

NOTICE OF PUBLIC HEARING

Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: HM/A-21:383

APPLICANTS: Owners Geordie, John, Annette Manchester
Agent Geordie Manchester

SUBJECT PROPERTY: Municipal address **234 MacNab St. N., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended

ZONING: D district (Urban Protected Residential)

PROPOSAL: To permit the construction of a new third storey dormer addition, a new roofed-over unenclosed porch in the front and rear yards and to convert the semi-detached dwelling to contain a Secondary Dwelling Unit notwithstanding that:

1. A northerly side yard width of 0.8m shall be provided instead of the minimum required 2.7m side yard width.
2. A southerly side yard width of 0.0m shall be provided instead of the minimum required 2.7m side yard width.
3. The roofed-over unenclosed porch shall be permitted to project a maximum of 6.0m into the required front yard and provide a minimum setback of 0.0m from the front lot line instead of the maximum 3.0m projection permitted and minimum 1.5m setback required from the front lot line.
4. The gross area of the front yard shall be permitted to contain no landscaped area whereas the zoning By-law requires a minimum 50.0% of the gross area of the front yard to be provided as a landscaped area.
5. No parking spaces shall be provided on-site instead of the minimum required two (2) parking spaces.

This application will be heard by the Committee as shown below:

DATE: Thursday, November 25th, 2021
TIME: 3:40 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

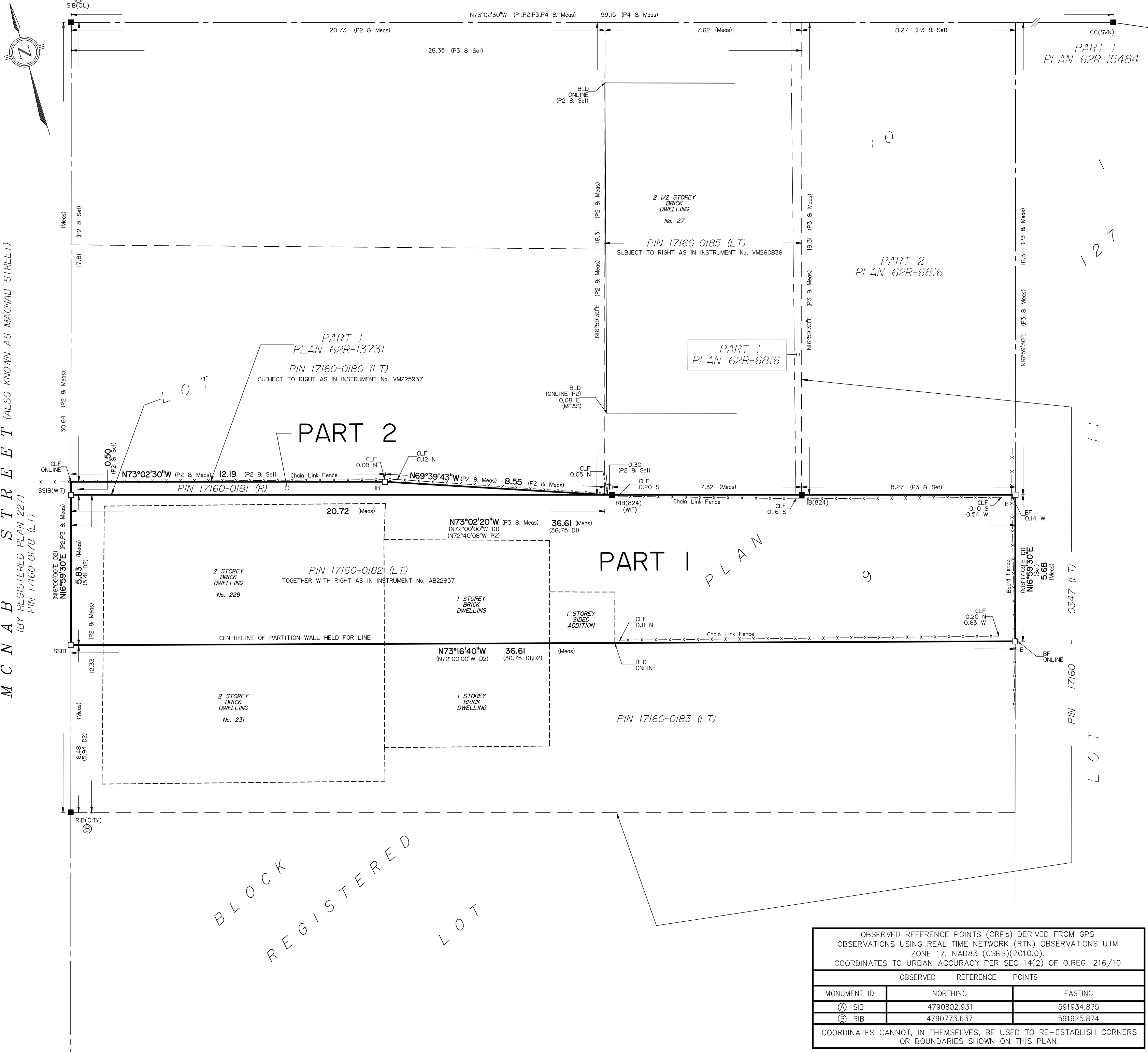
- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: November 9th, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

BARTON STREET WEST
(ROAD ALLOWANCE BETWEEN CONCESSIONS 1 AND 2)



I REQUIRE THIS PLAN TO BE DEPOSITED
UNDER THE LAND TITLES ACT.

PLAN 62R-

RECEIVED AND DEPOSITED

DATE: _____

DATE: _____

DRAFT

ERIC G. SLAZER
O.L.S., O.L.I.P.

REPRESENTATIVE FOR THE LAND
REGISTRAR FOR THE LAND TITLES DIVISION
AND REGISTRY DIVISION OF WENTWORTH (62).

SCHEDULE

PART	LOT	PLAN	PIN No.
1	PART OF 9	REGISTERED PLAN 127	ALL OF PIN 17060-0182 (LT)
2	PART OF 10		ALL OF PIN 17060-0180 (R)

PART 1 COMPRISE ALL OF PIN 17060-0182 (LT)
PART 2 COMPRISE ALL OF PIN 17060-0180 (R)

PLAN OF SURVEY OF
PART OF LOTS 9 & 10
REGISTERED PLAN 127
CITY OF HAMILTON

SCALE & NOTES

Scale 1:100



BARICH GRENKIE SURVEYING LTD.
A DIVISION OF GEOMAPLE

METRIC

DISTANCES AND CO-ORDINATES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

BEARING NOTE

BEARINGS ARE UTM GRID, DERIVED FROM GPS OBSERVED REFERENCE POINTS
A AND B, BY REAL TIME NETWORK (RTN) OBSERVATIONS, UTM ZONE 17 (81'
00' WEST LONGITUDE) NAD83 (CSRS) (2010.0).

BEARING COMPARISONS SHOWN ARE WITH ASTRONOMIC BEARINGS ON
UNDERLYING PLANS

FOR BEARING COMPARISONS, A ROTATION OF 1°02'31" COUNTER-CLOCKWISE
WAS APPLIED TO BEARINGS ON P1,P2,P3,P4

HORIZONTAL DATUM NOTE

PROJECTION: UNIVERSAL TRANSVERSE MERCATOR
(UTM, ZONE 17, CM 81°00'W)

DATUM: NAD83 (CSRS)(2010.0)

GRID SCALE CONVERSION

DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID DISTANCES BY
MULTPLYING BY THE COMBINED SCALE FACTOR OF 0.999690.

