



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: SC/A-21:346

APPLICANTS: Agent GSP Group c/o J. Liberatore
Owner NHDG (Waterfront) Inc.

SUBJECT PROPERTY: Municipal address **310 Frances Ave., Stoney Creek**

ZONING BY-LAW: Zoning By-law Stoney Creek 3692-92 and Hamilton Zoning
By-law 05-200, as Amended

ZONING: "MUC-4 & P5" (Mixed Use Commercial &
Conservation/Hazard Lands) district

PROPOSAL: To permit the construction of a new mixed-use development
consisting of three (3) residential towers above ground floor
commercial uses notwithstanding that:

1. Accessory and communal areas related to a residential use (which may include; amenity areas, fitness areas, meeting rooms, bike/vehicle parking areas, lobbies and mail areas) shall be permitted on the ground floor level whereas the by-law only permits residential uses to be located above a commercial use.
2. The amenity area required for each one-bedroom dwelling unit shall be provided at a rate of 8.8m² per unit instead of the minimum required amenity area of 18.0m² per unit.
3. The amenity area required for each two-bedroom dwelling unit shall be provided at a rate of 8.8m² per unit instead of the minimum required amenity area of 53.0m² per unit.
4. A minimum of 36% of the lot area shall be comprised of landscaped open space instead of the minimum required 50%.
5. A landscape strip being 6.0m wide shall be provided abutting the P5 zone instead of the minimum 9.0m wide landscape strip required to be provided abutting any non-commercial or non-industrial zoned lands.
6. Pedestrian walkways and vehicular driveways shall be permitted within a required landscape strip and landscaped open space and may also include the following: Servicing structures and fixtures, i.e. catch basins, manholes, valve boxes etc., Existing and proposed transformers, Traffic control signs, Light standards and fixtures, Armour stone landscape walls, Site and maintenance accesses and Rain Gardens and Infiltration (clear stone) Galleries.
7. Parking for apartment dwelling units shall be provided at a rate of 1.25 parking spaces per dwelling unit instead of the minimum required 1.5 parking spaces per unit.

NOTES:

i. These variances are necessary to facilitate Site Plan Control Application DA-19-020. Please be advised that floor plans and elevations drawings have not been submitted as part of this Minor Variance application, therefore a comprehensive zoning review could not be completed at this time. As such, variances have been written as requested by the applicant. The applicant shall ensure that all other zoning regulations as noted in previous Building Division comments for DA-19-020 can be complied with.

This application will be heard by the Committee as shown below:

DATE: Thursday, December 9th, 2021
TIME: 1:40 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

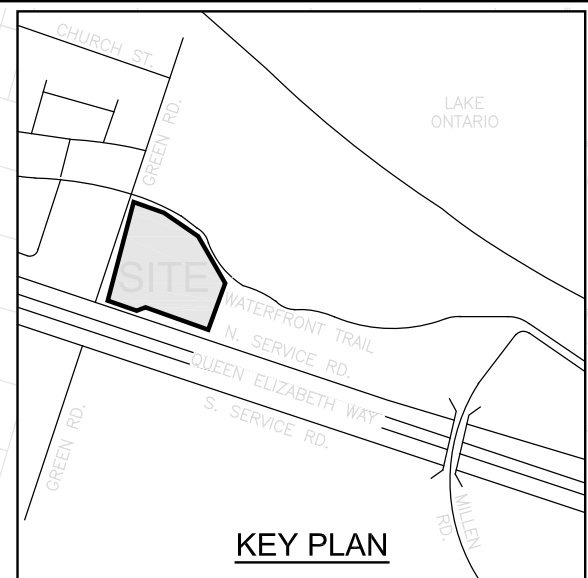
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: November 23rd, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND JOB CONDITIONS BEFORE PROCEEDING WITH WORK.
 ALL DRAWINGS MAY BE SUBJECT TO CHANGE DUE TO COMMENTS FROM MUNICIPAL DEPARTMENTS AND OTHER AGENCIES WITH AUTHORITY.
 ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECTS AND MUST BE RETURNED AT THE COMPLETION OF THE WORK.
 THE CONTRACTOR WORKING FROM DRAWINGS NOT SPECIFICALLY MARKED FOR CONSTRUCTION MUST ASSUME FULL RESPONSIBILITY AND BEAR COSTS FOR ANY CORRECTIONS OR DAMAGES RESULTING FROM HIS OR HER WORK.

