COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: **HM/A-21:379**

APPLICANTS: Owner 1837675 Ontario Inc. c/o Reisha Dass/Wayne Fisher
Agent Wayne Fisher

SUBJECT PROPERTY: Municipal address **642 Concession St., Hamilton**

ZONING BY-LAW: Zoning By-law 05-200, as Amended by By-law 17-240

ZONING: C5a district (Mixed Use Medium Density - Pedestrian Focus)

PROPOSAL: To permit a (3) three storey mixed use building consisting of three (3) dwelling units under 50 square metres in gross floor area and two office suites comprising 449.96 square metres of gross floor area, notwithstanding that:

1. No parking spaces shall be required instead of the required 14 parking spaces, including 1 barrier free parking space (based on the zoning requirements in effect prior to the approval of amending by-law 17-240).

NOTES:

1. The variance is written as requested by the applicant.

2. The variance is required to facilitate Site Plan Approval application DA-19-176 which was granted Conditional Approval for Concurrent Site Plan and Building Permit Review on June 14, 2021.

3. The requested variance applies because certain parking requirements for the C5a Zone and other Commercial Mixed Use Zones approved under amending by-law 17-240 remain under appeal and are not in full force and effect. In particular, the proposal conforms to the requirements of the Zoning By-law, as amended by By-law 17-240 as 0 parking spaces are required for the proposed offices and dwelling units. However, as these regulations are under appeal, the provisions for parking for Zoning By-law 05-200 which were in effect prior to By-law 17-240 being passed (November 8, 2017) are applicable. As per the variance stated, this requirement is based on the 14 parking spaces required for the proposed offices and 0 parking spaces for the proposed dwelling units applicable to areas outside of the Downtown.

This application will be heard by the Committee as shown below:

DATE:	**Thursday, November 25th, 2021**
TIME:	**2:55 p.m.**
PLACE:	**Via video link or call in (see attached sheet for details)** **To be streamed at** **www.hamilton.ca/committeeofadjustment** **for viewing purposes only**

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: November 9th, 2021.

_____
Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

CONCESSION STREET

(ROAD ALLOWANCE BETWEEN CONCESSIONS 3 AND 4)

PIN 17115-0056(LT)

APPROXIMATE C-L ROAD

EDGE OF ASPHALT

CONCRETE CURB

CONCRETE SIDEWALK

ANC

UP

WV

MH

CB

TNFH

BLD ON LINE (P2 & SET)

N69°11'00"W

CC(WIT)

AWN

AWNING

BLD 0.13 E 0.29 N

CC(OU) 0.06 E

PK(OU)

57.00 (PI & SET)

12.58 (PI & M)

LOT 18

LOT 22

ALLEYWAY

EAST 25TH STREET

PIN 17057-0215(LT)

I STOREY CONCRETE BLOCK # 640

I STOREY BRICK # 642

I STOREY CONCRETE BLOCK # 644

ASPHALT

GATE

CONCRETE

LOT 3

PIN 17057-0202(LT)

LOT 2

PIN 17057-0201(LT)

LOT 1

PIN 17057-0200(LT)

REGISTERED PLAN No. 700

LOT 9 CONCESSION 4

BLD 0.07 W (P2 & M)

CLF 0.04 E

BLD 1.05 E (P2 & M)

BLD 0.14 N 1.17 E (P2 & M)

BLD 0.19 N (M)

BLD 0.17 E

BLD 0.22 E

CLF 0.17 E

GARAGE 0.19 W

CONCRETE BLOCK GARAGE

GARAGE 0.49 N 0.49 W

GARAGE 1.63

CHAIN LINK FENCE

N18°10'50"E

N18°13'30"E

N18°08'00"E

N18°29'30"E

N18°27'00"E

N71°22'15"W

N71°22'40"W

N71°25'00"W

CLF 0.09 E 0.08 N

CLF 0.06 W 0.04 N

IB(824) 0.07 E

IB(OU)

IB(912)

LOT 4

PIN 17057-0203(LT)

1 1/2 STOREY BRICK # 2

LOT 6

LOT 7

LOT 8

LOT 9

LOT 10

TOPOGRAPHIC SURVEY OF

LOT 2
REGISTERED PLAN No.700
IN THE
CITY OF HAMILTON

SCALE 1 : 150

3 1.5 0 6 METRES

ASHENHURST NOUWENS & ASSOCIATES INC.

METRIC NOTE

DISTANCES AND ELEVATIONS SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

REGISTERED EASEMENTS AND/OR RIGHT-OF-WAY.

NONE

THIS SURVEY WAS PREPARED FOR NASKO IVANOV AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

BENCHMARK

CITY OF HAMILTON BENCHMARK No. 07720100076

MONUMENT IS LOCATED AT THE SOUTH WEST CORNER OF JACK C. BEEMER PARK, ~11m NORTH OF THE ℄ OF KING WILLIAM STREET AND ~ 29m EAST OF THE ℄ OF VICTORIA STREET NORTH.

ELEVATION = 90.174 (DATUM CGVD 1928:1978)

NOTE

NOTE THE LOCATION OF THE BUILDINGS ALONG THE NORTH, EAST AND WEST LIMITS OF THE PROPERTY

NOTE THE LOCATION OF THE FENCES ALONG THE WEST, EAST AND SOUTH LIMITS OF THE PROPERTY

NOTE THE LOCATION OF THE AWNING ON THE NORTH FACE OF THE BUILDING

BEARING NOTE

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTHERLY LIMIT OF CONCESSION STREET AS SHOWN ON PLAN 700 HAVING A BEARING OF N69°11'00"W

LEGEND

■	DENOTES	FOUND
□	DENOTES	PLANTED
IB	DENOTES	IRON BAR
PK	DENOTES	PK NAIL
CC	DENOTES	CUT CREOSS
M	DENOTES	MEASURED
OU	DENOTES	ORIGIN UNKNOWN
WIT	DENOTES	WITNESS
P1	DENOTES	REGISTERED PLAN No.700
P2	DENOTES	PLAN OF SURVEY BY ASHENHURST NOUWENS O.L.S, DATED JUNE 17, 1988
BLD	DENOTES	BUILDING
CLF	DENOTES	CHAIN LINK FENCE
DT	DENOTES	DECIDUOUS TREE
FF	DENOTES	FIRST FLOOR ELEVATION
MH	DENOTES	MANHOLE
OH	DENOTES	OVERHEAD UTILITY
WV	DENOTES	WATER VALVE
UP	DENOTES	UTILITY POLE
824	DENOTES	A. T. MCLAREN, O.L.S.
912	DENOTES	A. J. CLARKE, O.L.S.
ANC	DENOTES	ANCHOR
CB	DENOTES	CATCH BASIN

ASSOCIATION OF ONTARIO LAND SURVEYORS
PLAN SUBMISSION FORM
2082211

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR In accordance with Regulation 1026, Section 29(3).

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.

2. THE SURVEY WAS COMPLETED ON THE 3RD DAY OF MAY, 2019.

MAY 2, 2019
DATE

HARRY KALANTZAKOS
ONTARIO LAND SURVEYOR

ASHENHURST NOUWENS & ASSOCIATES INC.
PROFESSIONAL ENGINEERS & ONTARIO LAND SURVEYORS
225 KING WILLIAM STREET, SUITE 204, HAMILTON, ONTARIO L8R 1B1
TELEPHONE: (905) 529-6316
(905) 529-4314
FAX: (905) 529-6651
e-mail: anl@AshenhurstNouwens.ca
SINCE 1956

DRAWN BY	CALC'D BY	CHK'D BY	FILE No.
W.S.	W.S.	H.K.	19037 TOPO

TOPOGRAPHIC SURVEY OF
LOT 2
REGISTERED PLAN No.700
IN THE
CITY OF HAMILTON

ASHENHURST NOUWENS & ASSOCIATES INC.

METRIC NOTE
DISTANCES AND ELEVATIONS SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

BEARING NOTE
BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTHERLY LIMIT OF CONCESSION STREET AS SHOWN ON PLAN 700 HAVING A BEARING OF N69°11'00"W

ALECTRA UTILITIES
1- RELOCATION, MODIFICATION, OR REMOVAL OF ANY EXISTING HYDRO FACILITIES, SHALL BE AT THE OWNERS EXPENSE.

2- DO NOT EXCAVATE WITHIN 2M OF HYDRO POLE OR ANCHORS.

3- EXCAVATION WITHIN 1M OF UNDERGROUND HYDRO PLANT IS NOT PERMITTED UNLESS APPROVAL IS GRANTED BY A HORIZON UTILITIES REPRESENTATIVE AND IS PRESENT TO PROVIDE DIRECT SUPERVISION. COST ASSOCIATED WITH THIS TASK SHALL BE AT THE OWNER'S EXPENSE.

4- ALECTRA UTILITIES MUST BE CONTACTED IF REMOVAL, ISOLATION OR RELOCATION OF EXISTING PLAN IS REQUIRED, ALL COST ASSOCIATED WITH THIS WORK WILL BE AT THE OWNERS EXPENSE.

GENERAL NOTES:

1- ALL WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNICIPAL SERVICES FOR THE PROJECT SHALL BE TO THE SATISFACTION OF THE DIRECTOR OF PLANNING AND CHIEF PLANNER, PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT

2- FIRE ROUTE SIGNS AND 3-WAY FIRE HYDRANTS SHALL BE ESTABLISHED TO THE SATISFACTION OF THE CITY FIRE DEPARTMENT AND AT THE EXPENSE OF THE OWNER

3- MAIN DRIVEWAY DIMENSIONS AT THE PROPERTY LINE BOUNDARIES ARE PLUS OR MINUS 7.5M UNLESS OTHERWISE STATED

4- ALL DRIVEWAYS FROM PROPERTY LINES FOR THE FIRST 7.5M SHALL BE WITHIN 5% MAXIMUM GRADE, THEREAFTER, ALL DRIVEWAYS SHALL BE WITHIN 10% MAXIMUM GRADES.

5- THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:
- BUILDING PERMIT
- ROAD CUT PERMIT
- APPROACH APPROVAL PERMITS
- COMMITTEE OF ADJUSTMENT (IF REQUIRED)
- SEWER AND WATER PERMITS
- RELOCATION OF SERVICES
- ENCROACHMENT AGREEMENTS

6- ABANDONED ACCESSES MUST BE REMOVED AND THE CURB AND BOULEVARD RESTORED WITH SOD AT THE OWNER'S EXPENSE TO THE SATISFACTION OF THE CORRIDOR MANAGEMENT SECTION, PUBLIC WORKS DEPARTMENT

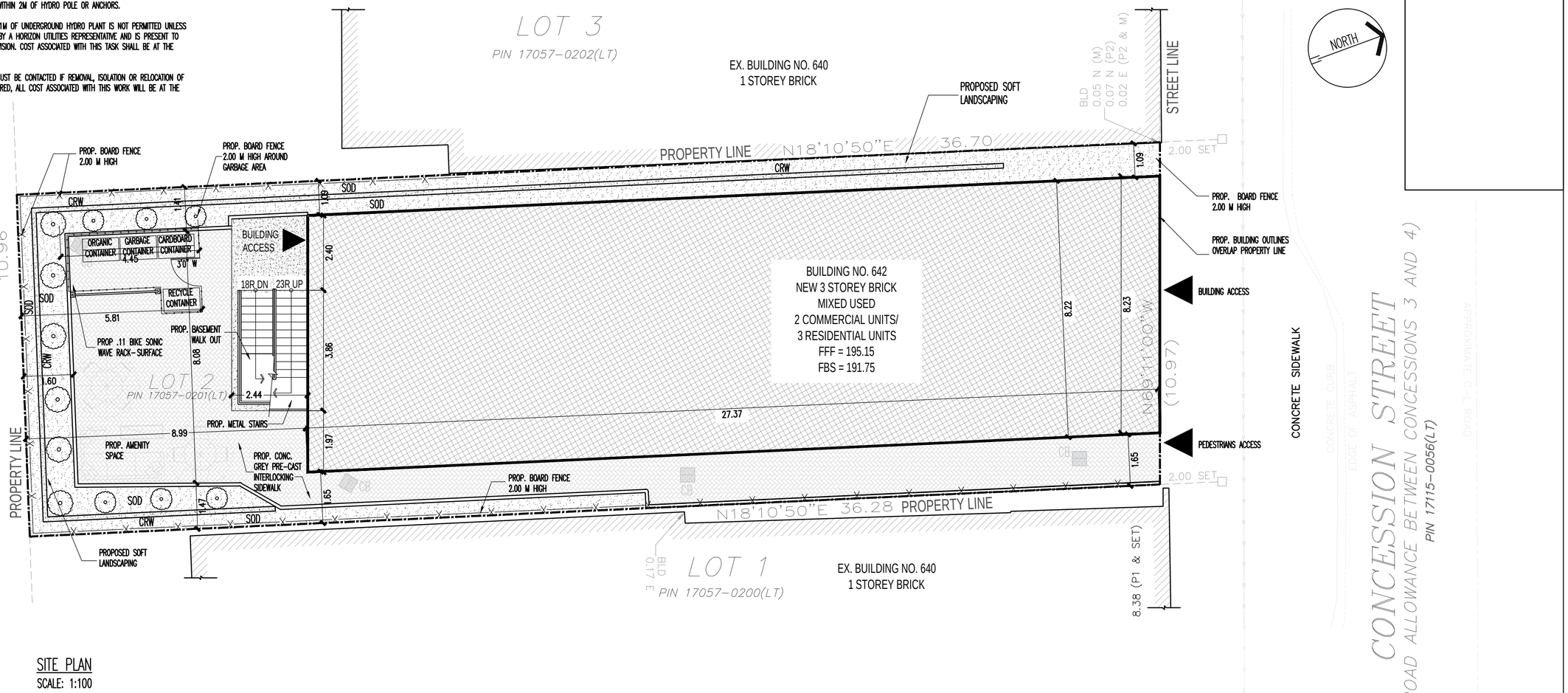
7- FOR VISIBILITY TRIANGLES AT THE VEHICULAR ACCESS POINTS, FOLLOWING NOTE TO BE PROVIDED:
"_METRE BY_ METRE VISIBILITY TRIANGLES IN WHICH THE MAXIMUM HEIGHT OF ANY OBJECTS OR MATURE VEGETATION IS NOT TO EXCEED A HEIGHT OF 0.70 METRES ABOVE THE CORRESPONDING PERPENDICULAR CENTRELINE ELEVATION OF THE ADJACENT STREET"

8- ALL SIGNS MUST COMPLY WITH SIGN BY-LAW NO. 10-197

9- THIS PROPERTY IS ELIGIBLE FOR WEEKLY COLLECTION OF GARBAGE, RECYCLING, ORGANICS, AND LEAF AND YARD WASTE THROUGH THE CITY OF HAMILTON SUBJECT TO COMPLIANCE WITH SPECIFICATIONS INDICATED BY THE PUBLIC WORKS DEPARTMENT AND SUBJECT TO COMPLIANCE WITH THE CITY'S SOLID WASTE MANAGEMENT BY-LAW 09-067, AS AMENDED.

10- ALL FENCING SHALL CONFORM TO HAMILTON FENCE BY-LAW NO 10-142.

11- UNION GAS UNION GAS HAS SERVICE LINES RUNNING WITHIN THE AREA WHICH MAY OR MAY NOT BE AFFECTED BY THE DEVELOPMENT. SHOULD THE SITE PLAN IMPACT THE SERVICES IT MAY BE NECESSARY TO



SITE PLAN
SCALE: 1:100

KEY PLAN
SCALE: N/A

ZONING AND SITE RESTRICTION

MUNICIPALITY AND PROJECT INFORMATION	
- PROJECT TYPE AND DESCRITION	NEW COMMERCIAL/RESIDENTIAL 3 STOREY BUILDING
- MUNICIPALITY	HAMILTON, WARD 7
- ZONING DESIGNATION	C5a; HT=22.0m

LOT SIZE (PROPERTY LINE)	EXISTING (m)
- WEST	33.7
- EAST	33.3
- NORTH	10.9
- SOUTH	10.9

SETBACKS	PERMITTED (m)	PROPOSED (m)
- FRONT YARD	3.0 m [MAX]	0.0 m
- SIDE YARD EAST	0.0 m	1.65 m
- SIDE YARD WEST	0.0 m	1.09 m
- REAR YARD	7.5 m	8.99 m
BUILDING HEIGHT	22.0 m	12.60 m

LOT AREA	
- TOTAL LOT AREA	4,306.61 ft² / 400.1 m²

	PERMITTED (ft²/m²)	EXISTING (ft²/m²)	PROPOSED (ft²/m²)	NEW TOTAL (ft²/m²)
- LOT COVERAGE	N/A	(0.0%) 0,0.0 ft² 0.0 m²	(45.8%) 2,421.63 ft² 224.98 m²	(45.8%) 2,421.63 ft² 224.98 m²
- MAX. GROSS FLOOR AREA	26,909.7 ft² 2,500.00 m²	(0.0%) 0,0.0 ft² 0.0 m²	(168.7%) 7,264.89 ft² 674.93 m²	(168.7%) 7,264.89 ft² 674.93 m²
- FIRST FLOOR AREA		0,0.0 ft² 0.0 m²	2,421.63.0ft² 224.98 m²	2,421.63.0ft² 224.98 m²
- SECOND FLOOR AREA		0,0.0 ft² 0.0 m²	2,421.63.0ft² 224.98 m²	2,421.63.0ft² 224.98 m²
- NEW TOTAL AREA		0,0.0 ft² 0.0 m²	2,421.63.0ft² 224.98 m²	2,421.63.0ft² 224.98 m²

TOTAL UNIT AREAS	ft²	m²
BASEMENT FLOOR LEVEL	2,421.63	224.98
- STORAGE	1725.99	160.35
- COMMON AREA	695.64	64.63
FIRST FLOOR LEVEL	2,421.63	224.98
- UNIT 1 AREA	1,688.31	156.85
- COMMON AREA	733.32	68.13
SECOND FLOOR LEVEL	2,421.63	224.98
- UNIT 2 AREA	1,766.08	164.07
- COMMON AREA	655.68	60.91
THIRD FLOOR LEVEL	2,421.63	224.98
- UNIT 3 AREA	537.81	49.97
- UNIT 4 AREA	538.18	49.99
- UNIT 5 AREA	537.83	49.97
- COMMON AREA	807.78	75.05

LANDSCAPING - FRONT	PERMITTED (ft²/m²)	PROPOSED (ft²/m²)
- FRONT YARD	N/A	0,0.0 ft²/0.0 m²
- TOTAL LANDSCAPING	N/A	(0.0%) 0,0.0 ft² 0.0 m²

LANDSCAPING - REAR	PERMITTED (ft²/m²)	PROPOSED (ft²/m²)
- REAR YARD	N/A	1,073.79/ 99.76
- TOTAL LANDSCAPING	N/A	948.99/ 88.16
- SOFT LANDSCAPING	N/A	328.53/ 30.52

GENERAL NOTES:

1- NO WORK TO ENCROACH ON ADJOINING PROPERTIES

2- SMOKE ALARMS
SHALL BE INSTALLED ON EACH STOREY OF A DWELLING UNIT. INCLUDING BASEMENTS CITY OF TORONTO BY-LAW 1994-0580 AND O.B.C 9.10.18.2. [1] [a] [b] and [c]

3- CARBON MONOXIDE DETECTORS :
SHALL BE INSTALLED AS PER CITY OF TORONTO BY-LAW No. 60-1998

4- CARBON MONOXIDE DETECTORS :
IN EACH ROOM THAT CONTAINS A FUEL BURNING APPLIANCE PROVIDE A CARBON MONOXIDE DETECTOR ON OR NEAR THE CEILING EQUIPPED WITH AN ALARM AUDIBLE THROUGHOUT DWELLING UNIT OR INTERCONNECT WITH SMOKE ALARM SO THAT WHEN THE CARBON MONOXIDE DETECTOR IS ACTIVATED. IT WILL ACTIVATE THE SMOKE ALARM AS PER O.B.C. 9.33.4.1.[1] AND AS PER O.B.C. 9.33.4.2.[1] [2] AND [4]

5- EXCAVATION NOTES :
EXCAVATION AND / OR CONSTRUCTION ON ADJACENT PROPERTIES REQUIRES THE CONSENT OF AFFECTED PROPERTY OWNER(S).

6- EVERY EXCAVATION SHALL BE UNDERTAKEN IN A MANNER AS TO PREVENT MOVEMENT WHICH WOULD CAUSE DAMAGE TO ADJACENT PROPERTY. EXISTING STRUCTURES , UTILITIES, ROADS AND SIDEWALKS AT ALL STAGES OF CONSTRUCTION.

7- MIN. SOIL BEARING CAPACITY 75KPa.
SOIL IS NOT PEAT, FILL OR SENSITIVE CLAY. THE DISTANCE BETWEEN THE BOTTOM OF FOOTINGS AND THE WATER TABLE IS EQUAL TO OR GREATER THAN THE WIDTH OF THE FOOTGS.

8- WHERE THE DEPTH OF EXCAVATION EXCEEDS 4'-0", EXCAVATE AT 45° ANGLE OR IN ACCORDANCE WITH APPROVED SHORING DETAILS. STRUCTURE IS NOT LOCATED ON GROUNDS HAVING A SLOPE STEEPER THAN 1 VERTICAL TO 2 HORIZONTAL.

9- SURFACE DRAINAGE SHALL NOT BE DISCHARGED DIRECTLY OR INDIRECTLY ONTO A SIDEWALK, DRIVEWAY, STAIRWAY OR AN ADJOINING PROPERTY.