LEGEND

■	DENOTES	SURVEY MONUMENT FOUND
□	DENOTES	SURVEY MONUMENT PLANTED
IB	DENOTES	IRON BAR
SIB	DENOTES	STANDARD IRON BAR
SSIB	DENOTES	SHORT STANDARD IRON BAR
RIB	DENOTES	ROUND IRON BAR
CC	DENOTES	CUT CROSS
OU	DENOTES	ORIGIN UNKNOWN
P1	DENOTES	PLAN 62R-15484
P2	DENOTES	PLAN 62R-13731
P3	DENOTES	PLAN 62R-6816
P4	DENOTES	PLAN BY B. A. JACOBS, O.L.S. DATED JANUARY 14, 2011
D1	DENOTES	INSTRUMENT NUMBER AB22857
D2	DENOTES	INSTRUMENT NUMBER VM178302
824	DENOTES	A. T. MCLAREN, O.L.S.
SVN	DENOTES	SPEIGHT AND VAN NOSTRAND LTD.
CITY	DENOTES	CITY OF HAMILTON
WIT	DENOTES	WITNESS
BF	DENOTES	BOARD FENCE
CLF	DENOTES	CHAIN LINK FENCE

SURVEYOR'S CERTIFICATE

I CERTIFY THAT
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE
SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE
REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON SEPTEMBER XX, 2021.

SEPTEMBER XX, 2021

DRAFT

ERIC G. SLAZER
O.L.S., O.L.I.P.

Barich Grenkie
Surveying Ltd.
297 HWY No. 8 (UNIT 101) - STONEY CREEK, ON
L8G 1E5 (905) 662-6767

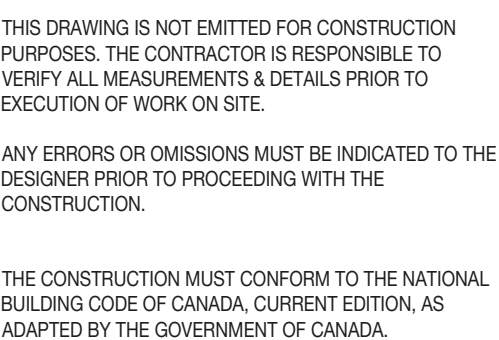
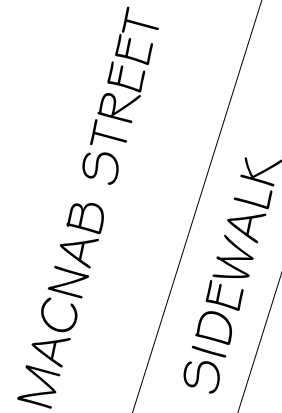
A DIVISION OF GEOMAPLE

DWN BY: EWA

CHK BY: EGS

JOB No. 21-2878

OBSERVED REFERENCE POINTS (ORPs) DERIVED FROM GPS OBSERVATIONS USING REAL TIME NETWORK (RTN) OBSERVATIONS UTM ZONE 17, NAD83 (CSRS)(2010.0). COORDINATES TO URBAN ACCURACY PER SEC 14(2) OF O.REG. 216/10		
OBSERVED REFERENCE POINTS		
MONUMENT ID	NORTHING	EASTING
(A) SIB	4790802.931	591934.835
(B) RIB	4790773.637	591925.874
COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.		



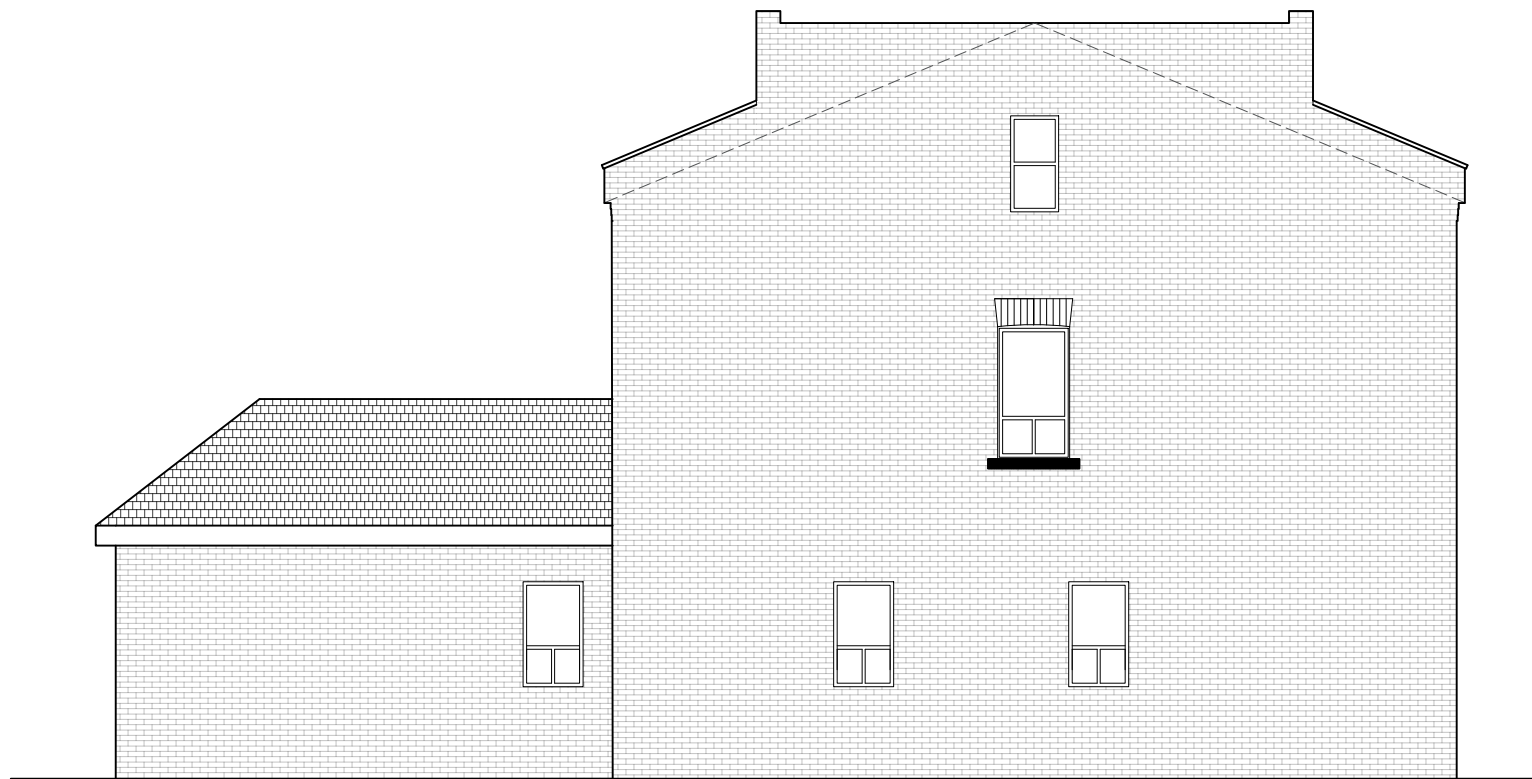
PLAN DOCUMENT	DESIGNATION
By-Law No. 6593	"D" - Urban Protected Residential

SETBACKS	EXISTING	APPROVED	PROPOSED
Front Yard	1.25 m	6 m	1.25 m (on existing walls)
Northerly Side Yard @2 storey	0.84 m	1.2 m	0.84 m (on existing walls)
North-Easterly Side Yard @1 storey	1.90 m	1.2 m	1.90 m (on existing walls)
South Side Yard	0.0 m (on party wall)	-	0.0 m (on party wall)
Rear Yard	18.02 m	7.5 m	18.05 m (on existing walls)

PAGE NUMBER: A 00



WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION

THIS DRAWING IS NOT EMITTED FOR CONSTRUCTION PURPOSES. THE CONTRACTOR IS RESPONSIBLE TO VERIFY ALL MEASUREMENTS & DETAILS PRIOR TO EXECUTION OF WORK ON SITE.

