



## 983 BEACH BLVD

ISSUED FOR HERITAGE REVISION MEETING

**PROJECT ADDRESS:** 983 BEACH BLVD, HAMILTON, ONTARIO  
**PROJECT TYPE:** ADDITION TO EXISTING HOUSE  
**STORIES ABOVE GROUND:** 2 + UTILITY SPACE ABOVE MIN. GROUND LEVEL

**PROJECT TEAM:**  
**WAYBACK ARCHITECTS**  
 647A BLOOR STREET WEST  
 TORONTO, ONTARIO  
 M6G 1L1  
 CONTACT: STEPHEN VAN DER MEER  
 (647) 215-6081

### SHEET LIST

A0.01	COVER
A0.03	ASSEMBLIES
A0.04	LOCATION MAP
A1.01	UTILITY SPACE ABOVE MIN. GROUND WATER LEVEL
A1.02	LEVEL 01 EXISTING
A1.03	DEMOLITION LEVEL 01
A1.04	LEVEL 01
A2.01	ELEVATION
A2.02	ELEVATION
A2.05	ELEVATIONS
R6	UPDATED RENDERINGS
R7	UPDATED RENDERINGS

#### TYPICAL PROJECT NOTES:

- 1) NO WORK TO ENCRACH ONTO ADJOINING PROPERTIES ABOVE OR BELOW GRADE, INCLUDING EAVES, OVERHANGS AND FOOTINGS
- 2) CONTRACTOR TO VERIFY WALLS TO BE REMOVED AS NON-LOADBEARING PRIOR TO REMOVALS, OTHERWISE SEEK APPROVAL OF STRUCTURAL ENGINEER
- 3) THERMALLY INSULATED WALL, CEILING AND FLOOR ASSEMBLIES SHALL BE CONSTRUCTED WITH A CONTINUOUS AIR AND VAPOUR BARRIER SYSTEM AS PER OBC 9.25.3 AND 9.25.4
- 4) PROVIDE ALL BRACING, SHORING AND SKEWING NECESSARY FOR THE SAFE EXECUTION OF WORK
- 5) CONTRACTOR TO VERIFY REINFORCE EXISTING STRUCTURAL SYSTEM, INCLUDING FOUNDATIONS, FOR LOADS IMPOSED BY THE PROPOSED CONSTRUCTION
- 6) STRUCTURAL INTEGRITY: MEMBERS SHALL BE FRAMED, FASTENED, TIED, BRACED & ANCHORED TO PROVIDE THE NECESSARY STRENGTH, RIGIDITY & STABILITY REQUIRED
- 7) INSTALL SMOKE & CARBON MONOXIDE DETECTORS TO CONFORM TO OBC 3.10.13 & 3.33.4
- 8) CONTRACTOR TO INSTALL PRODUCTS AND MATERIALS PER MANUFACTURERS RECOMMENDATIONS, PROVIDE CUTSHEETS FOR REVIEW PRIOR TO INSTALLATION

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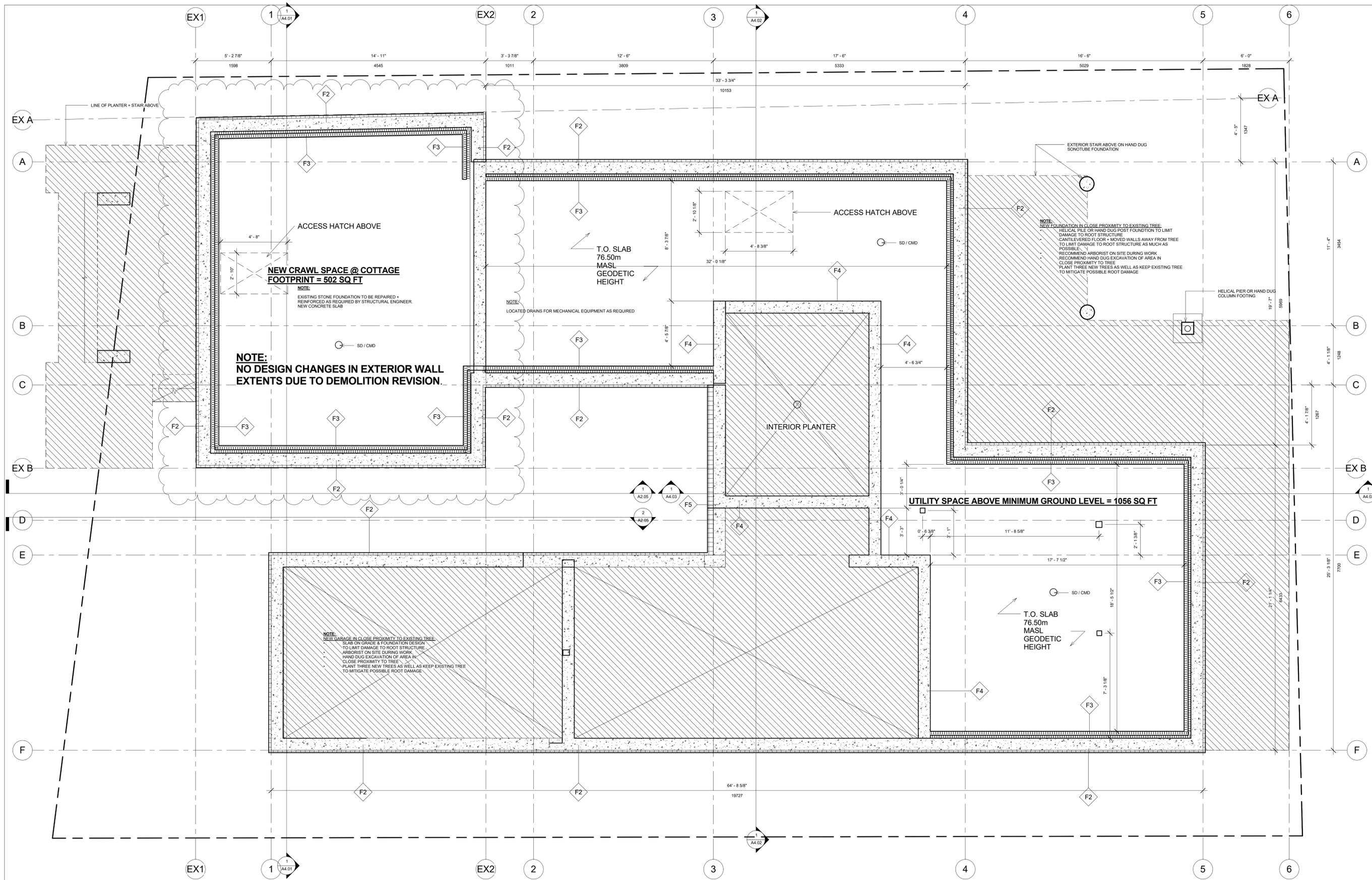
21.07.21	CITY OF HAMILTON SITE SERVICES REV. APP.	21.08.24	CITY OF HAMILTON SITE PLAN APPLICATION
21.08.18	CITY OF HAMILTON SITE PLAN APPLICATION REV.	21.08.24	CITY OF HAMILTON SITE PLAN APPLICATION REV.
21.08.18	REVISED FOR BUILDING PERMIT	21.05.21	ISSUED TO CIVIL FOR THEIR RECORDS
21.08.18	CITY OF HAMILTON SITE PLAN APPLICATION FINAL	21.05.21	CITY OF HAMILTON SITE PLAN APPLICATION REV.
21.07.21	REVISED TO PERM	18.11.21	ISSUED FOR COORDINATION
21.08.18	CITY OF HAMILTON SITE PLAN APPLICATION REV.	18.02.21	CITY OF HAMILTON HERITAGE REVIEW
21.08.18	CITY OF HAMILTON SITE PLAN APPLICATION REV.	18.02.21	CITY OF HAMILTON SITE PLAN APPLICATION
		Date	Issued for