10- TREES ON PRIVATE PROPERTY
NO PERSON SHALL WITHIN THE CITY'S BOUNDARIES, INJURE OR DESTROY ANY TREE HAVING A DIAMETER OF 30 cm (12 INCHES) OR MORE, MEASURED AT 1.4 m (4'-7") ABOVE GROUND LEVEL UNLESS SO AUTHORIZED BY PERMIT FROM THE COMMISSIONER OF PARKS AND RECREATION. PER MUNICIPAL CODE CHAPTER 331.

NO.	DESCRIPTION OF ISSUE	DATE	NO.	DESCRIPTION OF ISSUE	DATE
1	CITY COMMENTS REV01 SUBMISSION	02/22/2020	5	CITY COMMENTS REVIEW SUBMISSION	03/30/2021
2	CITY COMMENTS REV02 SUBMISSION	05/12/2020	6	CITY COMMENTS REVIEW SUBMISSION	08/06/2021
3	ISSUED FOR BUILDING PERMIT APPLICATION	08/11/2020	7		
4	REVIEWED FOR BUILDING PERMIT APPLICATION	08/28/2020	8		

LICENSED PROFESSIONAL ENGINEER
B.M. LOPES
100177584
08/06/21
PROVINCE OF ONTARIO

NORTH

PROJECT
642 CONCESSION ST

TITLE
SITE PLAN

SCALE
1 : 100

DATE
AUGUST 2021

JOB No.
36-319

FILE No.
DA-19-176

DRAWING No.
SP1.01

Name of Practice:
MXL Engineering
1649 St Clair Ave W - ON M6N 1H7

Name of Project:
642 Concession St
Mixed Use Building

Location:
642 Concession St - Hamilton

Date: AUG-2020

Ontario Building Code Data Matrix
Part 11 – Renovation of Existing Building

			Building Code Reference 1
11.00	Building Code Version:	O. Reg. 332/12 Last Amendment O. Reg. 191/14	
11.01	Project Type:	Addition Renovation Addition and renovation X Change of use Description: PROP. 3 STOREY MIXED USE BUILDING	[A] 1.1.2.
11.02	Major Occupancy Classification:	Occupancy / Use 35 GROUP D - COMMERCIAL OFFICE 6 GROUP C - DWELLING UNIT	3.1.2.1.(1)
11.03	Superimposed Major Occupancies:	X No Yes Description:	3.2.2.7.
11.04	Building Area (m2)	Description: / Existing / New / Total Commercial Office 0 449.96 449.96 Dwelling Unit 0 224.98 224.98 Storage 0 224.98 224.98 *Insert additional lines as needed*	[A] 1.4.1.2.
11.05	Building Height	3 Storeys above grade 12.6 (m) Above grade 1 Storeys below grade	[A] 1.4.1.2. & 3.2.1.1.
11.06	Number of Streets/ Firefighter access	1 street(s)	3.2.2.10. & 3.2.5.
11.07	Building Size	Small Medium Large	T.11.2.1.1.B.-N.
11.08	Existing Building Classification: A2 Restaurant	Change in Major Occupancy: Yes Not Applicable Construction Index: 3 Hazard Index: 3	11.2.1.1. T 11.2.1.1A T 11.2.1.1B to N 4.2.1.(3), 5.2.2.1.(2)
11.09	Renovation type:	Basic Renovation Extensive Renovation X N/A	11.3.3.1. 11.3.3.2.
11.10	Occupant Load	Floor Level/Area / Occupancy Type / Based On / Occupant Load (Persons) 1st/2nd Floor - Office D Area 35 3rd Floor - Residential C Personel 6 *Insert additional lines as needed*	3.1.17.
11.11	Plumbing Fixture Requirements	Ratio: M/F = 1/1 Except as otherwise noted Floor Level/Area / Occupant Load / OBC Reference / Fixtures Required / Fixtures Provided 1st Floor - Office 17 4 2 2 1st/2nd Floor - Office 18 4 2 2 *Insert additional lines as needed*	3.7.4.
11.12	Barrier-free Design:	X Yes Explanation No	11.3.3.2.(2)
11.13	Reduction in Performance Level:	Structural: No Yes X N/A — 11.4.2.1. By Increase in occupant load: No Yes X N/A — 11.4.2.2. By change of major occupancy: No Yes X N/A — 11.4.2.3. Plumbing: No Yes X N/A — 11.4.2.4. Sewage-systems: No Yes X N/A — 11.4.2.5. Extension of combustible construction: No Yes X N/A — 11.4.2.6.	
11.14	Compensating Construction:	No Yes X N/A	11.4.3.1,
11.15	Compliance Alternatives Proposed:	No Yes X N/A	11.5.1.
11.16	Notes: *Insert additional lines as needed*		11.5.1.

1 *A ll references are to Division B of the OBC unless preceded by [A] for Division A and [C] for Division C.*

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LICENSED PROFESSIONAL ENGINEER
B.M. LOPES
100177584
08/02/21
PROVINCE OF ONTARIO

NORTH

PROJECT
642 CONCESSION ST

TITLE
MATRIX 11

SCALE
1 : 100

DATE
AUGUST 2021

JOB No.
36-319

FILE No.
DA-19-176

DRAWING No.
A0.01

GENERAL NOTES:

CONFORM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE 2012

ALL CONSTRUCTION PRACTICES TO COMPLY WITH ONTARIO BUILDING CODE REGULATIONS
ALL DIMENSIONS GIVEN FIRST IN METRIC (mm) FOLLOWED BY IMPERIAL

1 STRIP FOOTINGS
SUPPORTING EXTERIOR WALLS
ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL
OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF
75KPa. (10.88 P.S.I.) OR GREATER.

- FOOTING SIZE FOR TWO STOREY BRICK VENEER 609 X 200mm (24" X 8") ASSUMING MAX. LIVE LOAD OF 2.4 KPa. (50 P.S.I.) PER FLOOR AND MAX. LENGTH OF SUPPORTING FLOOR JOISTS IS 4.9m (16'-1")
- CONTINUOUS KEYED CONC. FOOTING (FOR POURED CONC. FND. WALLS)
- 15MPa. (2200 P.S.I.) AT 28 DAYS
- MIN. 1220mm (4'-0") BELOW GRADE ON UNDISTURBED SOIL

STEP FOOTINGS:
STEP FOOTINGS: HORIZONTAL STEP 610mm (2'-0") MINIMUM
VERTICAL STEP 610mm (2'-0") MAX.

2 FOUNDATION WALL
(SEE O.B.C. 9.15.4)
250mm (10") REINF. POURED CONC. WALL (20 MPa)
AT 28 DAYS WITH BITUMINOUS DAMPPROOFING
AND OPT. DRAINAGE LAYER. DRAINAGE LAYER REQUIRED WHEN BSMT. INSULATION - EXTENDS 900mm (2'-11") BELOW FIN. GRADE
MAX. WALL HT. 2300mm (7'-7") USING 10" POURED CONC.
MIN. 1200mm (3'-11") BELOW GRADE
BRACE FOUNDATION WALL PRIOR TO BACKFILLING.

- LATERAL SUPPORT OF WALL PROVIDED BY ANCHORED SILL PLATE
- WATERPROOF THE EXTERIOR FACE OF WALL BELOW GRADE IN CONFORMANCE W/ SUBSECTION 9.13.3 OF THE O.B.C.

OR

- DAMPPROOF THE EXTERIOR FACE OF THE WALL BELOW GRADE IN CONFORMANCE W/ SUBSECTION 9.13.3 OF THE O.B.C. AND PROVIDE FOUNDATION WALL DRAINAGE CONFORMING TO 9.14.2.1(2) OF THE O.B.C.

- 1- NOT LESS THAN 19mm (3/4") OF MINERAL FIBRE INSULATION WITH DESTINY OF NOT LESS THAN 57Kg. /m3 (3.6 lbs. / sq3)
- 2- NOT LESS THAN 100mm (4") OF FREE DRAINING GRANULAR MATERIAL
- OR
- 3- A SYSTEM THAN CAN BE SHOWN TO PROVIDE EQUIVALENT PERFORMANCE TO THAT PROVIDED BY THE MATERIAL DESCRIBED ABOVE

3 BRICK - STONE - BLOCK VENEER CONSTRUCTION (2"X6" @12"O.C.)

- 90mm (4") OR 75mm (3") FACE BRICK OR STONE
- 90mm (4") BLOCK WITH 2 LAYERS 6mm (1/4") PARGING AND 1 LAYER 1/8" STUCCO FINISH CONFORMING TO O.B.C. 9.28. MAXIMUM 11000mm (36'-1") HIGH.
- 25 X 178 X 0.76mm (1" X 7" X 0.03") GALVANIZED METAL TIES @ 400mm (16") O.C. HOR. AND 600mm (24") O.C. VERT. NOT TO COMPRESS THE THE EXTERIOR SHEATHING
- 25mm (1") AIR SPACE
- 0.7 Kg. / m sq. (No. 15) BUILDING PAPER
- 12.7mm (1/2") EXTERIOR TYPE SHEATHING
- 38 X 140 (2" X 6") WOOD STUDS AT 400mm (16") O.C.
- R.S.I. 3.87 (R-22) FIBERGLASS INSULATION
- 2" STYROFOAM BLUE SM (R10)
- 0.15mm (0.006") AIR / VAPOUR BARRIER TO CONFORM TO CAN/ CGSB-51.340-M AND SUBSECTIONS 9.25.3 & 9.25.4 OF THE O.B.C.
- 12.7 mm (1/2") INTERIOR GYP WALL BOARD FINISH
- PROVIDE 10mm (3/8") WEEP HOLES MAXIMUM 800mm (32") O.C. IN STARTER COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER
- PROVIDE BRICK OR STONE SILLS UNDER ALL OPENINGS AND FLASH UNDER SILL.
- EXPOSING BUILDING FACE (O.B.C. 9.10.14.5.) EXT. WALLS TO HAVE A F.R.R. OF NOT LESS THAN 45 MIN. WHERE LIMITING DIST. IS LESS THAN 1.2M (3'-11") & WHERE LIMITING DIST. IS LESS THAN 600mm (24") THE EXPOSING BUILDING FACE SHALL BE CLADED IN NON-COMBUSTIBLE MATERIAL.

4 FRAME WALL CONSTRUCTION (2"X6")

- STUCCO, BOARD OR SIDING AS PER ELEVATION
- 0.7 Kg. / m2 (No. 15) BUILDING PAPER
- RSI 1.75 (R-10) CONT. STYROFOAM OR SPARY FOAM INSULATION.
- 12.7mm (1/2") EXTERIOR TYPE SHEATHING
- 38 X 140 (2" X 6") WOOD STUDS AT 400mm (16") O.C.
- R.S.I. 4.23 (R-19) BATT INSULATION
- 0.15mm (0.006") AIR / VAPOUR BARRIER TO CONFORM TO CAN/ CGSB-51.34-M AND SUBSECTIONS 9.25.3 & 9.25.4 OF THE O.B.C. INTERIOR STUD PARTITION

5 38 X 89 (2" X 4") @ 400 (16") O.C. BEARING, 38 X 89 (2" X 4") @ 600 (24") O.C. NON BEARING, 12.7mm (1/2") INT. GYSPUM WALLBOARD BOTH SIDES, 38 X 89 (2" X 4") BOTTOM PLATE, 2- 38X 89 (2" X 4")
TOP PLATE, TRIPLE STUDS AT CORNERS.

6 INTERIOR STUD PARTITION (FOR 2 STOREYS)
38 X 89 (2" X 4") @ 400 (16") O.C. OR
38 X 89 (2" X 4") @ 300 (12") O.C. FOR 3 STOREYS
W/ 12.7mm (1/2") INT. GYSPUM WALLBOARD BOTH SIDES
38 X 89 (2" X 4") BOTTOM PLATE, 2- 38X 89 (2" X 4") TOP PLATE
38 X 89 (2" X 4") INTERMEDIATE BLOCKING
OR 38 X 140 (2" X 6") CONSTRUCTION TO COMPLY
AS INDICATED ON DRAWINGS.

7 BEARING PARTITIONS (BASEMENT)
38 X 89 (2" X 4") @ 400 (16") O.C. FOR 2 STOREYS
38 X 89 (2" X 4") SILL ON DAMPPROOFING MATERIAL
12.7mm (1/2") DIAMETER ANCHOR BOLTS 200mm (8") LONG
EMBEDDED MIN. 100mm (4") INTO CONC. @2400mm (7'-10") O.C
ON 100mm (4") HIGH CONC. CURB ON 350 X 150mm
(13 3/4" X 6") POURED CONC. FOOTING ON UNDISTURBED SOIL
2- 38 X 89 (2" X 4") TOP PLATES
38 X 89 (2" X 4") INTERMEDIATE BLOCKING
OR 38 X 140 (2" X 6") CONSTRUCTION TO COMPLY
AS INDICATED ON DRAWINGS.

7a BEARING PARTITIONS (FIRST FLOOR)
38 X 89 (2" X 4") @ 400 (16") O.C.
38 X 89 (2" X 4") SILL PLATE
2- 38 X 89 (2" X 4") TOP PLATES
38 X 89 (2" X 4") INTERMEDIATE BLOCKING
OR 38 X 140 (2" X 6") CONSTRUCTION TO COMPLY
AS INDICATED ON DRAWINGS.

8 PARTY WALL CONSTRUCTION (BLOCK WALL)

- 12.7mm (1/2") GYP. WALL BOARD , TAPED JOINTS ON 19 X 64mm (1" X 3") WOOD SPACERS @ 400mm (16") O.C. ON EACH SIDE
- 2000mm (8") HOLLOW CONC. BLOCK OF NORMAL WEIGHT AGGREGATE
- MIN. 1 HR. F.R.R. CONT. FROM T/O FND. WALL TO U/S OF ROOF SHEATHING
- 2 STOREY BLOCK PARTY WALL TO BE ON 200mm (8") POURED CONC. OR 200mm (8") CONC. BLK. FND. WALL ON A MIN. 610 X 250mm (24" X 10") POURED CONC. FTG. ON UNDISTURBED SOIL (SIZE OF FTG. SUBJECT TO SOIL ENGINEER AS PER SOIL CONDITION AND SUPPORTED JOIST LENGTHS)

PARTY WALL CONSTRUCTION (WOOD FRAME WALL)

- 12.7mm (1/2") GYP. WALL BOARD , TAPED JOINTS ON RESIL. MTL. CHANNELS
- 2 ROWS 38 X 89mm (2" X 4") W'D STUDS @ 300mm (12") O.C. WITH 2 ROWS OF LATERAL SUPPORT OF WALLS 2460mm (8'-1") IN HEIGHT. SINGLE BOTTOM PLATE AND DOUBLE TOP PLATE
- SOUND ATTENUATION BATTS MIN. 1.2Kg / m. sq. (0.25 lbs. / sq. ft.) MINERAL WOOL
- 25mm (1") AIR SPACE BET. ROWS OF STUDS CONT. FROM T / O FND. WALL TO U /S OF ROOF SHEATHING.
- 2 STOREY BLOCK PARTY WALL TO BE ON 200mm (8") POURED CONC. OR 200mm (8") CONC. BLK. FND. WALL ON A MIN. 508 X 178mm (20" X 7") POURED CONC. FTG. ON UNDISTURBED SOIL (SIZE OF FTG. SUBJECT TO SOIL ENGINEER AS PER SOIL CONDITION AND SUPPORTED JOIST LENGTHS)

9 ROOF CONSTRUCTION

- 10.25Kg./m2 (No. 210) ASPHALT SHINGLES
- TYPE "S" ROLL ROOFING FROM EDGE OF ROOF EXTENDING A MIN. DISTANCE OF 900mm (2'-11 1/4") UP THE ROOF SLOPE TO A LINE NOT LESS THAN 300mm (11 3/4") PAST THE INSIDE FACE OF THE EXTERIOR WALL.
- 10mm (3/8") PLYWOOD SHEATHING W "H" CLIPS
- APPROVED WOOD TRUSSES AT 600mm (24") O.C.
- 38 X 89 (2" X 4") TRUSS BRACING AS PER TRUSS CERTIFICATE @ 1830mm (6'-0") O.C. BOTTOM CHORD FOR ROOF SLOPES 4 : 12 OR GREATER
- ALUM. EAVESTROUGH ON ALIMINIUM. FASCIA AND ALIMINIUM VENTED SOFFIT.
- ATTIC VENTILATION 1 : 300 OF INSULATED CEILING AREA WITH 50% AT EAVES.

CONVENTIONAL ROOF FRAMING

- 38 X 140mm (2" X 6") RAFTERS @ 400mm (16") O.C. AND 38 X 184mm (2" X 8") RIDGE BOARD C/W 38 X 89 (2" X 4") COLLAR TIES @ MID-SPANS, CEILING JOISTS TO BE 38 X 89mm (2" X 4") @ 400mm (16") O.C. FOR MAX. 2830mm (9'-3") SPAN, 38 X 140 (2" X 6") @ 400mm (16") O.C. FOR MAX. 4450mm (14'-7") SPAN AND 38 X 184 (2" X 8") @ 400mm 16" O.C. FOR MAX. 5850mm (19'-2") SPAN

10 ROOF INSULATION

- R.S.I 10.57 (R60) ROOF INSULATION, 0.15mm (0.006") AIR / VAPOUR BARRIER CONFORMING TO SUBSECTION 9.25.2 & 9.25.3 OF THE O.B.C. MIN. 12.7mm (1/2") GYP WALL BOARD OR APPROVED EQUAL

11 EXPOSED FLOOR & EXTERIOR

- PROVIDE R.S.I 5.46 (R31) SPRAY FOAM INSULATION, 0.15mm (0.006") VAPOUR BARRIER / CONTINUOUS AIR BARRIER AND FINISHED SOFFIT

12 SUBFLOOR, JOIST STRAPPING AND BRIDGING

- FIN. FLOOR ON 16 mm (5/8") O.S.B. SUB-FLOOR ON W'D FLOOR JOISTS FOR CERAMIC TILE APPLICATION (SEE O.B.C. 9.30.6.) 6mm 1/4" PANEL TYPE UNDELAY UNDER RESILIENT AND PARQUET FLOORING (SEE O.B.C. 9.23.9.4) ALL JOISTS BRIDGED W / 38 X 38mm (2" X 2") CROSS - BRACING AT 2100mm (6'-11") O.C. MAX. UNLESS PANEL TYPE CEILING FINISH IS APPLIED.

13 BASEMENT SLAB

- 150 mm (6") CONCRETE SLAB 20 MPa ON R-15 2½" STYROFOAM INSULATION W/ 6 MIL POLY [3600 PSI WITHOUT POLY] ON 125mm (5") CRUSHED STONE
- WHERE D.P.C IS NOT PROVIDED BELOW SLAB, CONCRETE STRENGTH OF SLAB TO BE 25MPa. (3600 psi) AT 28 DAYS

14 GARAGE SLAB

- MIN. 100mm (4") 32 MPa. (4650 psi) CONCRETE SLAB AT 28 DAYS WITH 5- 8% AIR ENT. ON 100mm (4") CRUSHED STONE (SEE 9.3.1.6 OF THE O.B.C)
- REINFORCED W2.9 X W2.9 (6" X 6") WIRE MESH LOCATED NEAR MID DEPTH OF SLAB
- ANY FILL PLACED BENEATH THE SLAB, OTHER THAN COARSE CLEAN GRANULAR FILL, SHALL BE COMPACTED AT NOT LESS THAN 95% PROCTOR.
- SLOPE TO FRONT AT 1% MIN.

15 GARAGE WALLS AND CEILINGS

- 12.7mm (1/2") GYPSUM WALL BOARD ON WALLS AND CEILINGS BETWEEN HOUSE AND GARAGE
- R.S.I 3.87 (R-22) FIBERGLASS INSULATION IN 38 X 140 (2" X 6") WALLS
- R.S.I 5.46 (R-31) SPRAY FOAM INSULATION IN CEILINGS
- 0.15mm (0.006") AIR / VAPOUR BARRIER CONFORMING TO CAN/CGSB - 51.34-M, SUBSECTION 9.25.3 & 9.25.4 OF THE O.B.C. ON WARM SIDE OF INSULATION ALL JOINTS OF GYP. WALL BOARD TO BE TAPED AND SEALED GAS TIGHT.

16 DOOR (BETWEEN GARAGE AND DWELLING UNIT)
A) A DOOR BETWEEN AN ATTACHED OR BUILT-IN GARAGE AND A DWELLING UNIT SHALL BE TIGHT-FITTING AND WEATHERSTRIPPED TO PROVIDE AN EFFECTIVE BARRIER AGAINST THE PASSAGE OF GASES AND EXHAUST FUMES AND SHALL DE FITTED WITH WITH A SELF CLOSING DEVICE
B) A DOORWAY BETWEEN AN ATTACHED OR BUILT-IN GARAGE AND A DWELLING UNIT SHALL NOT BE LOCATED IN A ROOM INTENDED FOR SLEEPING

17 BASEMENT INSULATION AND STRAPPING

- RSI 2.11 (R-12) INSULATION WITH 38 X 89 (2" X 4") WOOD STRAPPING, (2" AWAY FROM FND. WALL) FILL STUD CAVITY W/ R12 (R.S.I. 2.11) BATT INSULATION, + RSI 1.75 (R-10) CONT. STYROFOAM OR SPARY FOAM INSULATION. 0.15mm (0.006") AIR / VAPOUR BARRIER CONFORMING TO SUBSECTION 9.25.3 AND 9.25.4 OF THE O.B.C.

