877-624-1966  
Fax: 519-623-3994

**COMPLETE Home CONCEPTS Inc.**  
180 Sheldon Drive, Unit 2A, Cambridge ON N1R 6V1



GLAZED COVERAGE CALCULATIONS:

LEFT SIDE ELEVATION

LIMITING DISTANCE:	1.54m
EXIST. EXPOSED BUILDING FACE AREA	71.67m <sup>2</sup>
PROP. SUNROOM FACE AREA	13.38m <sup>2</sup>
TOTAL EXPOSING BUILDING FACE AREA:	85.05m <sup>2</sup>
% GLASS ALLOWED:	8%
TOTAL ALLOWABLE GLAZED AREA:	6.80m <sup>2</sup>
EXIST. HOUSED GLAZED AREA:	5.51m <sup>2</sup>
NEW SUNROOM GLAZED AREA:	0.91m <sup>2</sup>
TOTAL GLAZED AREA:	6.42m <sup>2</sup>



HOLDER RESIDENCE  
925 MONTGOMERY DRIVE, ANCASTER

LEFT SIDE ELEVATION



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Engineering Ltd.

Tel: 519•570•4120 Fax: 519•570•9288

scale: 3/16"=1'-0"

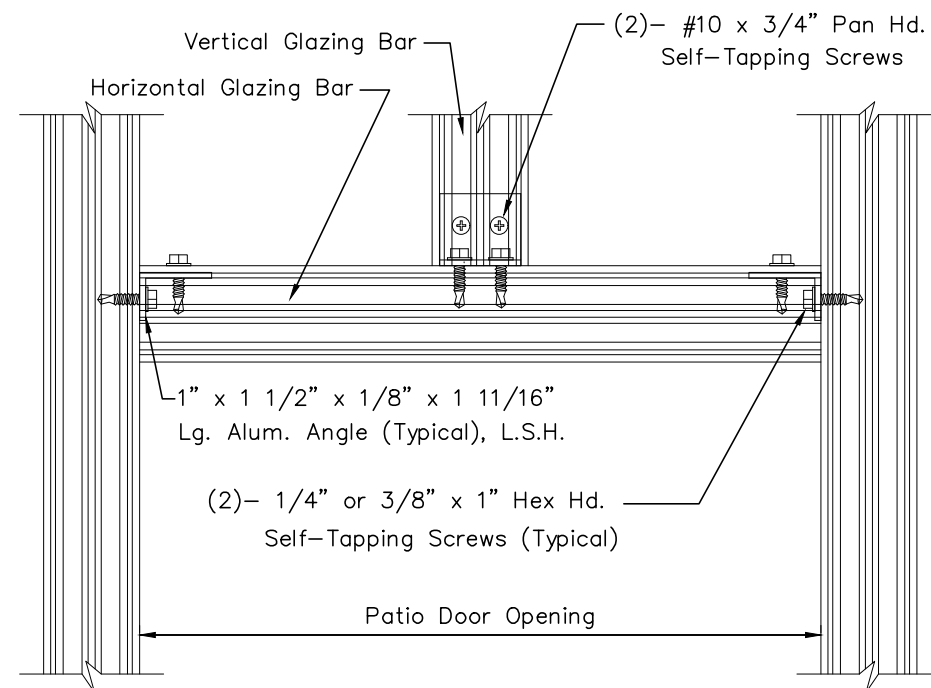
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dwg No. A2.04