Project Name  
 983 BEACH BLVD  
 Client  
 NICOLE + GERRY  
 Project No.  
 1806  
 Drawn by  
 SYDM

COVER A0.01





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NO.	DESCRIPTION	DATE	BY
20.12.01	FOUNDATION - FINISHED DRAWING	20.12.01	CITY OF AMALTON SITE PLAN APPLICATION REV. 1
20.12.02	CITY REQUEST - FOUNDATION NOTES	20.12.02	CITY OF AMALTON SITE PLAN APPLICATION REV. 2
20.12.03	REVISED FOR BUILDING PERMIT	20.12.03	REVISED TO CALL FOR THEIR RECORDS
20.12.04	CITY OF AMALTON SITE PLAN APPLICATION FINAL	20.12.04	CITY OF AMALTON SITE PLAN APPLICATION REV. 3
20.12.05	REVISED PER COMMENTS	20.12.05	REVISED FOR CONSTRUCTION
20.12.06	CITY OF AMALTON SITE PLAN APPLICATION REV. 4	20.12.06	CITY OF AMALTON SITE PLAN APPLICATION REV. 4
20.12.07	CITY OF AMALTON SITE PLAN APPLICATION REV. 5	20.12.07	CITY OF AMALTON SITE PLAN APPLICATION REV. 5