ANY ERRORS OR OMISSIONS MUST BE INDICATED TO THE DESIGNER PRIOR TO PROCEEDING WITH THE CONSTRUCTION.

THE CONSTRUCTION MUST CONFORM TO THE NATIONAL BUILDING CODE OF CANADA, CURRENT EDITION, AS ADAPTED BY THE GOVERNMENT OF CANADA.

PROJECT NAME:
234 MACNAB ST N

PROJECT SITE:
234 MACNAB ST N
HAMILTON, ON

CLIENT NAME:
Geordie Manchester

DRAWN BY:
GEORDIE MANCHESTER

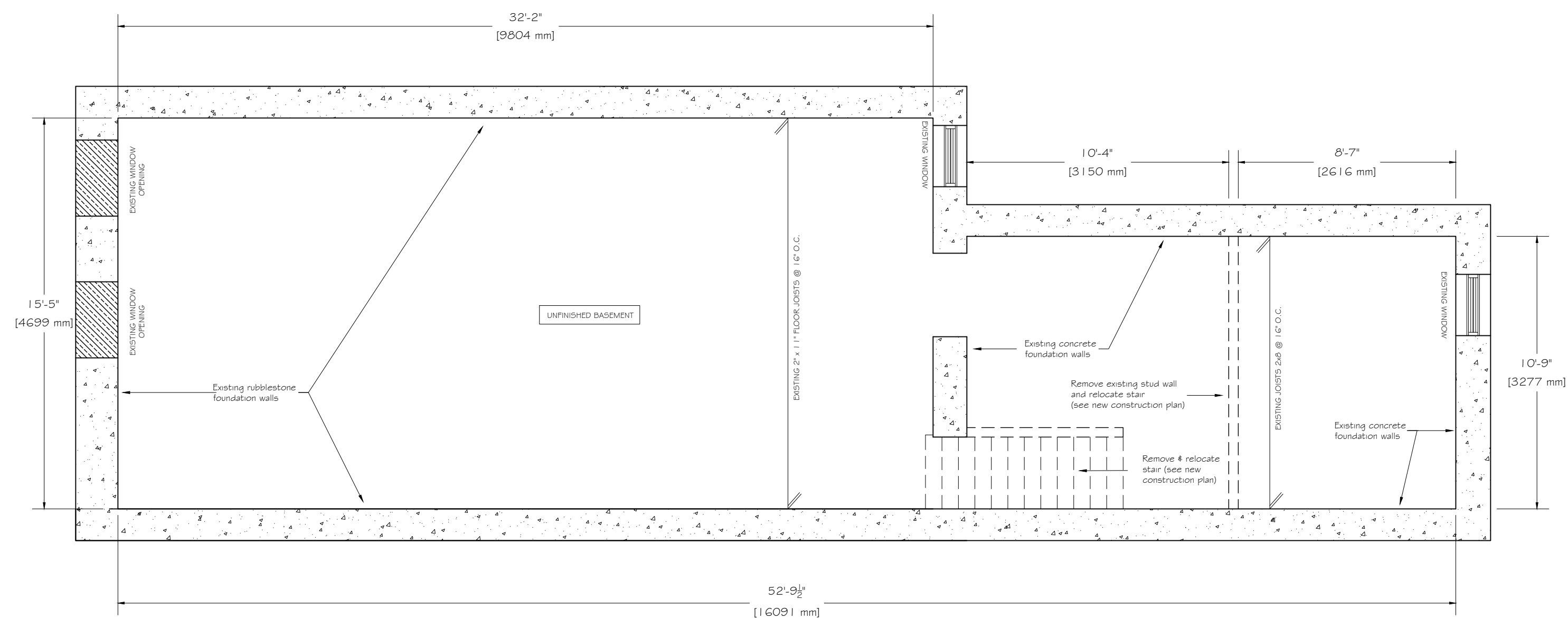
REVISION DATE:
October 7, 2021

DRAWING REVISION:
WELL-1 26-MACNAB-R03




DRAWING SCALE: $\frac{3}{32}'' = 1'0''$

DRAWING NAME:
EXISTING ELEVATIONS

PAGE NUMBER: **A 01**



WALL LEGEND

	Existing walls to remain
	Existing walls to be removed
	New walls

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PROJECT NAME:
234 MACNAB ST N

PROJECT SITE:
234 MACNAB ST N
HAMILTON, ON

CLIENT NAME:
Geordie Manchester

DRAWN BY:
GEORDIE MANCHESTER

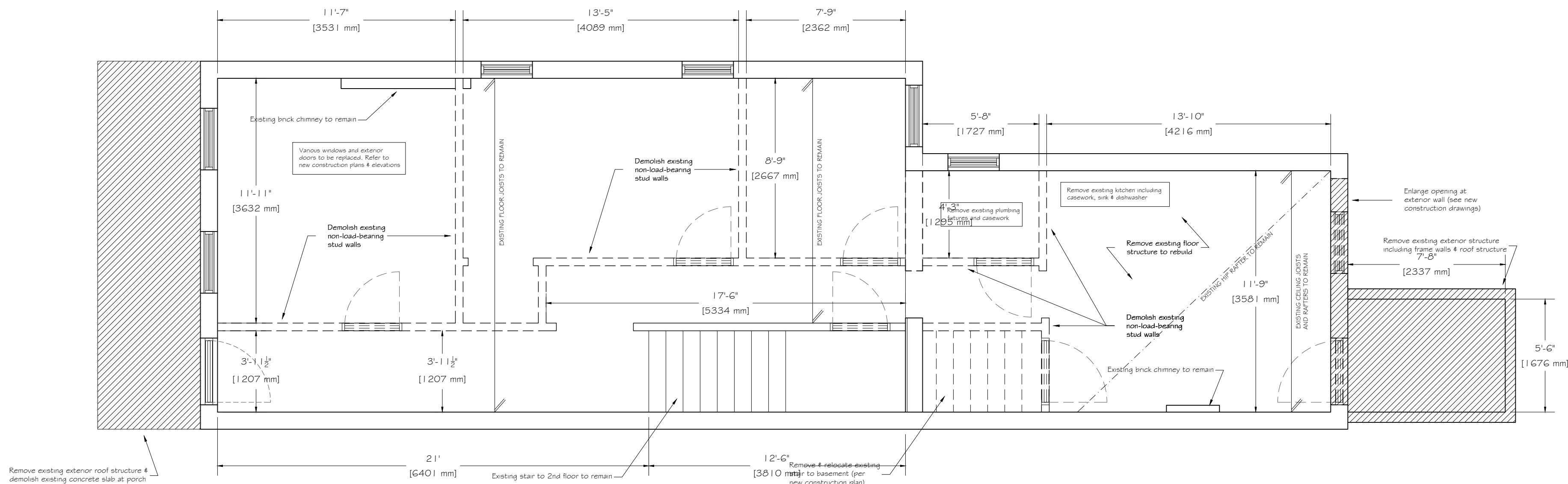
REVISION DATE:
October 7, 2021

DRAWING REVISION:
WELL-126-MACNAB-RO3

DRAWING SCALE: $\frac{1}{4}'' = 1'0''$

DRAWING NAME:
DEMOLITION PLAN - BASEMENT

PAGE NUMBER: **A 02**



WALL LEGEND	
<div></div>	Existing walls to remain
<div></div>	Existing walls to be removed
<div></div>	New walls