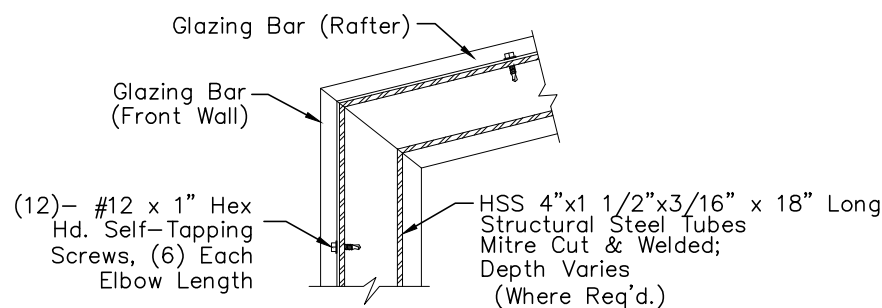


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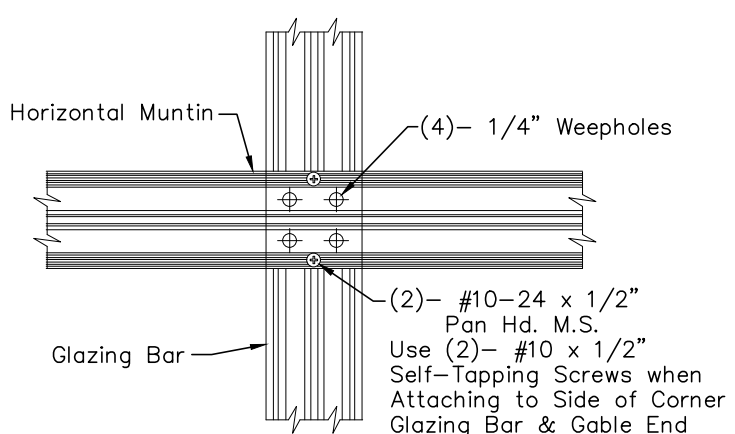
**COMPLETE Home CONCEPTS Inc.**  
180 Sheldon Drive, Unit 2A, Cambridge ON N1R 6V1