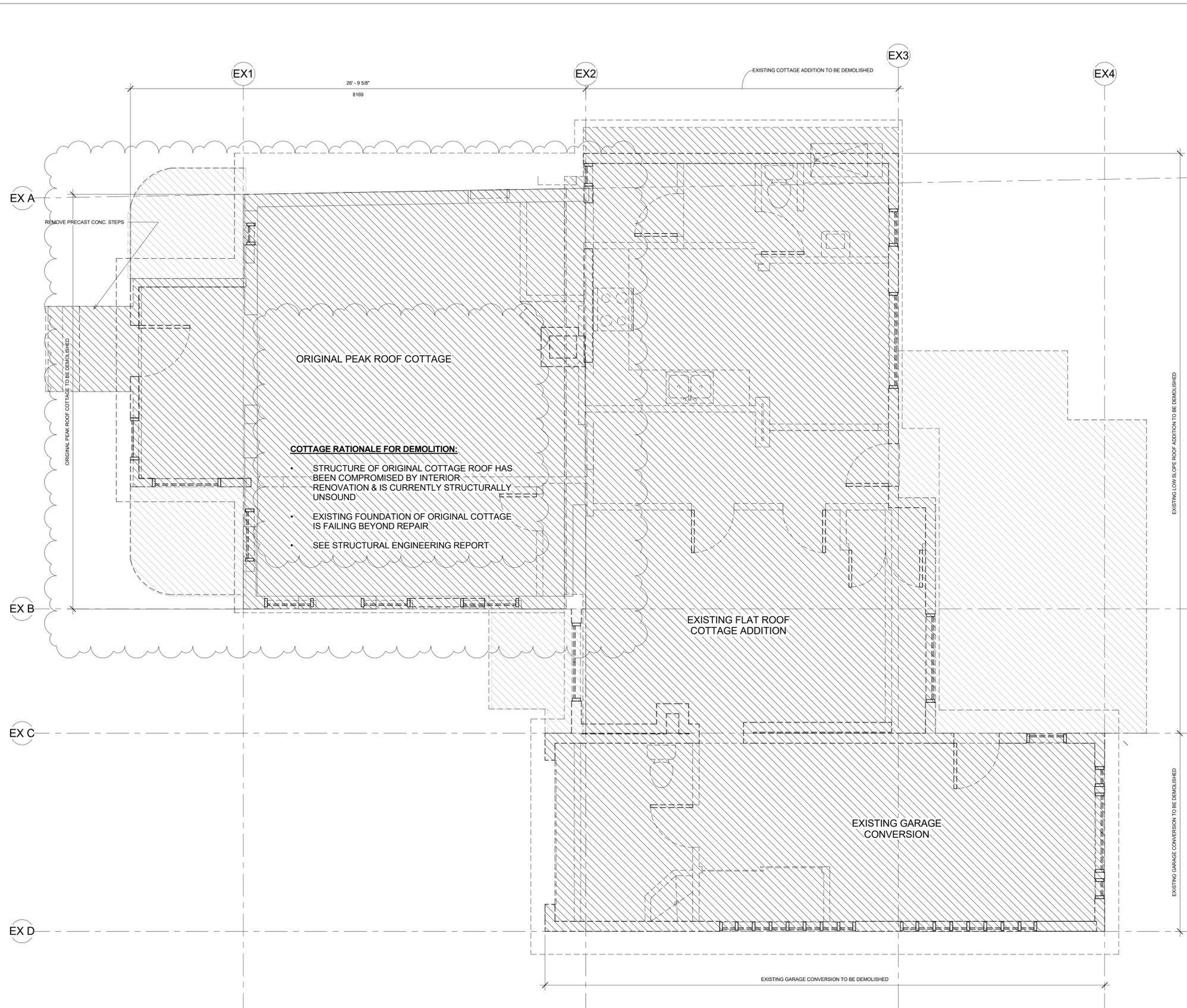


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UTILITY SPACE ABOVE MINIMUM GROUND WATER LEVEL

A1.01





**GARAGE RATIONALE FOR DEMOLITION:**

- NOT AN ORIGINAL STRUCTURE:
- CONCRETE BLOCK WALLS
- GLASS BLOCK WINDOWS
- VINYL SLIDING DOORS
- SLAB ON GRADE
- NO INSULATION
- TOO SMALL FOR MODERN VEHICLE

**COTTAGE RATIONALE FOR DEMOLITION:**

- STRUCTURE OF ORIGINAL COTTAGE ROOF HAS BEEN COMPROMISED BY INTERIOR RENOVATION & IS CURRENTLY STRUCTURALLY UNSOUND
- EXISTING FOUNDATION OF ORIGINAL COTTAGE IS FAILING BEYOND REPAIR
- SEE STRUCTURAL ENGINEERING REPORT

EXISTING GARAGE CONVERSION      EXISTING LOW SLOPE ROOF ADDITION



VIEW FROM BACKYARD

ORIGINAL COTTAGE      GARAGE & ADDITION



VIEW FROM BEACH BLVD

**ADDITION RATIONALE FOR DEMOLITION:**

- NOT AN ORIGINAL STRUCTURE:
  - CONCRETE BLOCK FOUNDATION WALLS
  - MULTIPLE FLOOR LEVELS INSIDE
  - MISMATCHED WINDOWS
  - VINYL SLIDING DOORS
- BLOCK FOUNDATION IS FAILING

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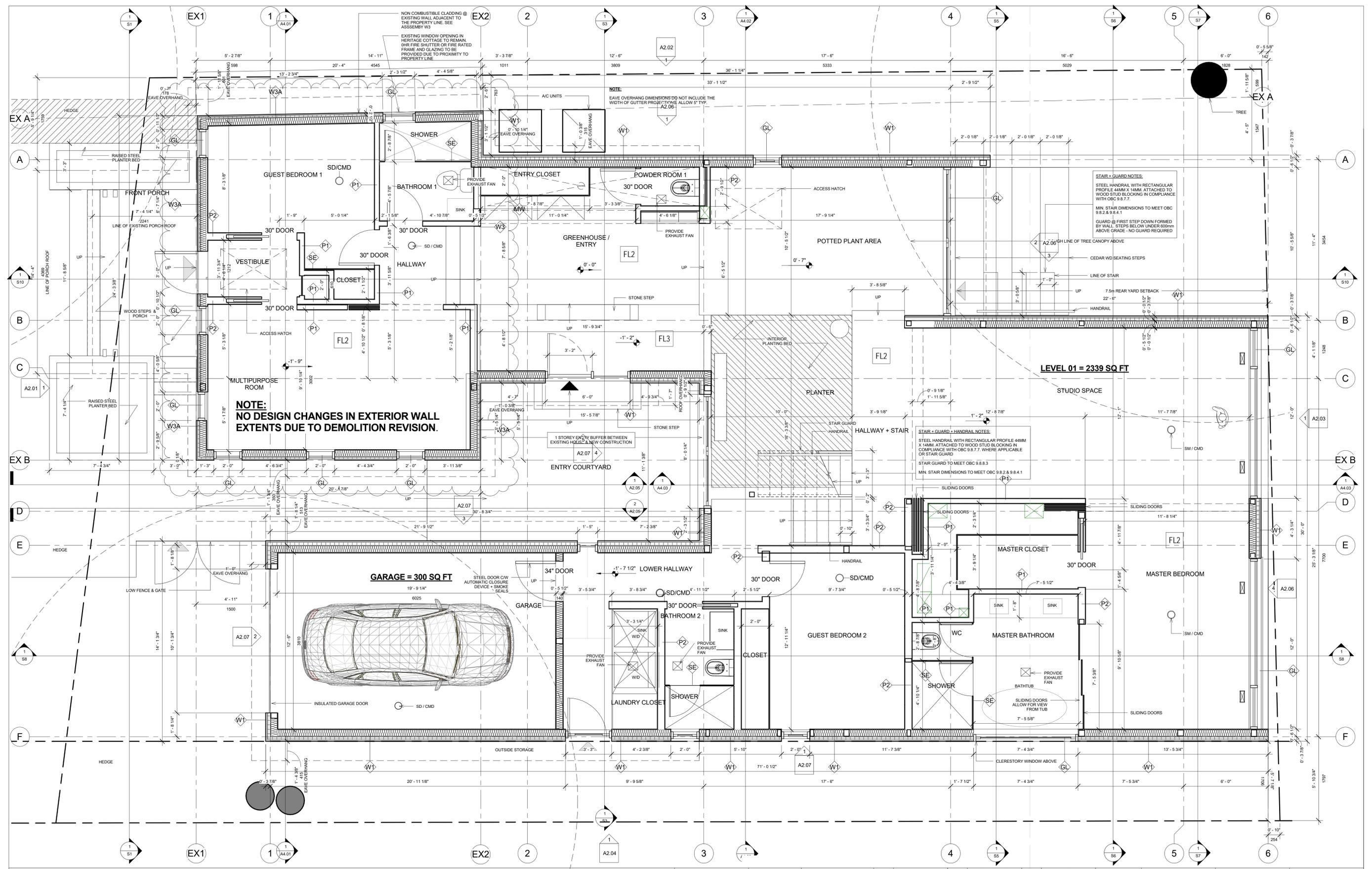
20.10.20	FOUNDATION - FINISHED DRAWING	20.10.20	CITY OF HAMILTON SITE PLAN APPLICATION REV.
20.10.18	FOUNDATION - PRELIMINARY NOTES	20.10.18	CITY OF HAMILTON SITE PLAN APPLICATION REV.
20.10.17	REVISED FOR BUILDING PERMIT	20.10.17	REVISED TO CALL FOR THEIR RECORDS
20.10.16	CITY OF HAMILTON SITE PLAN APPLICATION FINAL	20.10.17	CITY OF HAMILTON SITE PLAN APPLICATION REV.
20.10.17	REVISED TO PERMITS	19.11.21	REVISED FOR CONSTRUCTION
20.10.17	CITY OF HAMILTON SITE PLAN APPLICATION REV.	19.10.20	CITY OF HAMILTON APPEAL BOARD
20.10.17	CITY OF HAMILTON SITE PLAN APPLICATION	19.07.20	CITY OF HAMILTON SITE PLAN APPLICATION