17a BASEMENT INSULATION AND STRAPPING

- RSI 4.23 (R-24) INSULATION WITH 38 X 140 (2" X 6") WOOD STRAPPING, 2"x6" TOP, BOT AND MID GIRT 0.15mm (0.006") AIR / VAPOUR BARRIER CONFORMING TO SUBSECTION 9.25.3 AND 9.25.4 OF THE O.B.C. TO EXTEND FROM THE UNDERSIDE OF THE SUBFLOOR TO FINISH FLOOR LEVEL DAMPPROOFING BETWEEN MASONRY WALL AND INSULATION WITH 0.7 Kg. / m2 (No. 15) BUILDING PAPER

17b WALL ABOVE GRADE INSULATION AND STRAPPING

- R-19 INSULATION WITH 38 X 140 (2" X 6") WOOD STRAPPING, 2"x6" TOP, BOT AND MID GIRT 0.15mm (0.006") AIR / VAPOUR BARRIER CONFORMING TO SUBSECTION 9.25.3 AND 9.25.4 OF THE O.B.C. TO EXTEND FROM THE UNDERSIDE OF THE SUBFLOOR TO FINISH FLOOR LEVEL, + RSI 1.75 (R-10) CONT. STYROFOAM OR SPARY FOAM INSULATION DAMPPROOFING BETWEEN MASONRY WALL AND INSULATION WITH 0.7 Kg. / m2 (No. 15) BUILDING PAPER

18
- 38 X 89 (2" X 4") SILL PLATE WITH 12.7mm (1/2") DIAMETER ANCHOR BOLTS 200mm (8") LONG MIN. EMBEDED 100mm (4") INTO CONCRETE AT 2400mm (7'-10") O.C DAMPPROOFING UNDER PLATE AND SEAL TO FOUNDATION WITH CAULKING OR AN ACCEPTABLE GASKET PLATE USE NON SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED.

19
- U.L.C CLASS - B VENT 610mm (2'-0") ABOVE POINT OF CONTACT WITH ROOF FOR SLOPES UP TO 9/12. DIRECT VENT FURNACE TERMINAL MIN. 900mm (2'-11") FROM A GAS REGULATOR AND MIN. 300mm (11 3/4") ABOVE FIN. GRADE FROM ALL OPENINGS, EXHAUST AND INTAKE VENTS H.R.V. INTAKE TO BE MIN. 1830mm (6'-0") FROM ALL EXHAUST TERMINALS. REFER TO GAS UTILIZATION CODE

20 CHIMNEY

- CHIMNEYS AND FLUES TO CONFORM TO SECTION 9.21 OF THE O.B.C
- CHIMNEYS TO BE 915mm (3'-0") ABOVE ROOF AND NOT LESSS THAN 610mm (24") ABOVE HIGHEST ROOF STRUCTURE WITHIN 3050 (10'-0") OF CHIMNEY.
- SUPPORT METAL CHIMNEYS LATERALLY AT 2030mm (6'-8") VERTICALLY
- CHIMNEY CAP TO HAVE MIN. 25mm (1") PROJECTION
- PROVIDE CHIMNEY SADDLE WITH FLASHING IF CHIMNEY WIDTH IS GREATER THAN 600mm (24")
- CLAY FLUE LINERS 15.9mm (5/8") THK.
- EXTEND LINERS FROM 200mm (7 7/8") BELOW BREACHING OPENING (OR) FROM TOP OF SMOKE CHAMBER TO NOT LESS THAN 50mm (2") OR MORE THAN 100mm (4") ABOVE CHIMNEY CAP MASONRY FIREPLACE CONSTRUCTION TO COMPLY WITH SECTION 9.21 OF THE ONTARIO BUILDING CODE

21 METAL FLASHING

- 0.33mm (0.013") PAINTED GALVANIZED STEEL
- 100mm (4") UNDER WALL SHEATHING AND SHINGLES
- 150mm (6") UP BRICK FACE INTO REGLET

22 WEEPING TILE

- 100mm (4") DIAM. WEEPING TILE, 150mm (6") CRUSHED STONE OVER AND AROUND ALL FOOTINGS, INCLUDING GARAGE FOOTINGS

23 EXT. CONC. STEPS

- EXTERIOR CONCRETE STEPS TO CONFORM WITH ARTICLE 9.8.91 OF THE O.B.C.

24 WOOD SHUTTERS

- WOOD SHUTTERS TO BE 305mm (12") WIDE

25
- 19 X 64mm (1" X 3") CONTINUOUS W'D STRAPPING BOTH SIDES OF STEEL BEAM

26
- 100 X 100 (4" X4") No. 1 -S.P.F. POST ON METAL BASE SHOE ANCHORED TO CONCRETE W/ 12.7mm (1/2") DIA. BOLT , 914 X 914 X 400mm (36" X 36" X 16") POURED CONC. FOOTING ON UNDISTURBED SOIL.

27 STEEL PIPE COLUMN

- STEEL PIPE COLUMN (SEE O.B.C. 9.15.3.3 FOR FOOTING SIZE)
- 88.9 X 88.9 X 6.35 (3 1/2" X 3 1/2" X 1/4") NON. ADJUST. ST. COL. WITH 150 X 150 X 9.5mm (6" X 6" X 3/8") STEEL TOP AND BOTTOM PLATE. BASE PLATE 100 X 250 X 12.7mm (4 " X 10" X 1/2") WITH 2- 12.7mm DIA. X 300 mm LONG X 50mm (2- 1/2" DIA. X 12" LONG X 2") HOOK ANCHORS FIELD WELD COLUMN TO BASE PLATE ON 1220mm X 1220mm X 460mm (42" X 42" X 18") POURED CONC. FTG. ON UNDISTURBED SOIL.

27A ADJUSTABLE STEEL PIPE COLUMN

- STEEL PIPE COLUMN (SEE O.B.C. 9.15.3.3 FOR FOOTING SIZE)
- 90mm (3 1/2") DIA. W/ A WALL THICKNESS OF 4.76mm (3/16") ADJUST. ST. COL. WITH 150 X 150 X 9.5mm (6" X 6" X 3/8") STEEL TOP AND BOTTOM PLATE. BASE PLATE 100 X 250 X 12.7mm (4 " X 10" X 1/2") WITH 2- 12.7mm DIA. X 300 mm LONG X 50mm (2- 1/2" DIA. X 12" LONG X 2") HOOK ANCHORS FIELD WELD COLUMN TO BASE PLATE ON 1220 X 1220 X 457mm (48" X 48" X 18") POURED CONC. FTG. ON UNDISTURBED SOIL.

27B STEEL PIPE COLUMN

- 90mm (3 1/2") DIA. W/ A WALL THICKNESS OF 4.76mm (3/16") NON ADJUST. ST. COL. WITH 150 X 150 X 9.5mm (6" X 6" X 3/8") STEEL TOP AND BOTTOM PLATE. BASE PLATE 150 X 250 X 12.7mm (6 " X 10" X 1/2") WITH 2- 12.7mm DIA. X 300 mm LONG X 50mm (2- 1/2" DIA. X 12" LONG X 2") HOOK ANCHORS FIELD WELD COLUMN TO BASE PLATE ON FOUNDATION WALL.

28 ATTIC ACCESS HATCH

- ATTIC HATCH TO BE WEATHER-STRIPPED MIN. 510 X 710mm (20" X 28") AND BACKED WITH RSI 8.81 (R50) RIGID INSULATION

29
- CAPPED RANGE HOOD VENT TO EXTERIOR WITH INSECT SCREEN

30
- CAPPED DRYER VENT. WITH INSECT SCREEN

30a
- CAPPED VENT. WITH INSECT SCREEN

31 MAIN STAIRS AND EXTERIOR STAIRS

- TO HAVE UNIFORM TREADS AND RISERS (SEE 9.8.2. & 9.8.4. OF THE O.B.C.)

MAX. RISE	= 200 (7 7/8")
MAX. RUN	= 355 (14")
MAX. TREAD WIDTH	= 355 (14")
MIN. RISER	= 125 (4 7/8")
MIN. RUN	= 210 (8 1/4")
MIN. TREAD	= 235 (9 1/4")
MAX. NOSING	= 25 (1")
MIN. HEAD ROOM (INTERIOR STAIRS)	= 1950 (6'-5")
MIN. HEAD ROOM (EXTERIOR STAIRS)	= 2050 (6'-9")
HANDRAIL AT LANDING	= 1070 (3'-6") MAX.
HANDRAIL AT LANDING	= 800 (2'-7") MIN.
HANDRAIL AT STAIRS/RAMPS	= 965 (3'-2") MAX.
HANDRAIL AT STAIRS/RAMPS	= 700 (2'-10") MIN.
MIN. STAIR WIDTH	= 900 (2'-11")
FOR CURVED STAIRS	
MIN. RUN	= 150 (5 7/8")
MIN. AVG. RUN	= 200 (7 7/8")

32 OPENINGS THROUGH A GUARD ON A BALCONY, AN EXIT STAIR, OR STAIRS, LANDINGS AND THE FLOOR LEVEL AROUND A STAIRWELL IN A DWELLING UNIT, SHALL BE OF A SIZE SO AS TO PREVENT THE PASSAGE OF A SPHERICAL OBJECT HAVING A DIAMETER OF 100 mm (4 in.)IN RESIDENTIAL OCCUPANCIES AND 200 mm (7 7/8 in.) IN OTHER OCCUPANCIES

33 LINEN CLOSET
LINEN CLOSET TO HAVE 4 SHELVES, MIN. 330mm (14") DEEP.

34 CLOTHES CLOSET TO BE PROVIDED WITH HANGING ROD AND 380mm (15") SHELF ABOVE.

35 MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR TO PROVIDE A MINIMUM OF ONE AIR CHANGE PER HOUR AND SHALL CONFORM TO 9.32.3 OF THE O.B.C.

36 DIRECT VENT GAS FIRE PLACE, VENT TO BE MIN. 300mm (11 3/4") FROM ANY OPENING ABOVE FIN. GRADE REFER TO GAS UTILIZATION CODE
ZERO - CLEARANCE FIRE PLACE CONSTRUCTION TO COMPLY WITH MANUFACTURES SPECIFICATIONS

37 STEEL BEARING PLATE FOR MASONRY WALLS

- 280 X 280 X 16mm (11" X 11" X 5/8") ST. PLATE FOR STEEL BEAMS AND 280 X 280 X 12mm (11" X 11" X 1/2") ST. PLATE FOR WOOD BEAMS BEARING ON CONC. BLK. PARTY WALL ANCHORED W / 2 - 19 X 200mm (2- 3/4" X 8") LONG GALVANIZED ANCHORS WITH SOLID BLOCK COURSE LEVEL WITH NON SHRINK GROUT. - OR -

SOLID WOOD BEARING FOR WOOD STUD WALLS

- SOLID BEARING TO BE AS WIDE AS THE SUPPORTED MEMBER SOLID WOOD BEARING COMPRISED OF BUILT UP W'D STUDS TO BE CONSTRUCTED IN ACCORDANCE WITH O.B.C. 9.17.4.2 (2)

38 GABLE CONSTRUCTION

- ROOF FRAMING TO BE 38 X 140mm (2" X 6") RAFTERS AT 400mm (16") O.C. WITH 38 X 184mm (2" X 8") RIDGE

FRAME CONSTRUCTION

- STUCCO BOARD OR SIDING AS PER ELEVATION
- 0.7Kg. / m2 (No. 15) BUILDING PAPER
- 12.7mm (1/2") EXTERIOR TYPE SHEATHING
- 38 X 140mm (2" X 6") WOOD STUDS AT 400mm (16") O.C.

39 SMOKE ALARMS
SMOKE ALARMS CONFORMING TO CAN/ULC-S531, " STANDARDS FOR SMOKE ALARMS " SHALL BE INSTALLED IN EACH DWELLING UNIT AND IN EACH SLEEPING ROOM NOT WITHIN A DWELLING UNIT, CONFORMING TO 9.10.19.3 O. B. C.
WITHIN DWELLING UNITS, SUFFICIENT SMOKE ALARMS SHALL BE INSTALLED SO THAT

- THERE IS AT LEAST ONE SMOKE ALARM ON EACH FLOOR LEVEL, INCLUDING BASEMENTS, THAT IS 900 mm (2 ft. 11 in.) OR MORE ABOVE OR BELOW AN ADJACENT FLOOR LEVEL,
- EACH BEDROOM IS PROTECTED BY A SMOKE ALARM EITHER INSIDE THE BEDROOM OR, IF OUTSIDE, WITHIN 5m (16 ft. 5 in.) MEASURED FOLLOWING CORRIDORS AND DOORWAYS, OF THE BEDROOM, AND
- THE DISTANCE, MEASURED FOLLOWING CORRIDORS AND DOORWAYS, FROM ANY POINT ON A FLOOR LEVEL TO SMOKE ALARM ON THE SAME LEVEL DOES NOT EXCEED 15m (49 ft. 3 in.)

40 CARBON MONOXIDE DETECTORS :
IN EACH ROOM THAT CONTAINS A FUEL BURNING APPLIANCE PROVIDE A CARBON MONOXIDE DETECTOR ON OR NEAR THE CEILING EQUIPPED WITH AN ALARM AUDIBLE THROUGHOUT DWELLING UNIT OR INTERCONNECT WITH SMOKE ALARM SO THAT WHEN THE CARBON MONOXIDE DETECTOR IS ACTIVATED. IT WILL ACTIVATE THE SMOKE ALARM AS PER 9.33.4. O.B.C.

41 PORCH SLAB CONSTRUCTION (9.39)

- FOR MAX. 2500mm (8'-2") PORCH DEPTH , 130mm (5") 32MPa. (4650 psi) CONC. SLAB W / 5 - 8% AIR ENTRAINMENT REINF. W/ 10M BARS @ 203mm (8") O.C. EACH WAY ON CENTER OF SLAB (MIN 1 3/4" CONC. COVER FROM THE BOTTOM OF THE SLAB TO THE FIRST LAYER OF BARS) C/W 600X 600mm (23 5/8" X 23 5/8"") 10M DOWELS @ 600mm (23 5/8") O.C. ANCHORED INTO THE PERIMETER FND. WALLS (SLAB TO BEAR NOT LESS THAN 75mm (3") ON THE SUPPORTING FOUNDATION WALLS
- SLOPE SLAB MIN. 1% FROM DOOR
- PROVIDE 2- L1'S LINTELS OVER CELLAR DOOR UNLESS OTHERWISE SPECIFIED

42 WINDOW SCHEDULE

- ALL WINDOWS TO BE BLACK COLOUR WITH ALIMINIUM FRAME AND SILL
- ALL WINDOWS TO BE DOUBLE GLAZED WITH LOW E COATING

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH
- AT LEAST 1 OUTSIDE WINDOW THAT CAN BE OPENED FROM THE INSIDE WITHOUT THE USE OF TOOLS , AND
- EACH SUCH WINDOW SHALL PROVIDE AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.35 m2 (3.8 ft2) WITH NO DIMENSION LESS THAN 380 mm (15 in.)

2) EXCEPT FOR BASEMENT AREAS, THE WINDOW DESCRIBED IN SENTENCE (1) SHALL HAVE A MAXIMUM SILL HEIGHT OF 1000 mm (3 ft. 3 in.) ABOVE THE FLOOR
3) WHEN SLIDING WINDOWS ARE USED, THE MINIMUM DIMENSION DESCRIBED IN SENTENCE (1) SHALL APPLY TO THE OPENABLE PORTION OF THE WINDOW

- 5% OF FLOOR AREA OF BEDROOMS AND 10% OF LIVING AND DINING ROOMS TO EQUAL TRANSPARENT OPENINGS IN WINDOW. (SEE ARCTICLE 9.7.2.3 OF THE O.B.C.)
- WINDOWS LOCATED WITHIN 2 meters (6'-7") OF ADJACENT GROUND LEVEL SHALL CONFORM TO THE REQUIREMENTS FOR RESISTANCE TO FORCED ENTRY. SEE 9.7.5.3 OF THE O.B.C.

43 DOOR SCHEDULE
ALL DOORS TO BE BLACK COLOUR WITH ALIMINIUM FRAME AND SILL

- EXTERIOR DOORS TO HAVE A THERMAL RESISTANCE OF RSI 0.7 (R 4) OR WITH STORM DOOR. SLIDING DOORS TO HAVE A THERMAL RESISTANCE OF RSI 0.3 (R 1.7)
- GLASS IN SIDE LIGHTS GREATER THAN 500mm (19 3/4") STORM DOORS IN SLIDING PATIO DOOR AND IN SHOWER DOORS TO BE OF SAFETY GLASS
- DOOR TO BE RESISTANT TO FORCED ENTRY IN CONFORMANCE TO SUBSECTION 9.7.5.2 OF THE O.B.C.

	METRIC	IMPERIAL	
1	814 X 2030 X 45	2'-8" X 6'-8" X 1 3/4"	INSULATED DR. MIN. RSI 0.7 (R4)
1A	864 X 2030 X 45	2'-10" X 6'-8" X 1 3/4"	INSULATED DR. MIN. RSI 0.7 (R4)
1B	914 X 2030 X 45	3'-0" X 6'-8" X 1 3/4"	INSULATED DR. MIN. RSI 0.7 (R4)
2	2- 814 X 2030 X 45	2- 2'-8" X 6'-8" X 1 3/4"	INSULATED DR. MIN. RSI 0.7 (R4)
3	814 X 2030 X 45	2'-8" X 6'-8" X 1 3/4"	SOLID CORE DOOR
4	508 X 2030 X 35	1'-8" X 6'-8" X 1 3/8"	SLAB DOOR
5	610 X 2030 X 35	2'-0" X 6'-8" X 1 3/8"	SLAB DOOR
6	660 X 2030 X 35	2'-2" X 6'-8" X 1 3/8"	SLAB DOOR
7	710 X 2030 X 35	2'-4" X 6'-8" X 1 3/8"	SLAB DOOR
8	760 X 2030 X 35	2'-6" X 6'-8" X 1 3/8"	SLAB DOOR
9	814 X 2030 X 35	2'-8" X 6'-8" X 1 3/8"	SLAB DOOR
10	864 X 2030 X 45	2'-10" X 6'-8" X 1 3/8"	SLAB DOOR
11	914 X 2030 X 35	3'-0" X 6'-8" X 1 3/8"	SLAB DOOR
12	610 X 2030 X 35	2'-0" X 6'-8" X 1 3/8"	SLAB BI-FOLD DOOR
13	2- 760 X 2030 X 35	2'-6" X 6'-8" X 1 3/8"	SLAB BI-FOLD DOOR
14	2- 760 X 2030 X 35	2- 2'-6" X 6'-8" X 1 3/8"	SLAB BI-FOLD DOOR
15	914 X 2030 X 35	3'-0" X 6'-8" X 1 3/8"	SLAB BI-FOLD DOOR
16	2- 914 X 2030 X 35	2- 3'-0" X 6'-8" X 1 3/8"	SLAB BI-FOLD DOOR
17	1219 X 2030 X 35	4'-0" X 6'-8" X 1 3/8"	SLAB BI-FOLD DOOR
18	2- 1219 X 2030 X 35	2- 4'-0" X 6'-8" X 1 3/8"	SLAB BI-FOLD DOOR
19	406 X 2030 X 35	1'-4" X 6'-8" X 1 3/8"	SLAB DOOR
20	2- 610 X 2030 X 35	2- 2'-0" X 6'-8" X 1 3/8"	SLIDERS
21	2- 864 X 2030 X 35	2- 2'-10" X 6'-8" X 1 3/8"	INSULATED DOOR
22		MIRRORED SLIDERS	

LINTEL SCHEDULE

WOOD LINTELS

	METRIC	IMPERIAL	
WL1	2- 38 X 140	2- 2" X 6"	SPRUCE No. 1
WL2	2- 38 X 184	2- 2" X 8"	SPRUCE No. 1
WL3	2- 38 X 235	2- 2" X 10"	SPRUCE No. 1
WL4	2- 38 X 286	2- 2" X 12"	SPRUCE No. 1

BUILT UP BEAMS

	METRIC	IMPERIAL	
B1	3- 38 X 140	3- 2" X 6"	SPRUCE No. 1
B2	3- 38 X 184	3- 2" X 8"	SPRUCE No. 1
B3	3- 38 X 235	3- 2" X 10"	SPRUCE No. 1
B4	3- 38 X 286	3- 2" X 12"	SPRUCE No. 1
B5	4- 38 X 140	4- 2" X 6"	SPRUCE No. 1
B6	4- 38 X 184	4- 2" X 8"	SPRUCE No. 1
B7	4- 38 X 235	4- 2" X 10"	SPRUCE No. 1
B8	4- 38 X 286	4- 2" X 12"	SPRUCE No. 1

STEEL LINTELS

	METRIC	IMPERIAL
SL1	90 X 90 X 6.0	3 1/2" X 3 1/2" X 1/4"
SL2	90 X 90 X 8.0	3 1/2" X 3 1/2" X 5/16"
SL3	100 X 90 X 8.0	4" X 3 1/2" X 5/16"
SL4	125 X 90 X 8.0	5" X 3 1/2" X 5/16"
SL5	125 X 125 X 8.0	5" X 5" X 5/16"
SL6	125 X 90 X 10.0	5" X 3 1/2" X 3/8"
SL7	150 X 100 X 10.0	6" X 4" X 3/8"

LAMINATED VENEER LUMBER (LVL) BEAMS

	METRIC	IMPERIAL
LVL1	2- 45 X 241	2- 1 3/4" X 9 1/2"
LVL2	3- 45 X 241	3- 1 3/4" X 9 1/2"
LVL3	4- 45 X 241	4- 1 3/4" X 9 1/2"
LVL4	2- 45 X 286	2- 1 3/4" X 11 1/4"
LVL5	3- 45 X 286	3- 1 3/4" X 11 1/4"
LVL6	4- 45 X 286	4- 1 3/4" X 11 1/4"
LVL7	2- 45 X 302	2- 1 3/4" X 11 7/8"
LVL8	3- 45 X 302	3- 1 3/4" X 11 7/8"
LVL9	4- 45 X 302	4- 1 3/4" X 11 7/8"
LVL10	3- 45 X 356	3- 1 3/4" X 14"

SPECIFICATIONS AND ADDITIONAL NOTATIONS :

GENERAL NOTES :

1- EVERY EXCAVATION SHALL BE UNDERTAKEN IN SUCH A MANNER AS TO PREVENT MOVEMENT WHICH WOULD CAUSE DAMAGE TO ADJACENT PROPERTIES, EXISTING STRUCTURES, UTILITIES, ROADS AND SIDEWALKS AT ALL STAGES OF CONSTRUCTION.