KEY TO DETAIL LOCATION

No.	DETAIL NUMBER
No.	DRAWING SHEET NUMBER

DRAWING SETS ISSUED	No.	DATE (DD.MM.YY)	BY
SITE PLAN APPROVAL	1.	19.12.2018	MB
SITE PLAN RESUBMISSION	2.	25.03.2020	MB
ZONING RESUBMISSION	3.	09.11.2021	MB

ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED

REVISIONS TO DRAWING	No.	DATE (DD.MM.YY)	BY
NOT FOR CONSTRUCTION			

BUILDING PERMIT NUMBER:
 NOT FOR CONSTRUCTION WITHOUT PERMIT

KNYMH
 ARCHITECTURE • SOLUTIONS

KNYMH INC.
 1006 SKYVIEW DRIVE • SUITE 101
 BURLINGTON, ONTARIO • L7P 0V1
 T 905.639.6595
 F 905.639.0394
 www.knymh.com info@knymh.com

PROJECT NORTH

ONTARIO ASSOCIATION OF ARCHITECTS
 OF
 PRZEMYSŁAW MYSZKOWSKI
 LEISURE
 1984

NHDG (WATERFRONT) INC

WATERFRONT TRAILS PH 3
 310 FRANCES AVE
 STONEY CREEK, ONTARIO

DRAWING SHEET TITLE:
SITE PLAN

DRAWING SCALE: 1:350
 PROJECT NUMBER: 17305

DRAWN BY: MB
 CHECKED BY: MB
 DRAWING VERSION: WH
 PLOT DATE: November 9, 2021
 DRAWING SHEET NUMBER: **SP1**

1 SITE PLAN
 SP1 1:350

TIMES/DATE: 2021-11-09 4:25:21 PM FILE PATH: C:\2021\17305 - Waterfront Trails Phase 3\1. Drawings\17305 - Site Plan\103000.dwg

CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND JOB CONDITIONS BEFORE PROCEEDING WITH WORK.
 ALL DRAWINGS MAY BE SUBJECT TO CHANGE DUE TO COMMENTS FROM MUNICIPAL DEPARTMENTS AND OTHER AGENCIES WITH AUTHORITY.
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KEY TO DETAIL LOCATION

No.	DETAIL NUMBER
Circle	DRAWING SHEET NUMBER

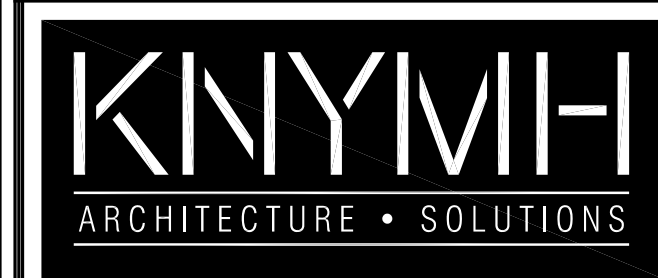
DRAWING SETS ISSUED	No.	DATE (DD.MM.YY)	BY
SITE PLAN APPROVAL	1.	18.12.2018	MB
SITE PLAN RESUBMISSION	2.	25.03.2020	MB
ZONING RESUBMISSION	3.	09.11.2021	MB

ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED

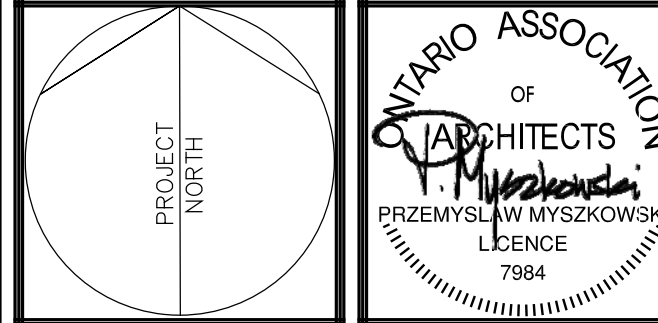
REVISIONS TO DRAWING	No.	DATE (DD.MM.YY)	BY
NOT FOR CONSTRUCTION			