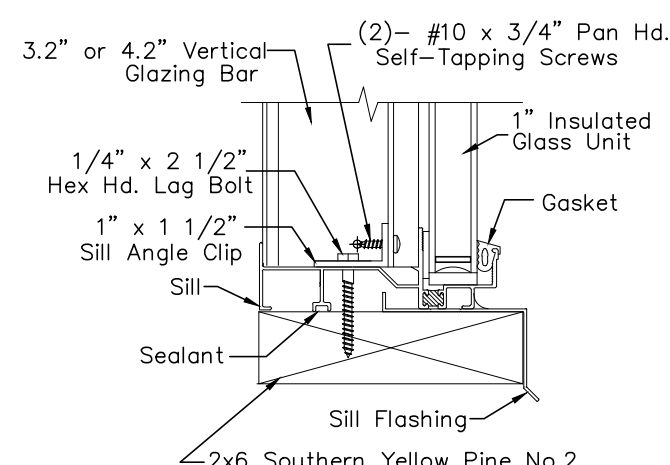
DETAIL SL-02  
SCALE 3"=1'-0" B



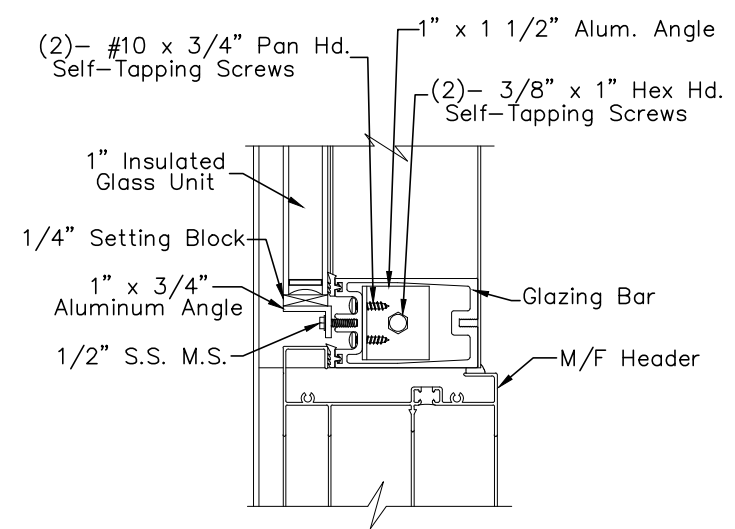
DETAIL SL-01  
SCALE 1 1/2"=1'-0" D



DETAIL SL-01  
SCALE 1 1/2"=1'-0" F



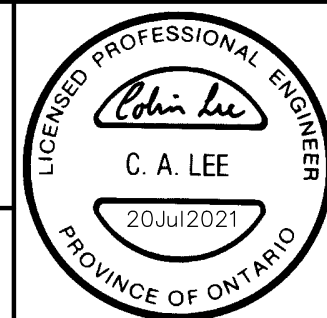
SILL DETAIL SL-02  
SCALE 3"=1'-0" E



DETAIL SL-02  
SCALE 3"=1'-0" C

HOLDER RESIDENCE  
925 MONTGOMERY DRIVE, ANCASTER

SOLARIUM – TYPICAL DETAILS



**Colin A Lee Engineering Ltd.**  
Tel: 519-570-4120 Fax: 519-570-9288

scale: AS NOTED

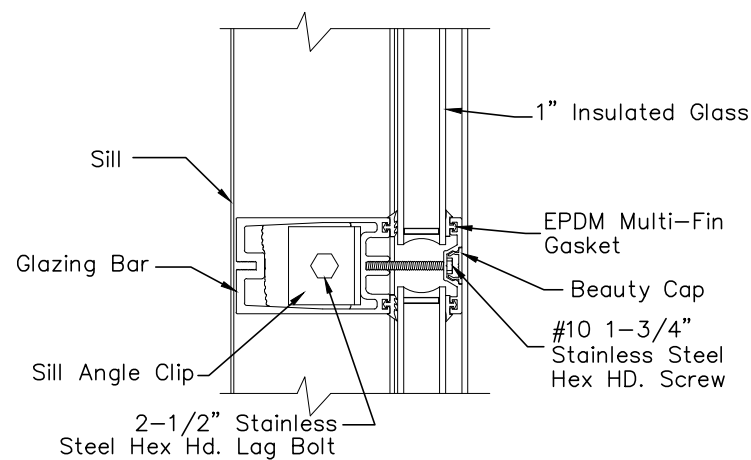
date: MAY 2021

dwg No. **A3.01**

**patio ENCLOSURES INC.**  
Authorized Dealer

Tel: 519-624-1966  
1-877-624-1966  
Fax: 519-623-3994

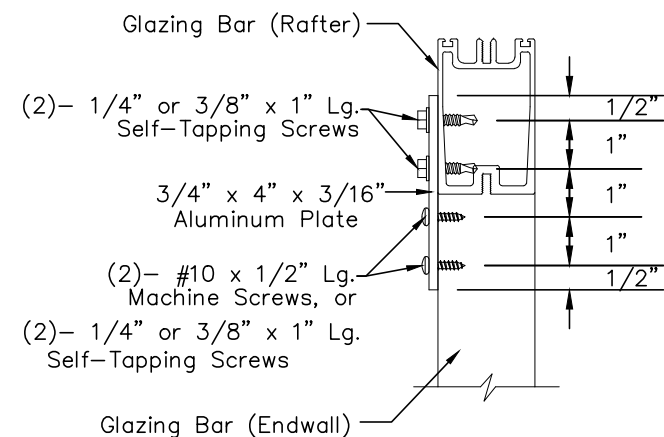
**COMPLETE Home CONCEPTS Inc.**  
180 Sheldon Drive, Unit 2A, Cambridge ON N1R 6V1



DETAIL

SCALE 3"=1'-0"

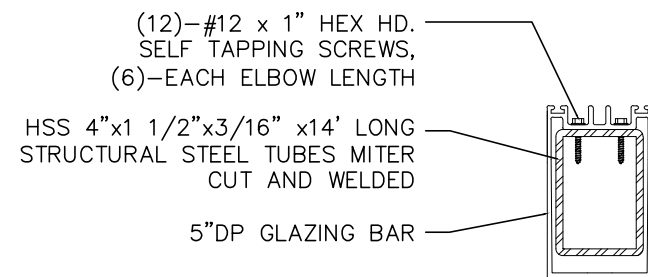
SL-03  
C



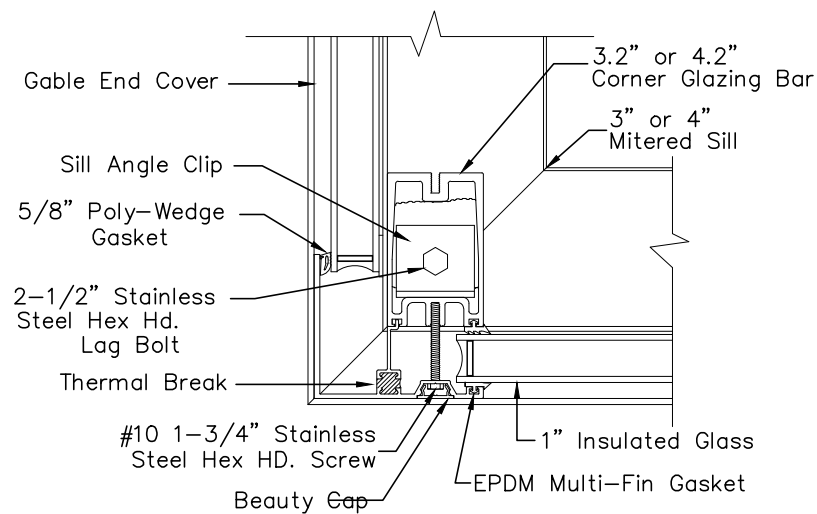
DETAIL

SCALE 3"=1'-0"