2- OR IN ACCORDANCE WITH APPROVED SHORING DETAILS.

3- ON THE OTHERSIDE OF THE WALL, UNLESS TEMPORARY SUPPORTS FOR THE WALL IS PROVIDED

4- OPENINGS IN FOUNDATION WALLS EXCEEDING 1200mm (4'-0") IN LENGTH OR 25% OF FOUNDATION WALL LENGTH THE PORTION OF THE WALL BELOW SUCH OPENINGS SHALL BE BE REINFORCED TO WITHSTAND EARTH PRESSURE.

LUMBER

1- ALL FRAMING LUMBER TO BE SPRUCE No. 1 GRADE UNLESS NOTED OTHERWISE

2- END BEARING JOISTS - 38mm (1 1/2")
BEAMS - 89mm (3 1/2")

3- LATERAL SUPPORT FOR WALLS PARALLEL TO JOISTS : METAL ANCHORS 38 X 5mm (1 1/2" X 3/16") AT 2030mm (6'-8") SPACING BENT INTO MASONRY 80mm (3") AND EXTEND OVER 3 PARALLEL JOISTS

4- JOIST HANGERS: PROVIDE METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING FLUSH BUILT-UP WOOD MEMBERS.

5- ALL LAMINATED VENEER LUMBER (L.V.L.) BEAMS, GIRDERS TRUSSES AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY A TRUSS MANUFACTURER

6- LUMBER EXPOSED TO EXTERIOR TO BE SPRUCE No. 1 GRADE PRESSURE TREATED OR CEDAR, UNLESS OTHERWISE NOTED

7- L.V.L BEAMS SHALL BE 2.0E WS MICRO-LAM (fb = 2800 p.s.i MIN.) OR EQUIVALENT. NAIL EACH PLY W / 89mm (3 1/2") COMMON NAILS @ 300mm (11 3/4") O.C. STAGGERED IN 2 - ROWS FOR 235, 286 AND 302mm (9 1/4", 11 1/4" , 11 7/8") DEPTHS & STAGGERED IN 3 ROWS FOR GREATER DEPTHS & FOR 4 PLY MEMBERS ADD 13mm (1/2") DIA. GALV. BOLTS AT MID DEPTH OF BEAM @ 915mm (36") O.C.

8- WOOD FRAMING MEMBERS THAT ARE NOT TREATED WITH A WOOD PRESERVATIVE AND ARE IN CONTACT WITH WITH CONCRETE THAT IS LESS THAN 150mm (6") ABOVE GROUND OR SLAB, PROVIDE 0.15mm (0.006") POLYETHYLENE FILM OR No. 50 (45lbs.) ROLL ROOFING DAMPPROOFING BETWEEN WOOD AND CONCRETE.

STRUCTURAL STEEL

1- STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 300W HOLLOW STRUCTURAL SECTION SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W CLASS "H"

2- REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400-R

GUARDS

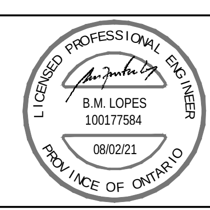
GUARDS AROUND EXTERIOR BALCONIES, PORCHES, AND DECKS SHALL BE DESIGNED/INSTALLED SO THAT NO MEMBER, ATTACHMENT OR OPENING LOCATED BETWEEN 4"(100) AND 2'11"(900) ABOVE THE FLOOR OF THE BALCONY, PORCH OR DECK WILL FACILITATE CLIMBING.
OPENINGS THROUGH ANY GUARD SHALL BE OF SIZE WHICH WILL PREVENT THE PASSAGE OF A SPHERICAL OBJECT HAVING A DIAMETER OF NOT MORE THAN 4 INCHES (100 mm)

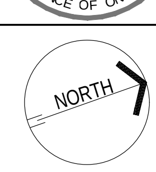
OBC 4.1.5.14 THE MINIMUM SPECIFIED LOAD APPLIED HORIZONTALLY AND NORMAL TO THE SPAN AT THE TOP OF EVERY REQUIRED GUARD SHALL BE:
(A) 40lb/ft FOR EXTERIOR BALCONIES OF INDIVIDUAL RESIDENTIAL UNITS AND A CONCENTRATED LOAD OF 200 lb. APPLIED CONCURRENTLY.
(B) 100lb/ft FOR EXITS AND STAIRS.
(C) 150lb/ft FOR LOCATIONS OTHER THAN DESCRIBED ABOVE.

INDIVIDUAL ELEMENTS WITHIN THE GUARD, INCLUDING SOLID PANELS AND PICKETS, SHALL BE DESIGNED FOR 20 psf. OR 100 lb. OF CONCENTRATED LOAD AT ANY POINT IN THE ELEMENT, WHICH RESULTS IN THE MORE CRITICAL LOADING CONDITION.

THE MINIMUM SPECIFIED LOAD APPLIED VERTICALLY AT THE TOP OF EVERY REQUIRED GUARD SHALL BE 100 lb/ft AND NEED NOT BE CONSIDERED TO ACT SIMULTANEOUSLY WITH THE HORIZONTAL LOAD.

NO.	DESCRIPTION OF ISSUE	DATE	NO.	DESCRIPTION OF ISSUE	DATE
1	CITY COMMENTS REV01 SUBMISSION	02/22/2020	5	CITY COMMENTS REVIEW SUBMISSION	03/30/2021
2	CITY COMMENTS REV02 SUBMISSION	05/12/2020	6	CITY COMMENTS REVIEW SUBMISSION	08/02/2021
3	ISSUED FOR BUILDING PERMIT APPLICATION	08/11/2020	7		
4	REVIEWED FOR BUILDING PERMIT APPLICATION	08/28/2020	8		





PROJECT	642 CONCESSION ST
TITLE	GENERAL NOTES AND SPECIFICATIONS
SCALE	1 : 100
DATE	AUGUST 2021
JOB No.	36-319
FILE No.	DA-19-176
DRAWING No.	A0.02

BEAM SCHEDULE:

BM-1 W12X40 STEEL BEAM

BM-2 W12X53 STEEL BEAM

BM-3 W12X30 STEEL BEAM

FLOOR JOISTS SCHEDULE:

FJ-1 11 7/8" S47 FLR. JSTS @12" O.C. W/ 3/4" OSB SUBFLOOR (GLUED-NAILED)

RJ-1 14" TJI S47 JSTS @ 16" O.C.

COLUMN SCHEDULE:

COL.-1 W12X22 STEEL COLUMN W/ 10"x10"x ½" TOP PLATE WELDED TO COL. & 12"x12"x ½" BOTTOM PLATE WELDED TO COL. ANCHORED W/ 2- 1/2" DIA. X 12" LONG X 2" HOOK ANCHORS TO 60"x 60"x 20"(H) 20 MPa CONCRETE FOOTING ON UNDISTURBED SOIL

COL.-2 W12X22 STEEL COLUMN W/ 10"x10"x ½" TOP PLATE WELDED TO COL. & 10"x10"x ½" BOTTOM PLATE WELDED TO COL.

COL.-3 W12X22 STEEL COLUMN W/ 8"x8"x ⅜" TOP PLATE WELDED TO COL. & 8"x8"x ⅜" BOTTOM PLATE WELDED TO COLUMN TO FOUND WALL W/ 2- 1/2" DIA. X 12" LONG X 2" HOOK ANCHORS

COL.-4 W12X22 STEEL COLUMN W/ 8"x8"x ⅜" TOP PLATE WELDED TO COL. & 8"x8"x ⅜" BOTTOM PLATE WELDED TO COLUMN

(W1) NEW RATED LOAD BEARING PARTITION WALL

1 HOUR FIRE RATED, WITH MIN. STC RATING 51, AS PER SB-3 W4b

2 LAYERS ⅝" TYPE "X" GYP. WALL BRD. APPLIED TO RESILIENT MET. CHANNELS @ 16" O.C. INSIDE OF 2" X 4" OR 2"x6" MTL. STUDS @ 16" O.C., (48 GAUGE), ONE LAYER ⅝" TYPE "X" GUP. WALL BRD. ON THE OTHER SIDE OF STUDS C/W 5 ½" SOUND ABSORPTIVE INSUL. TO U/S OF SUB-FLOOR ABOVE.

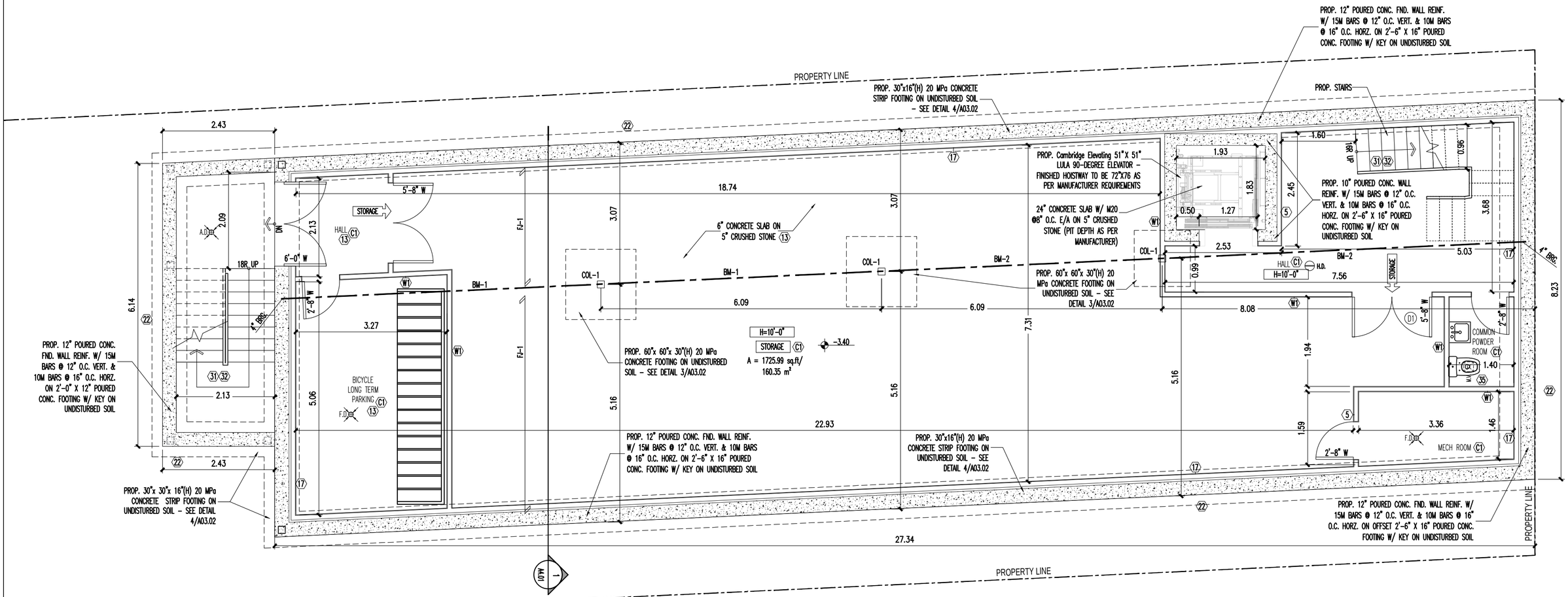
(C1) NEW CEILING

1 HOUR FIRE RATED WITH STC52 REFER TO ULC DESIGN NO. M501

FILL JOIST CAVITY W/ SOUND PROOF INSUL. (SOUND TRANSMISSION TO CONFORM TO O.B.C. 9.11.21.) C/W ⅝" RESILIENT MTL. FURRING CHANNELS @ 16" O.C. PERPENDICULAR TO FLOOR JOISTS W/ ⅝" TYPE "X" GYP. WALL BRD. W/ PAINTED FINISH (TYP.)

LEGEND

- S.A. SMOKE ALARM
- C.M.D. CARBON MONOXIDE DETECTOR
- M.V. MECHANICAL VENTILATION
- HB HOSE BIB
- S.B. SOLID WOOD BEARING
- PL POINT LOAD
- EXIST'G WALL TO REMAIN
- F.D. FLOOR DRAIN
- A.D. AREA DRAIN



BASEMENT PLAN

SCALE: 1:60

NO.	DESCRIPTION OF ISSUE	DATE	NO.	DESCRIPTION OF ISSUE	DATE
1	CITY COMMENTS REV01 SUBMISSION	02/22/2020	5	CITY COMMENTS REVIEW SUBMISSION	03/30/2021
2	CITY COMMENTS REV02 SUBMISSION	05/12/2020	6	CITY COMMENTS REVIEW SUBMISSION	08/02/2021
3	ISSUED FOR BUILDING PERMIT APPLICATION	08/11/2020	7		
4	REVIEWED FOR BUILDING PERMIT APPLICATION	08/28/2020	8		

LICENSED PROFESSIONAL ENGINEER
B.M. LOPES
100177584
08/02/21
PROVINCE OF ONTARIO

NORTH

PROJECT
642 CONCESSION ST

TITLE
BASEMENT PLAN

SCALE 1 : 60

DATE AUGUST 2021

JOB No. 36-319

FILE No. DA-19-176

DRAWING No. A01.01

BEAM SCHEDULE:

BM-1 W12X40 STEEL BEAM

BM-2 W12X53 STEEL BEAM

BM-3 W12X30 STEEL BEAM

FLOOR JOISTS SCHEDULE:

FJ-1 11 7/8" S47 FLR. JSTS @12" O.C. W/ 3/4" OSB SUBFLOOR (GLUED-NAILED)

RJ-1 14" TJI S47 JSTS @ 16" O.C.

COLUMN SCHEDULE:

COL.-1 W12X22 STEEL COLUMN W/ 10"x10"x ½" TOP PLATE WELDED TO COL. & 12"x12"x ½" BOTTOM PLATE WELDED TO COL. ANCHORED W/ 2- 1/2" DIA. X 12" LONG X 2" HOOK ANCHORS TO 60"x 60"x 20"(H) 20 MPa CONCRETE FOOTING ON UNDISTURBED SOIL

COL.-2 W12X22 STEEL COLUMN W/ 10"x10"x ½" TOP PLATE WELDED TO COL. & 10"x10"x ½" BOTTOM PLATE WELDED TO COL.

COL.-3 W12X22 STEEL COLUMN W/ 8"x8"x ⅜" TOP PLATE WELDED TO COL. & 8"x8"x ⅜" BOTTOM PLATE WELDED TO COLUMN TO FOUND WALL W/ 2- 1/2" DIA. X 12" LONG X 2" HOOK ANCHORS

COL.-4 W12X22 STEEL COLUMN W/ 8"x8"x ⅜" TOP PLATE WELDED TO COL. & 8"x8"x ⅜" BOTTOM PLATE WELDED TO COLUMN

(W1) NEW RATED LOAD BEARING PARTITION WALL

1 HOUR FIRE RATED, WITH MIN. STC RATING 51, AS PER SB-3 W4b

2 LAYERS ⅝" TYPE "X" GYP. WALL BRD. APPLIED TO RESILIENT MET. CHANNELS @ 16" O.C. INSIDE OF 2" X 4" OR 2"x6" MTL. STUDS @ 16" O.C., (48 GAUGE), ONE LAYER ⅝" TYPE "X" GUP. WALL BRD. ON THE OTHER SIDE OF STUDS C/W 5 ½" SOUND ABSORPTIVE INSUL. TO U/S OF SUB-FLOOR ABOVE.

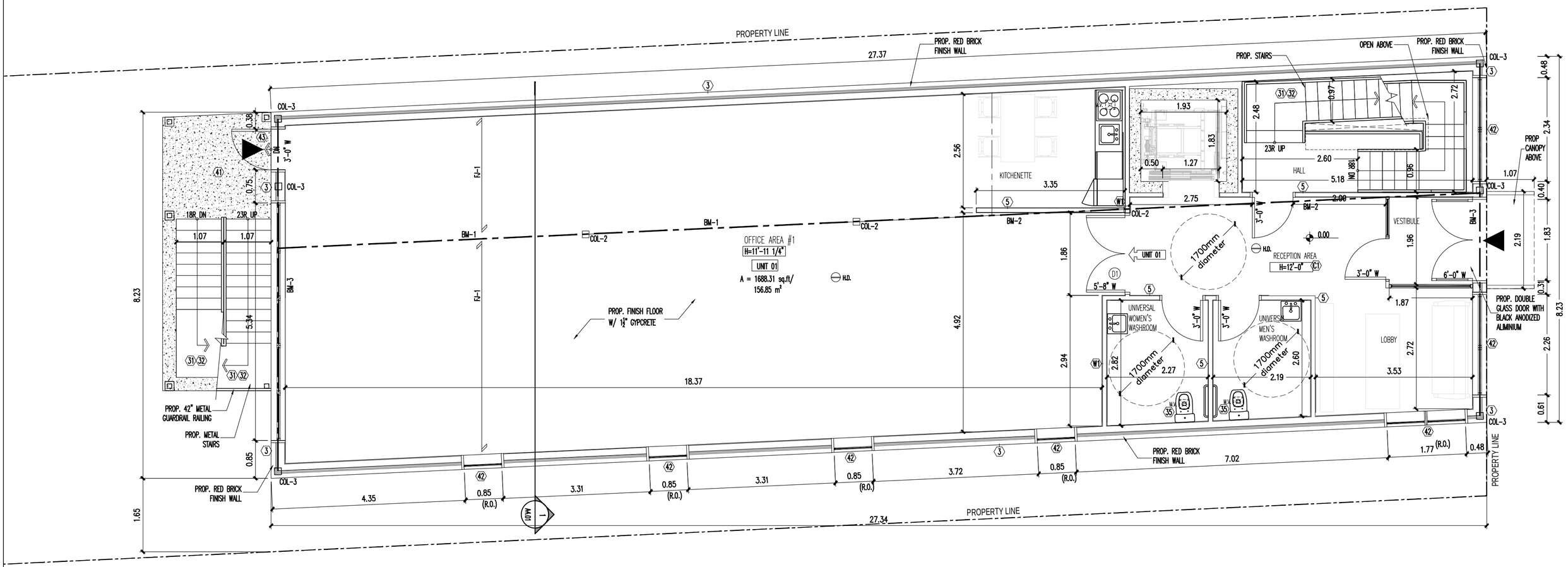
(C1) NEW CEILING

1 HOUR FIRE RATED WITH STC52 REFER TO ULC DESIGN NO. M501

FILL JOIST CAVITY W/ SOUND PROOF INSUL. (SOUND TRANSMISSION TO CONFORM TO O.B.C. 9.11.21.) C/W ⅝" RESILIENT MTL. FURRING CHANNELS @ 16" O.C. PERPENDICULAR TO FLOOR JOISTS W/ ⅝" TYPE "X" GYP. WALL BRD. W/ PAINTED FINISH (TYP.)

LEGEND

- S.A. — SMOKE ALARM
- C.M.D. — CARBON MONOXIDE DETECTOR
- M.V. — MECHANICAL VENTILATION
- H.B. — HOSE BIB
- S.B. — SOLID WOOD BEARING
- PL — POINT LOAD
- EXIST'G WALL TO REMAIN
- F.D. — FLOOR DRAIN
- A.D. — AREA DRAIN



FIRST FLOOR PLAN

SCALE: 1:60

NO.	DESCRIPTION OF ISSUE	DATE	NO.	DESCRIPTION OF ISSUE	DATE
1	CITY COMMENTS REV01 SUBMISSION	02/22/2020	5	CITY COMMENTS REVIEW SUBMISSION	03/30/2021
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4	REVIEWED FOR BUILDING PERMIT APPLICATION	08/28/2020	8		

LICENSED PROFESSIONAL ENGINEER — B.M. LOPES — 100177584 — 08/02/21 — PROVINCE OF ONTARIO

NORTH

PROJECT: 642 CONCESSION ST

TITLE: FIRST FLOOR PLAN

SCALE: 1 : 60

DATE: AUGUST 2021

JOB No.: 36-319

FILE No.: DA-19-176

DRAWING No.: A01.02

BEAM SCHEDULE:

BM-1 W12X40 STEEL BEAM

BM-2 W12X53 STEEL BEAM

BM-3 W12X30 STEEL BEAM

FLOOR JOISTS SCHEDULE:

FJ-1 11 7/8" S47 FLR. JSTS @12" O.C. W/ 3/4" OSB SUBFLOOR (GLUED-NAILED)

RJ-1 14" TJI S47 JSTS @ 16" O.C.

