

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: HM/A-21:378

APPLICANTS: Agent Shane Vanbarneveld
Owner Kristina Cote

SUBJECT PROPERTY: Municipal address **123 Dufferin St., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended 96-125

ZONING: "C/S-1364" (Urban Protected Residential) district

PROPOSAL: To the construction of two-storey rear addition to the existing single family dwelling, notwithstanding that;

1. A maximum gross floor area of 80% being 297.3m² shall be permitted whereas the zoning By-law permits a maximum gross floor area multiplied by the floor area ratio factor of 0.45 of the area within the district of the lot on which it is situated.

2. A minimum of one (1) parking space shall be permitted instead of the minimum three (3) parking spaces required.

Note: The applicant shall ensure that the gross floor area calculation for the requested variance has been determined in accordance with the zoning By-law as defined including certain exemptions indicated in policy ZON-006.

The existing gross floor area is 55.0% of the area within the district of the lot on which it is situated.

This application will be heard by the Committee as shown below:

DATE: Thursday, November 25th, 2021
TIME: 3:25 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

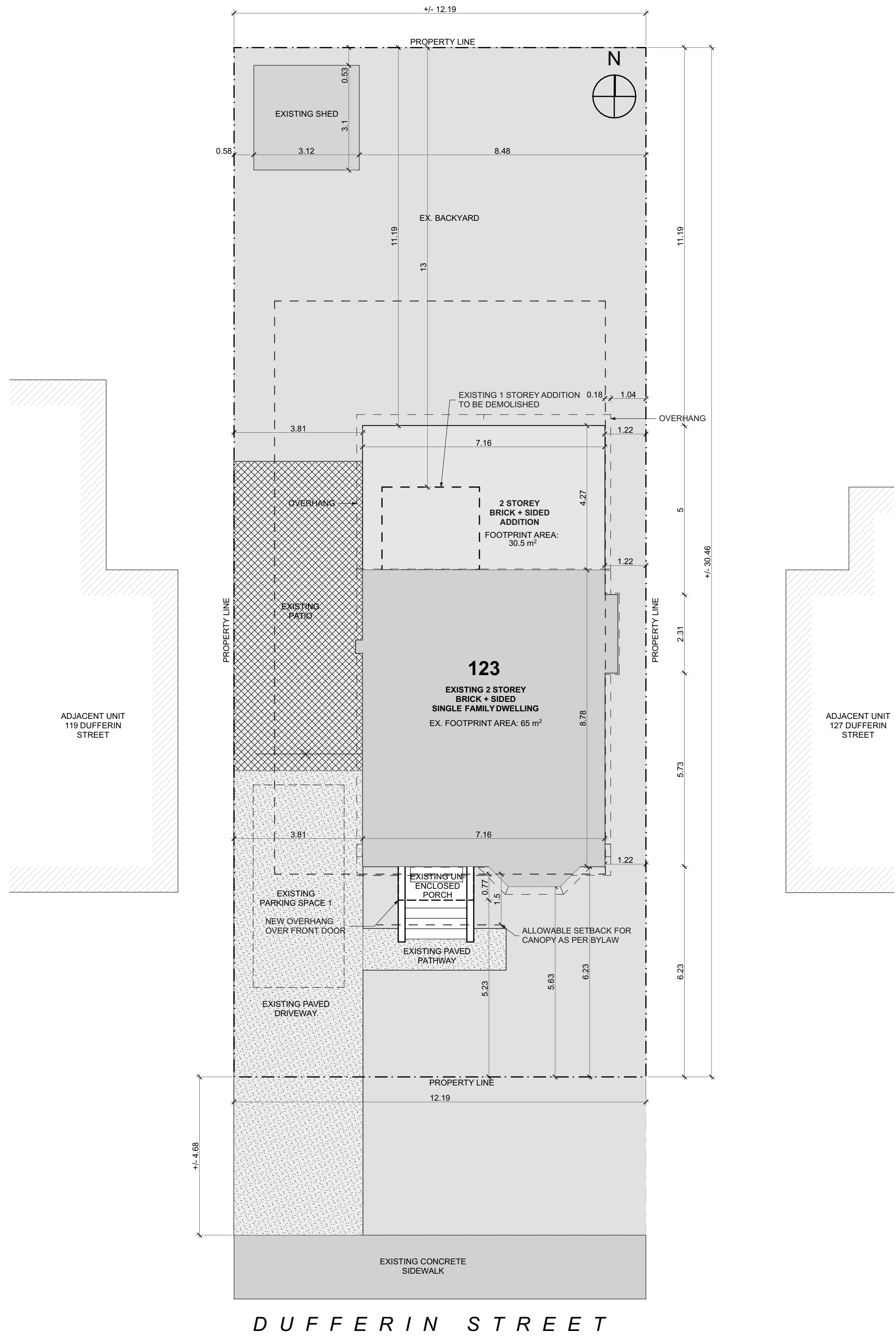
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: November 9th, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment


Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



SITE INFORMATION			
Zoning Information taken on: 2021.09.30 Edited by: JGM			
ADDRESS: 123 DUFFERIN ST MUNICIPALITY: HAMILTON POSTAL CODE: L8S 3N5			
BYLAW #: 6593 ZONE: C/S - 1364			
MINOR VARIANCE #: ---			
ZONING INFORMATION	Required:	Existing:	Proposed:
LOT AREA (m2):	360	371.6	n/a
LOT WIDTH (m):	12	12.19	n/a
LOT DEPTH (m):	n/a	30.48	n/a
LOT FRONTAGE:	n/a	12.19	n/a
LOT COVERAGE (%):	n/a	19.1%	25%
FLOOR AREA RATIO:	45%	50%	76.9%
GROSS FLOOR AREA:	n/a	204.5	284
GROUND FLOOR AREA:	n/a	71	94.5
BUILDING HEIGHT (m):	11	7.6	7.6
PARKING SPACES:	2	1	3
Habitable Rooms:		9	11
SETBACKS			
FRONT(m):	6	5.63	5.63
REAR(m):	7.5	13	11.5
RIGHT (EAST) SIDE(m):	1.2	1.22	1.22
LEFT (WEST) SIDE(m):	1.2	1.22	1.22
ENCROACHMENTS			
ROOF PROJECTION(m):	1.5	n/a	0.77
COVERED PORCH(m):		n/a	n/a
UNCOVERED PORCH(m):		n/a	n/a
DECK(m):		n/a	n/a
ACCESSORY BUILDINGS			
SIZE(m2):	n/a	9.6	n/a
HEIGHT(m):	4	4	n/a
OTHER RETRICTIONS:			
CONSERVATION AUTHORITY		n/a	
NIAGARA ESCARPMENT CONTROL		n/a	
MTO		n/a	
SEPTIC		n/a	
SITE PLAN CONTROL		n/a	
TREE PROTECTION		n/a	
REFERENCES			
1 Proposed lot coverage calculations = Proposed Footprint area / Lot Area			
2 Floor Area Ratio Calculation: Total Gross Floor Area / Lot Area			
3 Parking space sizing as follows: Hamilton: 2.7m x 6.0m Burlington: 2.7m x 6.0m			
4 Area of all floors excluding the following: 1. 100sf for laundry if possible 2. 10sf for mechanical if possible 3. Attic spaces 4. Any area that is uninhabitable			

1 SITE PLAN
SCALE: 1:100

CONTRACTOR



790 SHAVER RD. ANCASTER
L9G 3K9 ON

NO.	REVISION	DATE
1	ISSUED FOR VARIANCE	2021.09.30

DRAWING:

SITE PLAN

PROJECT NAME:

COTE

PROJECT ADDRESS:

123 DUFFERIN ST HAMILTON ON L8S 3N5

DATE: 9/30/2021

SCALE: AS NOTED

DRAWING NO: 2021.09.30

PROJECT NO: ---

SP0.01

Printed: 9/30/2021 @ 4:45 PM

RENOVATION TO: COTE

123 DUFFERIN ST HAMILTON ON L8S 3N5

GENERAL NOTES

- O.B.C. TO BE UNDERSTOOD AS ONTARIO BUILDING CODE 2012 LATEST EDITION AND AMENDMENTS.
- ALL STAGES OF CONSTRUCTION SHALL CONFORM WITH O.B.C.
- DO NOT SCALE DRAWINGS.
- CONTRACTOR TO REVIEW AND VERIFY ALL DIMENSIONS PRIOR TO AND DURING CONSTRUCTION. ALL DISCREPANCIES TO BE REPORTED TO DESIGNER.
- ALL WALL & CEILINGS BETWEEN DWELLING UNIT AND GARAGE ARE TO BE GAS PROOFED AND INSULATED TO ENERGY EFFICIENCY SUMMARY.
- SEE ELEVATIONS AND FLOOR PLANS FOR WALL AND CEILING HEIGHTS. ANY DISCREPANCIES TO BE REPORTED TO DESIGNER.
- WOOD IN CONTACT WITH CONCRETE OR MASONRY TO BE SEPARATED WITH MINIMUM 2 MIL POLY UNLESS OTHERWISE NOTED ON DRAWINGS.
- UNDERCUT ALL DOORS TO ROOMS WITHOUT RETURN AIR INLETS.
- SMOKE AND CO DETECTORS TO BE LOCATED AT EACH LEVEL. SMOKE ALARMS LOCATED IN EACH BEDROOM AND ARE TO BE INTERCONNECTED.
- ALL LIGHTING AND ELECTRICAL AS PER O.B.C. 9.34.
- PROVIDE SUMP PIT AND SEALED PIT COVER FOR DRAINAGE AS PER O.B.C. 9.14.
- ATTIC ACCESS TO BE INSULATED MIN. R20 AND WEATHER STRIPPED.
- WHERE CERAMIC FLOORING IS INSTALLED THE SUB-FLOOR SHALL BE REINFORCED AS PER O.B.C. 9.30.6.3.
- HVAC DRAWINGS TO BE DESIGNED BY OTHERS AS PER O.B.C. DRAWINGS TO BE PROVIDED TO TBOUMA DESIGN AND DRAFTING PRIOR TO FINALIZED WORKING DRAWINGS. DRAWINGS NOT FOR APPROVAL JUST TO BE PROPERLY INCORPORATED INTO PLANS AND ON RECORD.
- WV / ERY TO BE BALANCE POST CONSTRUCTION.
- PROVIDE MIN. 6'-5" HEADROOM BELOW ALL BEAMS & DUCTWORK.
- ALL EXHAUST FANS TO BE VENTED TO EXTERIOR.
- VENTED RANGE HOODS TO BE VENTED TO EXTERIOR WITH NON-COMBUSTIBLE DUCTING.