BUILDING PERMIT NUMBER:
 NOT FOR CONSTRUCTION WITHOUT PERMIT

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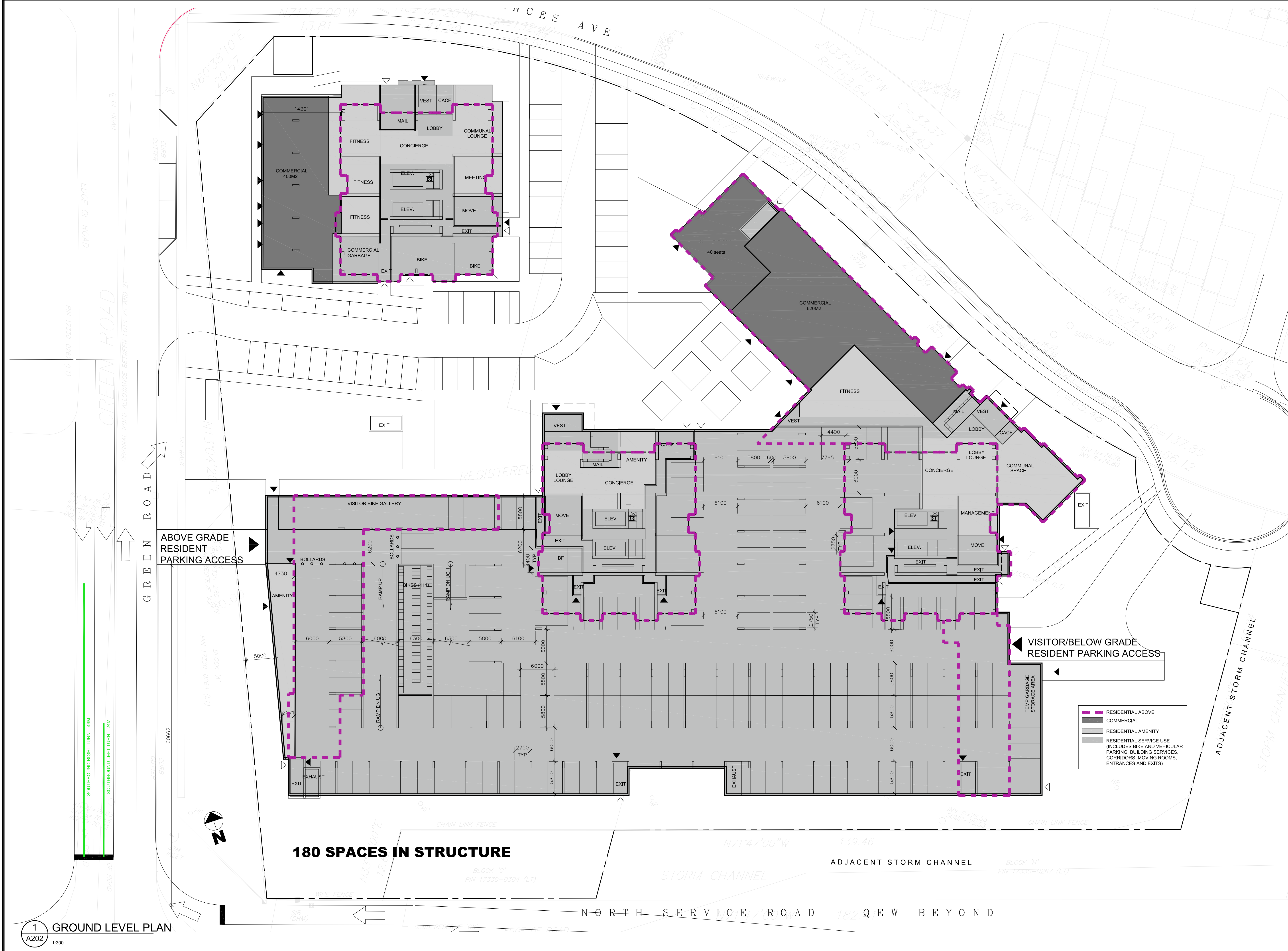
NHDG (WATERFRONT) INC

