

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: AN/A-21:380

APPLICANTS: Agent Michele Hammond
Owner Adam Wade

SUBJECT PROPERTY: Municipal address **30 Poplar St., Ancaster**

ZONING BY-LAW: Zoning By-law 05-200, as Amended

ZONING: "S1" (Settlement Residential) district

PROPOSAL: To permit the construction a 140.0m² accessory building in the rear yard of the existing Single Detached Dwelling notwithstanding that.

1. The aggregate Gross Floor Area of all Accessory Buildings shall not exceed 140.0m² instead of the maximum permitted Gross Floor Area of 45.0m².

NOTES:

i. The applicant shall be advised that any eaves and gutters associated with the proposed Accessory Building may encroach into a required yard to a maximum of 0.45m and the maximum permitted building height for an accessory building is 4.5m. Insufficient information has been provided in order to confirm compliance with these regulations.

This application will be heard by the Committee as shown below:

DATE: Thursday, November 25th, 2021
TIME: 1:50 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: November 9th, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



LOT INFO

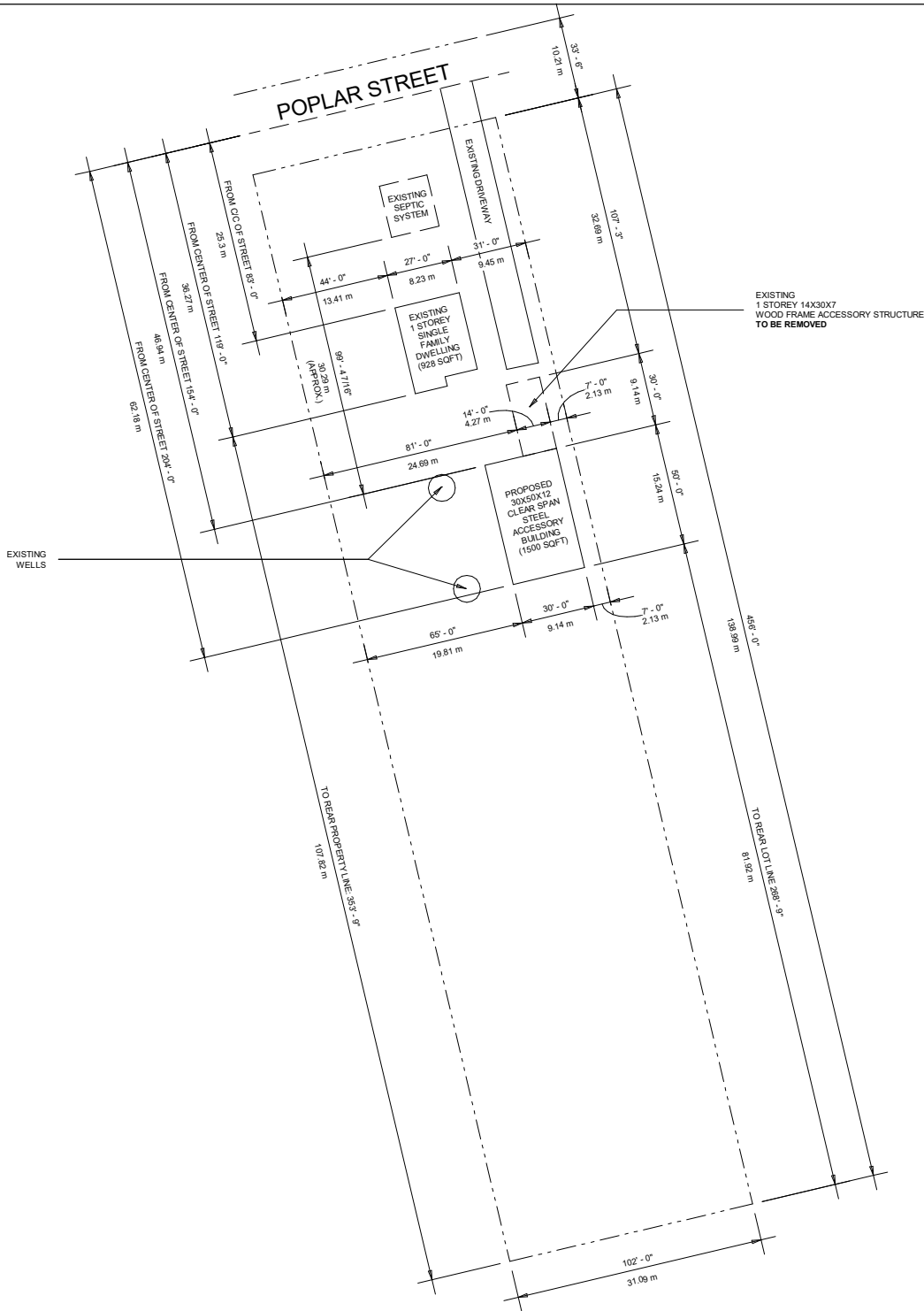
SITE ADDRESS: 30 POPLAR STREET
TOWNSHIP/CITY: JERSEYVILLE/TOWN OF ANCASTER
ZONING: SETTLEMENT RESIDENTIAL
BUILDING USE: ACCESSORY BUILDING