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DEMO LEVEL 01

A1.03

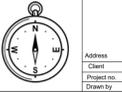


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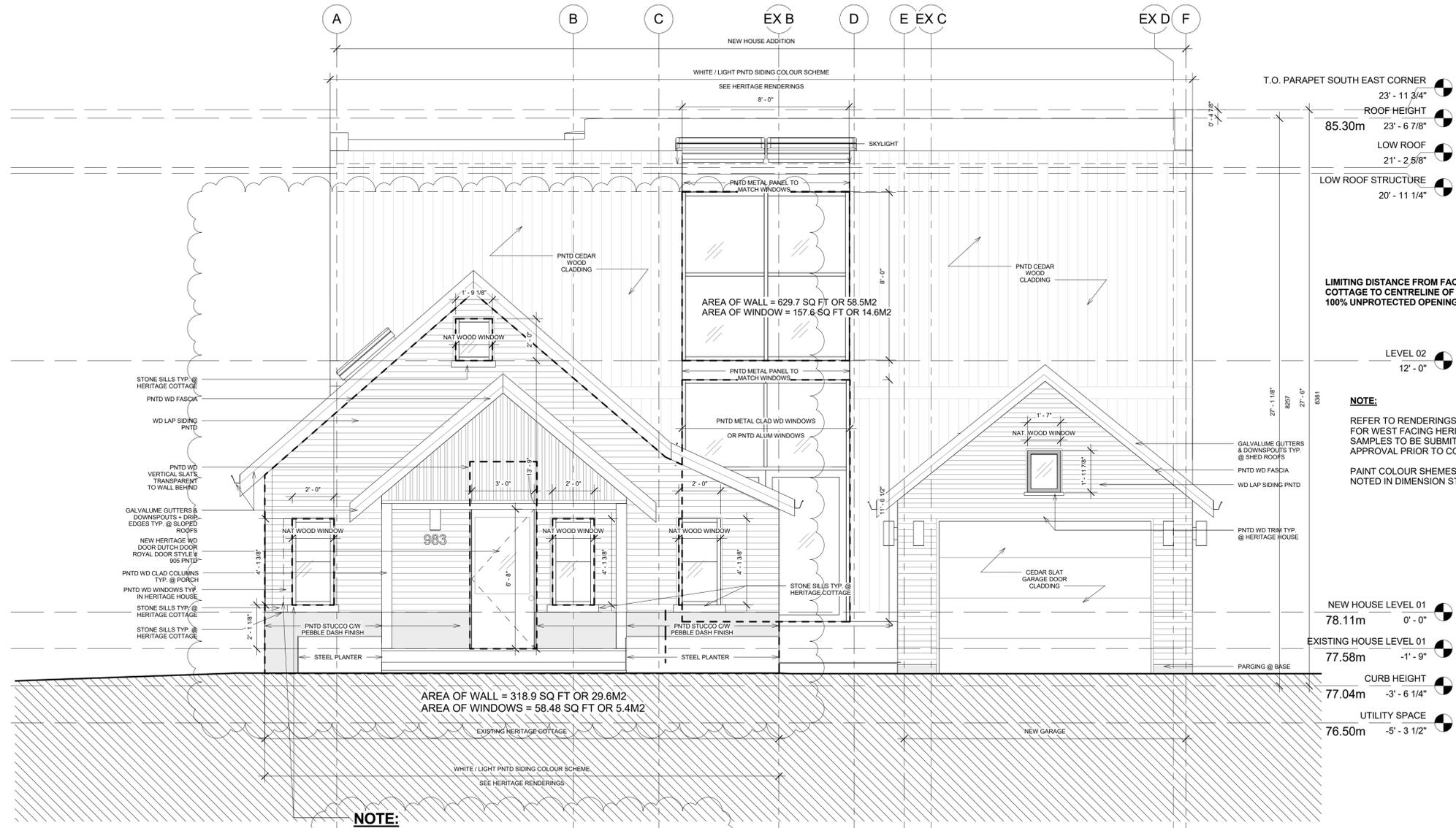