COLUMN SCHEDULE:

COL.-1 W12X22 STEEL COLUMN W/ 10"x10"x ½" TOP PLATE WELDED TO COL. & 12"x12"x ½" BOTTOM PLATE WELDED TO COL. ANCHORED W/ 2- 1/2" DIA. X 12" LONG X 2" HOOK ANCHORS TO 60"x 60"x 20"(H) 20 MPa CONCRETE FOOTING ON UNDISTURBED SOIL

COL.-2 W12X22 STEEL COLUMN W/ 10"x10"x ½" TOP PLATE WELDED TO COL. & 10"x10"x ½" BOTTOM PLATE WELDED TO COL.

COL.-3 W12X22 STEEL COLUMN W/ 8"x8"x ⅜" TOP PLATE WELDED TO COL. & 8"x8"x ⅜" BOTTOM PLATE WELDED TO COLUMN TO FOUND WALL W/ 2- 1/2" DIA. X 12" LONG X 2" HOOK ANCHORS

COL.-4 W12X22 STEEL COLUMN W/ 8"x8"x ⅜" TOP PLATE WELDED TO COL. & 8"x8"x ⅜" BOTTOM PLATE WELDED TO COLUMN

(W1) NEW RATED LOAD BEARING PARTITION WALL

1 HOUR FIRE RATED, WITH MIN. STC RATING 51, AS PER SB-3 W4b

2 LAYERS ⅝" TYPE "X" GYP. WALL BRD. APPLIED TO RESILIENT MET. CHANNELS @ 16" O.C. INSIDE OF 2" X 4" OR 2"x6" MTL. STUDS @ 16" O.C., (48 GAUGE), ONE LAYER ⅝" TYPE "X" GUP. WALL BRD. ON THE OTHER SIDE OF STUDS C/W 5 ½" SOUND ABSORPTIVE INSUL. TO U/S OF SUB-FLOOR ABOVE.

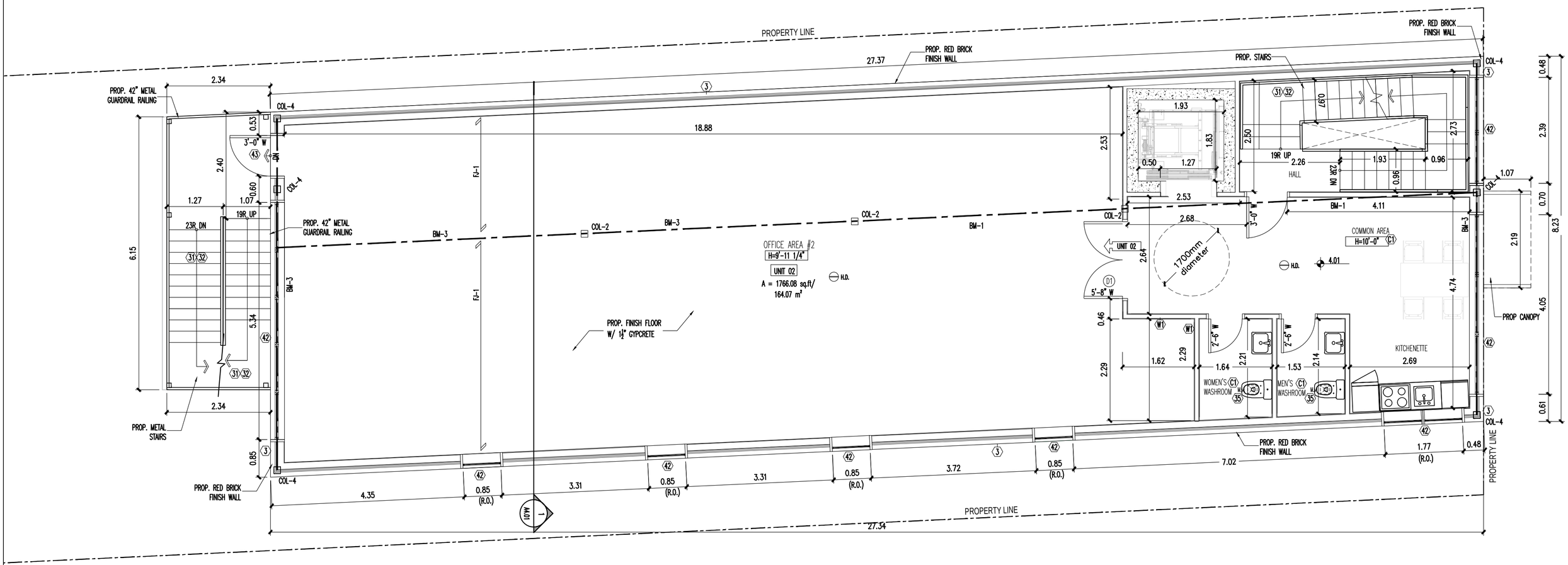
(C1) NEW CEILING

1 HOUR FIRE RATED WITH STC52 REFER TO ULC DESIGN NO. M501

FILL JOIST CAVITY W/ SOUND PROOF INSUL. (SOUND TRANSMISSION TO CONFORM TO O.B.C. 9.11.21.) C/W ⅝" RESILIENT MTL. FURRING CHANNELS @ 16" O.C. PERPENDICULAR TO FLOOR JOISTS W/ ⅝" TYPE "X" GYP. WALL BRD. W/ PAINTED FINISH (TYP.)

LEGEND

- S.A. SMOKE ALARM
- C.M.D. CARBON MONOXIDE DETECTOR
- M.V. MECHANICAL VENTILATION
- HB HOSE BIB
- S.B. SOLID WOOD BEARING
- PL POINT LOAD
- EXIST'G WALL TO REMAIN
- F.D. FLOOR DRAIN
- A.D. AREA DRAIN



SECOND FLOOR PLAN

SCALE: 1:60

NO.	DESCRIPTION OF ISSUE	DATE	NO.	DESCRIPTION OF ISSUE	DATE
1	CITY COMMENTS REV01 SUBMISSION	02/22/2020	5	CITY COMMENTS REVIEW SUBMISSION	03/30/2021
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3	ISSUED FOR BUILDING PERMIT APPLICATION	08/11/2020	7		
4	REVIEWED FOR BUILDING PERMIT APPLICATION	08/28/2020	8		

LICENSED PROFESSIONAL ENGINEER
B.M. LOPES
100177584
08/02/21
PROVINCE OF ONTARIO

NORTH

PROJECT
642 CONCESSION ST

TITLE
SECOND FLOOR PLAN

SCALE 1 : 60

DATE AUGUST 2021

JOB No. 36-319

FILE No. DA-19-176

DRAWING No. A01.03

BEAM SCHEDULE:

BM-1 W12X40 STEEL BEAM

BM-2 W12X53 STEEL BEAM

BM-3 W12X30 STEEL BEAM

FLOOR JOISTS SCHEDULE:

FJ-1 11 7/8" S47 FLR. JSTS @12" O.C. W/ 3/4" OSB SUBFLOOR (GLUED-NAILED)

RJ-1 14" TJI S47 JSTS @ 16" O.C.

COLUMN SCHEDULE:

COL-1 W12X22 STEEL COLUMN W/ 10"x10"x ½" TOP PLATE WELDED TO COL. & 12"x12"x ½" BOTTOM PLATE WELDED TO COL. ANCHORED W/ 2- 1/2" DIA. X 12" LONG X 2" HOOK ANCHORS TO 60"x 60"x 20"(H) 20 MPa CONCRETE FOOTING ON UNDISTURBED SOIL

COL-2 W12X22 STEEL COLUMN W/ 10"x10"x ½" TOP PLATE WELDED TO COL. & 10"x10"x ½" BOTTOM PLATE WELDED TO COL.

COL-3 W12X22 STEEL COLUMN W/ 8"x8"x ⅜" TOP PLATE WELDED TO COL. & 8"x8"x ⅜" BOTTOM PLATE WELDED TO COLUMN TO FOUND WALL W/ 2- 1/2" DIA. X 12" LONG X 2" HOOK ANCHORS

COL-4 W12X22 STEEL COLUMN W/ 8"x8"x ⅜" TOP PLATE WELDED TO COL. & 8"x8"x ⅜" BOTTOM PLATE WELDED TO COLUMN

(W1) NEW RATED LOAD BEARING PARTITION WALL

1 HOUR FIRE RATED, WITH MIN. STC RATING 51, AS PER SB-3 W4b

2 LAYERS ⅝" TYPE "X" GYP. WALL BRD. APPLIED TO RESILIENT MET. CHANNELS @ 16" O.C. INSIDE OF 2" X 4" OR 2"x6" MTL. STUDS @ 16" O.C., (48 GAUGE), ONE LAYER ⅝" TYPE "X" GUP. WALL BRD. ON THE OTHER SIDE OF STUDS C/W 5 ½" SOUND ABSORPTIVE INSUL. TO U/S OF SUB-FLOOR ABOVE.

(C1) NEW CEILING

1 HOUR FIRE RATED WITH STC52 REFER TO ULC DESIGN NO. M501

FILL JOIST CAVITY W/ SOUND PROOF INSUL. (SOUND TRANSMISSION TO CONFORM TO O.B.C. 9.11.21.) C/W ⅝" RESILIENT MTL. FURRING CHANNELS @ 16" O.C. PERPENDICULAR TO FLOOR JOISTS W/ ⅝" TYPE "X" GYP. WALL BRD. W/ PAINTED FINISH (TYP.)

LEGEND

- S.A. — SMOKE ALARM
- C.M.D. — CARBON MONOXIDE DETECTOR
- M.V. — MECHANICAL VENTILATION
- HB — HOSE BIB
- S.B. — SOLID WOOD BEARING
- PL — POINT LOAD
- EXIST'G WALL TO REMAIN
- F.D. — FLOOR DRAIN
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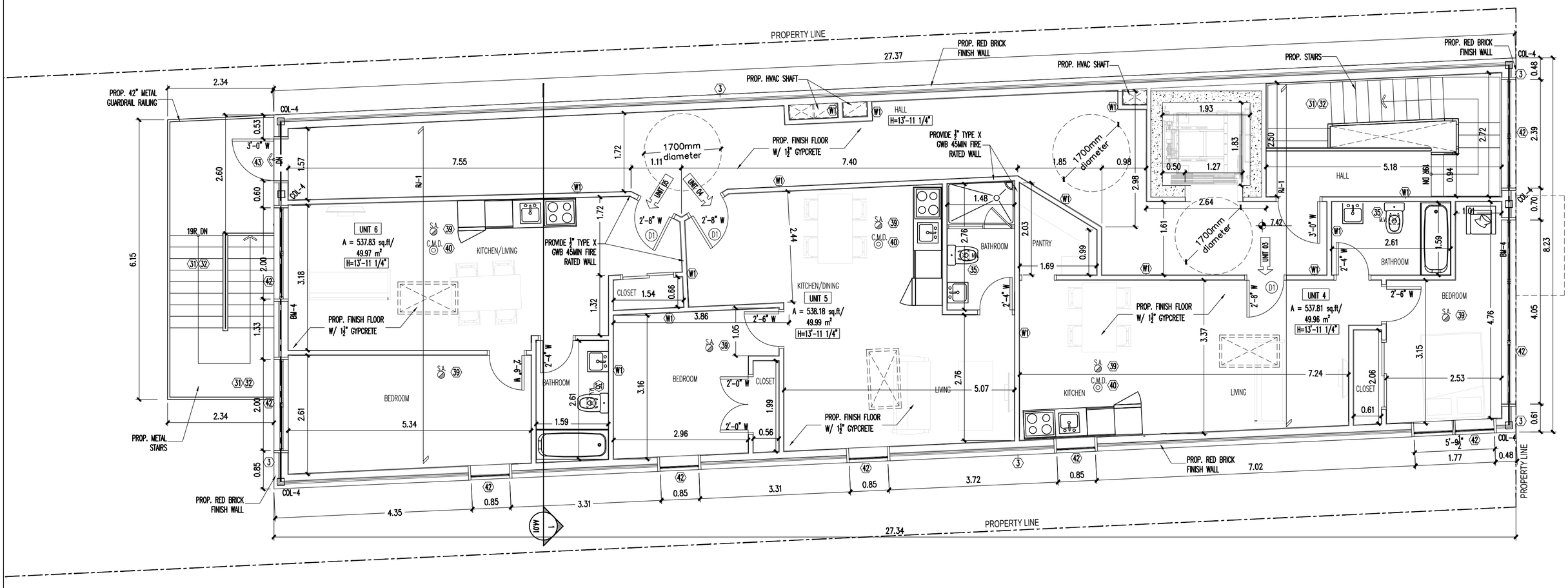


THIRD FLOOR PLAN

SCALE: 1:60

NO.	DESCRIPTION OF ISSUE	DATE	NO.	DESCRIPTION OF ISSUE	DATE
1	CITY COMMENTS REV01 SUBMISSION	02/22/2020	5	CITY COMMENTS REVIEW SUBMISSION	03/30/2021
2	CITY COMMENTS REV02 SUBMISSION	05/12/2020	6	CITY COMMENTS REVIEW SUBMISSION	08/02/2021
3	ISSUED FOR BUILDING PERMIT APPLICATION	08/11/2020	7		
4	REVIEWED FOR BUILDING PERMIT APPLICATION	08/28/2020	8		

LICENSED PROFESSIONAL ENGINEER
B.M. LOPES
100177584
08/02/21
PROVINCE OF ONTARIO

NORTH

PROJECT
642 CONCESSION ST

TITLE
THIRD FLOOR PLAN

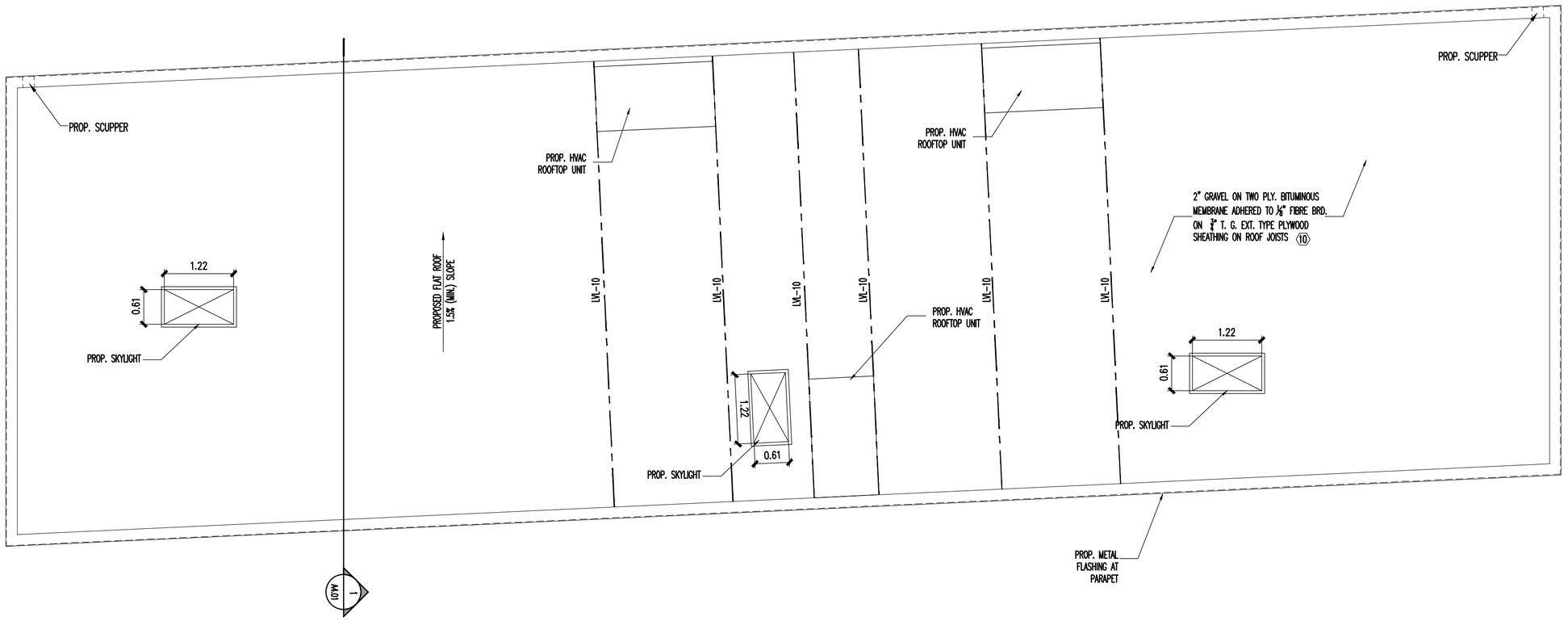
SCALE 1 : 60

DATE AUGUST 2021

JOB No. 36-319

FILE No. DA-19-176

DRAWING No. A01.04



ROOF PLAN
SCALE: 1:60

NO.	DESCRIPTION OF ISSUE	DATE	NO.	DESCRIPTION OF ISSUE	DATE
1	CITY COMMENTS REV01 SUBMISSION	02/22/2020	5	CITY COMMENTS REVIEW SUBMISSION	03/30/2021
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LICENSED PROFESSIONAL ENGINEER
B.M. LOPES
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08/02/21
PROVINCE OF ONTARIO

NORTH

PROJECT
642 CONCESSION ST

TITLE
ROOF PLAN

SCALE
1 : 60

DATE
AUGUST 2021

JOB No.
36-319

FILE No.
DA-19-176

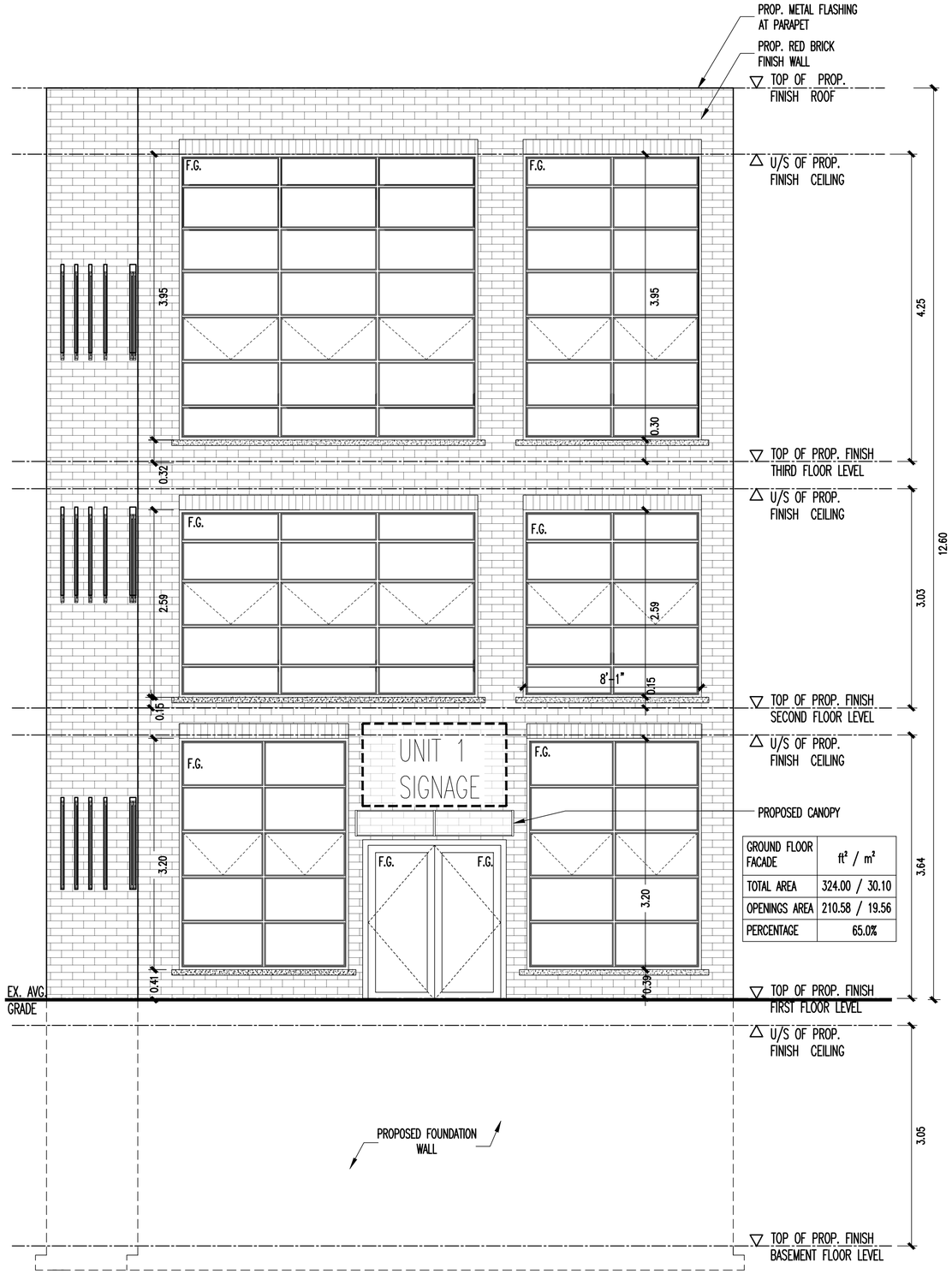
DRAWING No.
A01.05

FENESTRATION NOTE:

WINDOWS (GENERAL NOTES 42):
- ALL WINDOWS TO BE BLACK COLOUR WITH ALUMINIUM FRAME AND SILL
- ALL WINDOWS TO BE DOUBLE GLAZED WITH LOW E COATING

DOORS (GENERAL NOTES 43):