SL-01  
G



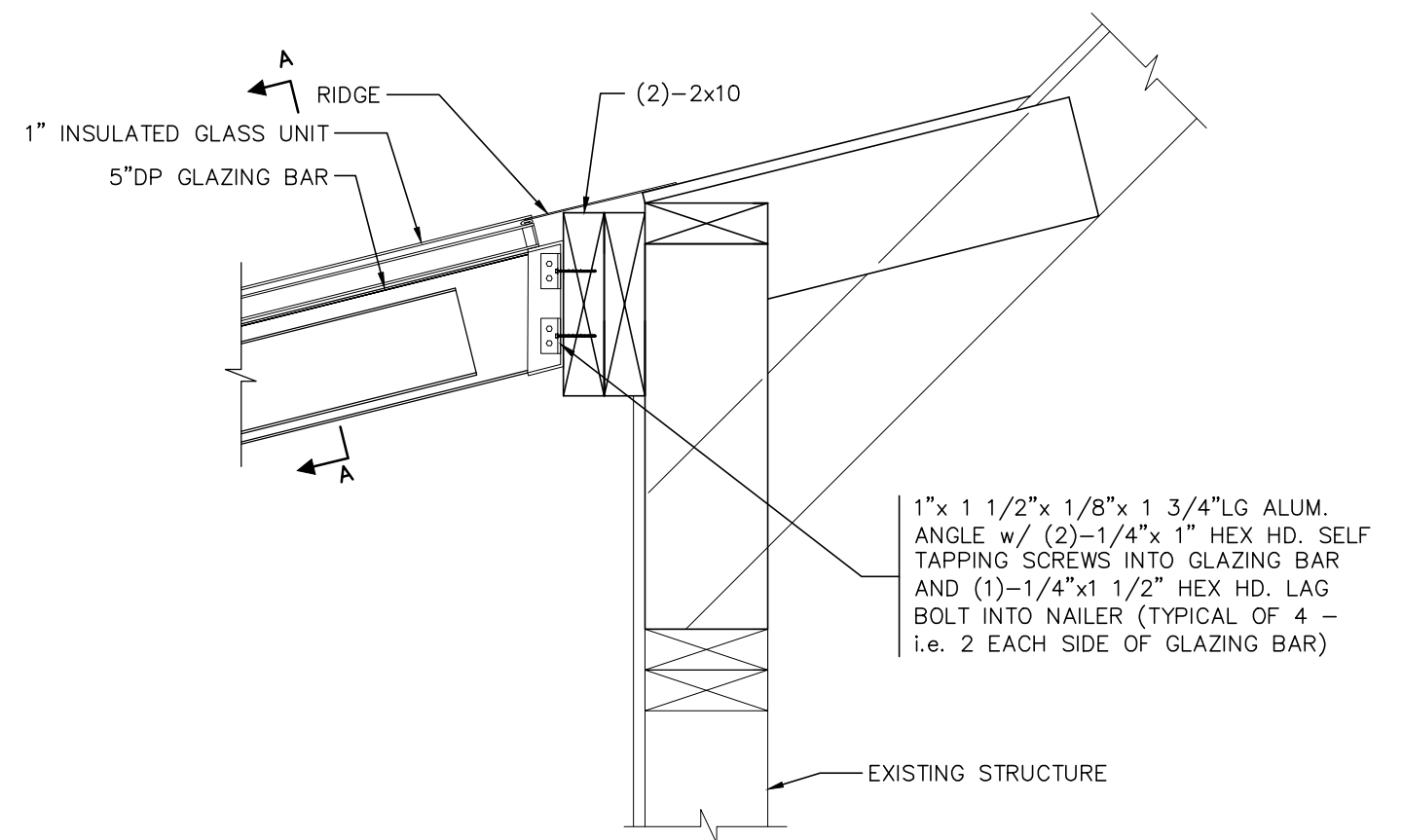
SECTION A-A



CORNER POST DETAIL

SCALE 3"=1'-0"

SL-03  
A



ROOF HANGER DETAIL

N.T.S.

SL-01  
A

HOLDER RESIDENCE  
925 MONTGOMERY DRIVE, ANCASTER

SOLARIUM – TYPICAL DETAILS



**Colin A Lee**  
Engineering Ltd.  
Tel: 519-570-4120 Fax: 519-570-9288

scale: AS NOTED

date: MAY 2021

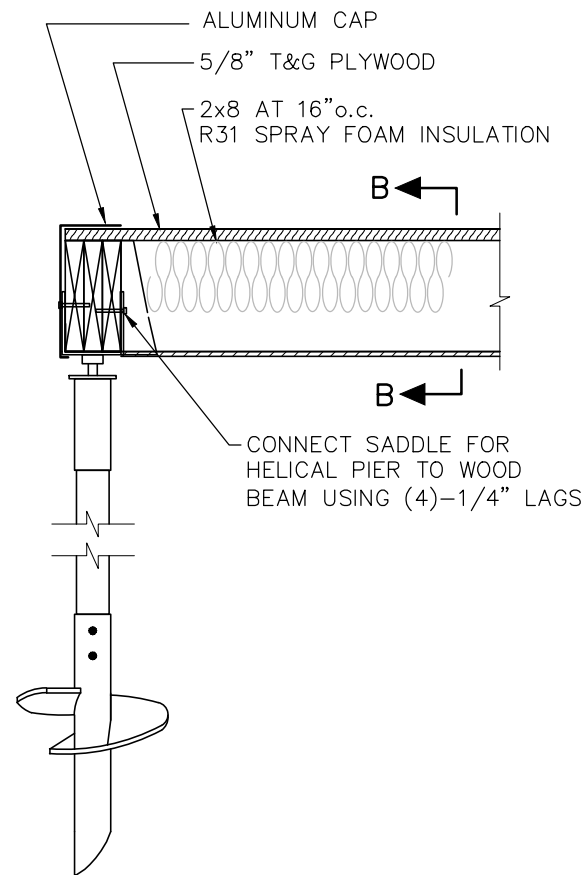
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A3.02