NO.	DESCRIPTION	DATE	BY
01.01	FOUNDATION - FINISHED DRAINAGE	2018.04	CITY OF AMHERST SITE PLAN APPLICATION REV.
01.02	FOUNDATION - FINISHED DRAINAGE	2018.04	CITY OF AMHERST SITE PLAN APPLICATION REV.
01.03	FOUNDATION - FINISHED DRAINAGE	2018.04	CITY OF AMHERST SITE PLAN APPLICATION REV.
01.04	FOUNDATION - FINISHED DRAINAGE	2018.04	CITY OF AMHERST SITE PLAN APPLICATION REV.
01.05	FOUNDATION - FINISHED DRAINAGE	2018.04	CITY OF AMHERST SITE PLAN APPLICATION REV.
01.06	FOUNDATION - FINISHED DRAINAGE	2018.04	CITY OF AMHERST SITE PLAN APPLICATION REV.
01.07	FOUNDATION - FINISHED DRAINAGE	2018.04	CITY OF AMHERST SITE PLAN APPLICATION REV.
01.08	FOUNDATION - FINISHED DRAINAGE	2018.04	CITY OF AMHERST SITE PLAN APPLICATION REV.
01.09	FOUNDATION - FINISHED DRAINAGE	2018.04	CITY OF AMHERST SITE PLAN APPLICATION REV.
01.10	FOUNDATION - FINISHED DRAINAGE	2018.04	CITY OF AMHERST SITE PLAN APPLICATION REV.
01.11	FOUNDATION - FINISHED DRAINAGE	2018.04	CITY OF AMHERST SITE PLAN APPLICATION REV.
01.12	FOUNDATION - FINISHED DRAINAGE	2018.04	CITY OF AMHERST SITE PLAN APPLICATION REV.
01.13	FOUNDATION - FINISHED DRAINAGE	2018.04	CITY OF AMHERST SITE PLAN APPLICATION REV.
01.14	FOUNDATION - FINISHED DRAINAGE	2018.04	CITY OF AMHERST SITE PLAN APPLICATION REV.
01.15	FOUNDATION - FINISHED DRAINAGE	2018.04	CITY OF AMHERST SITE PLAN APPLICATION REV.
01.16	FOUNDATION - FINISHED DRAINAGE	2018.04	CITY OF AMHERST SITE PLAN APPLICATION REV.
01.17	FOUNDATION - FINISHED DRAINAGE	2018.04	CITY OF AMHERST SITE PLAN APPLICATION REV.
01.18	FOUNDATION - FINISHED DRAINAGE	2018.04	CITY OF AMHERST SITE PLAN APPLICATION REV.
01.19	FOUNDATION - FINISHED DRAINAGE	2018.04	CITY OF AMHERST SITE PLAN APPLICATION REV.
01.20	FOUNDATION - FINISHED DRAINAGE	2018.04	CITY OF AMHERST SITE PLAN APPLICATION REV.



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LEVEL 01  
**A1.04**



T.O. PARAPET SOUTH EAST CORNER  
23' - 11 3/4"  
ROOF HEIGHT  
85.30m 23' - 6 7/8"  
LOW ROOF  
21' - 2 5/8"  
LOW ROOF STRUCTURE  
20' - 11 1/4"

LIMITING DISTANCE FROM FACE OF EXISTING COTTAGE TO CENTRELINE OF BEACH BLVD = 23.45M  
100% UNPROTECTED OPENINGS PERMITTED

LEVEL 02  
12' - 0"

**NOTE:**  
REFER TO RENDERINGS FOR COLOUR SCHEME FOR WEST FACING HERITAGE FACADE. MATERIAL SAMPLES TO BE SUBMITTED TO HERITAGE FOR APPROVAL PRIOR TO CONSTRUCTION.  
PAINT COLOUR Schemes FOR HOUSE ELEVATIONS NOTED IN DIMENSION STRINGS.

NEW HOUSE LEVEL 01  
78.11m 0' - 0"  
EXISTING HOUSE LEVEL 01  
77.58m -1' - 9"  
CURB HEIGHT  
77.04m -3' - 6 1/4"  
UTILITY SPACE  
76.50m -5' - 3 1/2"

1 WEST ELEVATION  
3/8" = 1'-0"

**NOTE:**  
THE ONLY CHANGES TO THE EXTERIOR ARE:

- ONE SLIGHTLY SMALLER WINDOW TO ACCOMODATE INCREASED THICKNESS OF WALLS DUE TO O.B.C. REQUIRED INSULATION VALUES
- CHIMNEY OF COTTAGE WAS REMOVED