MASONRY

- ALL FLASHING TO CONFORM TO O.B.C. 9.20.13.
- ALL BRICK OR STONE SILLS TO BE FLASHED IN ACCORDANCE WITH THE O.B.C.
- ALL STEEL LINTELS FOR MASONRY TO HAVE MINIMUM 6" BEARING EACH END AND SUPPORTED BACK TO FOUNDATION.

DESIGNER

- REGISTRATION: NAME OF REGISTRATION FIRM TBOUMA DESIGN INC. REGISTRATION NUMBER ASSIGNED BY DIRECTOR 104857.
 - CONTRACTOR IS TO OBTAIN QUALIFIED DESIGNERS FOR ALL ENGINEERED STRUCTURAL MEMBERS AND SYSTEMS WHERE INDICATED DESIGNED BY OTHERS ON DRAWINGS.
 - DESIGNER ASSUMES NO RESPONSIBILITY FOR FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THESE DRAWINGS.
 - SINGLE PAGES OF THESE DRAWINGS NOT TO BE READ INDEPENDENTLY OF ALL PAGES OF THE WHOLE DRAWING SET.
 - CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THE WORKING DRAWING SET. ANY DISCREPANCIES ARE TO BE REPORTED TO THE DESIGNER PRIOR TO COMMENCEMENT OF WORK.
 - ANY MODIFICATIONS TO THE DESIGN SHALL NOT BE MADE WITHOUT AGREEMENT BETWEEN DESIGNER AND CONTRACTOR. DOCUMENTATION SHALL BE THE ONLY FORM OF ACCEPTANCE.
 - WHEN DRAWINGS ARE TO BE MODIFIED OR CHANGES ARE TO BE MADE THE BUILDING DEPARTMENT WILL BE NOTIFIED FOR PURPOSE OF REVIEW PRIOR TO CONSTRUCTION.
 - UNDER NO CIRCUMSTANCE SHALL THE CONTRACTOR OR SUB-CONTRACTOR PROCEED IF THERE IS ANY UNCERTAINTY. DESIGNER SHALL BE CONTACTED.
 - THE DRAWINGS THAT ARE APPROVED AND STAMPED BY THE BUILDING DEPARTMENT ARE TO BE THE ONLY TRUE DRAWINGS AND ARE TO BE ACCESSIBLE TO ALL CONTRACTORS AND SUB-CONTRACTORS AT ALL TIMES WITHIN THE JOB SITE TILL ALL WORK IS COMPLETED.
- ### STAIRS
- ALL STAIR COMPONENTS TO CONFORM TO O.B.C. STANDARDS.
 - STAIRS:
 - MAX RISE = 7 7/8"
 - MIN RISE = 4 7/8"
 - MIN. RUN = 9 1/4"
 - MIN TREAD = 9 1/4"
 - MIN. NOSING = 1"
 - MIN. HEADROOM = 6'-5"
 - MIN. WIDTH = 2'-0"
 - UNIFORM RISE / RUN
 - HANDRAILS:
 - MIN. HEIGHT = 34"
 - MAX HEIGHT = 38"
 - GUARDS:
 - MIN. HEIGHT = 36"
 - 4" MAXIMUM OPENINGS
 - NON-CLIMBABLE
 - EXTERIOR GUARDS:
 - 2'-0" TO 5'-11" ABOVE FINISHED GRADE
 - MINIMUM HEIGHT = 36"
 - OVER 5'-11" ABOVE GRADE
 - MINIMUM HEIGHT = 42"
 - ALL GUARDS TO BE CONSTRUCTED TO O.B.C. 9.8.8.

DOORS AND WINDOWS

- ALL EXTERIOR DOORS TO BE METAL INSULATED OR WOOD WITH STORM DOOR WITH WEATHER STRIPPING.
- DOOR BETWEEN GARAGE AND DWELLING TO BE WEATHER STRIPPED AND GAS TIGHT EXTERIOR TYPE DOOR WITH SELF CLOSING DEVICE.
- DOOR AT COLD STORAGE TO BE EXTERIOR TYPE DOOR.
- ALL WINDOWS AND DOORS AS PER ENERGY EFFICIENCY DESIGN SUMMARY OR ATTACHED BOP BY OTHERS.
- ALL EXTERIOR DOORS AND WINDOWS TO COMPLY WITH FORCED ENTRY REQUIREMENTS. O.B.C. 9.7.5.2. AND 9.7.6.
- FLOOR LEVELS CONTAINING BEDROOMS TO HAVE ONE OPERABLE WINDOW WITH A MINIMUM UNOBSTRUCTED OPEN AREA OF 3.8 SQ. FT. WITH NO DIMENSION LESS THAN 15".
- MAIN ENTRANCE DOORS TO HAVE DOOR VIEWER UNLESS TRANSPARENT GLAZING IS PROVIDED IN DOOR OR A SIDELIGHT.
- UNDERCUT ALL DOORS TO ROOMS WITHOUT RETURN AIR INLET.
- WINDOW VALUES REFER TO FLOOR PLAN EFFICIENCY SUMMARY.

STRUCTURAL

- ALL LUMBER TO COMPLY WITH O.B.C SPECIFICATIONS AND STANDARDS.
- ALL STRUCTURAL LUMBER TO BE OF SPRUCE #2 OR BETTER.
- ALL PRE-ENGINEERED FLOOR AND ROOF TRUSS DESIGN AND LAYOUT TO BE DESIGNED BY OTHERS AND CONFORM TO O.B.C. SPECIFICATIONS ALL DRAWINGS TO BE PROVIDED TO TBOUMA DESIGN AND DRAFTING, NOT FOR APPROVAL JUST TO BE PROPERLY INCORPORATED INTO PLANS AND ON RECORD.
- AS NOTED ON DRAWINGS STUDS TO BE USED AS BEARING POINTS WHERE IT IS APPLICABLE.
- ALL BEAMS TO HAVE MINIMUM 3 1/2" BEARING AT BOTH ENDS BEARING TO BE CONTINUOUS TO FOUNDATION.
- DOUBLE JOISTS AROUND STAIRWELL UNLESS OTHER WIDE NOTED BY PRE-ENGINEERED FLOOR DESIGNER.

FOUNDATION

- CONTRACTOR TO VERIFY SOIL CONDITIONS PRIOR TO PLACING OF FOOTINGS. ANY ABNORMALITIES TO BE REPORTED TO DESIGNER.
- STEP FOOTINGS TO BE DESIGNED AS PER O.B.C. 9.15.3.9.
 - MAX RISE SHALL NOT EXCEED 23 8/8"
 - MIN RUN SHALL NOT BE LESS THAN 23 5/8"
- ALL FOOTINGS TO BEAR ON FIRM UNDISTURBED SOIL MIN. 4'-0" BELOW FINISHED GRADE AND MIN. BEARING CAPACITY OF 75 KPa.
- WALL HEIGHTS AND THICKNESS TO CONFORM TO O.B.C. 9.15.4.



PROPOSED

EXISTING

ISSUED FOR VARIANCE

CONTRACTOR



790 SHAVER RD. ANCASTER
L9G 3K9 ON

NO.	REVISION	DATE
1	ISSUED FOR VARIANCE	2021.09.30

DRAWING:

**TITLE SHEET / GENERAL
INFO**

PROJECT NAME:

COTE

PROJECT ADDRESS:

123 DUFFERIN ST HAMILTON ON L8S
3N5

DATE: 9/30/2021

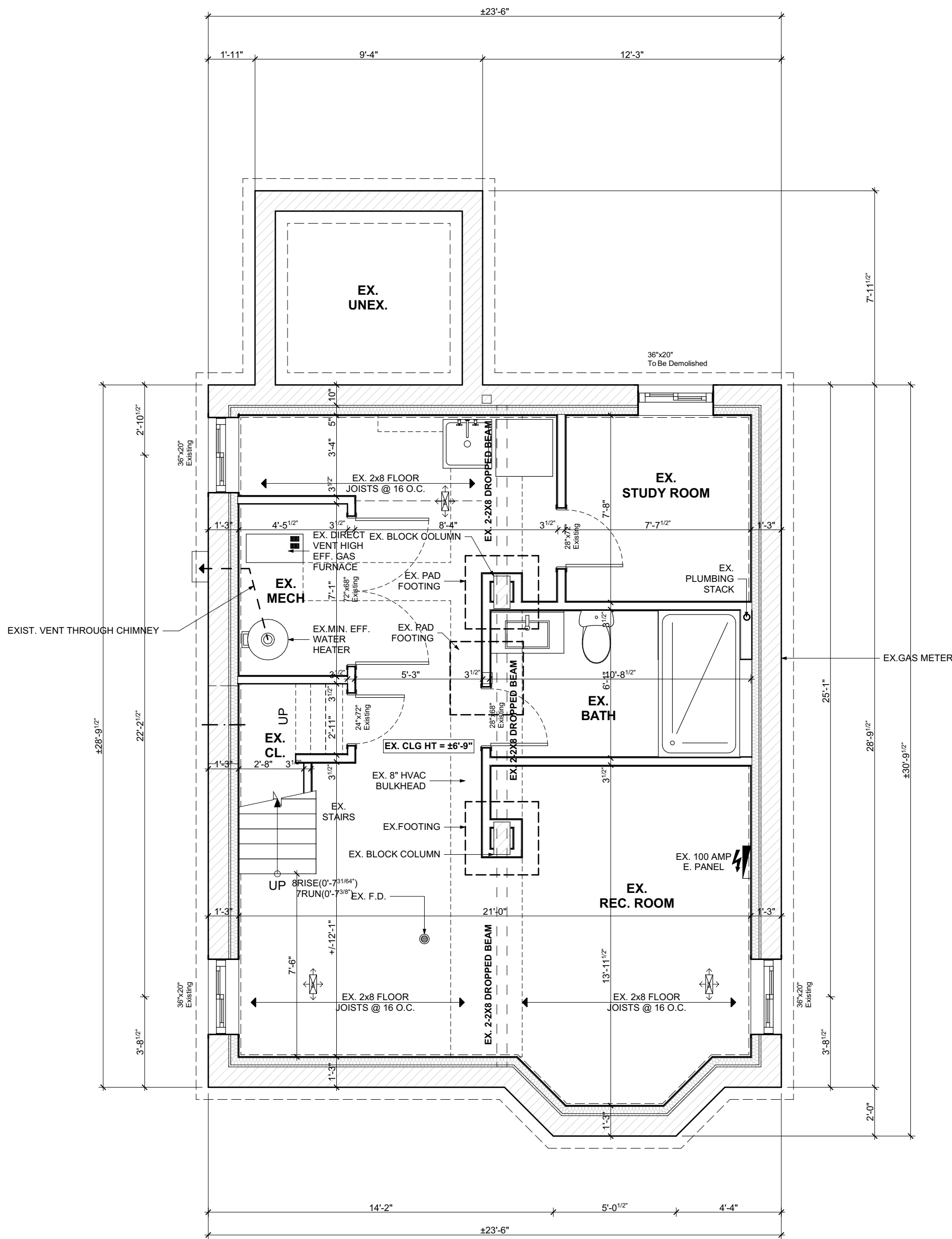
SCALE:

AS NOTED

PROJECT NO:

DRAWING NO:

A0.01



CONTRACTOR



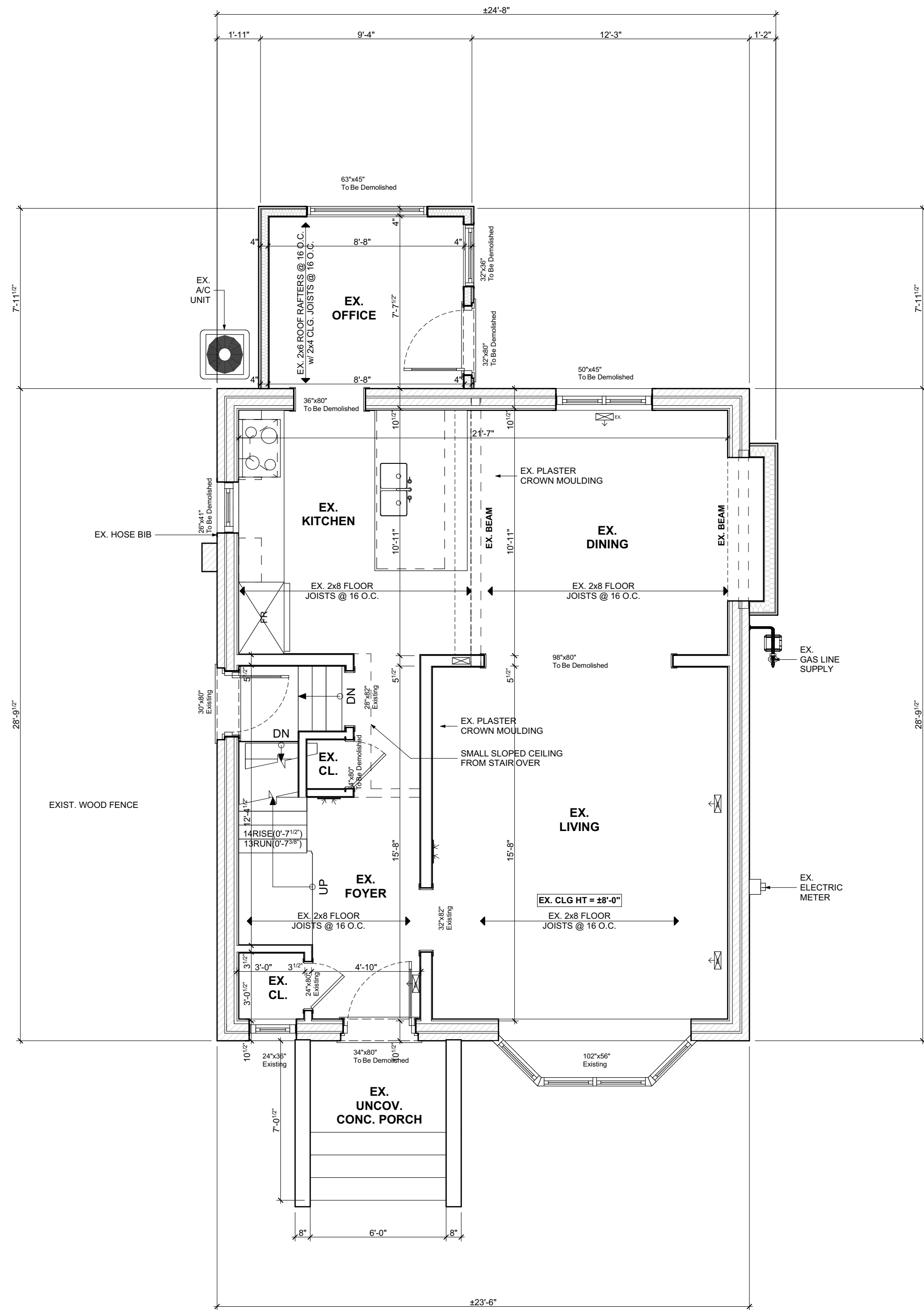
790 SHAVER RD. ANCASTER
L9G 3K9 ON

NO.	REVISION	DATE
1	ISSUED FOR VARIANCE	2021.09.30

DRAWING:
EXISTING BASEMENT PLAN

PROJECT NAME:
COTE
PROJECT ADDRESS:
123 DUFFERIN ST HAMILTON ON L8S
3N5

DATE: 9/30/2021	SCALE: AS NOTED	DRAWING NO: A1.01
PROJECT NO: ---		



CONTRACTOR



790 SHAVER RD. ANCASTER
L9G 3K9 ON

NO.	REVISION	DATE
1	ISSUED FOR VARIANCE	2021.09.30

DRAWING:
**EXISTING MAIN FLOOR
PLAN**

PROJECT NAME:

COTE

PROJECT ADDRESS:
123 DUFFERIN ST HAMILTON ON L8S
3N5

DATE: 9/30/2021

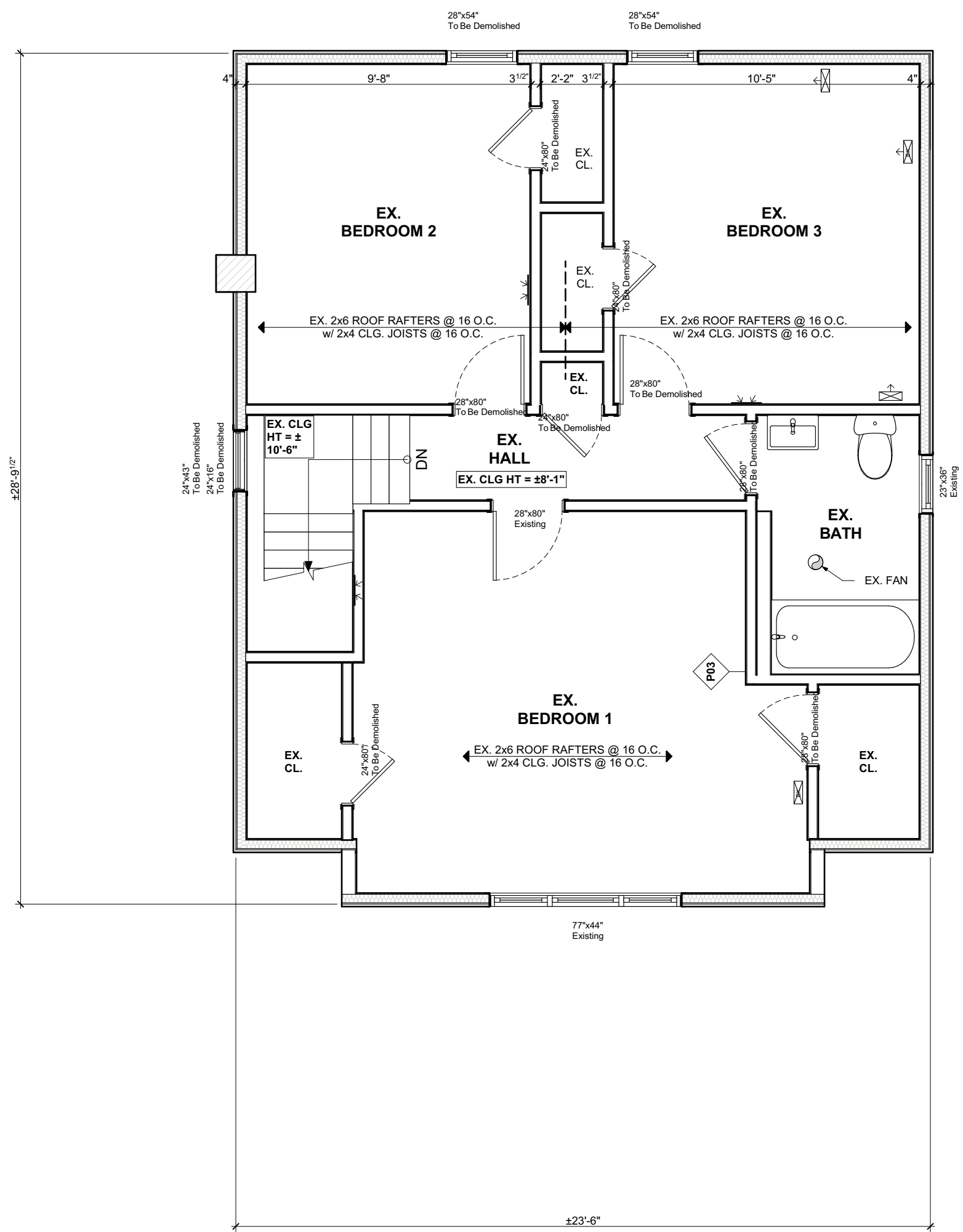
SCALE:

AS NOTED

PROJECT NO:

DRAWING NO:

A1.02



CONTRACTOR



790 SHAVER RD. ANCASTER
L9G 3K9 ON

NO.	REVISION	DATE
1	ISSUED FOR VARIANCE	2021.09.30

DRAWING:
**EXISTING SECOND FLOOR
PLAN**

PROJECT NAME:
COTE

PROJECT ADDRESS:
123 DUFFERIN ST HAMILTON ON L8S
3N5

DATE: 9/30/2021	DRAWING NO: A1.03
SCALE: AS NOTED	PROJECT NO: ---

ALL CONSTRUCTION TO COMPLY WITH ONTARIO BUILDING CODE

GENERAL NOTES:

DESIGN AND LAYOUT OF ALL PRE ENGINEERED STRUCTURAL MEMBERS FROM ROOF TRUSS SUPPLIER TO BE SUPPLIED BY MANUFACTURER PRIOR TO CONSTRUCTION

SOLID BLOCKING TO BEARING BELOW TO BE PROVIDED AT ALL GIRDER TRUSS AND BEAM LOCATIONS (MIN. WIDTH EQUAL TO WIDTH OF BEARING POINT OVER) VERIFY WITH TRUSS DRAWINGS

TRUSS MEMBERS SHALL NEVER BE NOTCHED, DRILLED OR CUT UNLESS NOTCHING OR DRILLING HAS BEEN ACCOUNTED FOR IN THE DESIGN OF THE TRUSS

WHEN RENOVATING, INSULATION TO BE EQUAL TO OR GREATER THAN EXISTING

BEAM BEARING = MIN. 3'-1 1/2"
LINTEL BEARING = MIN. 1'-1 1/2"
RAFTER BEARING = MIN. 1'-1 1/2"
JOIST'S BEARING = MIN. 1'-1 1/2"

CONTRACTOR TO CHECK AND VERIFY ALL SPECIFICATIONS AND DIMENSIONS PRIOR TO AND DURING CONSTRUCTION. ALL DISCREPANCIES TO BE REPORTED TO DESIGNER (519) 339-1493

PROVIDE TEMPORARY BRACING/SHOERING FOR ALL EXISTING FLOOR JOISTS & WALLS DURING CONSTRUCTION & INSTALLATION OF NEW BEAMS & FLOOR JOISTS AS REQ. (TYP.)

NOTE ABOUT MATCHING INSULATION IN OLDER HOMES

THE ENERGY EFFICIENCY OF EXISTING BUILDINGS SHALL COMPLY WITH PART 11 OF DIVISION B OF THE BUILDING CODE FOR RENOVATION, SB-12, 1.1.1.1. ENERGY EFFICIENCY

CONSTRUCTION MAY BE CARRIED OUT TO MAINTAIN THE EXISTING PERFORMANCE LEVEL OF ALL OR PART OF AN EXISTING BUILDING, BY THE REUSE, RELOCATION OR EXTENSION OF THE SAME OR SIMILAR MATERIALS OR COMPONENTS, TO RETAIN THE EXISTING CHARACTER, STRUCTURAL UNIQUENESS, HERITAGE VALUE, OR AESTHETIC APPEARANCE OF ALL OR PART OF THE BUILDING. IF THE CONSTRUCTION WILL NOT ADVERSELY AFFECT THE EARLY WARNING AND EVACUATION SYSTEMS, FIRE SEPARATIONS OR THE STRUCTURAL ADEQUACY OR WILL NOT CREATE AN UNHEALTHY ENVIRONMENT IN THE BUILDING, 11.3.3.1. BASIC RENOVATION (SEE APPENDIX A)

WHERE THE FRAMING SYSTEMS ARE BEING ALTERED TO MATCH EXISTING FRAMING, LESSER AMOUNTS AND EXTENT OF INSULATION AND VAPOR BARRIER IS ACCEPTABLE. PART 11 COMPLIANCE ALTERNATIVE, TABLE 11.5.1.1.C. (CONT'D), C199 - 12.2.1.1. (3)

SMOKE ALARMS

9.10.19
(1) Within dwelling units sufficient smoke alarms conforming to CANULS-531 shall be installed so that

(a) There is at least one smoke alarm on each storey, including basements, and

(b) On any storey of a dwelling unit containing sleeping rooms, a smoke alarm is installed.
(i) in each sleeping room, and
(ii) in a location between the sleeping rooms and remainder of the storey, and if the sleeping rooms are served by a hallway, the smoke alarm shall be located in the hallway

(2) Smoke alarms shall have a visual signalling component conforming to the requirements in 18.5.3. of NFPA 72. The visual signalling component need not be integrated with the smoke alarm provided it is interconnected to it.

Interconnect smoke alarms to be permanently connected and have a battery backup as per OBC 9.10.19.4

TABLE 3.1.1.21. (IP)

Thermal Performance Requirements for Additions to Existing Buildings

ZONE 1

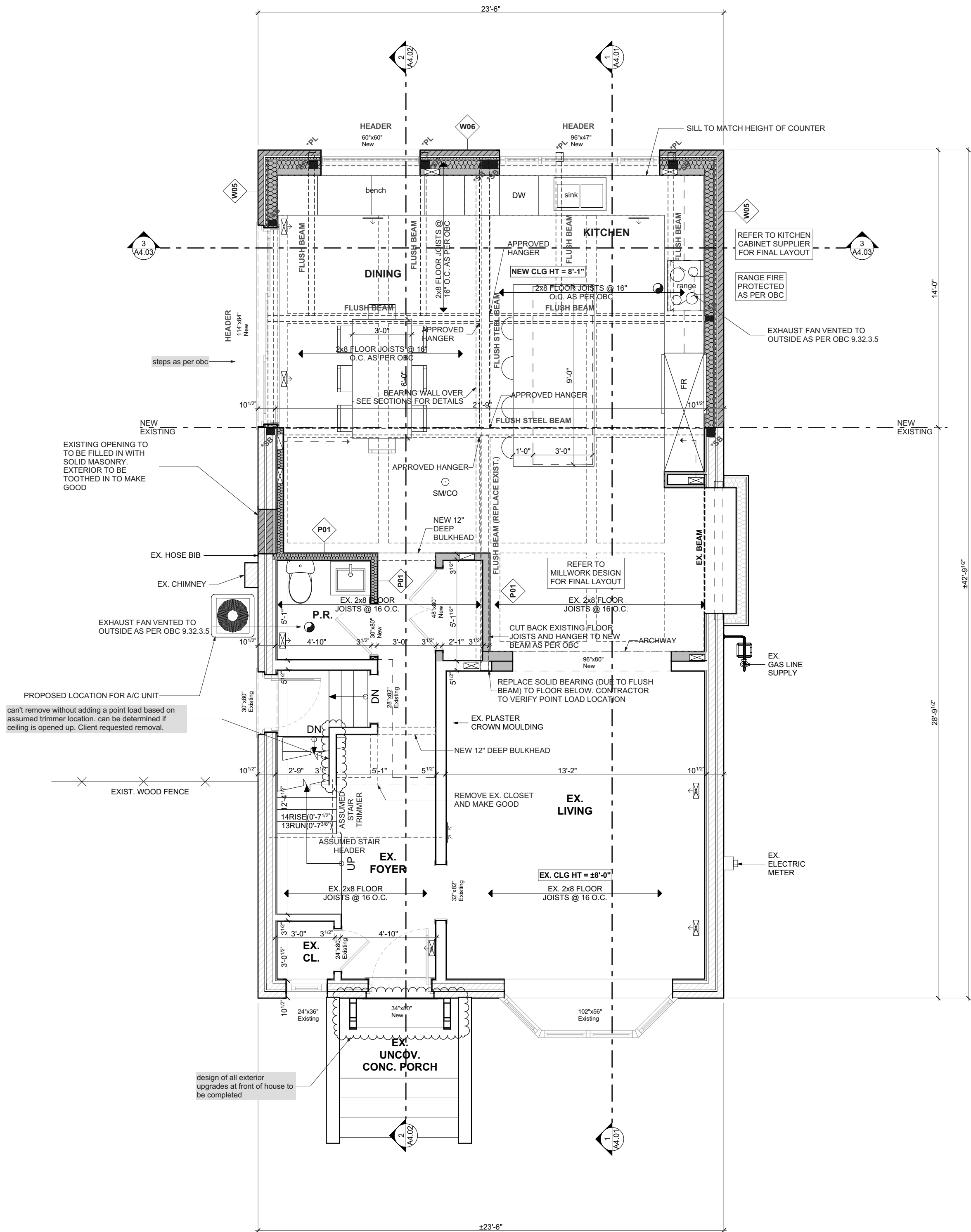
CEILING WITH ATTIC SPACE	R60
CEILING WITHOUT ATTIC SPACE	R31
EXPOSED FLOOR	R31
WALLS ABOVE GRADE	R19 + R5 c.i.
BASEMENT WALLS	R20 c.i. or R12 + R10 c.i.
BELOW GRADE SLAB	R5
EDGE OF BELOW GRADE SLAB	R10
HEATED SLAB	R10
WINDOWS AND SLIDING GLASS DOORS	0.28U
ENERGY RATING	25