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PROJECT NAME:
234 MACNAB ST N

PROJECT SITE:
234 MACNAB ST N
HAMILTON, ON

CLIENT NAME:
Geordie Manchester

DRAWN BY:
GEORDIE MANCHESTER

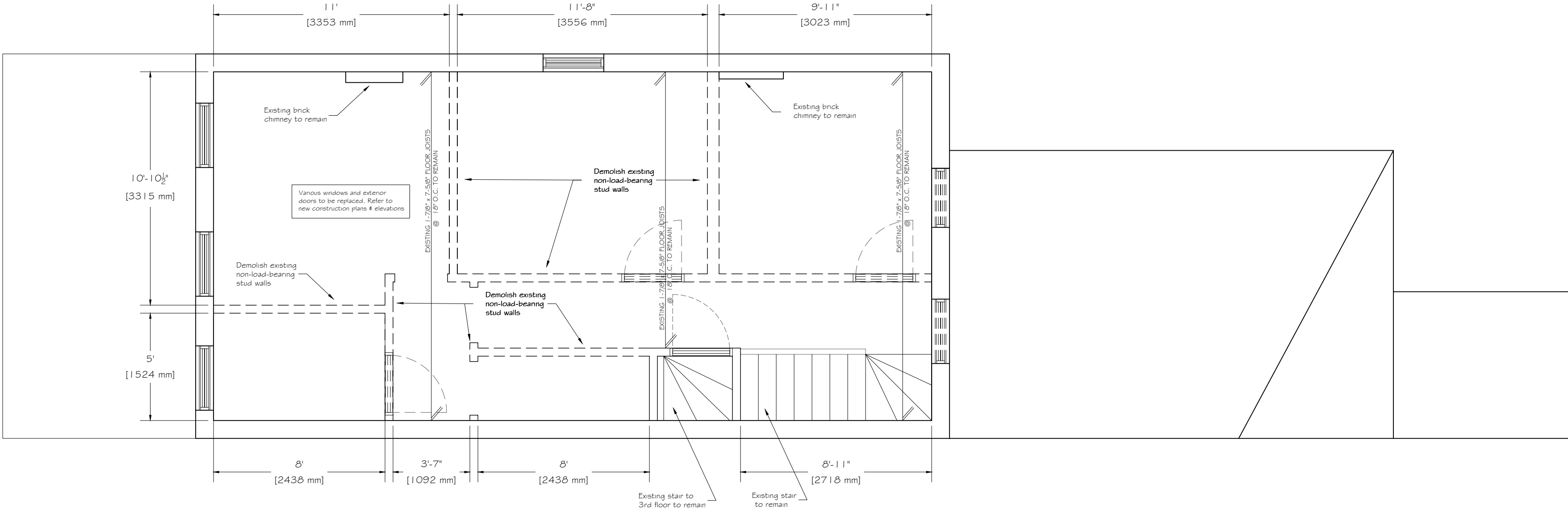
REVISION DATE:
October 7, 2021

DRAWING REVISION:
WELL-1 26-MACNAB-R03

DRAWING SCALE: 1/4" = 1'0"

DRAWING NAME:
DEMOLITION PLAN - GROUND FLOOR

PAGE NUMBER: A 03



WALL LEGEND	
<div></div>	Existing walls to remain
<div></div>	Existing walls to be removed
<div></div>	New walls

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PROJECT NAME:
234 MACNAB ST N

PROJECT SITE:
234 MACNAB ST N
HAMILTON, ON

CLIENT NAME:
Geordie Manchester

3/16" = 1'0"

DRAWN BY:
GEORDIE MANCHESTER

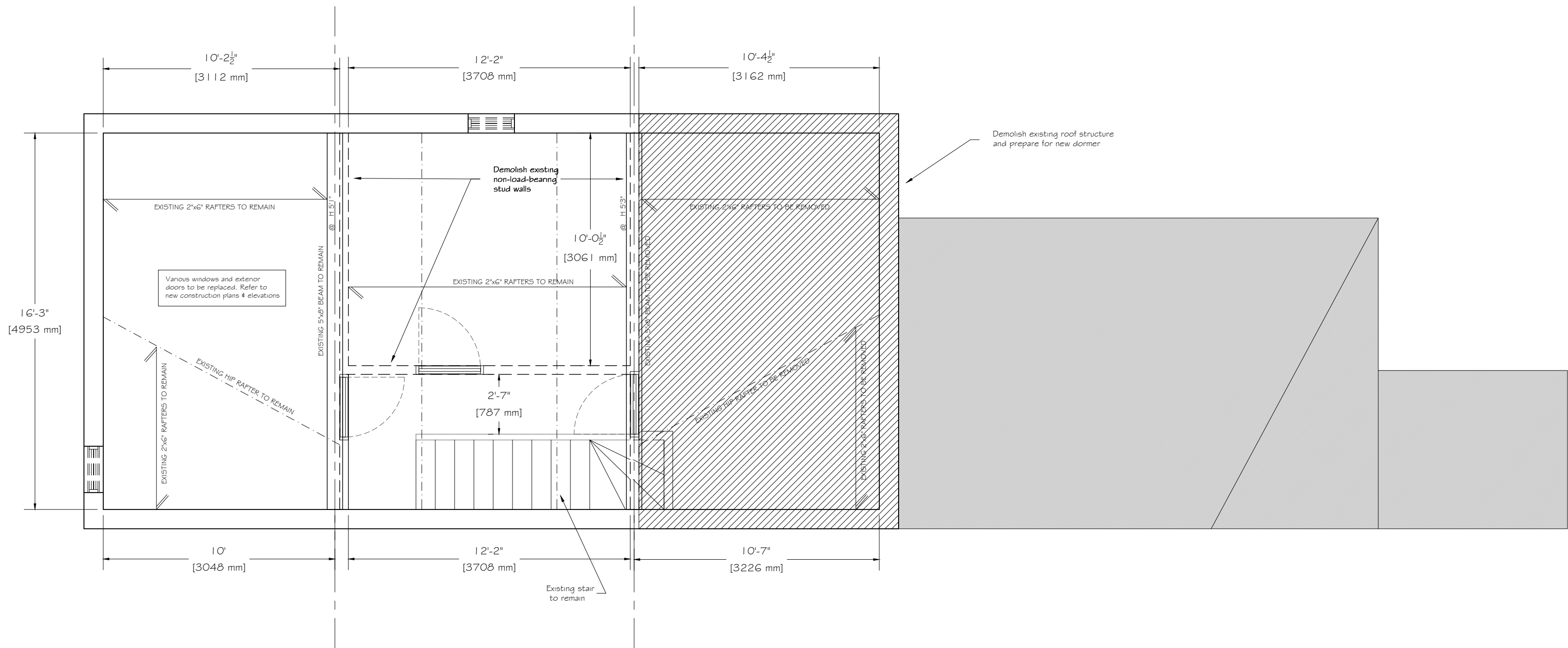
REVISION DATE:
October 7, 2021

DRAWING REVISION:
WELL-126-MACNAB-R03

DRAWING SCALE: 1/4" = 1'0"