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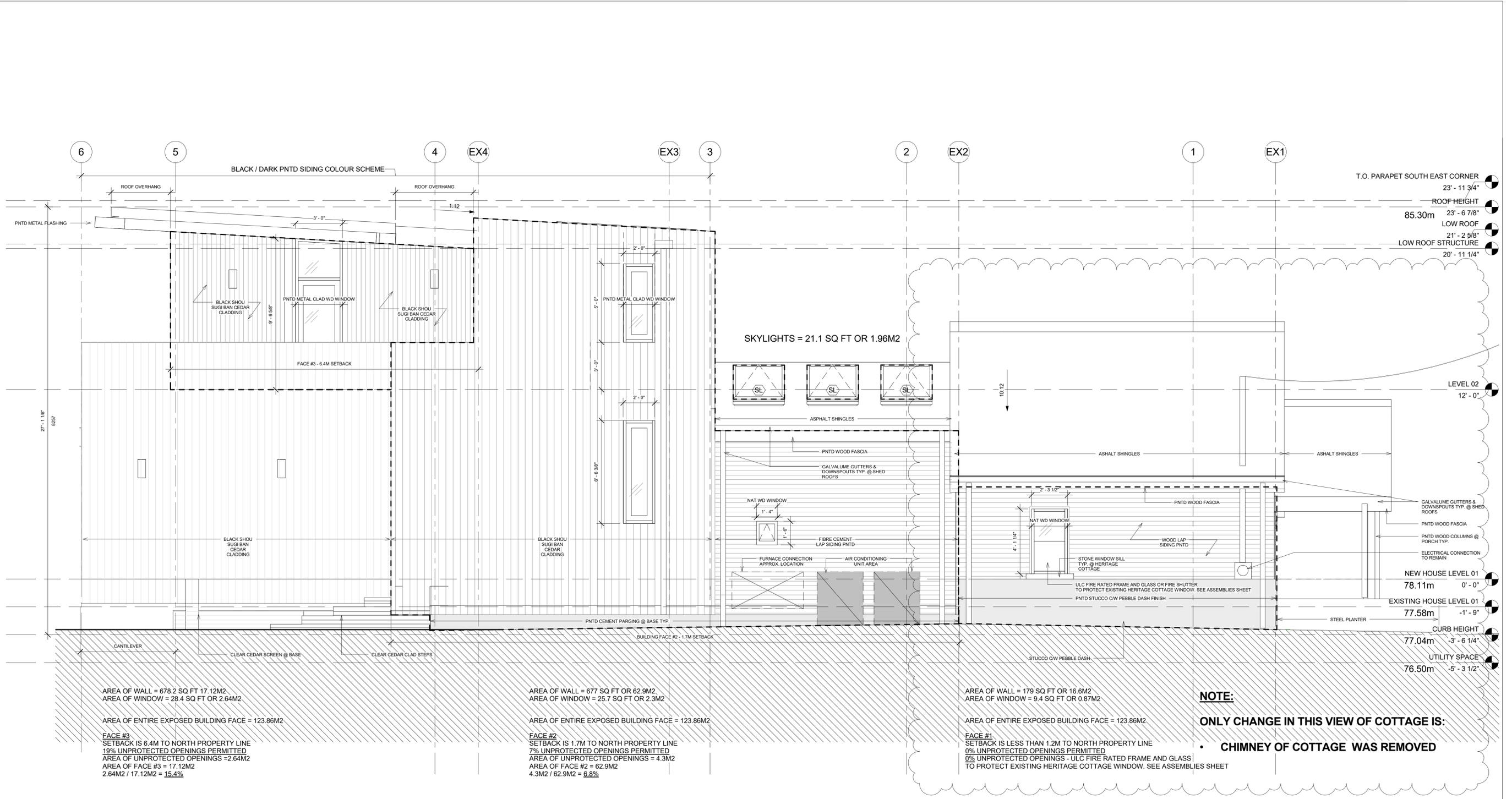


20.10.20	FOUNDATION - FINISHED DRAWING	20.10.20	CITY OF AMALTON SITE PLAN APPLICATION REV.
20.10.18	CITY REQUEST - PRELIMINARY NOTES	20.10.18	CITY OF AMALTON SITE PLAN APPLICATION REV.
20.10.17	REVISED FOR BUILDING PERMIT	20.10.17	REVISED TO CALL FOR THEIR RECORDS
20.10.16	CITY OF AMALTON SITE PLAN APPLICATION FINAL	20.10.16	CITY OF AMALTON SITE PLAN APPLICATION REV.
20.10.17	REVISED TO PERMITS	20.10.17	REVISED FOR CONSTRUCTION
20.10.17	CITY OF AMALTON SITE PLAN APPLICATION REV.	20.10.17	CITY OF AMALTON AMENDED RECORD
20.10.17	CITY OF AMALTON SITE PLAN APPLICATION	20.10.17	CITY OF AMALTON SITE PLAN APPLICATION



Project Name  
983 BEACH BLVD  
Client  
NICOLE + GERRY  
Project No.  
1586  
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SYDM

ELEVATION  
A2.01



1 NORTH ELEVATION  
3/8" = 1'-0"

AREA OF WALL = 678.2 SQ FT OR 62.9M<sup>2</sup>  
 AREA OF WINDOW = 28.4 SQ FT OR 2.64M<sup>2</sup>  
 AREA OF ENTIRE EXPOSED BUILDING FACE = 123.86M<sup>2</sup>  
**FACE #3**  
 SETBACK IS 6.4M TO NORTH PROPERTY LINE  
 19% UNPROTECTED OPENINGS PERMITTED  
 AREA OF UNPROTECTED OPENINGS = 2.64M<sup>2</sup>  
 AREA OF FACE #3 = 17.12M<sup>2</sup>  
 2.64M<sup>2</sup> / 17.12M<sup>2</sup> = 15.4%

AREA OF WALL = 677 SQ FT OR 62.9M<sup>2</sup>  
 AREA OF WINDOW = 25.7 SQ FT OR 2.3M<sup>2</sup>  
 AREA OF ENTIRE EXPOSED BUILDING FACE = 123.86M<sup>2</sup>  
**FACE #2**  
 SETBACK IS 1.7M TO NORTH PROPERTY LINE  
 7% UNPROTECTED OPENINGS PERMITTED  
 AREA OF UNPROTECTED OPENINGS = 4.3M<sup>2</sup>  
 AREA OF FACE #2 = 62.9M<sup>2</sup>  
 4.3M<sup>2</sup> / 62.9M<sup>2</sup> = 6.8%

AREA OF WALL = 179 SQ FT OR 16.6M<sup>2</sup>  
 AREA OF WINDOW = 9.4 SQ FT OR 0.87M<sup>2</sup>  
 AREA OF ENTIRE EXPOSED BUILDING FACE = 123.86M<sup>2</sup>  
**FACE #1**  
 SETBACK IS LESS THAN 1.2M TO NORTH PROPERTY LINE  
 0% UNPROTECTED OPENINGS PERMITTED  
 0% UNPROTECTED OPENINGS - ULC FIRE RATED FRAME AND GLASS  
 TO PROTECT EXISTING HERITAGE COTTAGE WINDOW. SEE ASSEMBLIES SHEET