- ALL WINDOWS TO BE BLACK COLOUR WITH ALUMINIUM FRAME AND SILL



GROUND FLOOR FACADE	ft² / m²
TOTAL AREA	324.00 / 30.10
OPENINGS AREA	210.58 / 19.56
PERCENTAGE	65.0%

NORTH ELEVATION
SCALE: 1:50

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08/02/21
PROVINCE OF ONTARIO

PROJECT
642 CONCESSION ST

TITLE
NORTH ELEVATION

SCALE
1 : 50

DATE
AUGUST 2021

JOB No.
36-319

FILE No.
DA-19-176

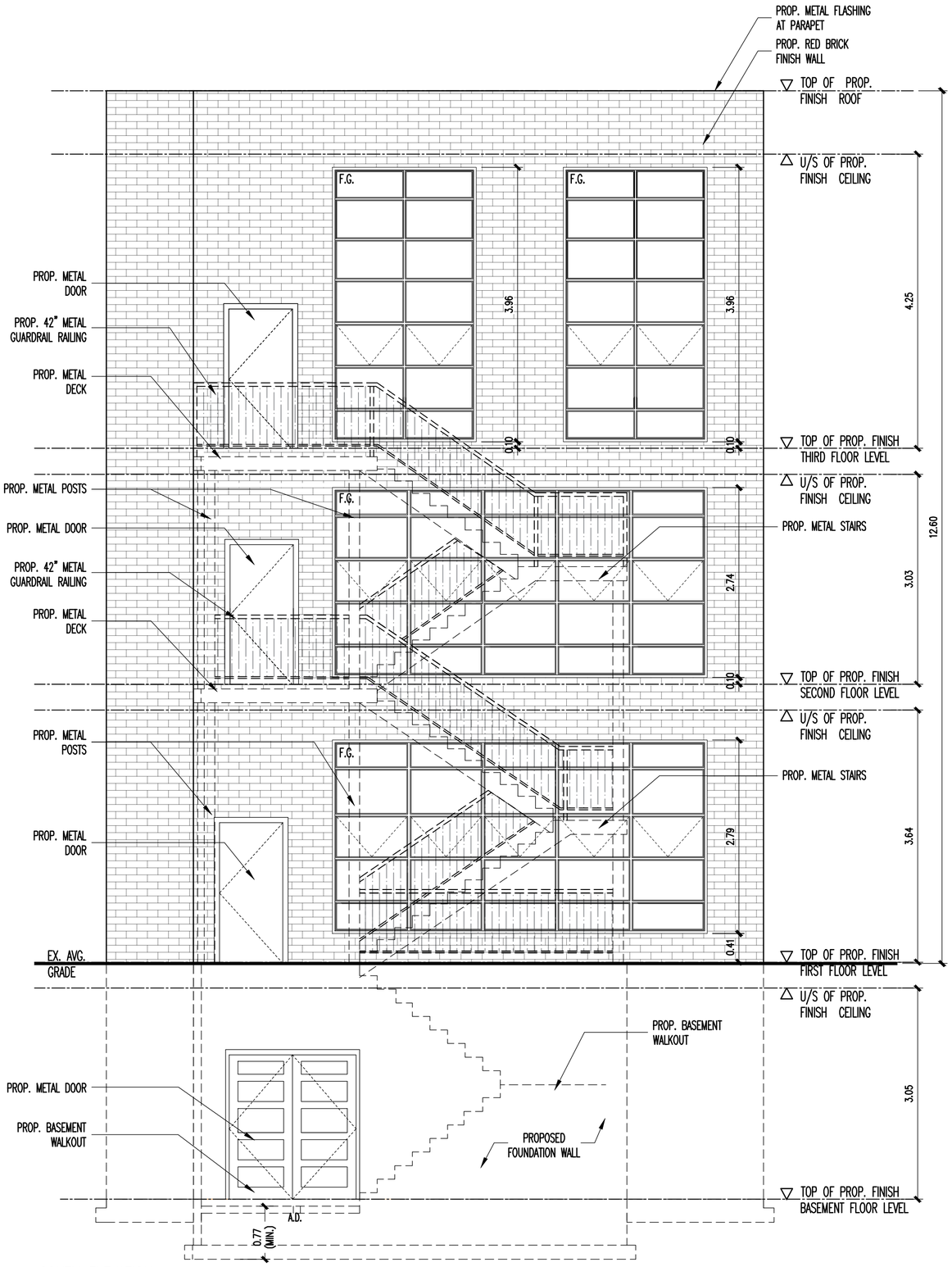
DRAWING No.
A02.01

FENESTRATION NOTE:

WINDOWS (GENERAL NOTES 42):
- ALL WINDOWS TO BE BLACK COLOUR WITH ALUMINIUM FRAME AND SILL
- ALL WINDOWS TO BE DOUBLE GLAZED WITH LOW E COATING

DOORS (GENERAL NOTES 43):

- ALL WINDOWS TO BE BLACK COLOUR WITH ALUMINIUM FRAME AND SILL



SOUTH ELEVATION

SCALE: 1:50

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1	CITY COMMENTS REV01 SUBMISSION	02/22/2020	5	CITY COMMENTS REVIEW SUBMISSION	03/30/2021
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LICENSED PROFESSIONAL ENGINEER
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08/02/21
PROVINCE OF ONTARIO

PROJECT
642 CONCESSION ST

TITLE
SOUTH ELEVATION

SCALE
1 : 50

DATE
AUGUST 2021

JOB No.
36-319

FILE No.
DA-19-176

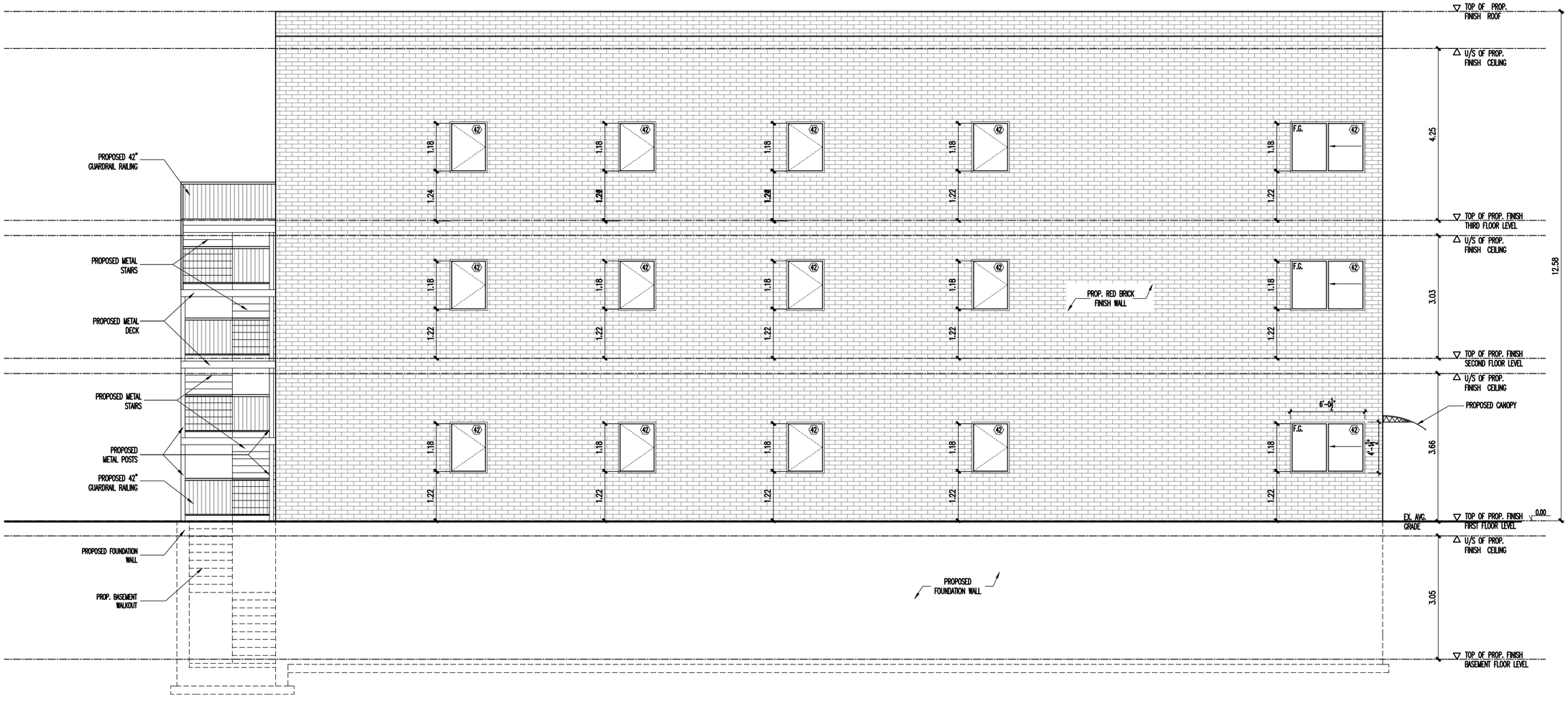
DRAWING No.
A02.02

FENESTRATION NOTE:

WINDOWS (GENERAL NOTES 42):
- ALL WINDOWS TO BE BLACK COLOUR WITH ALUMINIUM FRAME AND SILL
- ALL WINDOWS TO BE DOUBLE GLAZED WITH LOW E COATING

DOORS (GENERAL NOTES 43):

- ALL WINDOWS TO BE BLACK COLOUR WITH ALUMINIUM FRAME AND SILL



EAST ELEVATION
SCALE: 1:75

NO.	DESCRIPTION OF ISSUE	DATE	NO.	DESCRIPTION OF ISSUE	DATE
1	CITY COMMENTS REV01 SUBMISSION	02/22/2020	5	CITY COMMENTS REVIEW SUBMISSION	03/30/2021
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LICENSED PROFESSIONAL ENGINEER
B.M. LOPES
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08/02/21
PROVINCE OF ONTARIO

PROJECT
642 CONCESSION ST

TITLE
EAST ELEVATION

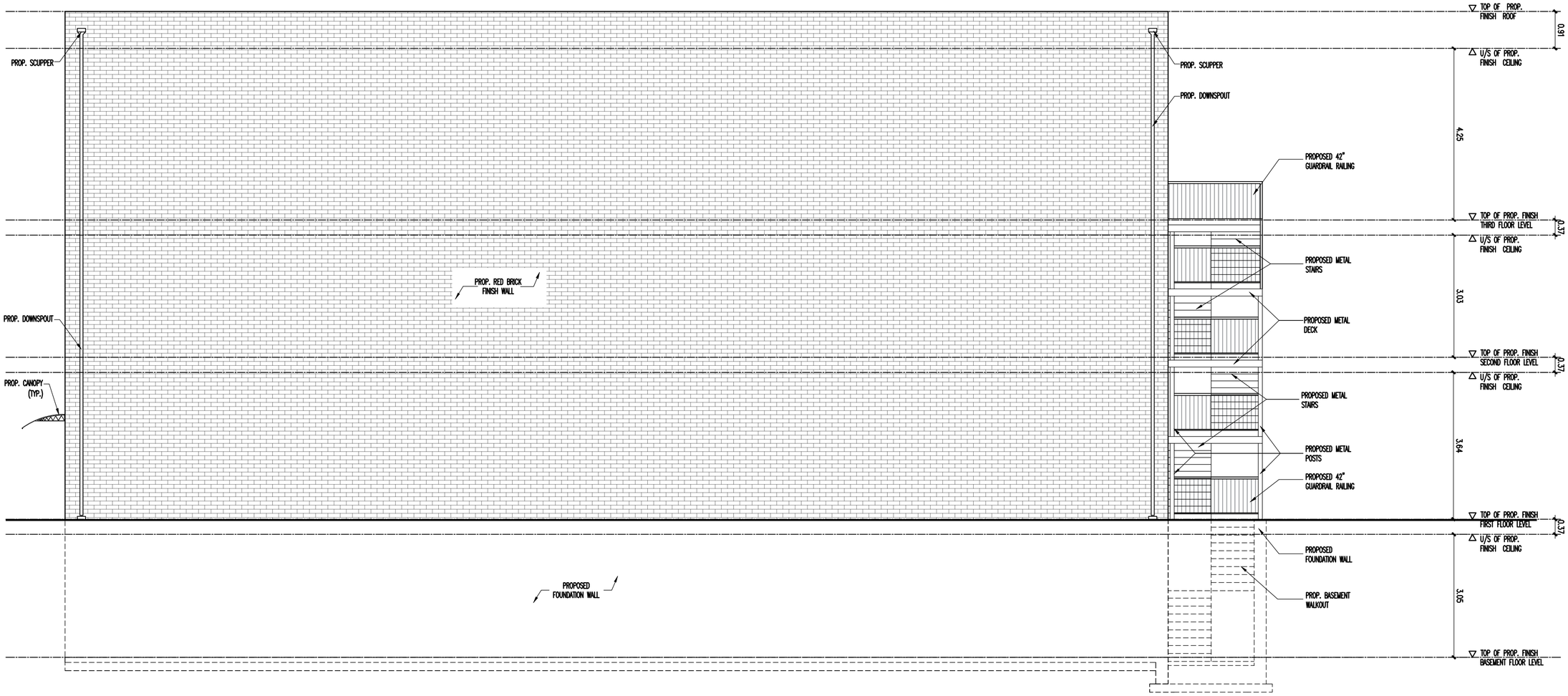
SCALE
1 : 75

DATE
AUGUST 2021

JOB No.
36-319

FILE No.
DA-19-176

DRAWING No.
A02.03



WEST ELEVATION

SCALE: 1:75

NO.	DESCRIPTION OF ISSUE	DATE	NO.	DESCRIPTION OF ISSUE	DATE
1	CITY COMMENTS REV01 SUBMISSION	02/22/2020	5	CITY COMMENTS REVIEW SUBMISSION	03/30/2021
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PROVINCE OF ONTARIO

PROJECT
642 CONCESSION ST

TITLE
WEST ELEVATION

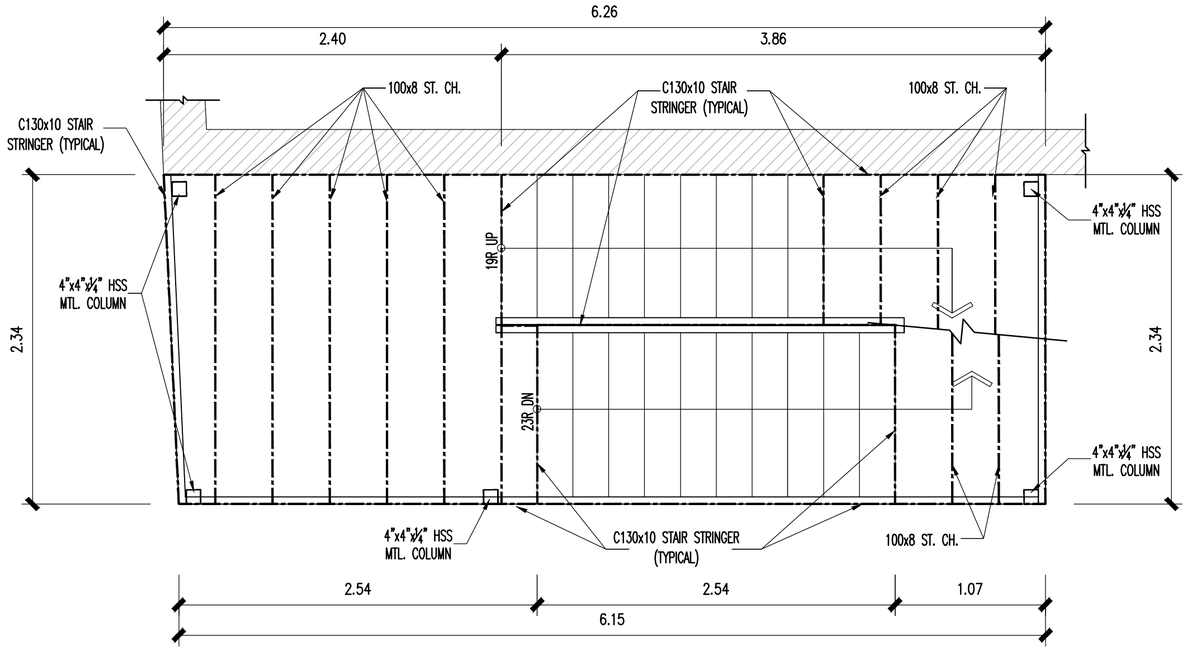
SCALE
1:75

DATE
AUGUST 2021

JOB No.
36-319

FILE No.
DA-19-176

DRAWING No.
A02.04



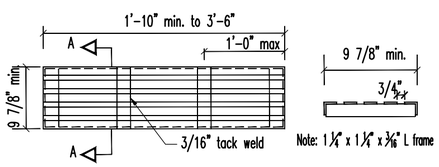
1 – STEEL STAIRS DETAIL PLAN

SCALE: 1 : 30

REAR STAIRS

typical note for exterior fire escape all openings in exterior walls within 9'–10" horizontally, all openings in extrior walls within 32'–10" vertically below proposed fire escape shall be protected with metal covered solid core wood door and frame with self closing and latching device. metal sash and frames and wired glass obc sec. 3.4.7.4

steel	minimum a36 or equivalent.
thickness of metal brackets	¼" for brackets, purlins, Columns, stair hangers. ⅜" for all other members shall not project more than 4 ½" times the thickness of the wall to which they are attached.
bolts	bolts anchoring brackets to be kept 9" clear of all openings.bolts maybe used for fieldc onnections where shown on details
walls	where the exterior wall is not solid masonry, the structure must be supported by independent construction.
cutting	all holes cut in exterior masonry walls shall be well fillled with mortar and made water tight.
welding	all welding shall conform to csa w59 latest revision, and shall be done by a fabricator qualified under csa w47 latest revision



1 – TREAD CONSTRUCTION

SCALE: NTS

Section "A–A"

PROPOSED STAIR FRAMING

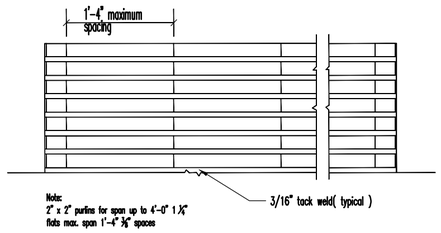
DESIGN OF GUARDS TO PREVENT CLIMBING

GUARDS AROUND EXTERIOR BALCONIES, PORCHES AND DECKS SHALL BE DESIGNED AND INSTALLED SO THAT NO MEMEBER, ATTACHMENT OR OPENING LOCATED BETWEEN 4" (100mm) AND 2'–11" (900mm) ABOVE THE FLOOR OF THE BALCONY, PORCH OR DECK WILL FACILITATE CLIMBING.

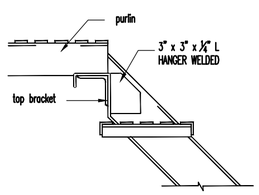
LOADS ON GUARDS AND RAILING

THE MINIMUM SPECIFIED LOAD APPLIED HORIZONTALLY TO THE SPAN AT THE TOP OF EVERY REQUIRED GUARD SHALL BE:

a. 3.0 kN/m (200 lb/ft) FOR MEANS OF EGRESS IN GRANDSTANDS, STADIUM BLEECHERS AND ARENAS
b. A CONCENTRATED LOAD OF 1.0 kN (225 lbs) APPLIED AT ANY POINT FOR ACCESS WALKWAYS TO EQUIPMENT PLATFORMS, CONTIGIOUS STAIRS AND SIMILAR AREAS WHERE THE GATHERING OF MANY PEOPLE IS IMPROBABLE.
c. 0.75 kN/m (50 lb/ft)) OR A CONCENTRATED LOAD OF 1.0 kN (225 lbs) APPLIED AT ANY POINT, WHICHEVER GOVERNS, FOR LOCATIONS OTHER THAN DESCRIBED IN CLAUSES (a) AND (b). INDIVIDUAL ELEMENTS WITHIN THE GUARD, INCLUDING SOLID PANELS AND PICKETS, SHALL BE DESIGNED FOR A CONCENTRATED LOAD OF 0.5 kN (113 lbs) AT ANY POINT ON THE ELEMENT. THE MINIMUM SPECIFIED LOAD APPLIED VERTICALLY AT THE TOP OF EVERY REQUIRED GUARD SHALL BE 1.5 kN/m (100 lbs/ft) AND NEED NOT BE CONSIDERED TO ACT SIMULTANEOUSLY WITH THE HORIZONTAL LOAD.