DRAWING NAME:
DEMOLITION PLAN - 2ND FLOOR

PAGE NUMBER: A 04



WALL LEGEND	
<div></div>	Existing walls to remain
<div></div>	Existing walls to be removed
<div></div>	New walls

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PROJECT NAME:
234 MACNAB ST N

PROJECT SITE:
234 MACNAB ST N
HAMILTON, ON

CLIENT NAME:
Geordie Manchester

DRAWN BY:
GEORDIE MANCHESTER

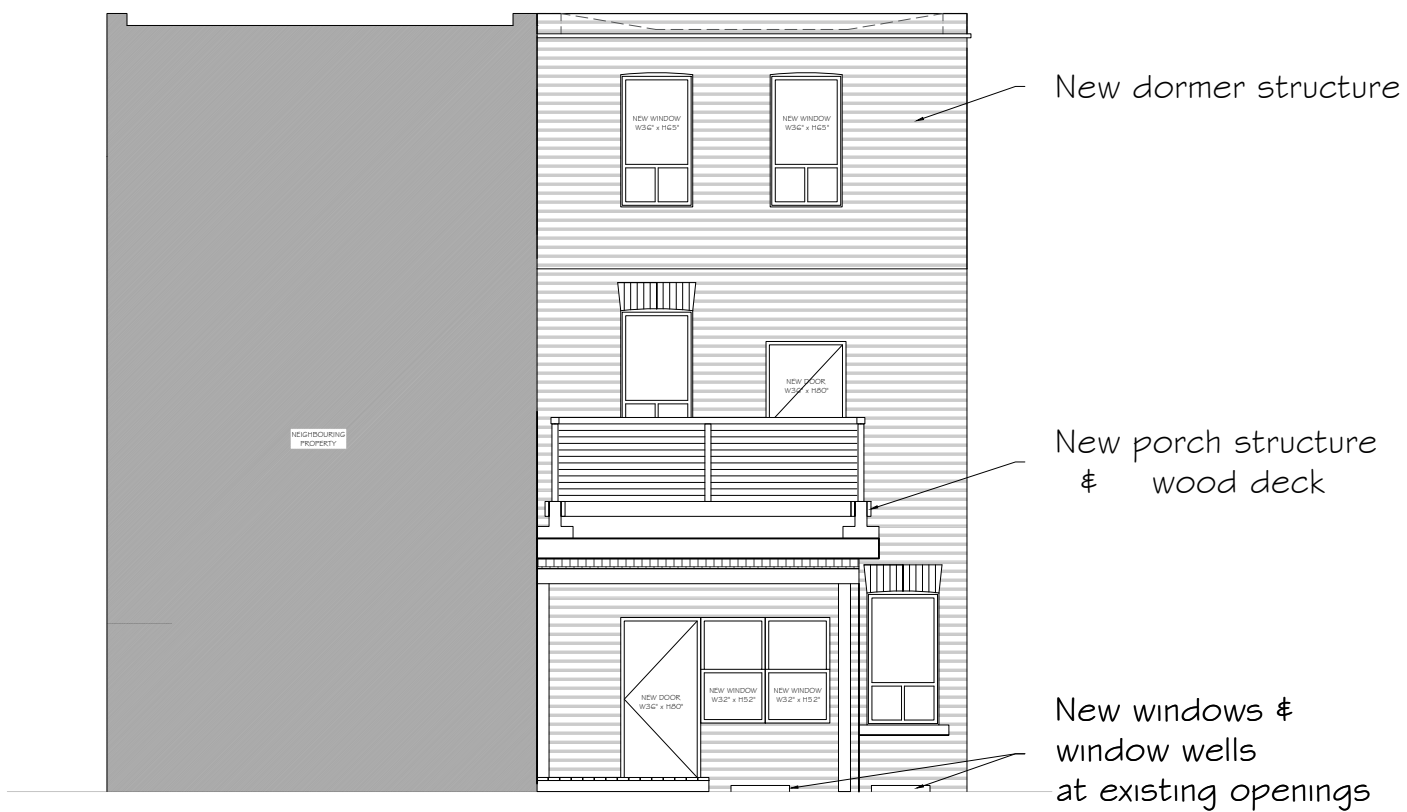
REVISION DATE:
October 7, 2021

DRAWING REVISION:
WELL-126-MACNAB-R03

DRAWING SCALE: 1/4" = 1'0"