ELECTRICAL FACILITIES SHALL BE PROVIDED AS PER ONTARIO BUILDING CODE 2012 AS PER 9.34

FOR ALL ENGINEERING REFERENCES, REFER TO ENGINEERING LETTER SBMW-21-XXX

PROVIDE STEEL LINTELS AS OPENINGS IN MASONRY TO SUPPORT MASONRY AS PER 9.20.5.2

ALL MASONRY SHALL BE SUPPORTED ON MASONRY, CONCRETE OR STEEL, EXCEPTION AS PER 9.20.5.1



HVAC LEGEND

- TOE KICK WALL SUPPLY
- TOW KICK WALL RETURN
- WALL SUPPLY
- WALL RETURN
- FLOOR SUPPLY AIR REGISTER
- FLOOR RETURN AIR REGISTER
- CLG. SUPPLY AIR REGISTER
- CLG. RETURN AIR REGISTER
- SUPPLY AIR CHASE S.A.
- RETURN AIR CHASE R.A.

Element Type	Element ID	Length	General Description
Beam	DROPPED STEEL BEAM AS PER OBC	168.32"	---
Beam	FLUSH BEAM	135.87"	---
Beam	FLUSH BEAM	128.00"	---
Beam	FLUSH BEAM	93.25"	---
Beam	FLUSH BEAM	93.25"	---
Beam	FLUSH BEAM	93.25"	---
Beam	FLUSH BEAM	93.25"	---
Beam	FLUSH BEAM (REPLACE EXIST.)	142.00"	---
Beam	FLUSH HEADER	51.54"	---
Beam	FLUSH HEADER	49.07"	---
Beam	FLUSH STEEL BEAM	272.00"	---
Beam	FLUSH STEEL BEAM	162.50"	---
Beam	HEADER	63.20"	---
Beam	HEADER	63.98"	---
Beam	HEADER	129.68"	---
Beam	HEADER	69.72"	---
Beam	HEADER	113.29"	---

WALL TYPE SCHEDULE

- 2X4**
 - 1/2" DRYWALL OR EQUAL
 - 2X4 @ 16" O.C. NON LOAD BEARING WALL
 - 1/2" DRYWALL OR EQUAL
- 2X6 (R24) + BRICK VENEER**
 - BRICK VENEER w METAL TIES @ 16" HORIZ. AND 24" VERT AS PER OBC 9.20.9.4
 - 1" AIR SPACE
 - BREATHER TYPE MEMBRANE OR EQUAL
 - MIN. R5 RIGID INSULATION
 - 7/16" EXTERIOR WALL SHEATHING
 - 2X6 @ 16" O.C. EXTERIOR BEARING WALL
 - MIN. R10 INSULATION
 - 6 MIL. POLY VAPOUR BARRIER
 - 1/2" DRYWALL OR EQUAL
- 2X6 (R24) + BRICK VENEER**
 - BRICK VENEER w METAL TIES @ 16" HORIZ. AND 24" VERT AS PER OBC 9.20.9.4
 - 1" AIR SPACE
 - BREATHER TYPE MEMBRANE OR EQUAL
 - MIN. R5 RIGID INSULATION
 - 7/16" EXTERIOR WALL SHEATHING
 - 2X6 @ 16" O.C. EXTERIOR BEARING WALL
 - MIN. R10 INSULATION
 - 6 MIL. POLY VAPOUR BARRIER
 - 2X4 @ 16" O.C. STRAPPING
 - 1/2" DRYWALL OR EQUAL

CONTRACTOR



790 SHAVER RD. ANCASTER
L9G 3K9 ON

NO.	REVISION	DATE
1	ISSUED FOR VARIANCE	2021.09.30

DRAWING:
PROPOSED MAIN FLOOR PLAN

PROJECT NAME:
COTE

PROJECT ADDRESS:
123 DUFFERIN ST. HAMILTON ON L8S 3N5

DATE: 9/30/2021

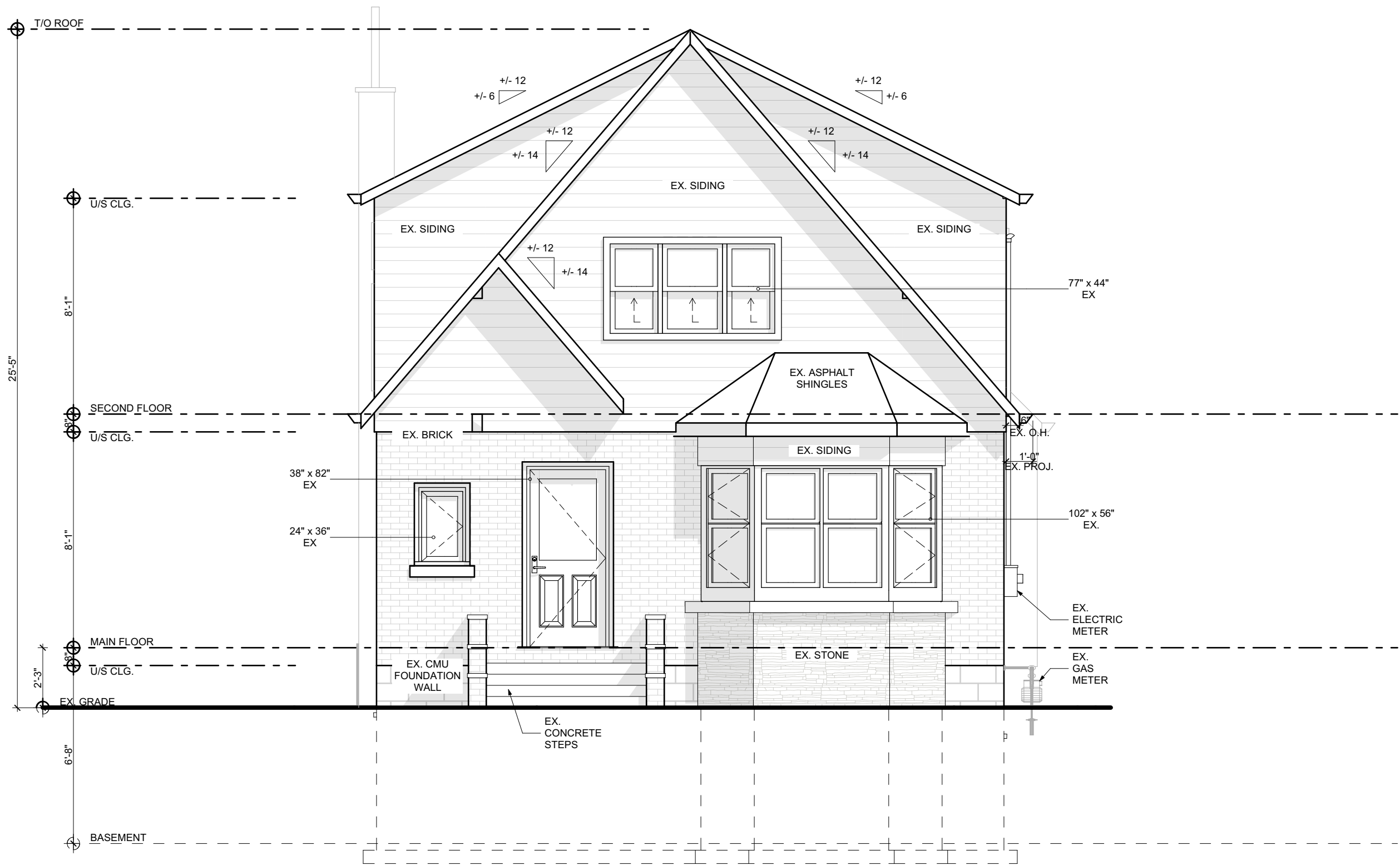
SCALE:
AS NOTED

PROJECT NO:

DRAWING NO:

A1.08

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CONTRACTOR



790 SHAVER RD. ANCASTER
L9G 3K9 ON

NO.	REVISION	DATE
1	ISSUED FOR VARIANCE	2021.09.30

DRAWING:
**EXISTING FRONT
ELEVATION**

PROJECT NAME:
COTE

PROJECT ADDRESS:
123 DUFFERIN ST HAMILTON ON L8S
3N5

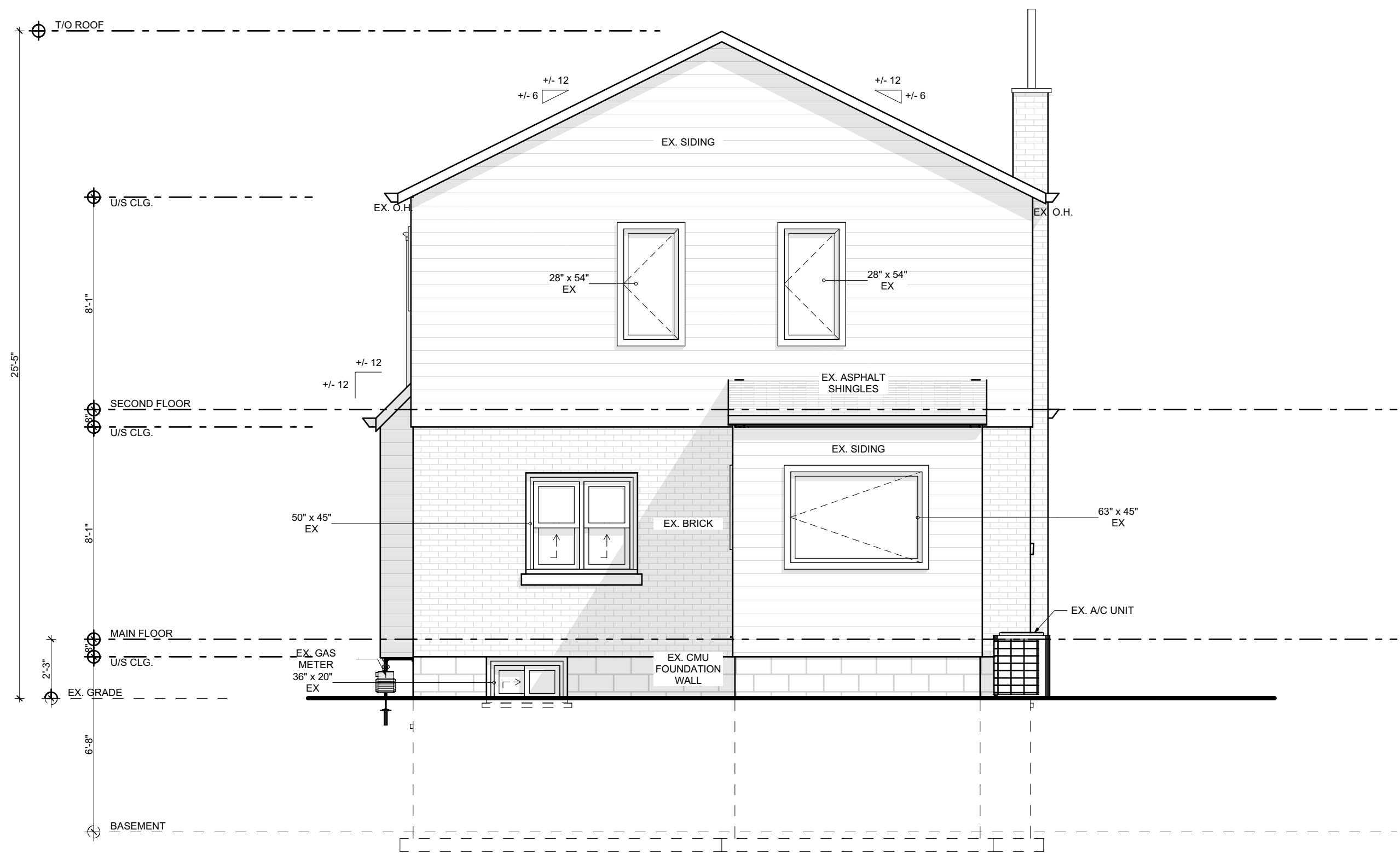
DATE: 9/30/2021

SCALE:
AS NOTED

PROJECT NO:

DRAWING NO:

A2.01



1 **EXISTING REAR ELEVATION**
SCALE: 1/4" = 1'-0"

CONTRACTOR



790 SHAVER RD. ANCASTER
L9G 3K9 ON

NO.	REVISION	DATE
1	ISSUED FOR VARIANCE	2021.09.30

DRAWING:

EXISTING REAR ELEVATION

PROJECT NAME:

COTE

PROJECT ADDRESS:

123 DUFFERIN ST HAMILTON ON L8S
3N5

DATE: 9/30/2021

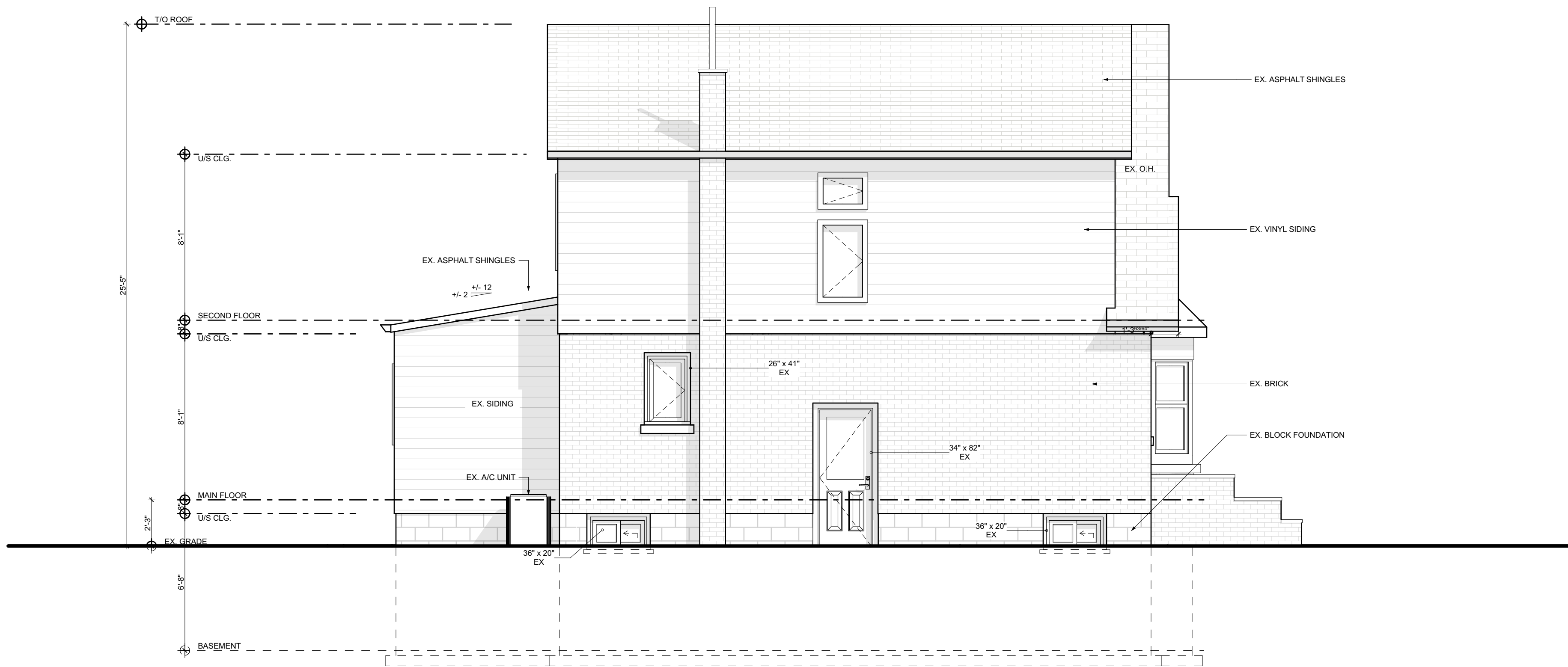
SCALE:

AS NOTED

PROJECT NO:

DRAWING NO:

A2.02



CONTRACTOR



790 SHAVER RD. ANCASTER
L9G 3K9 ON

NO.	REVISION	DATE
1	ISSUED FOR VARIANCE	2021.09.30

DRAWING:
EXISTING LEFT ELEVATION

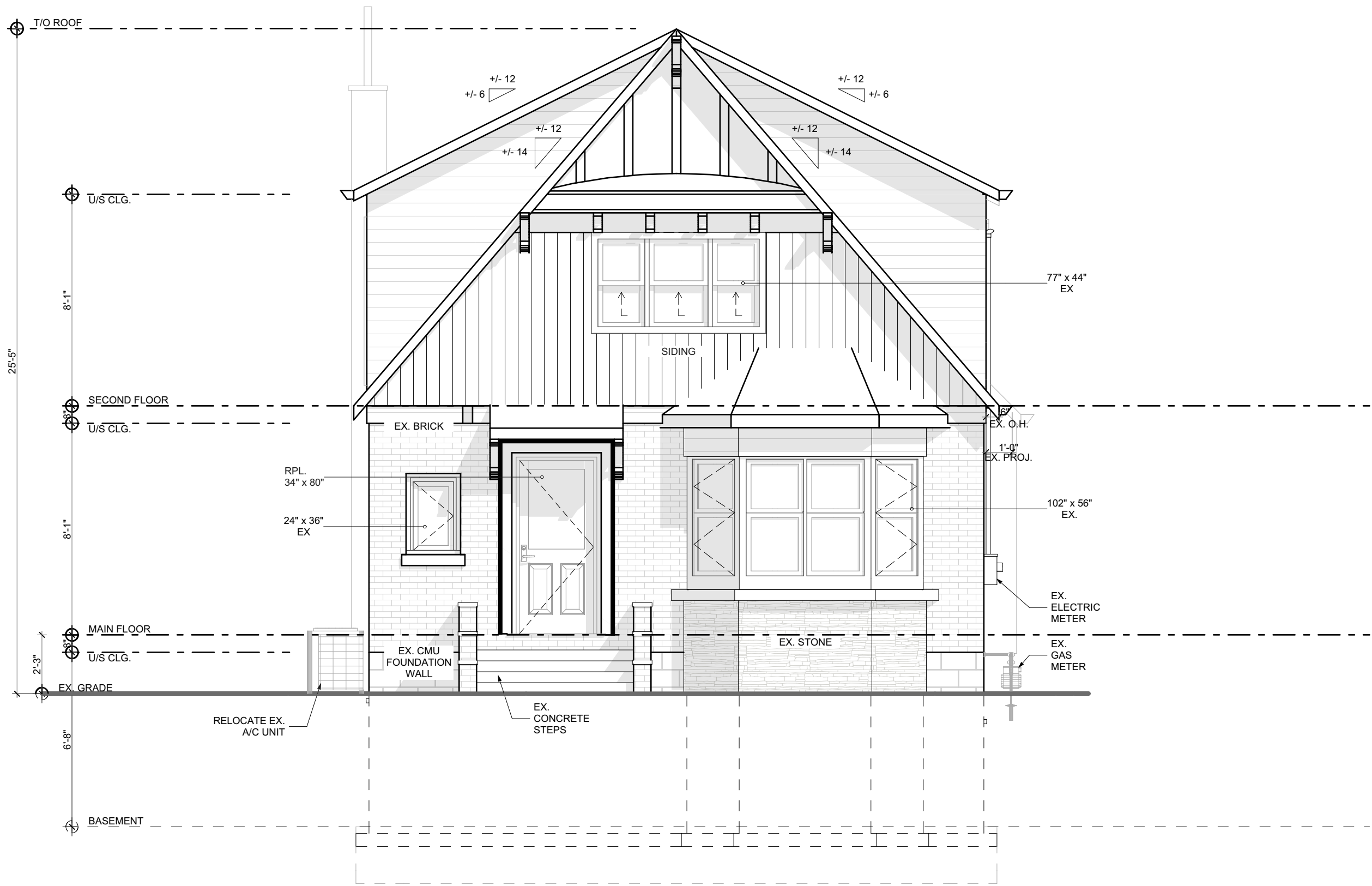
PROJECT NAME:
COTE

PROJECT ADDRESS:
123 DUFFERIN ST HAMILTON ON L8S
3N5

DATE: 9/30/2021	SCALE: AS NOTED	DRAWING NO: A2.03
	PROJECT NO: ---	



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CONTRACTOR



790 SHAVER RD. ANCASTER
L9G 3K9 ON

NO.	REVISION	DATE
1	ISSUED FOR VARIANCE	2021.09.30

DRAWING:
**PROPOSED FRONT
ELEVATION**

PROJECT NAME:
COTE

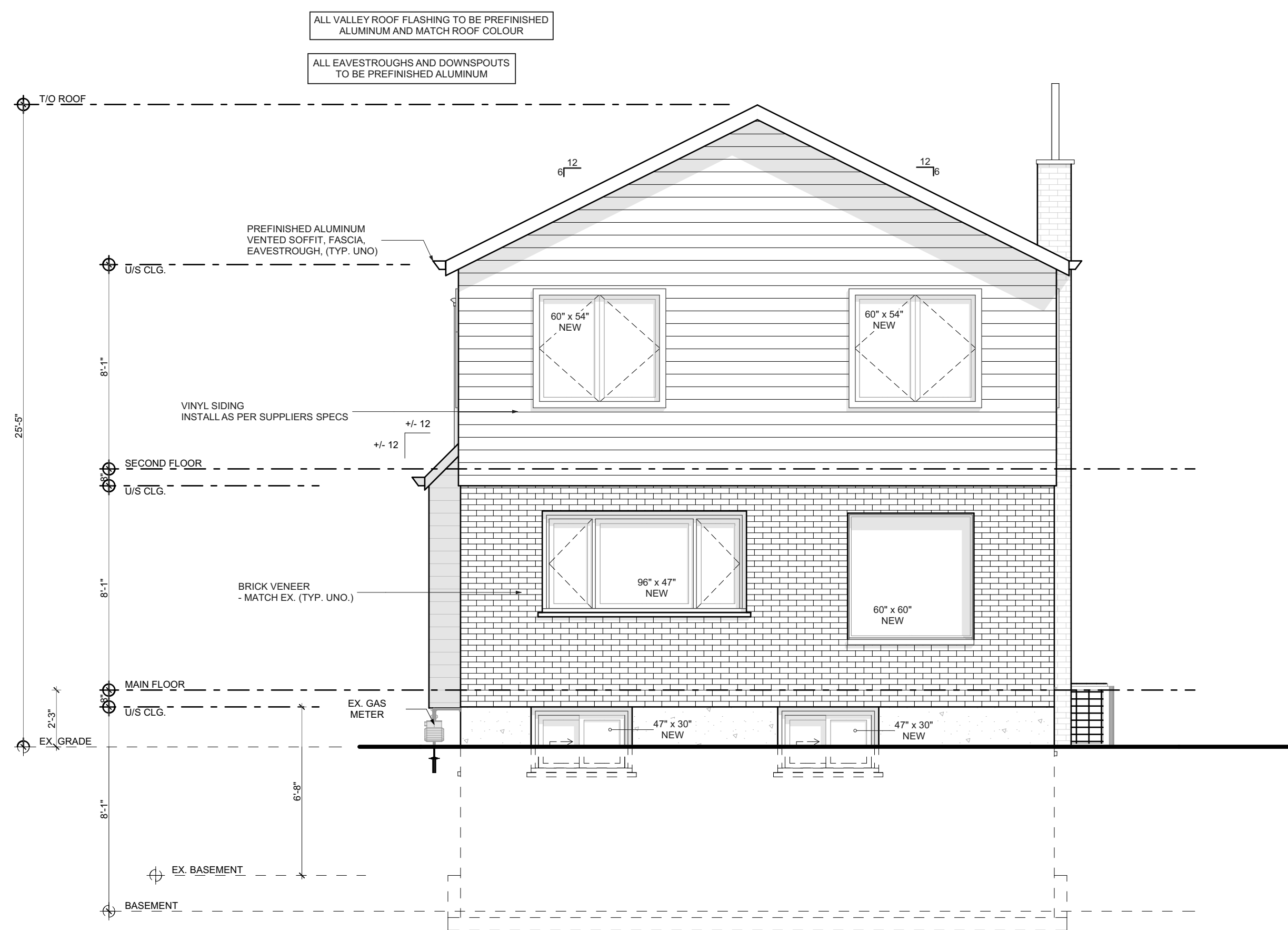
PROJECT ADDRESS:
123 DUFFERIN ST HAMILTON ON L8S
3N5

DATE: 9/30/2021

SCALE:
AS NOTED

PROJECT NO:

DRAWING NO:
A2.05



1 **PROPOSED REAR ELEVATION**
SCALE: 1/4" = 1'-0"