WATERFRONT TRAILS PH 3
 310 FRANCES AVE
 STONEY CREEK, ONTARIO

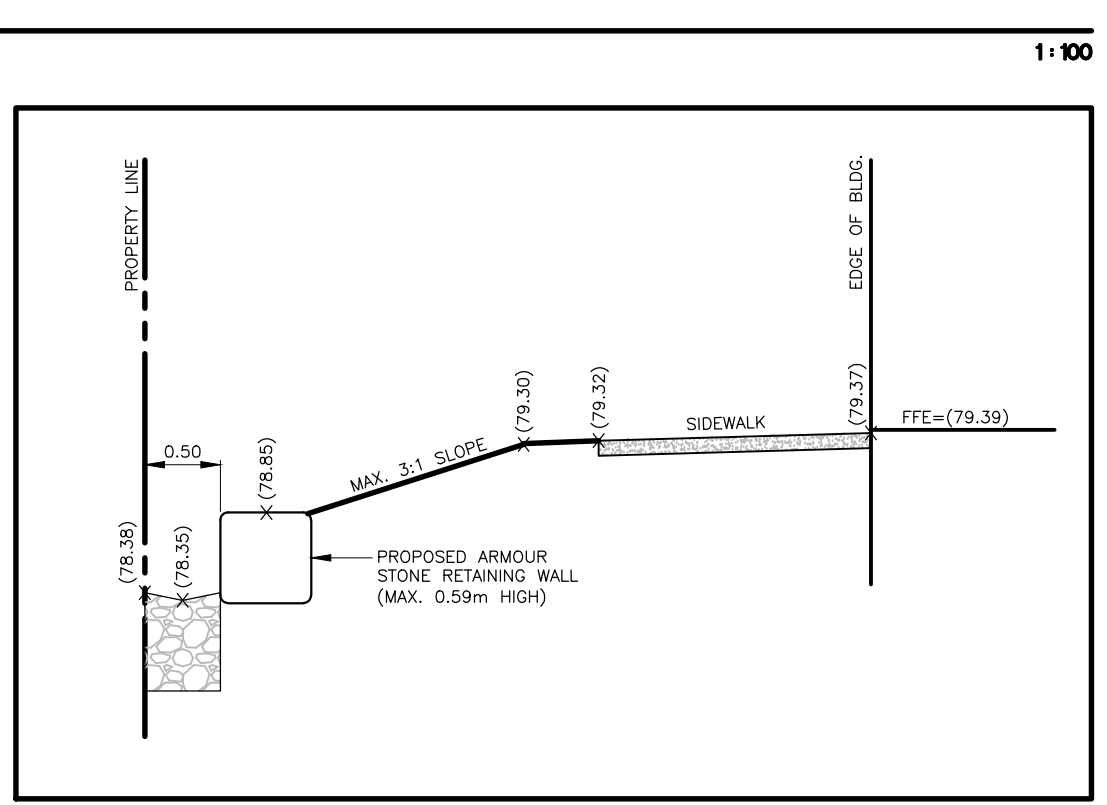
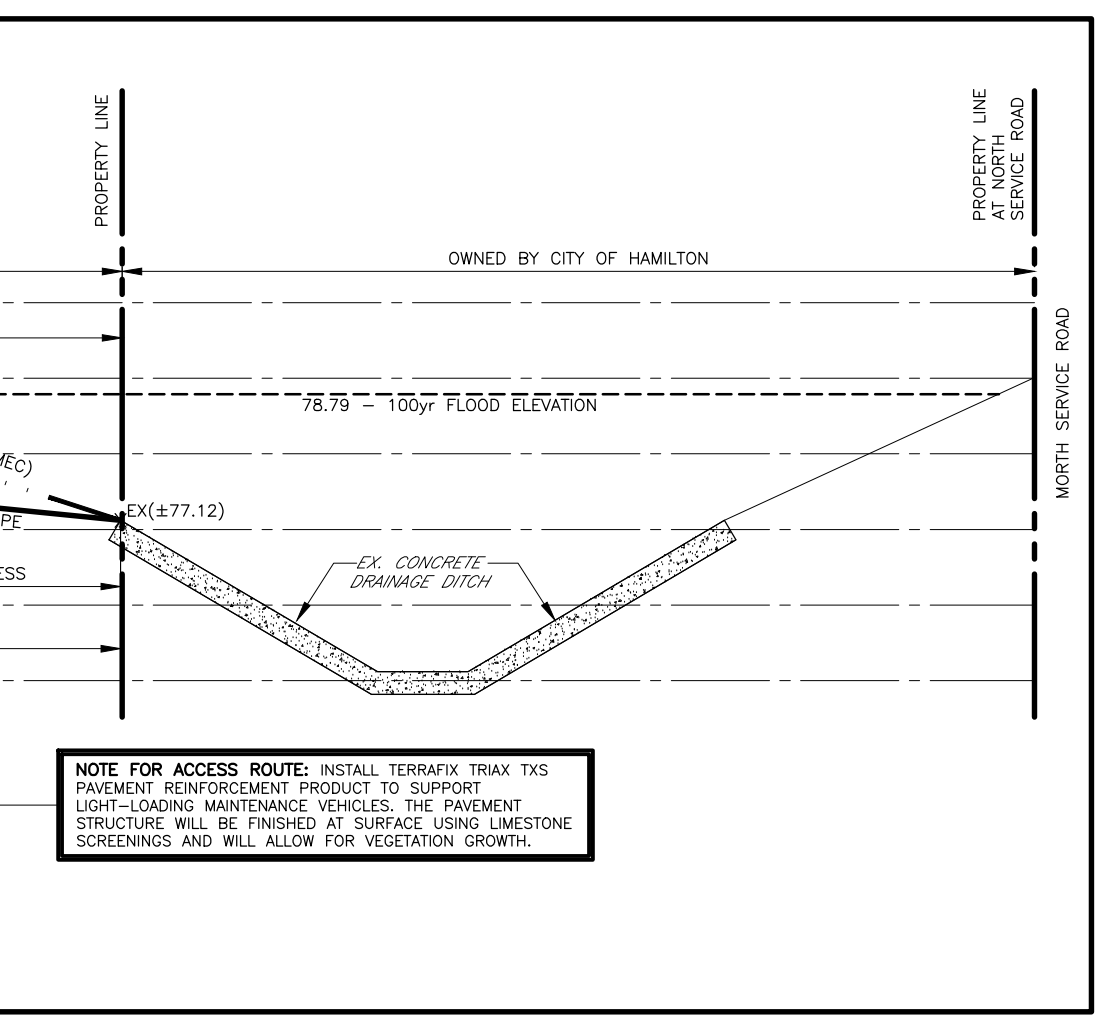
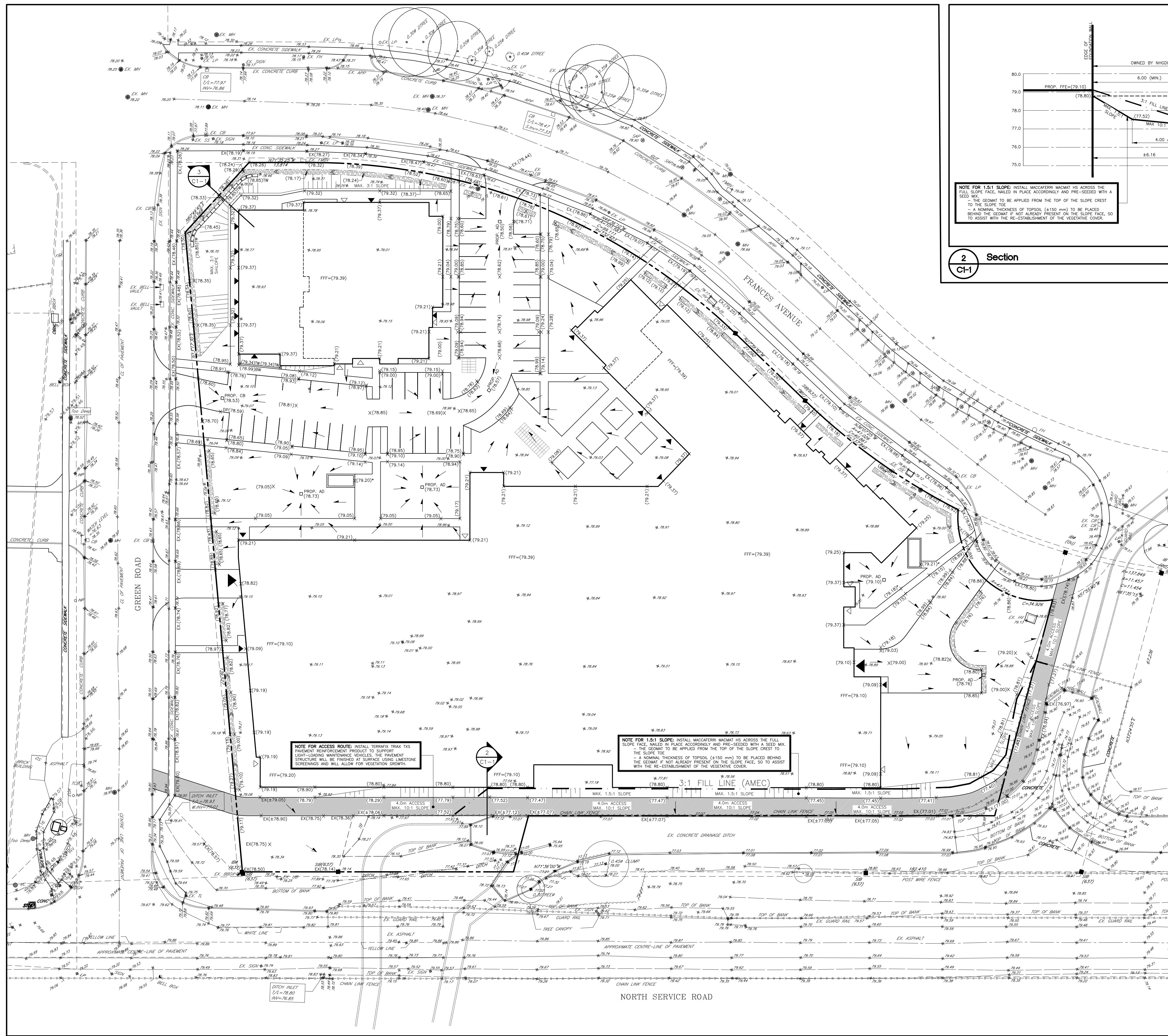
DRAWING SHEET TITLE:
GROUND LEVEL PLAN