DRAWING NAME:
DEMOLITION PLAN - 3RD FLOOR

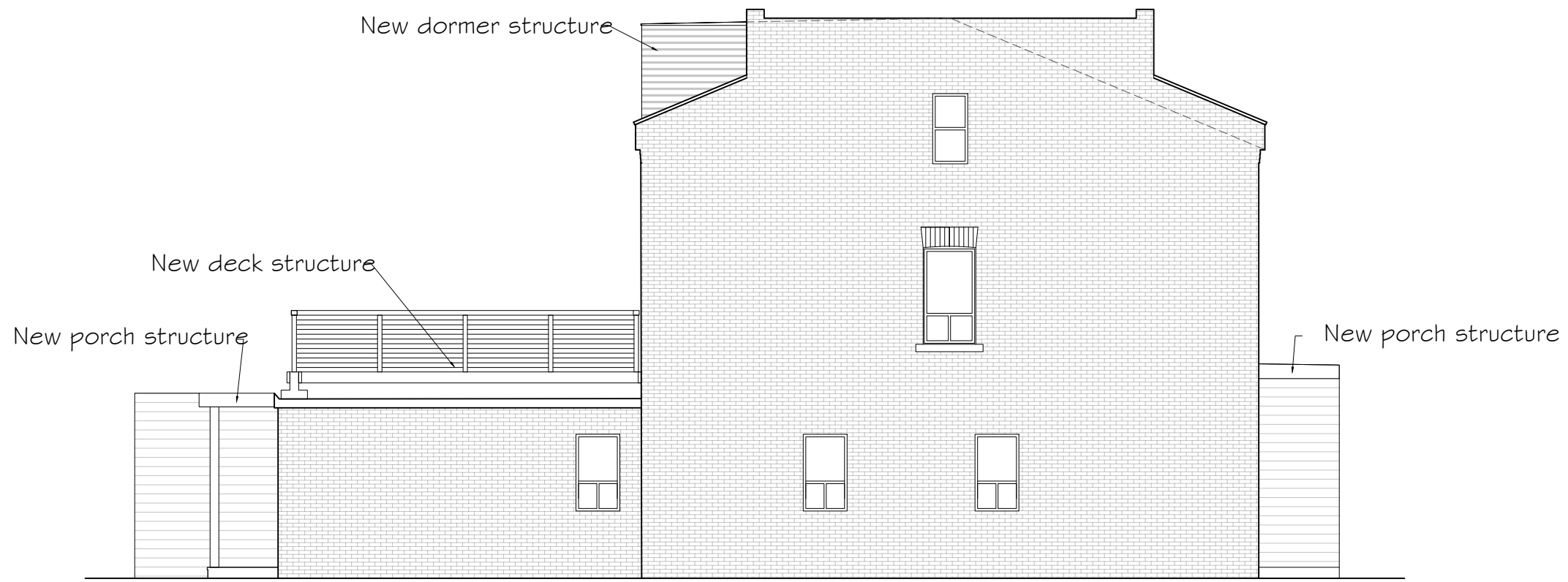
PAGE NUMBER: A 05



EAST ELEVATION



WEST ELEVATION



NORTH ELEVATION

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234 MACNAB ST N

PROJECT SITE:
234 MACNAB ST N
HAMILTON, ON

CLIENT NAME:
Geordie Manchester

DRAWN BY:
GEORDIE MANCHESTER

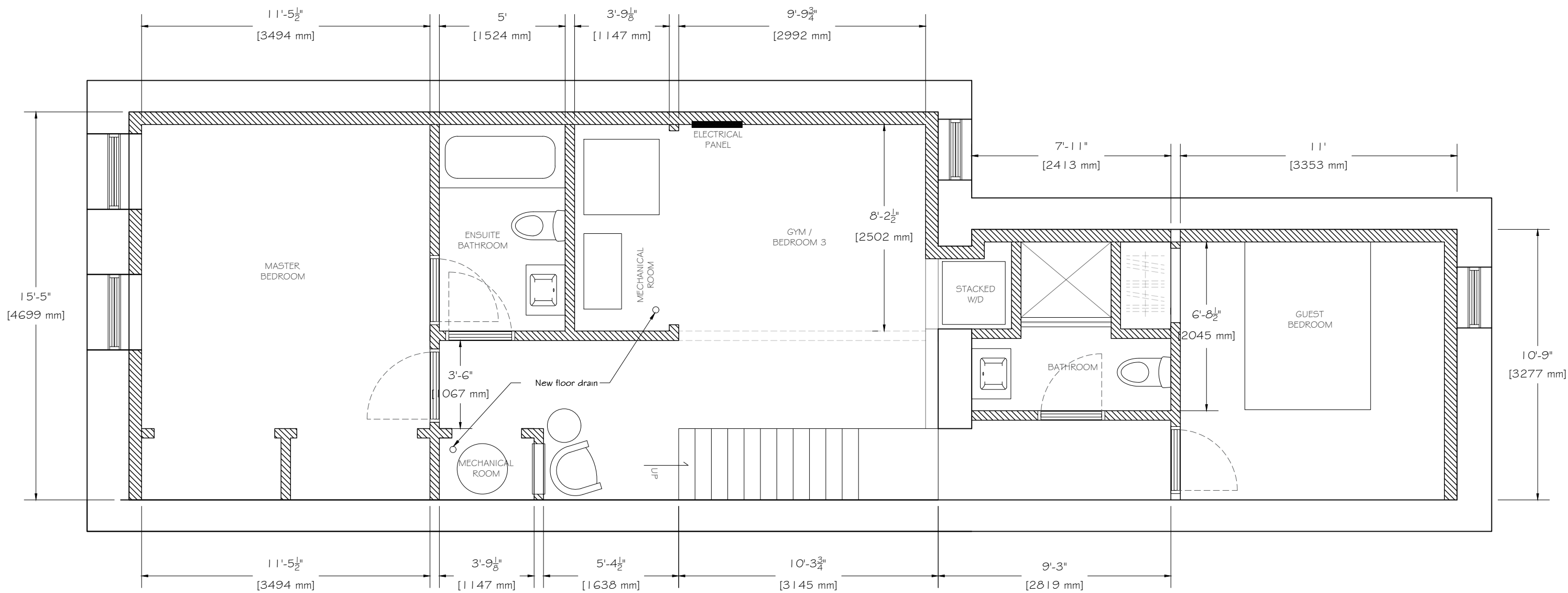
REVISION DATE:
October 7, 2021

DRAWING REVISION:
WELL-1 26-MACNAB-R03

DRAWING SCALE: $\frac{1}{8}'' = 1'0''$

DRAWING NAME:
PROPOSED ELEVATIONS

PAGE NUMBER: **A 07**



WALL LEGEND	
<div></div>	Existing walls to remain
<div></div>	Existing walls to be removed
<div></div>	New walls

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PROJECT NAME:
234 MACNAB ST N

PROJECT SITE:
234 MACNAB ST N
HAMILTON, ON

CLIENT NAME:
Geordie Manchester

DRAWN BY:
GEORDIE MANCHESTER

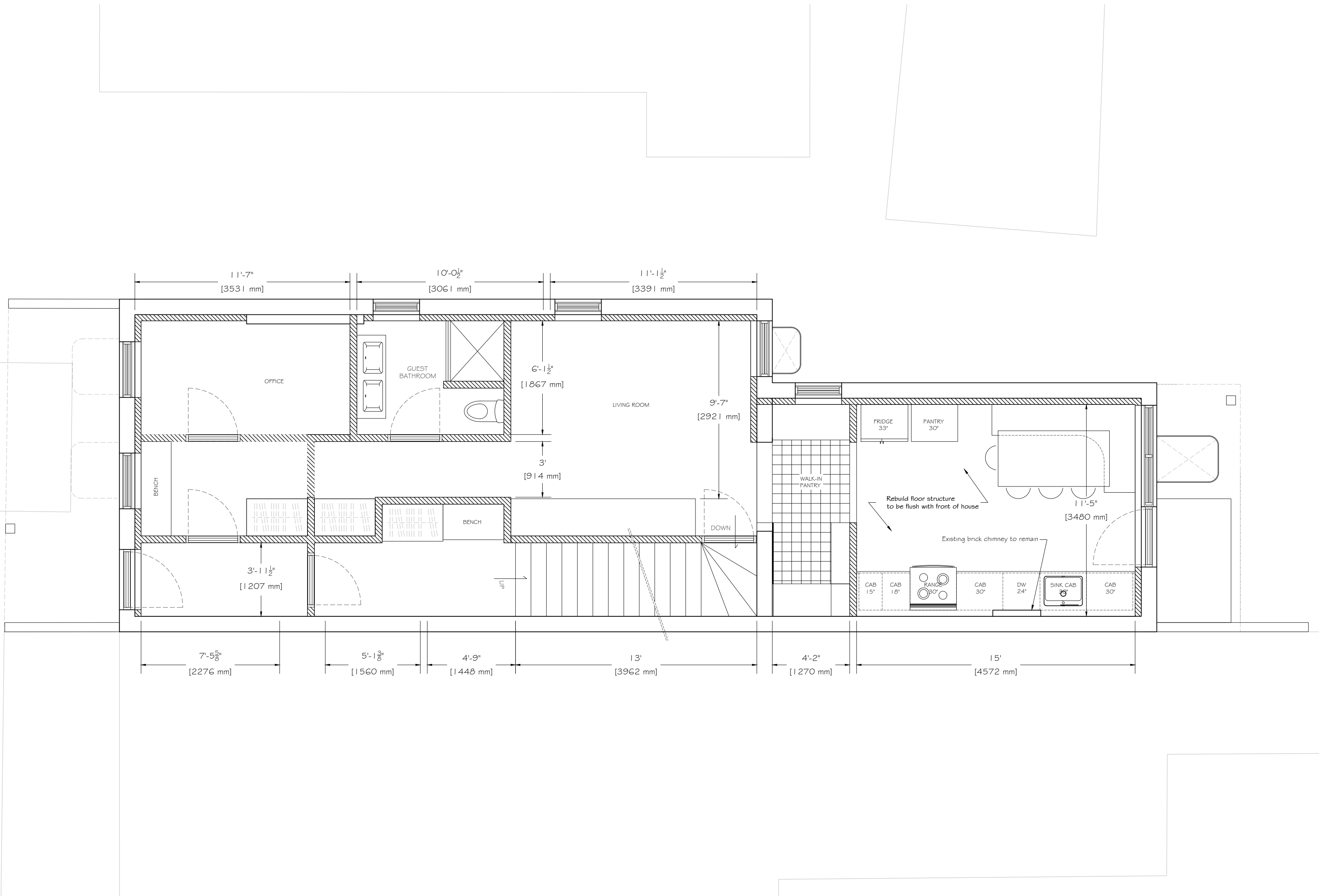
REVISION DATE:
October 7, 2021

DRAWING REVISION:
WELL-126-MACNAB-R03

DRAWING SCALE: 1/4" = 1'0"