LEGEND

- PROPOSED STRUCTURE
- EXISTING STRUCTURE
- PROPERTY LINES
- PROPERTY SETBACKS
- SEPTIC/WELL
- DRIVEWAY

ZONING - PART 4.8.1.1 SECTION 4

PROVISIONS		PROPOSED
MINIMUM FRONT YARD SETBACK	1M	38.9M
MINIMUM REAR YARD SETBACK	1M	86.6M
MINIMUM INTERIOR SIDE YARD SETBACK	1M	1.6M
MINIMUM EXTERIOR SIDE YARD SETBACK	1M	20.3M
MINIMUM CORNER SIDE YARD SETBACK	1M	N/A
MAXIMUM HEIGHT	6M	5.39M
OVERALL FLOOR AREA	45SM	139.45 SM
LOT SF = 46,512 SF (APPROX) EXISTING RESIDENCE = 928 SF EXISTING ACCESSORY BUILDINGS = 0 SF PROPOSED BUILDINGS = 1500 SF		
MAXIMUM COVERAGE	75%	5.2%



523 James St. Office: (519) 582-8222
Delhi, ON Fax: (519) 582-2098
N4B 2C2

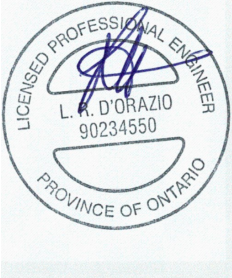
Website: www.cdnbuildings.com

No.	Description	Date
1	Presentation Pkg for Review	21/07/28
2	Structural Drg Pkg for Review	21/08/16
3	Issued for Review	21/09/02
4	Revised Site Plan & Issued for Review	21/09/29
5	As Built Drawings	-

Site Plan

WADE, ADAM

30 POPLAR STREET
JERSEYVILLE ONTARIO
L0R 1R0



2021-09-29

SP1.01

Project number	21-689
Date	2021/09/29
Drawn by	RP
Checked by	LDO
Scale	1/64" = 1'-0"



Hamilton

Committee of Adjustment

City Hall, 5th Floor,

71 Main St. W.,

Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2

**Registered
Owners(s)**

Applicant(s)*

**Agent or
Solicitor**

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Adam Roy Wade
30 Poplar Street
Jerseyville, ON
L0R 1R0

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

4.8.1.1. - max size of accessory buildings to be no more than 45 sqm or 7.5% of lot. We are proposing 139 sqm. lot coverage is 5.0%

☐ Secondary Dwelling Unit ☐ Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

The home owner would like to remove existing garage and build a bigger accessory structure to accomodate the amount of personal vehicles and belongings and to protect them from the weather.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

30 Poplar Street, Jerseyville, ON L0R 1R0.
Roll #: 1403101400000000 Zone: S1
Ward: 12 Lot: Concession:

7. PREVIOUS USE OF PROPERTY

Residential ☒ Industrial ☐ Commercial ☐

Agricultural ☐ Vacant ☐ Other ☐

Other _____

8.1 If Industrial or Commercial, specify use N/A

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐ No ☒ Unknown ☐

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐ No ☒ Unknown ☐

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐ No ☒ Unknown ☐

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐ No ☒ Unknown ☐

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐ No ☒ Unknown ☐

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes ☐ No ☒ Unknown ☐

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ☐ No ☒ Unknown ☐

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

The lot is used for residential

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ☐ No ☒

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

Sept 20 / 2021
Date


Signature Property Owner(s)

Adam Wade
Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage 102'-0" (31.09m)
Depth 456'-0" (138.99m)
Area 46,512 sqft (4,321.20 sqm)
Width of street 33'-6" (10.21m)

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:

1) Garage (Accessory); 14'W x 30'L x 7'H, (Single Storey) 420 sqft (39 sqm)
2) Single family Dwelling: 27'W x 37'L x 12'H, Single Storey, 928 sqft (86.25 sqm)

Proposed

Clear Span Steel Accessory Structure
30'W x 50'L x 12'H, Single Storey, 1,500 sqft (139.4 sqm)

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing: Garage (TO BE REMOVED)

FRONT: 107'-3" (32.69m)
REAR: 318'-9" (97.16m)
LEFT SIDE: 81'-0" (24.69m)
RIGHT SIDE: 7'-0" (2.13m)

House:

66'-3" (20.19m)
353'-9" (107.82m)
44'-0" (13.41m)
31'-0" (9.45m)

Proposed: Clear Span Steel Accessory Structure

FRONT: 137'-3" (41.83m)
REAR: 268'-9" (81.92m)
LEFT: 65'-0" (19.81m)
RIGHT: 7'-0" (2.13m)

13. Date of acquisition of subject lands:
Aug 31, 2018
14. Date of construction of all buildings and structures on subject lands:
Unknown, existing before purchase of property
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
Single family residence
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
Single family residence
17. Length of time the existing uses of the subject property have continued:
Unknown. Was residential prior to purchase and still is residential
18. Municipal services available: (check the appropriate space or spaces)
- | | | | |
|----------------|-------------------------------------|--|-------------------------------------|
| Water | <input checked="" type="checkbox"/> | Connected | <input checked="" type="checkbox"/> |
| Sanitary Sewer | <input checked="" type="checkbox"/> | Connected | <input checked="" type="checkbox"/> |
| Storm Sewers | <input checked="" type="checkbox"/> | <u>N/A. Septic system and 2 ex. wells.</u> | |
19. Present Official Plan/Secondary Plan provisions applying to the land:
None.
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
Bylaw Number 15-173, parent Bylaw 05-200
21. Has the owner previously applied for relief in respect of the subject property?
 Yes ☐ No ☒
 If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes ☐ No ☒
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

Site plan is attached.