DRAWING SCALE: 1:300
 PROJECT NUMBER: **17305**

DRAWN BY: whf
 CHECKED BY: whf
 DRAWING VERSION: whf
 PLOT DATE: November 09, 2021
 DRAWING SHEET NUMBER: **A202**



1 GROUND LEVEL PLAN
 A202
 1:300



LEGEND

- XXXXXX EXISTING GRADE
- XXXXXX PROPOSED GRADE
- EX(XXXXXX) PROPOSED GRADE = EXISTING GRADE
- FFE(XXXXXX) PROPOSED FINISHED FLOOR ELEVATION
- (XXXXXX)TW PROPOSED TOP OF WALL GRADE
- (XXXXXX)BW PROPOSED BOTTOM OF WALL GRADE
- (XXXXXX)TW/BW PROPOSED TOP OF WALL = BOTTOM OF WALL
- PROPOSED SHEET FLOW DIRECTION
- EXISTING SHEET FLOW DIRECTION
- RAIN GARDENS AND INFILTRATION GALLERIES
- APP APPROACH
- CB CATCH BASIN
- EX EXISTING
- FH FIRE HYDRANT
- HP HYDRO POLE
- LP LIGHT POLE
- MH MANHOLE
- PROP. PROPOSED
- SS STOP SIGN