DRAWING NAME:
PROPOSED BASEMENT PLAN
(UNIT 1)

PAGE NUMBER: A 08



WALL LEGEND

	Existing walls to remain
	Existing walls to be removed
	New walls

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PROJECT NAME:
234 MACNAB ST N

PROJECT SITE:
234 MACNAB ST N
HAMILTON, ON

CLIENT NAME:
Geordie Manchester

DRAWN BY:
GEORDIE MANCHESTER

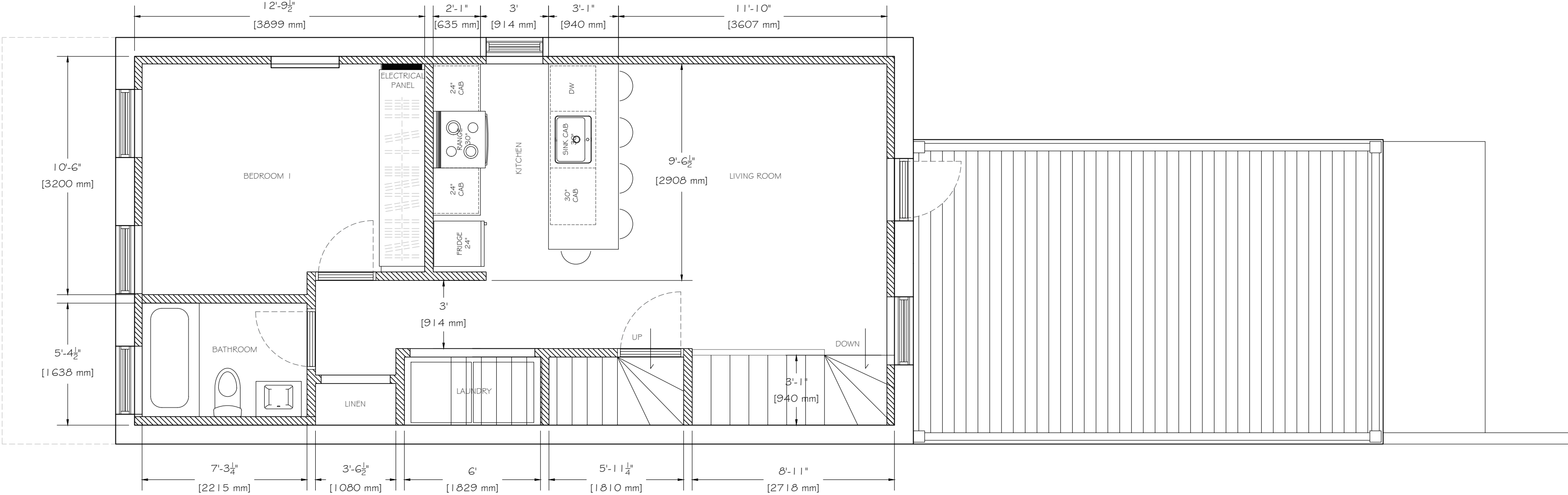
REVISION DATE:
October 7, 2021

DRAWING REVISION:
WELL-1 26-MACNAB-R03

DRAWING SCALE: $\frac{1}{4}'' = 1'0''$

DRAWING NAME:
PROPOSED GROUND FLOOR PLAN
(UNIT 1)

PAGE NUMBER: **A 09**



WALL LEGEND	
<div></div>	Existing walls to remain
<div></div>	Existing walls to be removed
<div></div>	New walls

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PROJECT NAME:
234 MACNAB ST N

PROJECT SITE:
234 MACNAB ST N
HAMILTON, ON

CLIENT NAME:
Geordie Manchester

DRAWN BY:
GEORDIE MANCHESTER

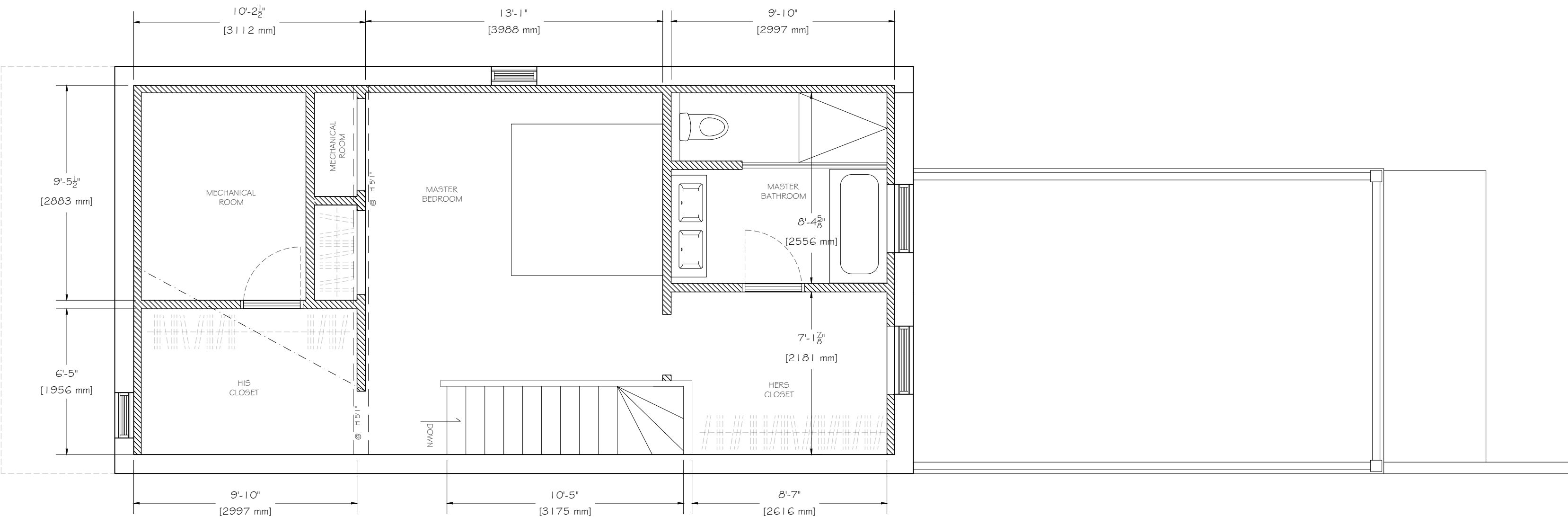
REVISION DATE:
October 7, 2021

DRAWING REVISION:
WELL-1 26-MACNAB-R03

DRAWING SCALE: $\frac{1}{4}'' = 1'0''$

DRAWING NAME:
PROPOSED 2ND FLOOR PLAN
(UNIT 2)