CONTRACTOR



790 SHAVER RD. ANCASTER
L9G 3K9 ON

NO.	REVISION	DATE
1	ISSUED FOR VARIANCE	2021.09.30

DRAWING:
**PROPOSED REAR
ELEVATION**

PROJECT NAME:
COTE

PROJECT ADDRESS:
123 DUFFERIN ST HAMILTON ON L8S
3N5

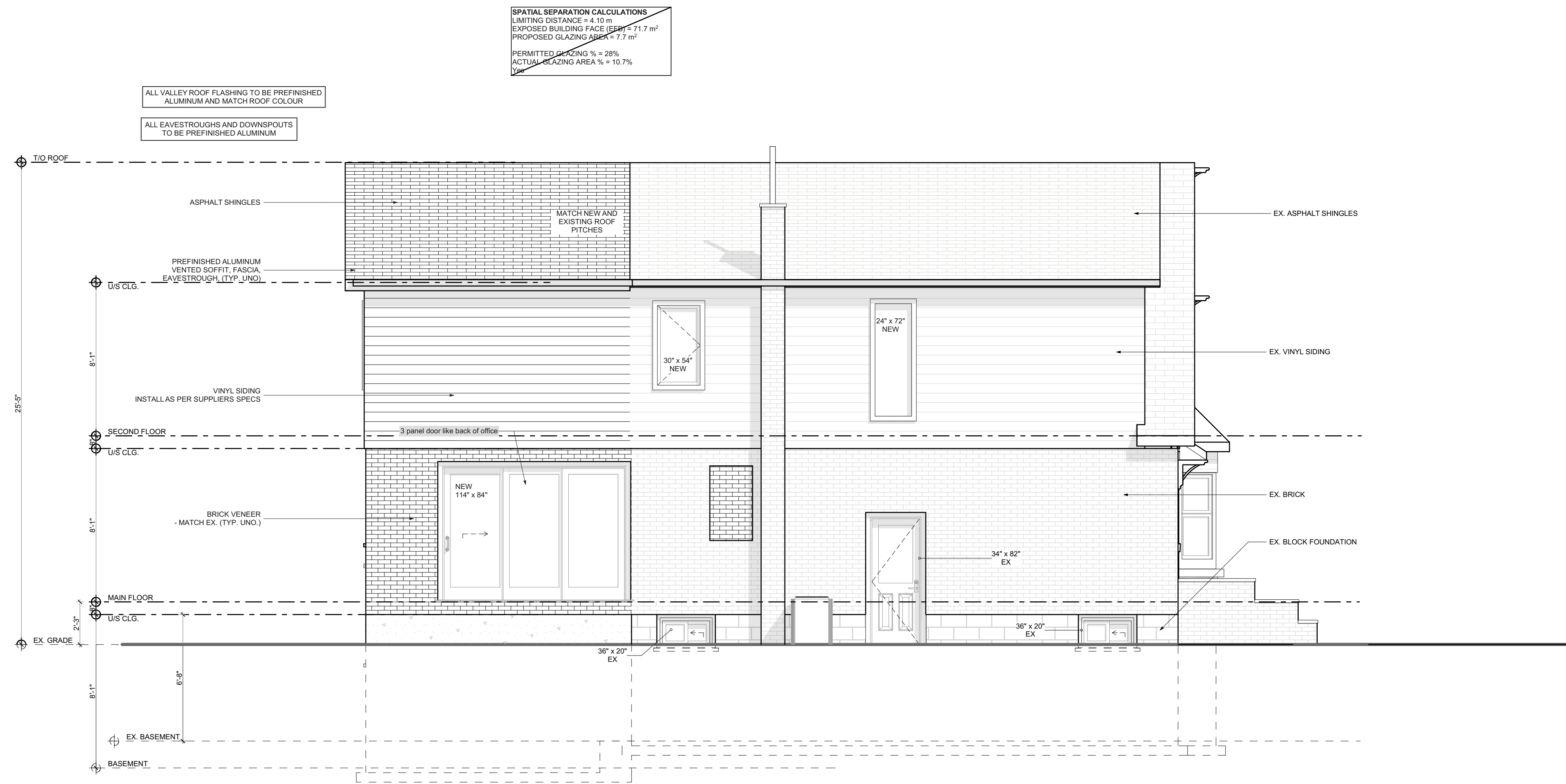
DATE: 9/30/2021

SCALE:
AS NOTED

PROJECT NO:

DRAWING NO:

A2.06



CONTRACTOR

Shane
Renovations

790 SHAVER RD. ANCASTER
L9G 3K9 ON

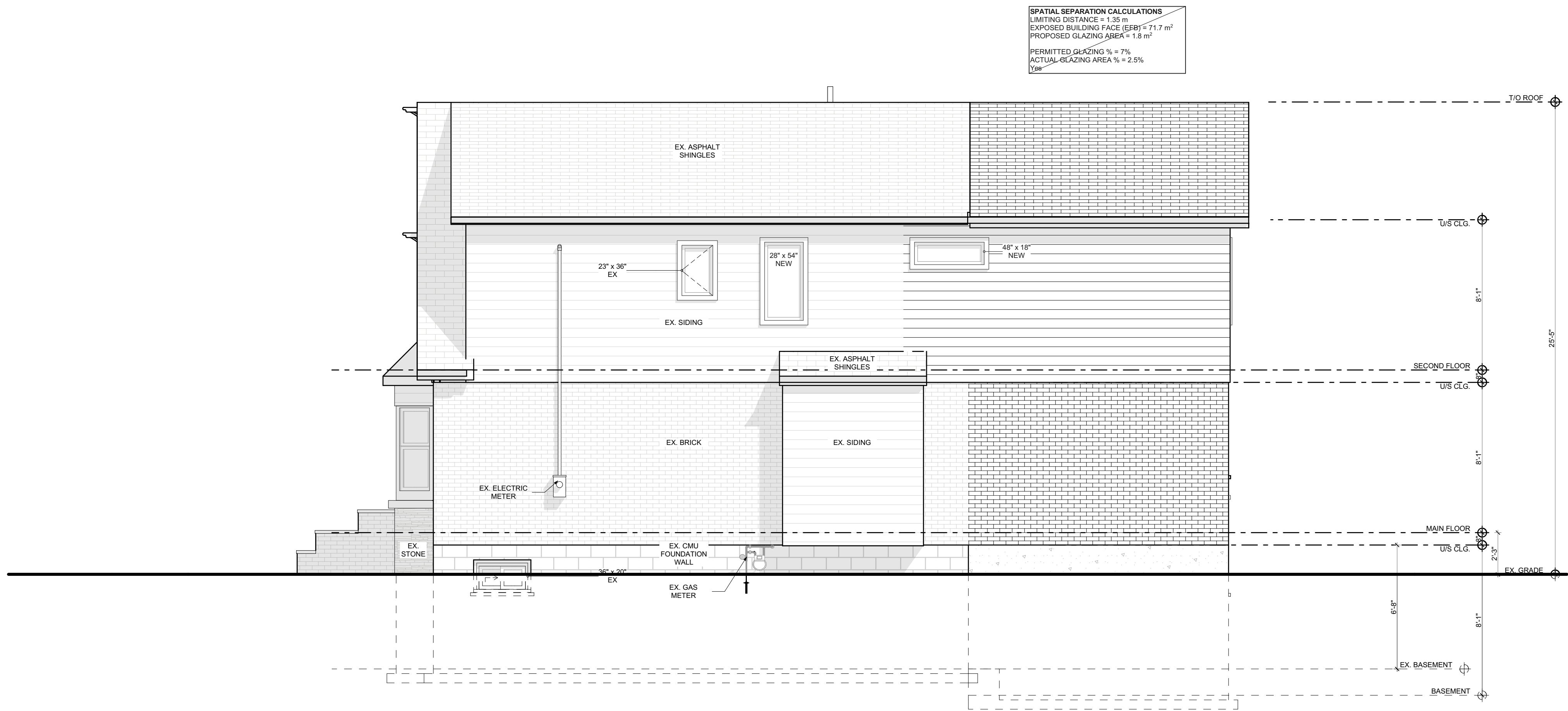
NO.	REVISION	DATE
1	ISSUED FOR VARIANCE	2021.09.30

DRAWING:
PROPOSED LEFT ELEVATION

PROJECT NAME:
COTE

PROJECT ADDRESS:
123 DUFFERIN ST HAMILTON ON L8S 3N5

DATE: 9/30/2021	SCALE: AS NOTED	DRAWING NO: A2.07
	PROJECT NO: ---	



1 **PROPOSED RIGHT ELEVATION**
SCALE: 1/4" = 1'-0"

CONTRACTOR

Shane
Renovations

790 SHAVER RD. ANCASTER
L9G 3K9 ON

NO.	REVISION	DATE
1	ISSUED FOR VARIANCE	2021.09.30

DRAWING:
**PROPOSED RIGHT
ELEVATION**

PROJECT NAME:
COTE

PROJECT ADDRESS:
123 DUFFERIN ST HAMILTON ON L8S
3N5

DATE: 9/30/2021	DRAWING NO: A2.08
SCALE: AS NOTED	PROJECT NO: ---



1 SECTION
SCALE: 1/4" = 1'-0"

CONTRACTOR



790 SHAVER RD. ANCASTER
L9G 3K9 ON

NO.	REVISION	DATE
1	ISSUED FOR VARIANCE	2021.09.30

DRAWING:
BUILDING SECTIONS

PROJECT NAME:
COTE
PROJECT ADDRESS:
123 DUFFERIN ST HAMILTON ON L8S
3N5

DATE: 9/30/2021

SCALE:
AS NOTED

PROJECT NO:

DRAWING NO:

A4.01



Hamilton

Committee of Adjustment

City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the *Zoning By-law*.

1, 2

**Registered
Owners(s)**

Applicant(s)*

**Agent or
Solicitor**

Note: Unless
any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

CIBC Mortgages Inc.
CIBC - Commerce Court Operations
Commerce Court West
199 Bay St, B-2, Securities Level
Toronto, Ontario M5L 1A2

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

1. Relief from the floor area ratio requirement of 45% to be increased to 80%
2. Relief from the required parking of (3) spaces to allow (1)

☐ Secondary Dwelling Unit ☐ Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

- The existing Floor area ratio is already at 55%. Therefore any addition is considered non conforming and will need to comply.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

123 Dufferin St, Hamilton, ON

7. PREVIOUS USE OF PROPERTY

Residential ☒ Industrial ☐ Commercial ☐

Agricultural ☐ Vacant ☐ Other ☐

Other _____

8.1 If Industrial or Commercial, specify use _____

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐ No ☐ Unknown ☒

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐ No ☐ Unknown ☒

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐ No ☐ Unknown ☒

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐ No ☐ Unknown ☒

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐ No ☐ Unknown ☒

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐ No ☐ Unknown ☒

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐ No ☐ Unknown ☒

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes ☐ No ☐ Unknown ☒

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ☐ No ☐ Unknown ☒

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

Based on previous use of property

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ☐ No ☒

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

October 1st, 2021

Date

Signature Property Owner(s)

Kristina Côté / Alexandre Côté

Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage	12.19
Depth	30.48
Area	371.6
Width of street	6

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _

ground floor area: 71m²

gross floor area: 204.5m²

stories: 2

width: 7.16m length: 8.78m height: 7.8

Proposed

ground floor area: 94.5

gross floor area: 284

stories: 2

width: 7.16m length: 13.05m height: 7.8

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

Left: 3.81

Right: 1.22

Back: 13

Front: 5.63

Proposed:

Left: 3.81

Right: 1.22

Back: 11.19

Front: 5.63

13. Date of acquisition of subject lands:
December 1st, 2016
-
14. Date of construction of all buildings and structures on subject lands:
1920's
-
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
single family
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
single family
17. Length of time the existing uses of the subject property have continued:
18. Municipal services available: (check the appropriate space or spaces)
- | | | | |
|----------------|-------------------------------------|-----------|-------------------------------------|
| Water | <input checked="" type="checkbox"/> | Connected | <input checked="" type="checkbox"/> |
| Sanitary Sewer | <input checked="" type="checkbox"/> | Connected | <input checked="" type="checkbox"/> |
| Storm Sewers | <input checked="" type="checkbox"/> | | |
19. Present Official Plan/Secondary Plan provisions applying to the land:
Ainslie Wood Westdale
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
C/S 1364
21. Has the owner previously applied for relief in respect of the subject property?
Yes ☐ No ☒
If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
Yes ☐ No ☒
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.