GENERAL GRADING NOTES:

- GRADING ON ADJACENT LANDS NOT OWNED BY THE DEVELOPER: THE DEVELOPER IS REQUIRED TO OBTAIN PERMISSION TO CARRY OUT THE GRADING ON THE ADJACENT LANDS. IF SUCH PERMISSION TO GRADE ON THE LANDS ADJACENT TO THE SITE IS NOT OBTAINED BY THE DEVELOPER, OR IF PERMISSION IS WITHDRAWN PRIOR TO CARRYING OUT THE GRADING, THE DEVELOPER IS REQUIRED TO REVISE THE GRADING PLAN AS REQUIRED, AND RESUBMIT THE PLAN TO THE CITY FOR APPROVAL.
- ANY CHANGES IN GRADES AND/OR CATCH BASINS, REQUIRES THE APPROVAL OF THE DIRECTOR DEVELOPMENT DIVISION, PLANNING AND DEVELOPMENT DEPARTMENT FOR THE CITY OF HAMILTON.
- ALL DRIVEWAYS FROM PROPERTY LINES FOR THE FIRST 7.5m SHALL BE WITHIN 5% MAXIMUM GRADE, THEREAFTER, ALL DRIVEWAYS SHALL BE WITHIN 10% MAXIMUM GRADES AS PER CITY STANDARDS.
- THE APPROVAL OF THIS GRADING PLAN DOES NOT EXEMPT THE OWNER'S BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:
 - ROAD CUT PERMITS
 - APPROACH APPROVAL PERMITS
 - RELOCATION SERVICES
 - COMMITTEE OF ADJUSTMENT
 - ENCROACHMENT AGREEMENTS (IF REQUIRED)

BEFORE STARTING WORK

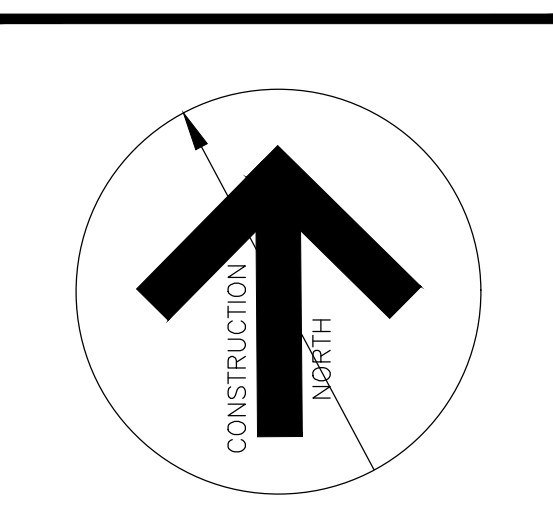
- THE CONTRACTOR SHALL NOTIFY THE CITY OF HAMILTON AND LANHACK CONSULTANTS INC. AT LEAST 48 HOURS PRIOR TO COMMENCING CONSTRUCTION.
- THE POSITION OF THE POLE LINES, CONDUITS, WATERMANS, SEWERS, AND OTHER UTILITIES AND STRUCTURES ARE NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND WHERE SHOWN, THE ACCURACY AND DISTURBED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE ENGINEER, AT THE CONTRACTOR'S EXPENSE.
- BEFORE THE COMMENCEMENT OF CONSTRUCTION, ALL BENCHMARKS, ELEVATIONS, DIMENSIONS, AND GRADES MUST BE CHECKED BY THE CONTRACTOR AND ANY DISCREPANCIES REPORTED TO THE ENGINEER.
- ALL EXISTING UNDERGROUND UTILITIES SHALL BE LOCATED, MARKED, AND PROTECTED. ANY UTILITIES DAMAGED OR DISTURBED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE ENGINEER, AT THE CONTRACTOR'S EXPENSE.
- AT LEAST TWO DIFFERENT BENCHMARKS MUST BE REFERRED TO AT ALL TIMES.

SILTATION AND EROSION CONTROL

- SILTATION CONTROL BARRIERS SHALL BE PLACED AS DETAILED.
- ALL SILTATION CONTROL MEASURES SHALL BE CLEANED AND MAINTAINED AFTER EACH RAINFALL AS DIRECTED AND TO THE SATISFACTION OF THE CITY OF HAMILTON.
- ADDITIONAL SILT CONTROL LOCATIONS MUST BE REQUIRED AS DETERMINED BY THE CITY OF HAMILTON.