PAGE NUMBER: **A 10**



WALL LEGEND

	Existing walls to remain
	Existing walls to be removed
	New walls

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234 MACNAB ST N

PROJECT SITE:
234 MACNAB ST N
HAMILTON, ON

CLIENT NAME:
Geordie Manchester

DRAWN BY:
GEORDIE MANCHESTER

REVISION DATE:
October 7, 2021

DRAWING REVISION:
WELL-126-MACNAB-R03

DRAWING SCALE: $\frac{1}{4}" = 1'0"$

DRAWING NAME:
PROPOSED 3RD FLOOR PLAN
(UNIT 2)

PAGE NUMBER: **A 11**



Hamilton

Committee of Adjustment

City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

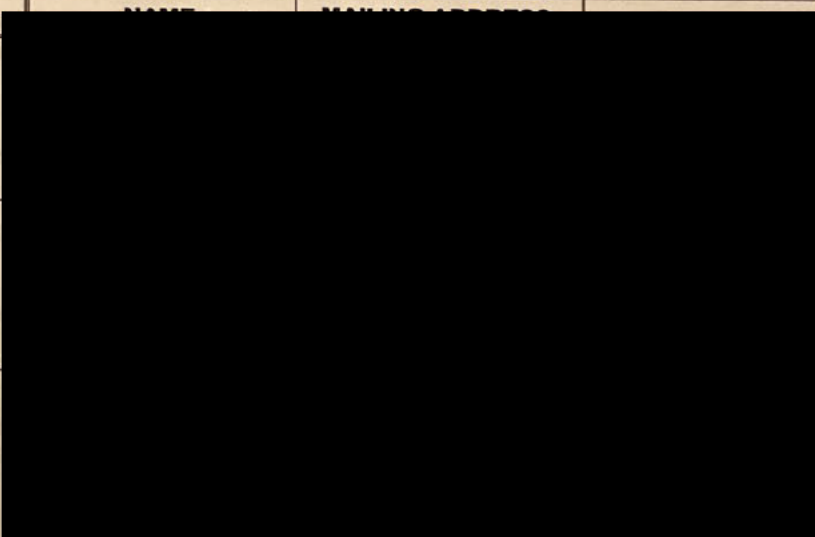
SECRETARY'S
SIGNATURE _____

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2

	NAME	MAILING ADDRESS
Registered Owners(s)		
Applicant(s)*		
Agent or Solicitor		

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Garde Manchester, 234 Macnab St. W Hamilton L8R2M6

John + Annette Manchester, 88 Lyndward. Lynden ON, L8P4A8

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

Side yard set backs, Height, and number of parking spaces and percentage of front yard green space

☒ Secondary Dwelling Unit ☐ Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

The secondary suite requires outdoor space which is easily provided by converting the kitchen roof to a deck (on property line) and a larger upstairs on existing walls makes a full generous suite (also on existing wall)

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

234 Macnab St. N. Hamilton L8R 2M6
See survey for other

7. PREVIOUS USE OF PROPERTY

Residential ☒ Industrial ☐ Commercial ☐

Agricultural ☐ Vacant ☐ Other ☐

Other _____

- 8.1 If Industrial or Commercial, specify use _____

- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐ No ☒ Unknown ☐

- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐ No ☒ Unknown ☐

- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐ No ☒ Unknown ☐

- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐ No ☒ Unknown ☐

- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐ No ☒ Unknown ☐

- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes ☐ No ☒ Unknown ☐

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ☐ No ☒ Unknown ☐

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

Previous ownership records and heritage insurance /
map.

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ☐ No ☐

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

15 Oct / 21

Date

Signature Property Owner(s)

George Maniketa

Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage

6.33 m

Depth

218 m²

Area

36.61 m

Width of street

9 m curb to curb

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: ground floor area: 75 m² width: 5.5 m
gross floor area: 142 m² length: 17.7 m
stories: 2 1/2 height: 10 m

See drawings

Proposed

ground floor area: 75 m² width: 5.5 m
gross floor area: 143 m² length: 17.7 m
stories: 2 1/2 height: 10 m

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing: Front: 1.25 m North side yard (2 1/2 stories): 0.84 m
Rear: 18.05 m North side yard (1 story): 1.90 m
South side yard: 0 m (party wall)

Proposed:

Same

13. Date of acquisition of subject lands:
June 29/2021
14. Date of construction of all buildings and structures on subject lands:
~ 1900 +/- 10 years
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
Single family
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
Single family, Duplex and Institutional (church)
17. Length of time the existing uses of the subject property have continued:
Since construction
18. Municipal services available: (check the appropriate space or spaces)
- | | | | |
|----------------|-------------------------------------|-----------|-------------------------------------|
| Water | <input checked="" type="checkbox"/> | Connected | <input checked="" type="checkbox"/> |
| Sanitary Sewer | <input checked="" type="checkbox"/> | Connected | <input checked="" type="checkbox"/> |
| Storm Sewers | <input type="checkbox"/> | | |
19. Present Official Plan/Secondary Plan provisions applying to the land:
D class zoning
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
By-law No. 21-076
21. Has the owner previously applied for relief in respect of the subject property?
Yes ☐ No ☒
If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the Planning Act?
Yes ☐ No ☒
23. Additional Information
See drawings for more info.
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.
See attached

PART 25 AFFIDAVIT OR SWORN DECLARATION

This declaration to be sworn by a Commissioner of Oaths.

I, Geordie Manchester of the City of Hamilton
in the Province of Ontario solemnly declare that:

All of the above statements are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

Declared before me at the

at the City of Hamilton)
in the Province)
of Ontario)
this 15 day of October A.D. 2021)

Applicant

A Commissioner, etc. Amanda L. Groves

PART 26 OWNERS AUTHORIZATION

As of the date of this application, I (NAME) Annette Dearling-Manchester, John Manchester, Geordie Manchester am the registered Owner(s) of the lands described in this application, and I have examined the contents of this application and hereby certify that the information submitted with the application is correct insofar as I have knowledge of these facts, and I hereby authorize:

Geordie Manchester of City of Hamilton

to act as my agent in this matter and to provide any of my personal information that will be included in this application or collected during the processing of the application.

DATE October 15, 2021

SIGNED

PART 27 CONSENT OF THE OWNER

Complete the consent of the owner concerning personal information set out below.

Consent of Owner to the Disclosure of Application Information and Supporting Documentation

Application information is collected under the authority of the *Planning Act*, R.S.O. 1990, c. P.13. In accordance with that Act, it is the policy of the City of Hamilton to provide public access to all *Planning Act* applications and supporting documentation submitted to the City.

Annette Dearling-Manchester,
I, John Manchester, Geordie Manchester, the Owner(s), hereby agree and acknowledge
(Print name of Owner(s))

that the information contained in this application and any documentation, including reports, studies and drawings, provided in support of the application, by myself, my agents, consultants and solicitors, constitutes public information and will become part of the public record. As such, and in accordance with the provisions of the *Municipal Freedom of Information and Protection of Privacy Act*, R.S.O. 1990, c. M.56, I hereby consent to the City of Hamilton making this application and its supporting documentation available to the general public, including copying and disclosing the application and its supporting documentation to any third party upon their request.

October 15, 2021

Date

Signature of Owner(s)