**NOTE:**  
 ONLY CHANGE IN THIS VIEW OF COTTAGE IS:  
 • CHIMNEY OF COTTAGE WAS REMOVED

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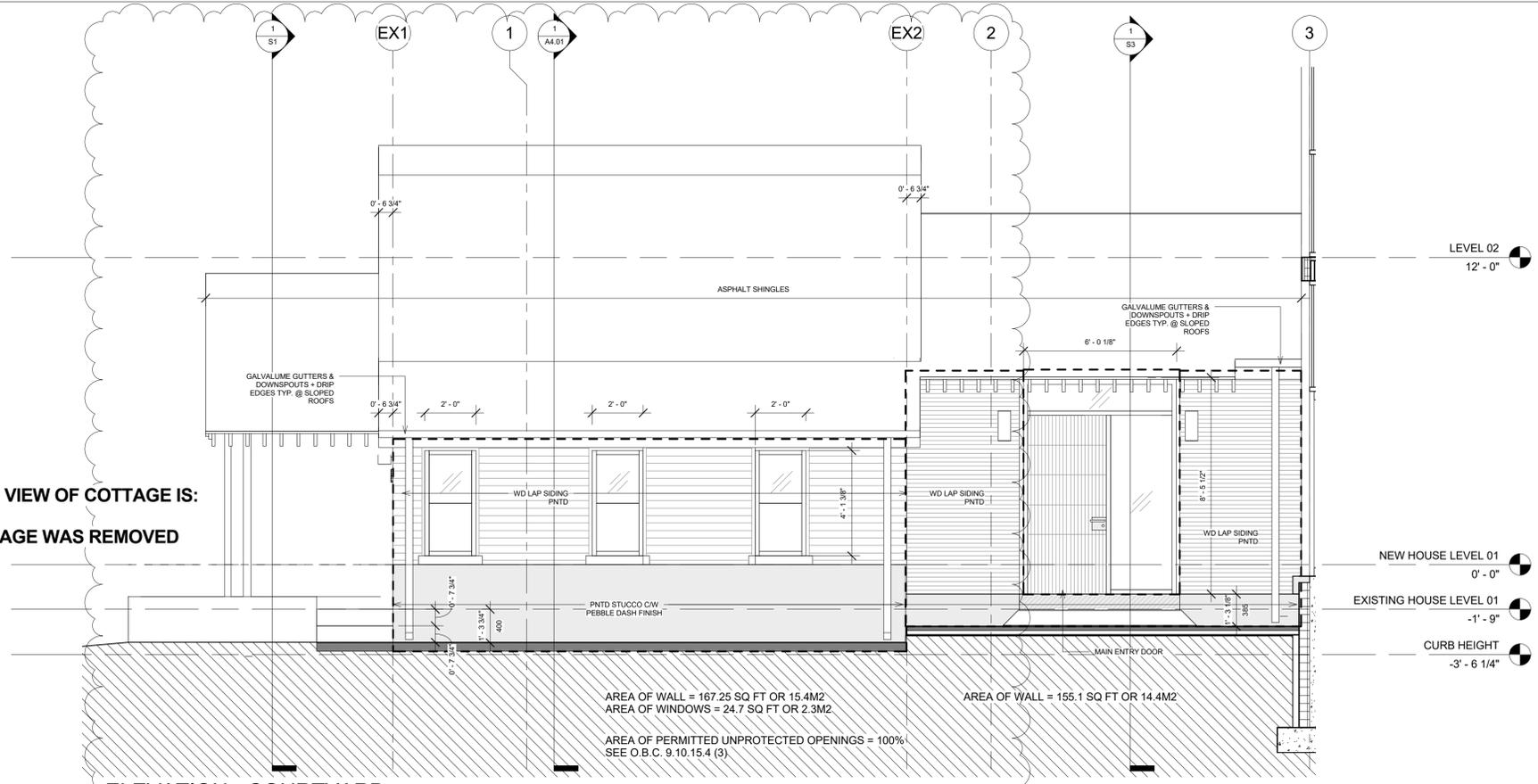
20.10.20	FOUNDATION - FINISHED DRAWING	20.08.20	CITY OF AMALTON SITE PLAN APPLICATION REV.
20.08.20	20% REDRAW - FINANCIAL NOTES	20.08.20	CITY OF AMALTON SITE PLAN APPLICATION REV.
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20.06.21	CITY OF AMALTON SITE PLAN APPLICATION REV.	19.02.20	CITY OF AMALTON HERITAGE REPORT
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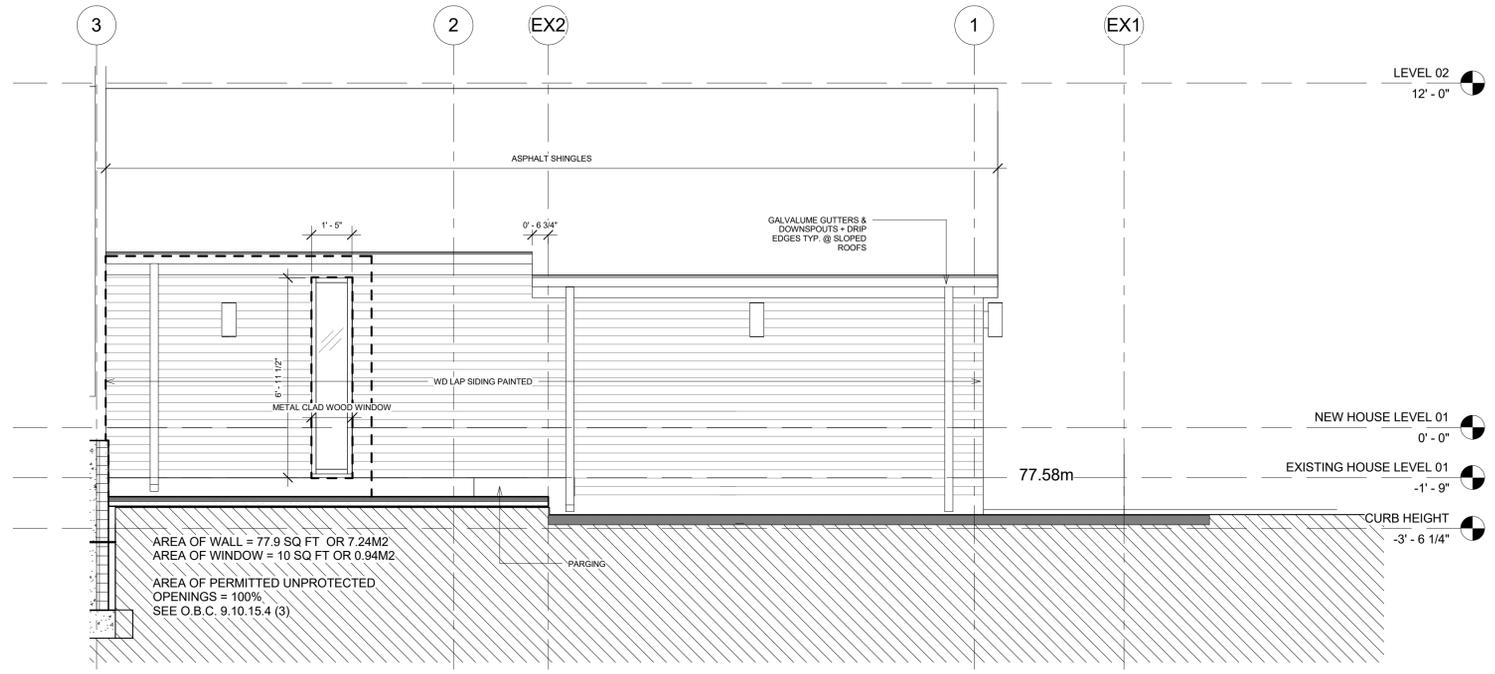
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ELEVATION  
 A2.02