GENERAL EARTHWORKS NOTES:

- THE SUB-GRADE SOILS EXPOSED AFTER EXCAVATION SHALL BE INSPECTED AND CERTIFIED BY A QUALIFIED REGISTERED PROFESSIONAL SOILS ENGINEER AND A COPY OF THE REPORT SHALL BE FORWARDED TO THE CITY OF HAMILTON BUILDINGS DIVISION, WHERE THE FOOTING SHALL BE SITUATED ON FULL MATERIAL. THE FOOTINGS SHALL BE DESIGNED AND APPROVED BY QUALIFIED REGISTERED PROFESSIONAL ENGINEER.
- ALL FILL PLACED ON THE SITE SHALL BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR DRY DENSITY. A SUFFICIENT NUMBER OF TESTS SHALL BE TAKEN AT VARIOUS LEVELS SATISFACTORY TO THE DIRECTOR OF ENGINEERING. TEST RESULTS SHALL BE SENT TO THE CITY WITH A LETTER, SIGNED AND STAMPED BY THE SOILS ENGINEER, STATING THAT A SUFFICIENT NUMBER OF TESTS HAVE BEEN TAKEN AND THE MINIMUM DEGREE OF COMPACTION HAS BEEN REACHED.



Contractor must verify all dimensions on the Project Site and report any discrepancies before proceeding with the Work.

This drawing is a part of the Contract Documents and is to be read in conjunction with all other Contract Documents.

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Revision Record

No.	Description	Date (m/d/y)
A	ISSUED FOR MINOR VARIANCE APPLICATION	11/10/21

Issue Record

No.	Description	Date (m/d/y)
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NHDGI Waterfront Trails Phase 3

310 FRANCES AVENUE
HAMILTON, ON

Date: OCTOBER 2021
Drawn By: GRW
Chkd By: SMP
Scale: AS NOTED

Preliminary Grading Plan w/ Sections

Project No.: 1709IA Drawing No.: C1-1 Rev.: A
Plot Date: 11/10/21
1709IA-C01 - Grading and Servicing Plan

1 Preliminary Grading Plan



Lamarre Consulting Group Inc.

25 Brookside Terrace, Smithville, ON L0R 2A0

(905) 818 5205 Phone/Fax j.lamarre@cogeco.ca e-mail

November 9, 2021

Mr. Steve Pongracz
LANHACK Consultants Inc.
Consulting Engineers
1709 Upper James Street
Hamilton, ON. L9B 1K7

Re: Waterfront Trails III
310 Frances Avenue, Stoney Creek
Flood Line Impacts

Lamarre Consulting Group Inc. was retained to review the potential impact of revisions to the proposed fill for the Waterfront Trails III (WFT III) development adjacent to Watercourse No. 1 in the City of Stoney Creek.

This site was included in the Green Millen Shores Estates Stormwater Management Report prepared by AMEC (March 2012). This report addressed the potential impacts of filling on the subject lands. Watercourse No.1 is a concrete lined channel abutting the south and east sides of the WFT III property. The AMEC report assumed the WFT III property would be filled in order to remove the property from the flood plain. The AMEC report assumed a 3:1 fill slope on the property from the top of concrete channel lining, approximate elevation 77.0, to elevation 79.0. With this proposed fill, and the development in place, the flood level in the channel would vary from 78.76 (Sect 325) to 78.79 (Section 480). Based on the AMEC modeling the proposed fill would not result in a measurable impact on the upstream flood levels (Table 5.7 – Page 20).

The proposed grading concept for the WFT III development calls for the 3:1 slope to be modified to a 4.0m maintenance slope at 10% crossfall and a 1.5:1 reinforced slope up to the face of the underground parking garage wall at elevation 78.80. The lowest building opening would be set to 79.09 to provide 0.3m freeboard to the 100yr flood level in the channel. This proposed cross section results in the placement of less fill within the existing flood plain. With the modified cross section the flood lines remain essentially unchanged from the original AMEC proposal varying from 78.75 (Sect 325) to 78.80 (Section 480).



Lamarre Consulting Group Inc.

25 Brookside Terrace, Smithville, ON L0R 2A0

(905) 818 5205 Phone/Fax j.lamarre@cogeco.ca e-mail

The estimated channel velocity ranges from 0.65m/s to 1.29m/s. The overbank velocity ranges from 0.08m/s to 0.18m/s. Hence grassed overbank areas would be stable as the velocity is well below the typical threshold velocity for erosion. The existing concrete channel would be stable under 100yr flood conditions as the velocity is well below the threshold velocity for a concrete lined channel. Hence, no additional lands would be required to allow for lateral channel movement.

Digital copies of the AMEC report and the updated HEC-RAS modeling can be provided upon request.

Lamarre Consulting Group

A handwritten signature in cursive script that reads "John D. Lamarre".

John D. Lamarre, P.Eng.





Lamarre Consulting Group Inc.