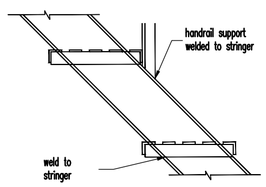


FLOOR CONSTRUCTION



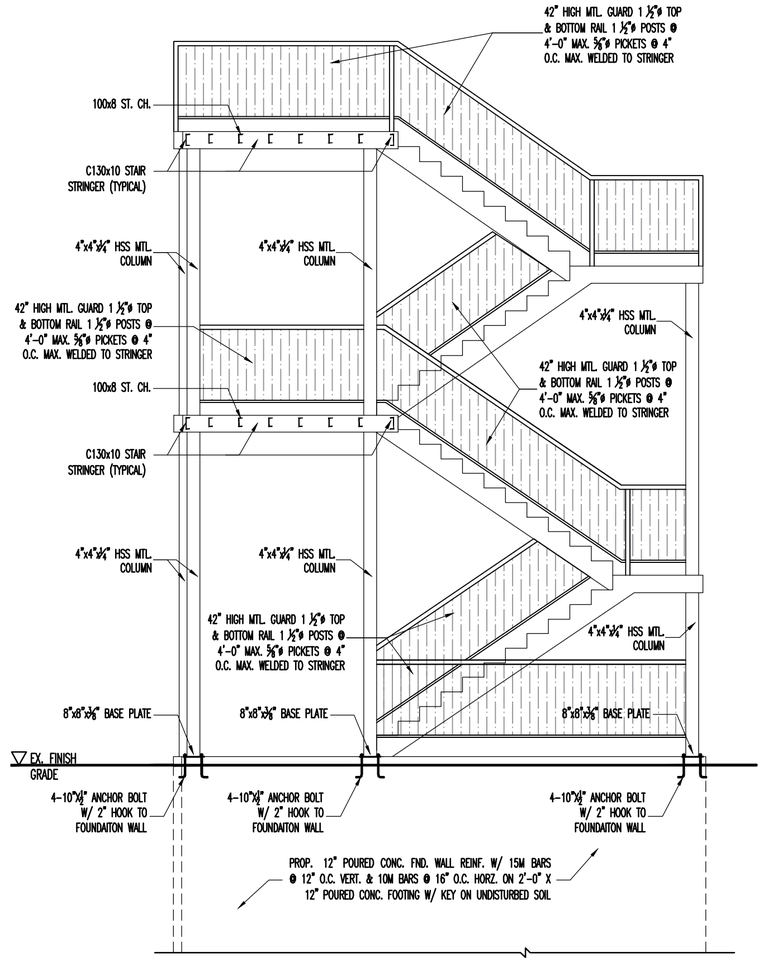
2 – DETAIL OF HANGER AT LANDING

SCALE: NTS



3 – TREAD & HANDRAIL SUPPORT

SCALE: NTS



4 – STEEL STAIRS DETAIL ELEVATION

SCALE: 1 : 50

NO.	DESCRIPTION OF ISSUE	DATE	NO.	DESCRIPTION OF ISSUE	DATE
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08/02/21
PROVINCE OF ONTARIO

PROJECT
642 CONCESSION ST

TITLE
METAL STAIRS DETAIL

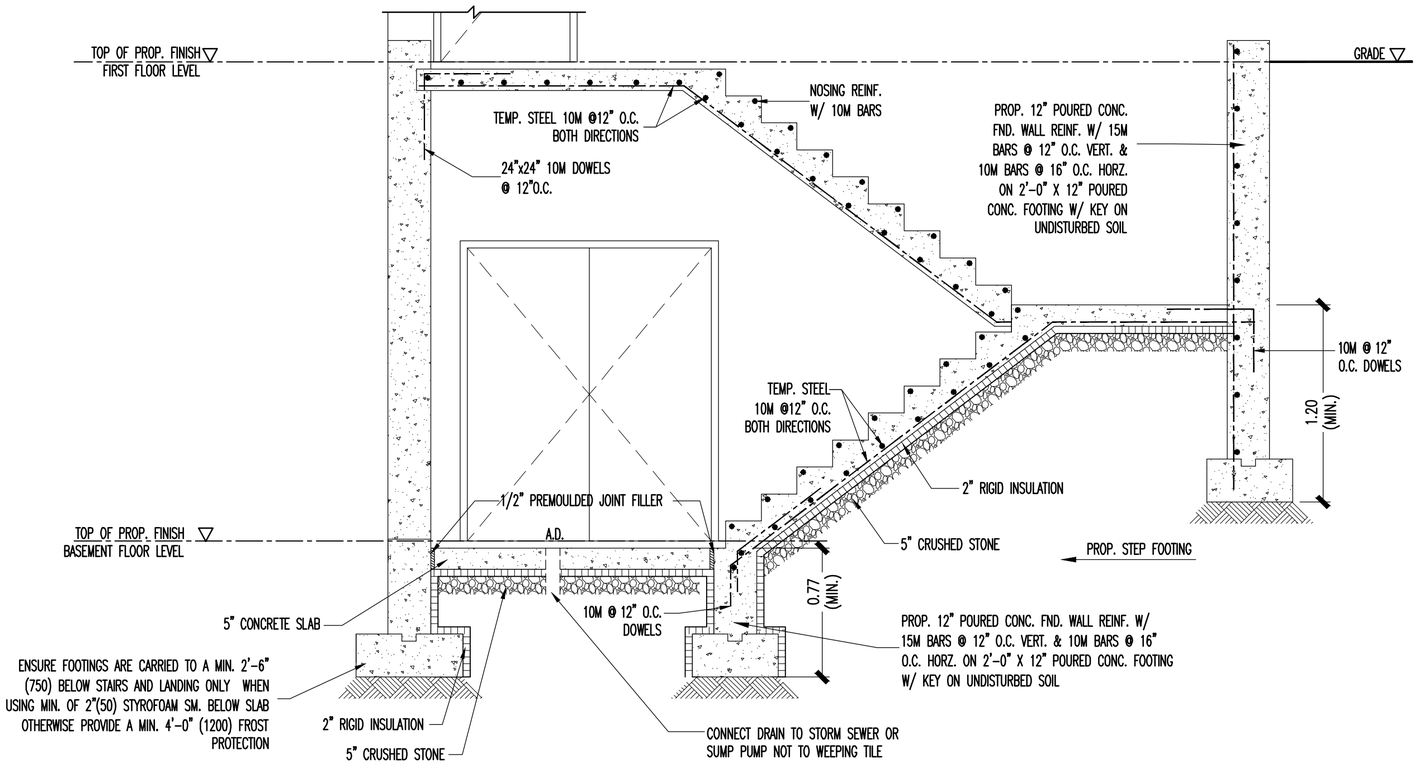
SCALE
AS SHOWN

DATE
AUGUST 2021

JOB No. 36-319

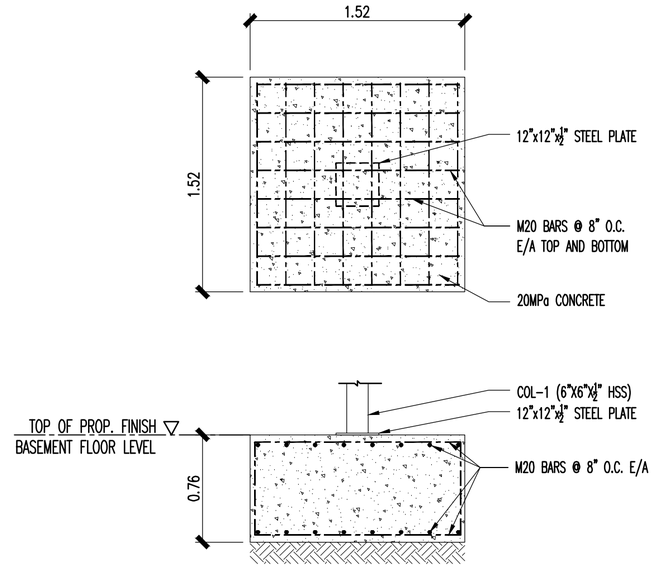
FILE No. DA-19-176

DRAWING No.
A03.01



1-BASEMENT WALKOUT

SCALE: 1:30



3-COLUMN FOOTING DETAIL

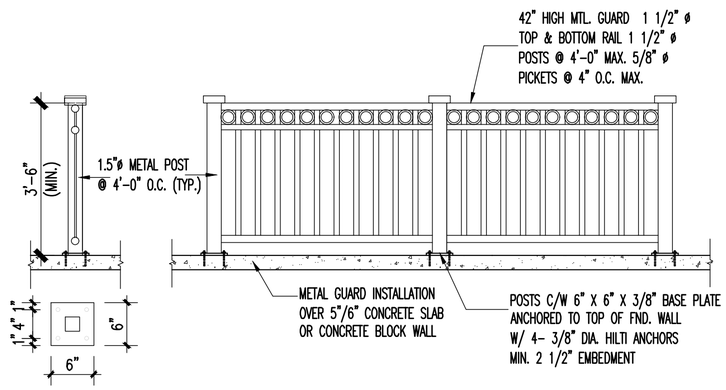
SCALE: 1:30

OBC 4.1.5.15 AND 9.8.8.2 THE MINIMUM SPECIFIED LOAD APPLIED HORIZONTALLY AND NORMAL TO THE SPAN AT THE TOP OF EVERY REQUIRED GUARD SHALL BE: (A) 34 lb/ft (0.5 kN/m) FOR EXTERIOR BALCONIES OF INDIVIDUAL RESIDENTIAL UNITS AND A CONCENTRATED LOAD OF 224 lb. (1.0 kN) APPLIED CONCURRENTLY AT ANY POINT (B) 224 lb (1.0 kN/m) FOR EXITS AND STAIRS AOOLIED AT ANY POINT (C) 52 lb/ft (0.75 kN/m) FOR LOCATIONS OTHER THAN DESCRIBED ABOVE.

INDIVIDUAL ELEMENTS WITHIN THE GUARD, INCLUDING SOLID PANELS AND PICKETS, SHALL BE DESIGNED FOR 20 psf. OR 100 lb. OF CONCENTRATED LOAD AT ANY POINT IN THE ELEMENT, WHICH RESULTS IN THE MORE CRITICAL LOADING CONDITION.

THE MINIMUM SPECIFIED LOAD APPLIED VERTICALLY AT THE TOP OF EVERY REQUIRED GUARD SHALL BE 100 lb/ft AND NEED NOT BE CONSIDERED TO ACT SIMULTANEOUSLY WITH THE HORIZONTAL LOAD.

GUARDS AROUND EXTERIOR BALCONIES, PORCHES, AND DECKS SHALL BE DESIGNED/INSTALLED SO THAT NO MEMBER, ATTACHMENT OR OPENING LOCATED BETWEEN 4"(100) AND 2'11"(900) ABOVE THE FLOOR OF THE BALCONY, PORCH OR DECK WILL FACILITATE CLIMBING.



2-METAL GUARD DETAIL

SCALE: N/A

GENERAL NOTES

1. EXTERIOR STAIRS

7 7/8" RISE MAXIMUM
8 1/4" RUN MINIMUM
9 1/4" TREAD MINIMUM
1" NOSING MINIMUM

2. HANDRAIL

ARE REQUIRED WHERE STEPS HAVE MORE THAN 3 RISERS . HANDRAIL HEIGHT 31" - 38".

3. FOUNDATION WALLS

THICKNESS OF FOUNDATION WALLS IS DEPENDANT UPON HEIGHT OF FINISH GRADE ABOVE BASEMENT FLOOR .
UNIT MASONRY THICKNESS 8" - MAX. HEIGHT 3'-11"
UNIT MASONRY THICKNESS 10" - MAX. HEIGHT 5'-11"
UNIT MASONRY THICKNESS 12" - MAX. HEIGHT 7'-3"

4. CONCRETE

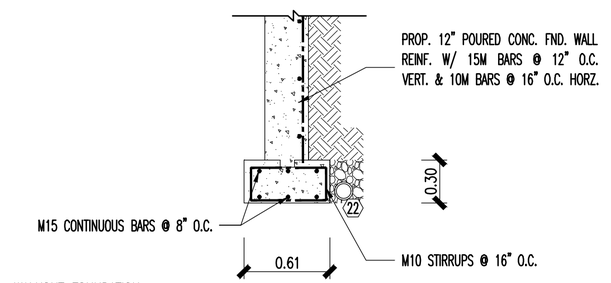
MINIMUM CONCRETE STRENGTH SHALL BE 32 MPa W/ 5%-8% AIR ENTRAINMENT CONCRETE SLAB THICKNESS 4" UP TO 6'-8" SPAN
CONCRETE SLAB THICKNESS 5" UP TO 8'-4" SPAN CONCRETE SLAB THICKNESS 6" UP TO 10'-0" SPAN

5. PROVIDE MINIMUM 1 ¾" CLEAR CONCRETE COVER TO REINFORCING BARS

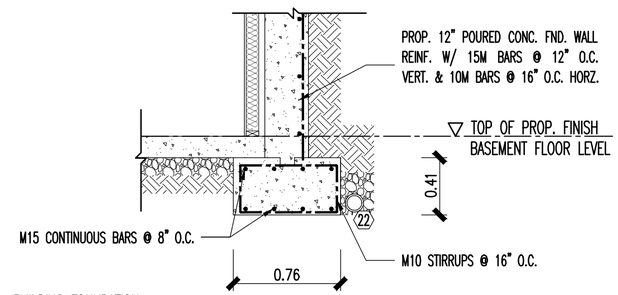
6. GUARDS

ARE REQUIRED AROUND CONCRETE SLAB IF MORE THAN 2'-0" ABOVE GRADE & ON BOTH SIDES OF STAIRS CONTAINING MORE THAN 3 RISERS. MINIMUM 31" HIGH FOR STAIRS, MINIMUM 35" HIGH FOR PORCHES UP TO 5'-11" ABOVE GRADE, MINIMUM 42" HIGH FOR GREATER HTS.

NOTE:
1. ALL STRUCTURAL STEEL TO COMFORM TO CON 3-S 16.1 LATEST ADDITION.
2. ALL H.S.S. SECTION FY-350
3. MIN. STRENGTH OF CONCRETE -32.5 MPa
4. FINISH TO STRUCTURAL STEEL
5. GUARD DESIGN IN COMPLIANCE W/ O.B.C. 4.1.10.1
6. ALL GUARDS TO BE PRIMED & PAINTED W/ 2 FINISH COATS (CO- ORIDINATE COLOUR W/ OWNER)



WALKOUT FOUNDATION



BUILDING FOUNDATION

4-STRIP FOOTING DETAILS

SCALE: 1:30

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LICENSED PROFESSIONAL ENGINEER
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100177584
08/02/21
PROVINCE OF ONTARIO

PROJECT
642 CONCESSION ST

SCALE
AS SHOWN

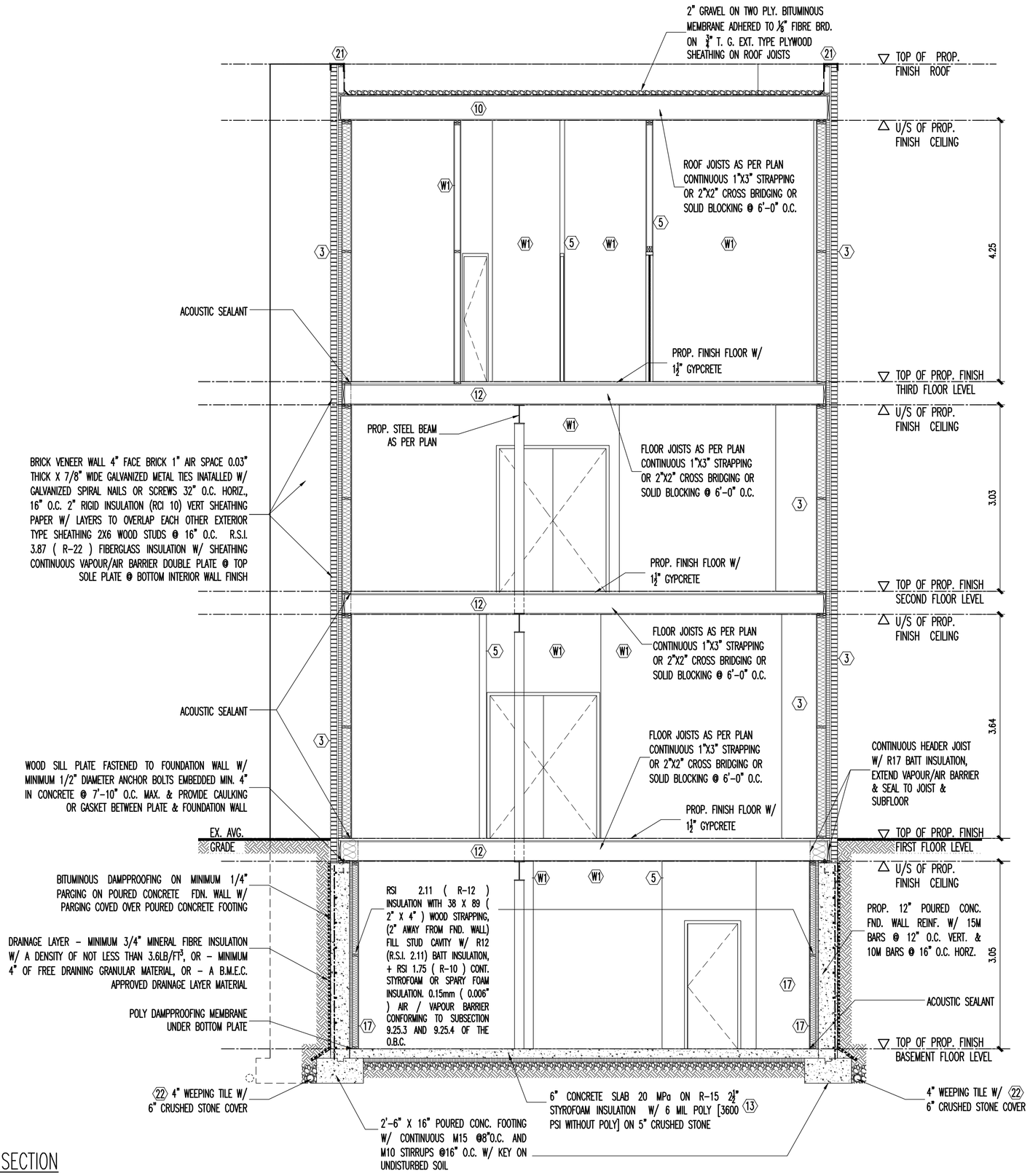
DATE
AUGUST 2021

TITLE
BASEMENT WALKOUT, RAILINGS, AND FOOTINGS DETAILS

JOB No. 36-319

FILE No. DA-19-176

DRAWING No. A03.02



W1 NEW RATED LOAD BEARING PARTITION WALL

1 HOUR FIRE RATED, WITH MIN. STC RATING 51, AS PER SB-3 W4b

2 LAYERS 5/8" TYPE "X" GYP. WALL BRD. APPLIED TO RESILIENT MET. CHANNELS @ 16" O.C. INSIDE OF 2" X 4" OR 2"x6" MTL. STUDS @ 16" O.C., (48 GAUGE), ONE LAYER 5/8" TYPE "X" GUP. WALL BRD. ON THE OTHER SIDE OF STUDS C/W 5 1/2" SOUND ABSORPTIVE INSUL. TO U/S OF SUB-FLOOR ABOVE.

C1 NEW CEILING

1 HOUR FIRE RATED WITH STC52 REFER TO ULC DESIGN NO. M501

FILL JOIST CAVITY W/ SOUND PROOF INSUL. (SOUND TRANSMISSION TO CONFORM TO O.B.C. 9.11.21.) C/W 5/8" RESILIENT MTL. FURRING CHANNELS @ 16" O.C. PERPENDICULAR TO FLOOR JOISTS W/ 5/8" TYPE "X" GYP. WALL BRD. W/ PAINTED FINISH (TYP.)

1-SECTION

SCALE: 1:50

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100177584
08/02/21
PROVINCE OF ONTARIO

PROJECT
642 CONCESSION ST

TITLE
CROSS SECTION

SCALE
1 : 50

DATE
AUGUST 2021

JOB No.
36-319

FILE No.
DA-19-176

DRAWING No.
A04.01

BEAM SCHEDULE:

BM-1 W12X40 STEEL BEAM

BM-2 W12X53 STEEL BEAM

BM-3 W12X30 STEEL BEAM

FLOOR JOISTS SCHEDULE:

FJ-1 11 7/8" S47 FLR. JSTS @12" O.C. W/ 3/4" OSB SUBFLOOR (GLUED-NAILED)

RJ-1 14" TJI S47 JSTS @ 16" O.C.

COLUMN SCHEDULE:

COL.-1 W12X22 STEEL COLUMN W/ 10"x10"x ½" TOP PLATE WELDED TO COL. & 12"x12"x ½" BOTTOM PLATE WELDED TO COL. ANCHORED W/ 2- 1/2" DIA. X 12" LONG X 2" HOOK ANCHORS TO 60"x 60"x 20"(H) 20 MPa CONCRETE FOOTING ON UNDISTURBED SOIL

COL.-2 W12X22 STEEL COLUMN W/ 10"x10"x ½" TOP PLATE WELDED TO COL. & 10"x10"x ½" BOTTOM PLATE WELDED TO COL.

COL.-3 W12X22 STEEL COLUMN W/ 8"x8"x ⅜" TOP PLATE WELDED TO COL. & 8"x8"x ⅜" BOTTOM PLATE WELDED TO COLUMN TO FOUND WALL W/ 2- 1/2" DIA. X 12" LONG X 2" HOOK ANCHORS

COL.-4 W12X22 STEEL COLUMN W/ 8"x8"x ⅜" TOP PLATE WELDED TO COL. & 8"x8"x ⅜" BOTTOM PLATE WELDED TO COLUMN

UNIT NUMBERING SCHEDULE

Floor	Unit Number		
1	100		
2	200		
3	301	302	303

(W1) NEW RATED LOAD BEARING PARTITION WALL

1 HOUR FIRE RATED, WITH MIN. STC RATING 51, AS PER SB-3 W4b

2 LAYERS ⅝" TYPE "X" GYP. WALL BRD. APPLIED TO RESILIENT MET. CHANNELS @ 16" O.C. INSIDE OF 2" X 4" OR 2"x6" MTL. STUDS @ 16" O.C., (48 GAUGE), ONE LAYER ⅝" TYPE "X" GUP. WALL BRD. ON THE OTHER SIDE OF STUDS C/W 5 ½" SOUND ABSORPTIVE INSUL. TO U/S OF SUB-FLOOR ABOVE.