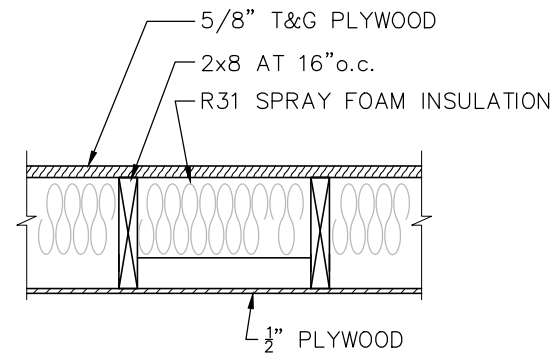


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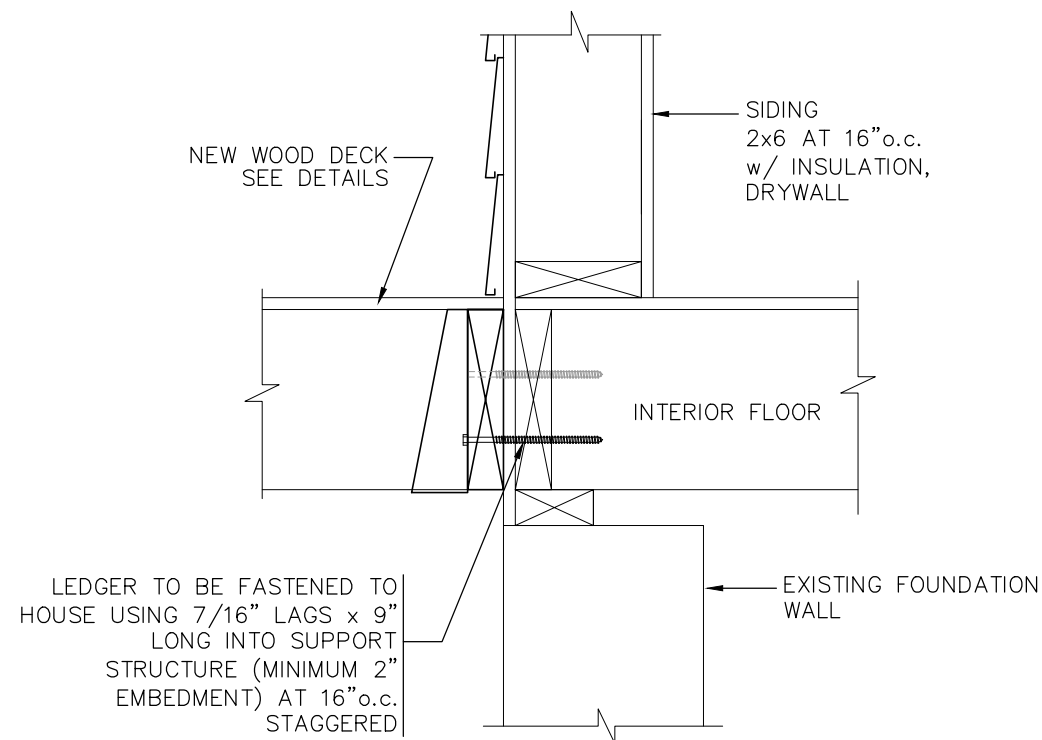
**COMPLETE Home CONCEPTS Inc.**  
180 Sheldon Drive, Unit 2A, Cambridge ON N1R 6V1