25 Brookside Terrace, Smithville, ON L0R 2A0

(905) 818 5205 Phone/Fax j.lamarre@cogeco.ca e-mail

Profile Output Table - Standard Table 1
 HEC-RAS Plan: UNRES SP WF Profile: 100 YR (SPILL)

Rivers = 1
 # Hydraulic Reaches = 3
 # River Stations = 15
 # Plans = 1
 # Profiles = 1

Reach	River Sta	Profile	Q Total (m3/s)	Min Ch El (m)	W.S. (m)	Elev Crit (m)	W.S. (m)	E.G. Elev (m/m)	E.G. Slope (m/s)	Vel Chnl (m2)	Flow Area (m)	Top Width	Froude #	Chl
WC-12	295	100 YR (SPILL)	52.80	74.72	78.76	76.54	78.80		0.000048	1.02	189.06	381.98	0.19	
WC-12	305	100 YR (SPILL)	52.80	74.72	78.76		78.80		0.000048	1.02	189.24	382.04	0.19	
WC-12	315	100 YR (SPILL)	52.80	74.72	78.76		78.80		0.000048	1.02	189.45	382.12	0.19	
WC-12	325	100 YR (SPILL)	52.80	74.72	78.75		78.82		0.000065	1.29	89.96	100.28	0.22	
WC-1	420	100 YR (SPILL)	25.67	74.90	78.81		78.83		0.000018	0.65	49.86	22.48	0.12	
WC-1	480	100 YR (SPILL)	25.67	75.05	78.80		78.83		0.000024	0.75	44.49	20.97	0.13	
WC-1	510.2	100 YR (SPILL)	25.67	75.20	78.84	75.80	78.84		0.000006	0.30	229.45	213.47	0.05	
WC-1	601.25	Bridge												
WC-1	601.3	100 YR (SPILL)	30.00	75.52	79.09	76.76	79.16		0.000102	1.10	27.23	207.79	0.19	
WC-1	601.4	100 YR (SPILL)	30.00	76.25	79.08	77.56	79.17		0.000451	1.30	23.10	102.47	0.26	
WC-1	736	100 YR (SPILL)	31.06	76.31	79.19		79.22		0.000320	1.13	93.17	147.26	0.22	
WC-1	755	100 YR (SPILL)	31.06	76.30	79.19		79.23		0.000271	0.87	46.23	46.11	0.19	
WC-1	865	100 YR (SPILL)	31.06	76.70	79.21		79.27		0.000470	1.09	37.59	40.73	0.25	
WC-2	376	100 YR (SPILL)	23.77	74.88	78.82		78.84		0.000015	0.64	52.13	30.91	0.11	
WC-2	424.2	100 YR (SPILL)	23.77	75.22	78.84	76.68	78.84		0.000015	0.41	320.70	371.79	0.07	



Hamilton

Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME
Registered Owners(s)	NHDG (Waterfront) Inc
Applicant(s)*	Same as above.
Agent or Solicitor	GSP Group Inc.

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:
Please refer to Planning Justification Brief

Secondary Dwelling Unit Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?
Please refer to Planning Justification Brief.
Design elements and providing more appropriate ratios for apartment uses.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):
310 Frances Ave.
All of Lot 4, Block G, Part of Lot 5 Registered Plan M-101

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial
Agricultural Vacant Other

Other _____

- 8.1 If Industrial or Commercial, specify use _____
- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
Yes No Unknown
- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?
Yes No Unknown
- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
Yes No Unknown
- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
Yes No Unknown
- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
Yes No Unknown
- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?
Yes No Unknown
- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
Yes No Unknown
- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?
Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

Knowledge of Landowner

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

September 9, 2021

Date



Signature Property Owner(s)

NHDG (Waterfront) Inc.

Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage + - 58.9m along North Service Road

Depth Varies

Area _____

Width of street + - 26m Frances Ave and Green Road, NSR +- 22m

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _

None

Proposed

See attached plans.

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

None

Proposed:

See attached plans.

15.5m to front lot line (North Service Road) - required 0m,, 3.7m to southern side lot line - required 3m, 24.9m to eastern side lot line - required 3m, 5m to rear lot line (Frances Ave), 5m to side lot line (Green Road) - required 0m

13. Date of acquisition of subject lands:

14. Date of construction of all buildings and structures on subject lands:
N/A

15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
Vacant
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
East - Storm water management chanel. (north, west, south abut municipal rds)
17. Length of time the existing uses of the subject property have continued:
N/A
18. Municipal services available: (check the appropriate space or spaces)
- | | | | |
|----------------|-------------------------------------|-----------|--------------------------|
| Water | <input checked="" type="checkbox"/> | Connected | <input type="checkbox"/> |
| Sanitary Sewer | <input checked="" type="checkbox"/> | Connected | <input type="checkbox"/> |
| Storm Sewers | <input checked="" type="checkbox"/> | | |
19. Present Official Plan/Secondary Plan provisions applying to the land:
Neighbourhoods
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
MUC-4 (ZBL 6392-92), P5 (ZBL 05-200)
21. Has the owner previously applied for relief in respect of the subject property?
Yes No
If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
Yes No
23. Additional Information
See attached Planning Justification Brief.
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.