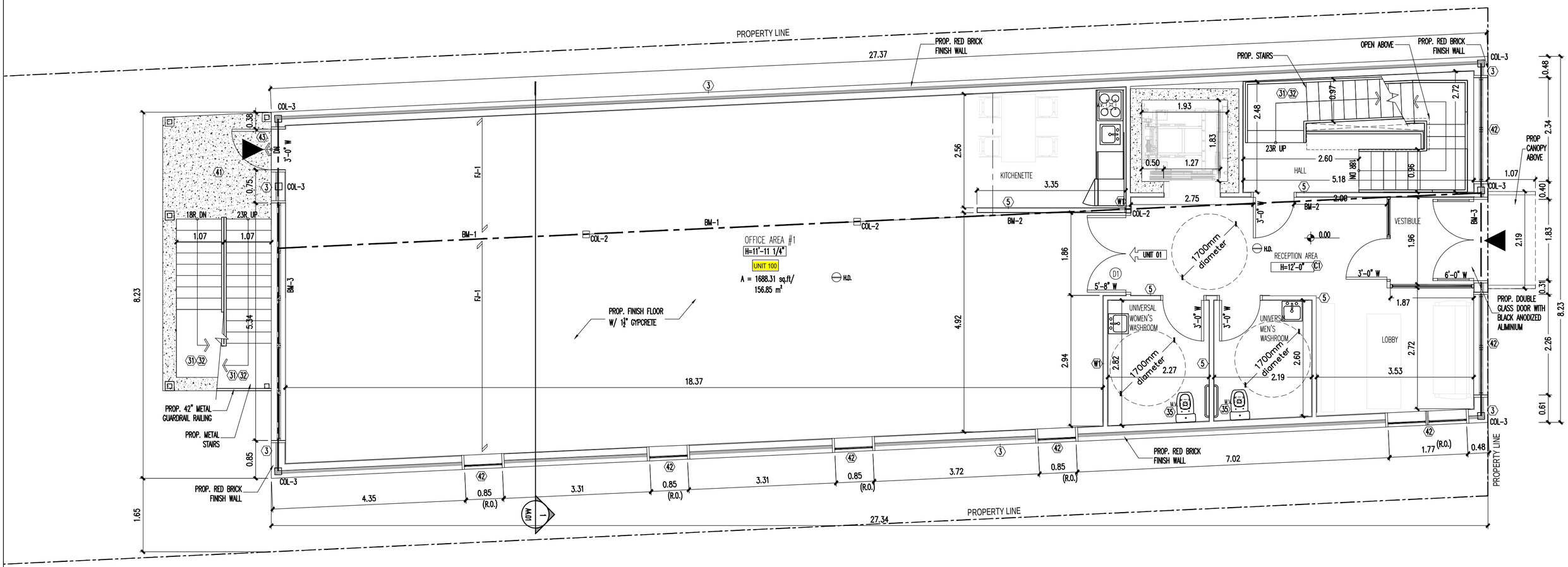
(C1) NEW CEILING

1 HOUR FIRE RATED WITH STC52 REFER TO ULC DESIGN NO. M501

FILL JOIST CAVITY W/ SOUND PROOF INSUL. (SOUND TRANSMISSION TO CONFORM TO O.B.C. 9.11.21.) C/W ⅝" RESILIENT MTL. FURRING CHANNELS @ 16" O.C. PERPENDICULAR TO FLOOR JOISTS W/ ⅝" TYPE "X" GYP. WALL BRD. W/ PAINTED FINISH (TYP.)

LEGEND

- S.A. SMOKE ALARM
- C.M.D. CARBON MONOXIDE DETECTOR
- M.V. MECHANICAL VENTILATION
- HB HOSE BIB
- S.B. SOLID WOOD BEARING
- PL POINT LOAD
- EXIST'G WALL TO REMAIN
- F.D. FLOOR DRAIN
- A.D. AREA DRAIN



FIRST FLOOR PLAN

SCALE: 1:60

NO.	DESCRIPTION OF ISSUE	DATE	NO.	DESCRIPTION OF ISSUE	DATE
1	CITY COMMENTS REV01 SUBMISSION	02/22/2020	5	CITY COMMENTS REVIEW SUBMISSION	03/30/2021
2	CITY COMMENTS REV02 SUBMISSION	05/12/2020	6	CITY COMMENTS REVIEW SUBMISSION	08/02/2021
3	ISSUED FOR BUILDING PERMIT APPLICATION	08/11/2020	7		
4	REVIEWED FOR BUILDING PERMIT APPLICATION	08/28/2020	8		

LICENSED PROFESSIONAL ENGINEER
B.M. LOPES
100177584
08/02/21
PROVINCE OF ONTARIO

NORTH

PROJECT
642 CONCESSION ST

TITLE
FIRST FLOOR PLAN

SCALE 1 : 60

DATE AUGUST 2021

JOB No. 36-319

FILE No. DA-19-176

DRAWING No. A01.02

BEAM SCHEDULE:

BM-1 W12X40 STEEL BEAM

BM-2 W12X53 STEEL BEAM

BM-3 W12X30 STEEL BEAM

FLOOR JOISTS SCHEDULE:

FJ-1 11 7/8" S47 FLR. JSTS @12" O.C. W/ 3/4" OSB SUBFLOOR (GLUED-NAILED)

RJ-1 14" TJI S47 JSTS @ 16" O.C.

COLUMN SCHEDULE:

COL.-1 W12X22 STEEL COLUMN W/ 10"x10"x ½" TOP PLATE WELDED TO COL. & 12"x12"x ½" BOTTOM PLATE WELDED TO COL. ANCHORED W/ 2- 1/2" DIA. X 12" LONG X 2" HOOK ANCHORS TO 60"x 60"x 20"(H) 20 MPa CONCRETE FOOTING ON UNDISTURBED SOIL

COL.-2 W12X22 STEEL COLUMN W/ 10"x10"x ½" TOP PLATE WELDED TO COL. & 10"x10"x ½" BOTTOM PLATE WELDED TO COL.

COL.-3 W12X22 STEEL COLUMN W/ 8"x8"x ⅜" TOP PLATE WELDED TO COL. & 8"x8"x ⅜" BOTTOM PLATE WELDED TO COLUMN TO FOUND WALL W/ 2- 1/2" DIA. X 12" LONG X 2" HOOK ANCHORS

COL.-4 W12X22 STEEL COLUMN W/ 8"x8"x ⅜" TOP PLATE WELDED TO COL. & 8"x8"x ⅜" BOTTOM PLATE WELDED TO COLUMN

(W1) NEW RATED LOAD BEARING PARTITION WALL

1 HOUR FIRE RATED, WITH MIN. STC RATING 51, AS PER SB-3 W4b

2 LAYERS ⅝" TYPE "X" GYP. WALL BRD. APPLIED TO RESILIENT MET. CHANNELS @ 16" O.C. INSIDE OF 2" X 4" OR 2"x6" MTL. STUDS @ 16" O.C., (48 GAUGE), ONE LAYER ⅝" TYPE "X" GUP. WALL BRD. ON THE OTHER SIDE OF STUDS C/W 5 ½" SOUND ABSORPTIVE INSUL. TO U/S OF SUB-FLOOR ABOVE.

(C1) NEW CEILING

1 HOUR FIRE RATED WITH STC52 REFER TO ULC DESIGN NO. M501

FILL JOIST CAVITY W/ SOUND PROOF INSUL. (SOUND TRANSMISSION TO CONFORM TO O.B.C. 9.11.21.) C/W ⅝" RESILIENT MTL. FURRING CHANNELS @ 16" O.C. PERPENDICULAR TO FLOOR JOISTS W/ ⅝" TYPE "X" GYP. WALL BRD. W/ PAINTED FINISH (TYP.)

LEGEND

- S.A. — SMOKE ALARM
- C.M.D. — CARBON MONOXIDE DETECTOR
- M.V. — MECHANICAL VENTILATION
- HB — HOSE BIB
- S.B. — SOLID WOOD BEARING
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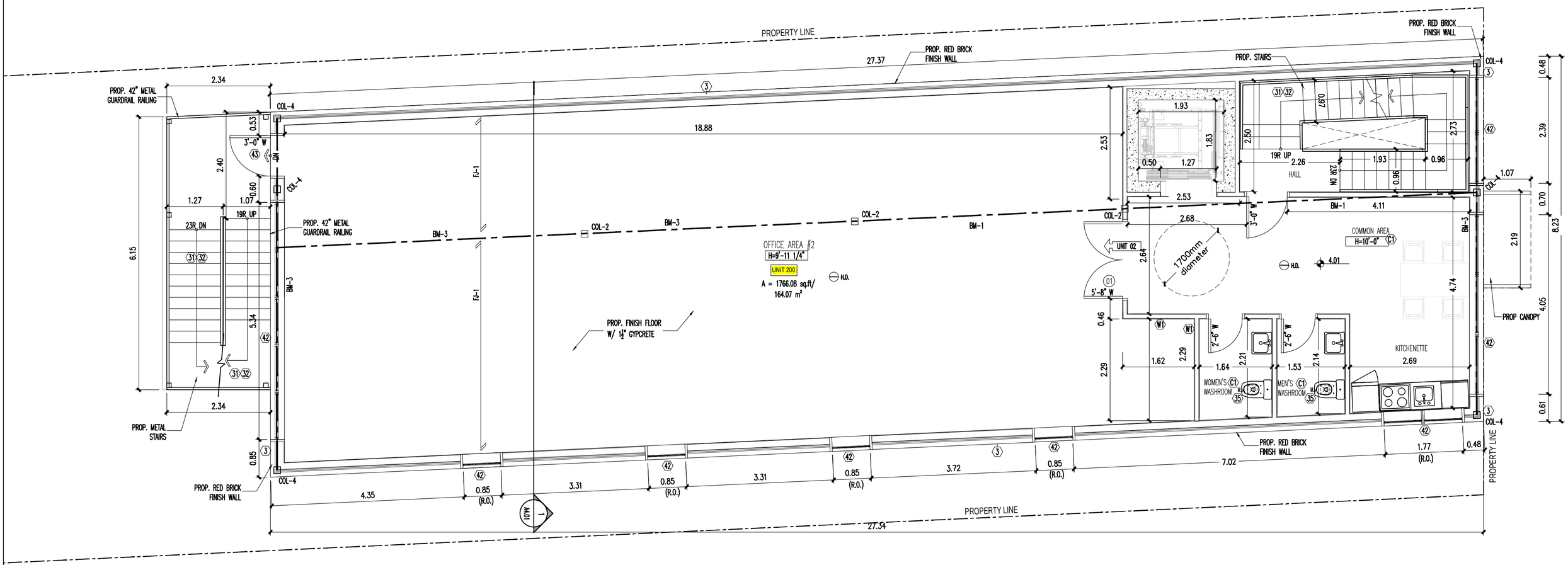

SECOND FLOOR PLAN

SCALE: 1:60

NO.	DESCRIPTION OF ISSUE	DATE	NO.	DESCRIPTION OF ISSUE	DATE
1	CITY COMMENTS REV01 SUBMISSION	02/22/2020	5	CITY COMMENTS REVIEW SUBMISSION	03/30/2021
2	CITY COMMENTS REV02 SUBMISSION	05/12/2020	6	CITY COMMENTS REVIEW SUBMISSION	08/02/2021
3	ISSUED FOR BUILDING PERMIT APPLICATION	08/11/2020	7		
4	REVIEWED FOR BUILDING PERMIT APPLICATION	08/28/2020	8		

LICENSED PROFESSIONAL ENGINEER — B.M. LOPES 100177584 — 08/02/21 — PROVINCE OF ONTARIO

NORTH

PROJECT: 642 CONCESSION ST

TITLE: SECOND FLOOR PLAN

SCALE: 1 : 60

DATE: AUGUST 2021

JOB No.: 36-319

FILE No.: DA-19-176

DRAWING No.: A01.03

BEAM SCHEDULE:

BM-1 W12X40 STEEL BEAM

BM-2 W12X53 STEEL BEAM

BM-3 W12X30 STEEL BEAM

FLOOR JOISTS SCHEDULE:

FJ-1 11 7/8" S47 FLR. JSTS @12" O.C. W/ 3/4" OSB SUBFLOOR (GLUED-NAILED)

RJ-1 14" TJI S47 JSTS @ 16" O.C.

COLUMN SCHEDULE:

COL-1 W12X22 STEEL COLUMN W/ 10"x10"x ½" TOP PLATE WELDED TO COL. & 12"x12"x ½" BOTTOM PLATE WELDED TO COL. ANCHORED W/ 2- 1/2" DIA. X 12" LONG X 2" HOOK ANCHORS TO 60"x 60"x 20"(H) 20 MPa CONCRETE FOOTING ON UNDISTURBED SOIL

COL-2 W12X22 STEEL COLUMN W/ 10"x10"x ½" TOP PLATE WELDED TO COL. & 10"x10"x ½" BOTTOM PLATE WELDED TO COL.

COL-3 W12X22 STEEL COLUMN W/ 8"x8"x ⅜" TOP PLATE WELDED TO COL. & 8"x8"x ⅜" BOTTOM PLATE WELDED TO COLUMN TO FOUND WALL W/ 2- 1/2" DIA. X 12" LONG X 2" HOOK ANCHORS

COL-4 W12X22 STEEL COLUMN W/ 8"x8"x ⅜" TOP PLATE WELDED TO COL. & 8"x8"x ⅜" BOTTOM PLATE WELDED TO COLUMN

(W1) NEW RATED LOAD BEARING PARTITION WALL

1 HOUR FIRE RATED, WITH MIN. STC RATING 51, AS PER SB-3 W4b

2 LAYERS ⅝" TYPE "X" GYP. WALL BRD. APPLIED TO RESILIENT MET. CHANNELS @ 16" O.C. INSIDE OF 2" X 4" OR 2"x6" MTL. STUDS @ 16" O.C., (48 GAUGE), ONE LAYER ⅝" TYPE "X" GUP. WALL BRD. ON THE OTHER SIDE OF STUDS C/W 5 ½" SOUND ABSORPTIVE INSUL. TO U/S OF SUB-FLOOR ABOVE.

(C1) NEW CEILING

1 HOUR FIRE RATED WITH STC52 REFER TO ULC DESIGN NO. M501

FILL JOIST CAVITY W/ SOUND PROOF INSUL. (SOUND TRANSMISSION TO CONFORM TO O.B.C. 9.11.21.) C/W ⅝" RESILIENT MTL. FURRING CHANNELS @ 16" O.C. PERPENDICULAR TO FLOOR JOISTS W/ ⅝" TYPE "X" GYP. WALL BRD. W/ PAINTED FINISH (TYP.)

LEGEND

- S.A. — SMOKE ALARM
- C.M.D. — CARBON MONOXIDE DETECTOR
- M.V. — MECHANICAL VENTILATION
- HB — HOSE BIB
- S.B. — SOLID WOOD BEARING
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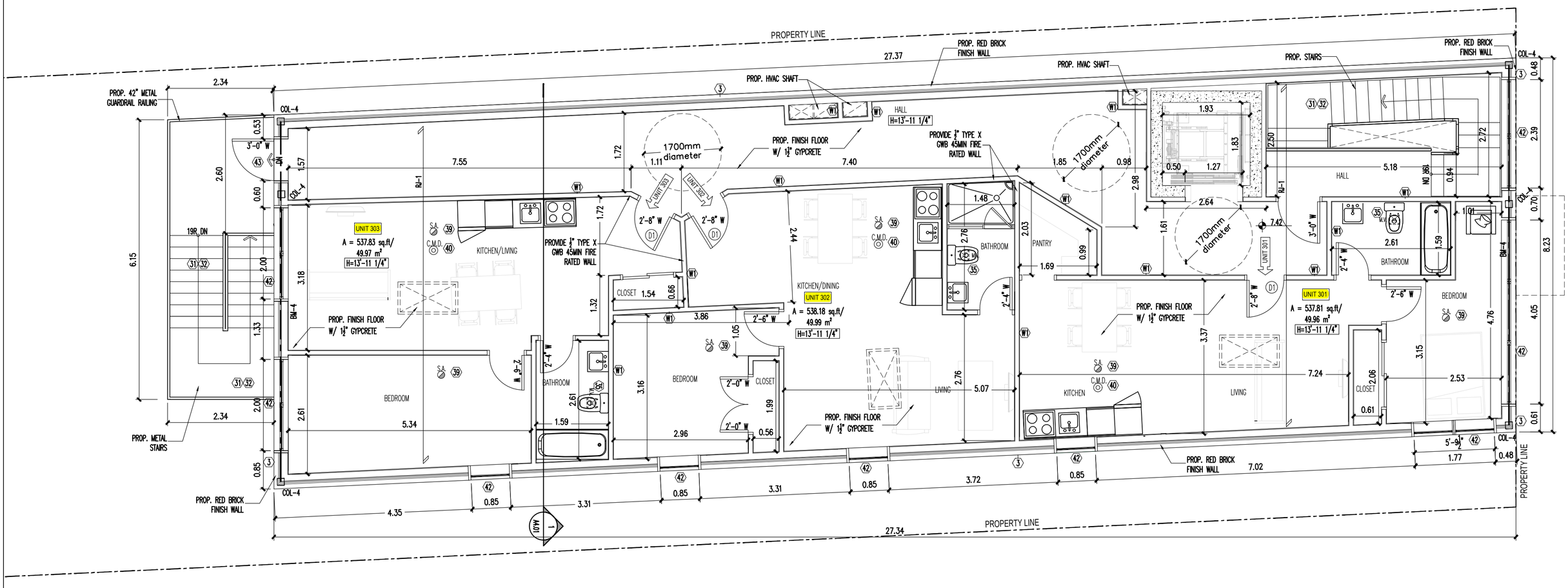

THIRD FLOOR PLAN

SCALE: 1:60

NO.	DESCRIPTION OF ISSUE	DATE	NO.	DESCRIPTION OF ISSUE	DATE
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LICENSED PROFESSIONAL ENGINEER
B.M. LOPES
100177584
08/02/21
PROVINCE OF ONTARIO

NORTH

PROJECT
642 CONCESSION ST

TITLE
THIRD FLOOR PLAN

SCALE 1 : 60

DATE AUGUST 2021

JOB No. 36-319

FILE No. DA-19-176

DRAWING No. A01.04

Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. _____ **DATE APPLICATION RECEIVED** _____

PAID _____ **DATE APPLICATION DEEMED COMPLETE** _____

SECRETARY'S SIGNATURE _____

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2

Registered Owners(s)	[redacted]
Applicant(s)*	
Agent or Solicitor	

Note: **Unless otherwise requested all communications will be sent to the agent, if any.**

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:
None

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

Parking- 1) To permit a total of 0 parking spaces for the proposed comercial units, wheras a minimum 14 parking spaces are required.
2) To permit 0 barrier free parking spaces, whereas one barrier free parking space is required

☐ Secondary Dwelling Unit ☑ Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

Space restrictions. The size of the lot does not allow us to create the required amount of parking spaces.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

642 Concession street.

LT 2, PL700, S/T & T/W AB287892; HAMILTON

7. PREVIOUS USE OF PROPERTY

Residential ☑ Industrial ☐ Commercial ☑

Agricultural ☐ Vacant ☐ Other ☐

Other _____

8.1 If Industrial or Commercial, specify use (Previously)Commercial/Restaurant-- (Prop

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
Yes ☐ No ☑ Unknown ☐

8.3 Has a gas station been located on the subject land or adjacent lands at any time?
Yes ☐ No ◉ Unknown ☐

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
Yes ☐ No ◉ Unknown ☐

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
Yes ☐ No ◉ Unknown ☐

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
Yes ☐ No ◉ Unknown ☐

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?
Yes ☐ No ◉ Unknown ☐

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
Yes ☐ No ◉ Unknown ☐

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?
Yes ☐ No ◉ Unknown ☐

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ☐ No ☉ Unknown ☐

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

A Search in Land registry

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ☐ No ☑

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

4 October 2021
Date

Signature Property Owner(s)

Reisha Dass
Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage	10.9m
Depth	33,5m
Area	400.1m2
Width of street	

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:_
1 1/2 story residential building that was completely damaged in a fire, years ago.

Proposed

we propose a 3 story, mixed use building, that consists of 2 stories (ground+ 2nd floor) of shared commercial space and the upper floor (3rd floor) of modern residential space consisting of 3x 1 bedroom units.

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

North Front: 0m
East: 2.39m
West: 0.75m
South Rear: 8.99m

Proposed:

North Front: 0m
East: 1.65m
West: 1.09m
South Rear: 8.99m

13. Date of acquisition of subject lands:
November 8th 2018

14. Date of construction of all buildings and structures on subject lands:
ASAP

15. Existing uses of the subject property (single family, duplex, retail, factory etc.):

Currently the building is severely fire damaged and vacant. It was previously use

16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):

Both adjoining buildings on each side are used as doctors/medical offices

17. Length of time the existing uses of the subject property have continued:

18. Municipal services available: (check the appropriate space or spaces)

Water	☑	Connected	☑
Sanitary Sewer	☑	Connected	☑
Storm Sewers	☑		

19. Present Official Plan/Secondary Plan provisions applying to the land:

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:

Zoning By-law 05-200 & 6593

21. Has the owner previously applied for relief in respect of the subject property?

Yes ☐ No ☑

If the answer is yes, describe briefly.

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes ○ No ◉

23. Additional Information

24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.