**HELICAL PILE DETAIL**  
3/4"=1'-0"



**SECTION B-B**  
3/4"=1'-0"



**DETAIL**  
SCALE 1 1/2"=1'-0"

WDK-02  
E

HOLDER RESIDENCE  
925 MONTGOMERY DRIVE, ANCASTER

WOOD DECK DETAILS



**Colin A Lee**  
Engineering Ltd.  
Tel: 519-570-4120 Fax: 519-570-9288

scale: AS NOTED

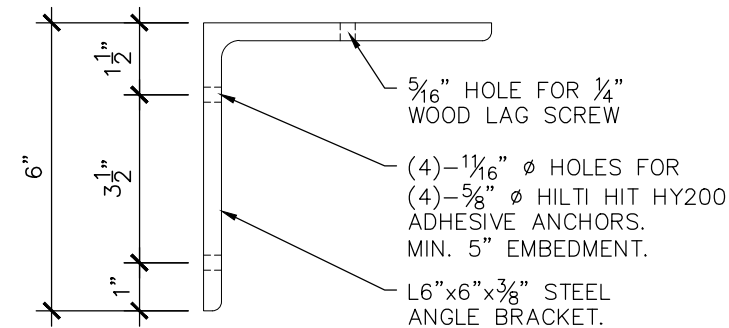
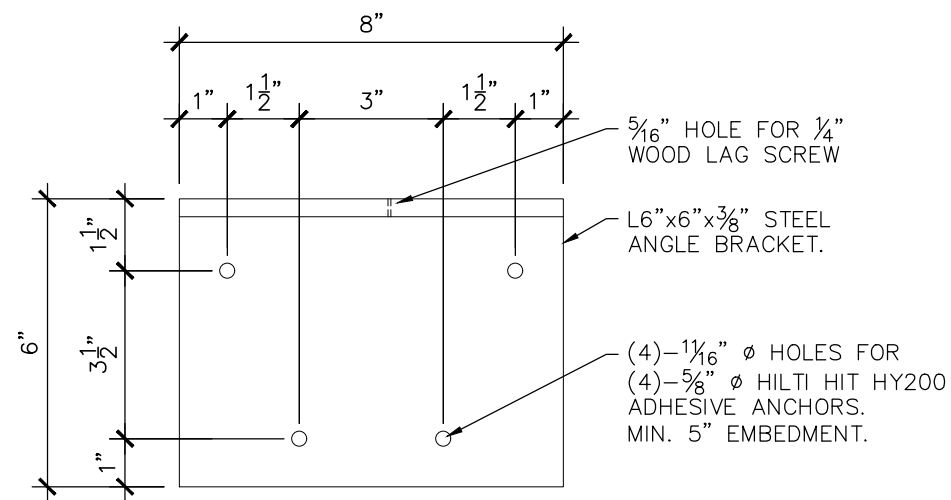
date: MAY 2021

dwg No. **A3.03**

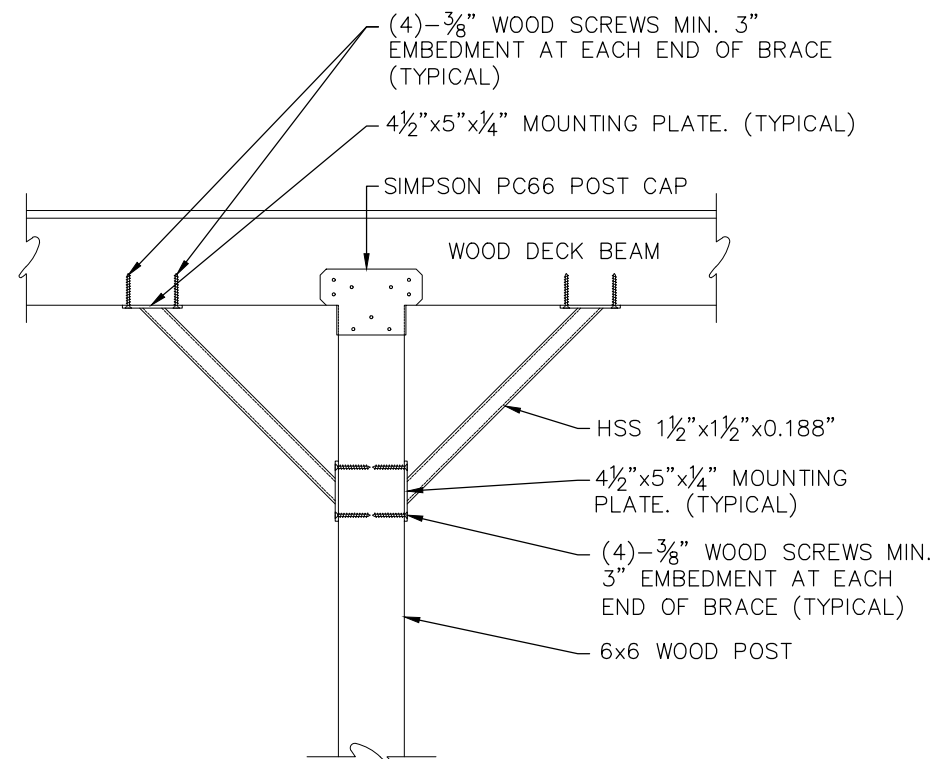


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**COMPLETE Home CONCEPTS Inc.**  
180 Sheldon Drive, Unit 2A, Cambridge ON N1R 6V1