**NOTE:**  
ONLY CHANGE IN THIS VIEW OF COTTAGE IS:  
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**1** ELEVATION - COURTYARD  
SOUTH  
3/8" = 1'-0"



**2** ELEVATION - COURTYARD  
NORTH  
3/8" = 1'-0"

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20.10.24	FOUNDATION - FINISHED DRAWING	20.10.24
20.10.18	CITY BRACKET - PRELIMINARY NOTES	20.10.18
20.10.17	REVISED FOR BUILDING PERMIT	20.10.17
20.10.16	CITY OF VANCOUVER PLAN APPLICATION FINAL	20.10.16
20.10.17	REVISED FOR PERMIT	20.10.17
20.10.17	CITY OF VANCOUVER PLAN APPLICATION REV. 004	20.10.17
20.10.18	CITY OF VANCOUVER PLAN APPLICATION	20.10.18



Project Name  
983 BEACH BLVD  
Client  
NICOLE + GERRY  
Drawing No.  
1502  
Drawn by  
SYDM

ELEVATIONS

A2.05



**NOTE:**  
**APPEARANCE IS EXACTLY THE SAME AS WHAT WAS ORIGINALLY APPROVED WITHOUT A CHIMNEY.**  
**ALL OTHER CHANGES ARE STRUCTURAL AND NOT VISIBLE.**

**TYPICAL PROJECT NOTES:**

- 1) NO WORK TO ENCRoACH ONTO ADJONING PROPERTIES ABOVE OR BELOW GRADE, INCLUDING EAVES, OVERHANGS AND FOOTINGS
- 2) CONTRACTOR TO VERIFY WALLS TO BE REMOVED AS NON-LOADBEARING PRIOR TO REMOVALS, OTHERWISE SEEK APPROVAL OF STRUCTURAL ENGINEER
- 3) THERMALLY INSULATED WALL, CEILING AND FLOOR ASSEMBLIES SHALL BE CONSTRUCTED WITH A CONTINUOUS AIR AND VAPOUR BARRIER SYSTEM AS PER OBC 9.25.3 AND 9.25.4
- 4) PROVIDE ALL BRACING, SHORING AND SKEWLING NECESSARY FOR THE SAFE EXECUTION OF WORK
- 5) CONTRACTOR TO VERIFY PRE-EXISTING STRUCTURAL SYSTEM, INCLUDING FOUNDATIONS, FOR LOADS IMPOSED BY THE PROPOSED CONSTRUCTION
- 6) STRUCTURAL INTEGRITY: MEMBERS SHALL BE FRAMED, FASTENED, TIED, BRACED & ANCHORED TO PROVIDE THE NECESSARY STRENGTH, RIGIDITY & STABILITY REQUIRED
- 7) INSTALL SMOKE & CARBON MONOXIDE DETECTORS TO CONFORM TO OBC 3.10.19 & 3.30.4
- 8) CONTRACTOR TO INSTALL PRODUCTS AND MATERIALS PER MANUFACTURERS RECOMMENDATIONS, PROVIDE CUTSHEETS FOR REVIEW PRIOR TO INSTALLATION

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20.10.24	FOUNDATION - FINISHED DRAWING	20.10.24	CITY OF AMHERST SITE PLAN APPLICATION REV.
20.10.18	CITY REQUEST - PRELIMINARY NOTES	20.10.18	CITY OF AMHERST SITE PLAN APPLICATION REV.
20.10.17	REVISED FOR BUILDING PERMIT	20.10.17	REVISED TO CALL FOR THEIR RECORDS
20.10.16	CITY OF AMHERST SITE PLAN APPLICATION FINAL	20.10.21	CITY OF AMHERST SITE PLAN APPLICATION REV.
20.07.17	PERMITS TO WORK	18.11.21	ISSUED FOR CONSTRUCTION
20.10.14	CITY OF AMHERST SITE PLAN APPLICATION REV.	18.02.20	CITY OF AMHERST AMENDING REQUEST
20.06.24	CITY OF AMHERST SITE PLAN APPLICATION	18.02.04	CITY OF AMHERST SITE PLAN APPLICATION
	Date		Issued for



Project Name  
 983 BEACH BLVD  
 Client  
 NICOLE + GERRY  
 Project No.  
 1586  
 Drawn by  
 SYDM

UPDATED RENDERINGS

R7