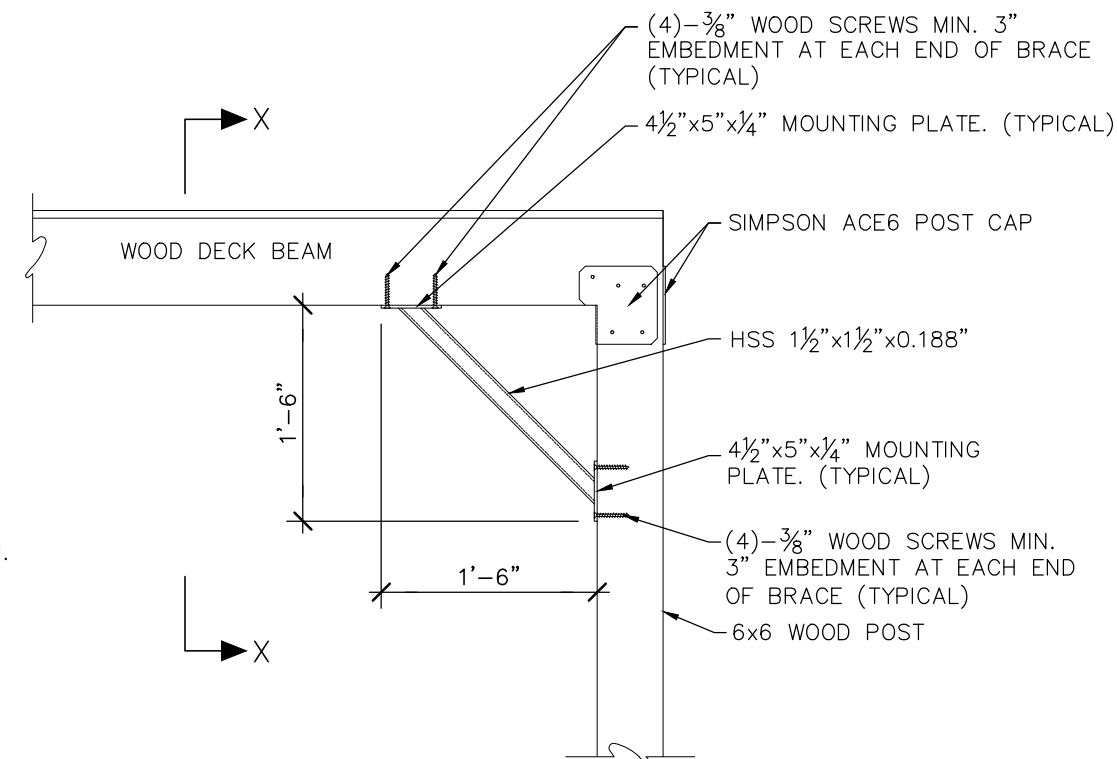


DETAIL A - STEEL ANGLE BRACKET

$$3'' = 1' - 0''$$


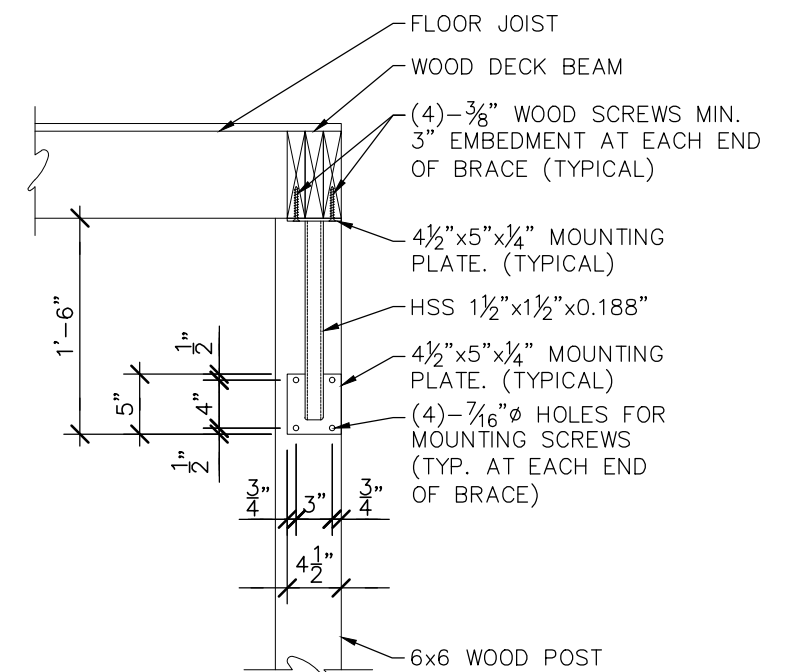
### BRACING DETAIL

SCALE 3/4"=1'-0"



### CORNER BRACING DETAIL

SCALE 3/4"=1'-0"



BRACING DETAIL X-X

SCALE 3/4"=1'-0"

HOLDER RESIDENCE  
925 MONTGOMERY DRIVE, ANCASTER

# WOOD DECK DETAILS



**CL** Colin A Lee  
Engineering Ltd.  
Tel: 519•570•4120 Fax: 519•570•9288

scale: AS NOTED

date: MAY 2021

dwg No.

### A3.04



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**1-877-624-1966**  
**Fax: 519-623-3994**

**COMPLETE Home CONCEPTS Inc.**  
180 Sheldon Drive, Unit 2A, Cambridge ON N1R 6V1

## APPLICATION FOR A MINOR VARIANCE

**FOR OFFICE USE ONLY.**

APPLICATION NO. \_\_\_\_\_ DATE APPLICATION RECEIVED \_\_\_\_\_

PAID \_\_\_\_\_ DATE APPLICATION DEEMED COMPLETE \_\_\_\_\_

SECRETARY'S  
SIGNATURE \_\_\_\_\_

### The Planning Act

#### Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2

	MAILING ADDRESS
<b>Registered Owners(s)</b>	
<b>Applicant(s)*</b>	
<b>Agent or Solicitor</b>	

**Note:** Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:  
 None

**Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled**

4. Nature and extent of relief applied for:  
  
The minimum required side yard in a ER Zone is 2.0m.  
We are proposing 1.56m which is the current set back of the existing dwelling.  
This is a requested relief of .44m.  
  
☐ Secondary Dwelling Unit      ☐ Reconstruction of Existing Dwelling
5. Why it is not possible to comply with the provisions of the By-law?  
  
It would make the room too small to be usable
6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):  
  
Lot 44, Plan 796, 925 Montgomery Dr.
7. PREVIOUS USE OF PROPERTY  
  
Residential ☒      Industrial ☐      Commercial ☐  
Agricultural ☐      Vacant ☐      Other ☐  
Other \_\_\_\_\_
- 8.1 If Industrial or Commercial, specify use \_\_\_\_\_
- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?  
Yes ☐      No ☒      Unknown ☐
- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?  
Yes ☐      No ☒      Unknown ☐
- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?  
Yes ☐      No ☒      Unknown ☐
- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?  
Yes ☐      No ☒      Unknown ☐
- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?  
Yes ☐      No ☒      Unknown ☐
- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?  
Yes ☐      No ☒      Unknown ☐
- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?  
Yes ☐      No ☒      Unknown ☐
- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?  
Yes ☐      No ☒      Unknown ☐

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ☐ No ☒ Unknown ☐

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

The information was relayed by the Real Estate Agent

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ☐ No ☐

## 9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

Sept 21/21  
Date

  
Signature Property Owner(s)

Doug Wood  
Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage	18.29m
Depth	70.06m
Area	1280.63 sq.m
Width of street	

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: \_

Home - 245.41 sq.m Gr Fl area, 1.5 story, 25.95m deep x 13.77m wide 5.88m high

Proposed

Sunroom Addition - on rear of existing dwelling, 18.99 sq.m, 4.17m wide x 4.88m deep x 4.75m high

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

Home - Front 7.56m, Left 1.56m, Right 1.51m, Rear 36.55m

Proposed:

Sunroom Addition - Front N/A, Left 1.56m, Right 12.56m, Rear 34.12m



13. Date of acquisition of subject lands:  
Aug 17, 1999
- 
14. Date of construction of all buildings and structures on subject lands:  
Aug 17, 1999
- 
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):  
Single Family Dwelling
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):  
Single Family Dwelling
17. Length of time the existing uses of the subject property have continued:
18. Municipal services available: (check the appropriate space or spaces)
- |                |                                     |           |                                     |
|----------------|-------------------------------------|-----------|-------------------------------------|
| Water          | <input checked="" type="checkbox"/> | Connected | <input checked="" type="checkbox"/> |
| Sanitary Sewer | <input checked="" type="checkbox"/> | Connected | <input checked="" type="checkbox"/> |
| Storm Sewers   | <input checked="" type="checkbox"/> |           |                                     |
19. Present Official Plan/Secondary Plan provisions applying to the land:
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:  
ER Zone
21. Has the owner previously applied for relief in respect of the subject property?  
Yes ☐ No ☒  
If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?  
Yes ☐ No ☒
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.