

## **NOTICE OF PUBLIC HEARING** **Minor Variance**

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**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
  - Applicant/agent on file, or
  - Person likely to be interested in this application
- 

**APPLICATION NO.:** AN/A-21:397

**APPLICANTS:** Owners Massimo & Daniela Eramo

**SUBJECT PROPERTY:** Municipal address **282 Robina Rd., Ancaster**

**ZONING BY-LAW:** Zoning By-law 87-57, as Amended 18-105

**ZONING:** "ER" (Existing Residential) district

**PROPOSAL:** To permit the construction of an accessory building on the side yard of the existing single detached dwelling notwithstanding that;

1. A maximum ground floor area of 102.19 m<sup>2</sup> shall be provided instead of the maximum permitted of 40.0 m<sup>2</sup>; and

2. A minimum southerly side yard setback of 1.1 m shall be provided instead of the minimum required 1.5 m setback from any side lot line located in an Existing Residential "ER" Zone.

Notes:

Variances have been written as requested by the applicant.

This application will be heard by the Committee as shown below:

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**DATE:** Thursday, December 9th, 2021  
**TIME:** 2:05 p.m.  
**PLACE:** Via video link or call in (see attached sheet for details)  
To be streamed at  
[www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)  
for viewing purposes only

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### **PUBLIC INPUT**

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

## MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

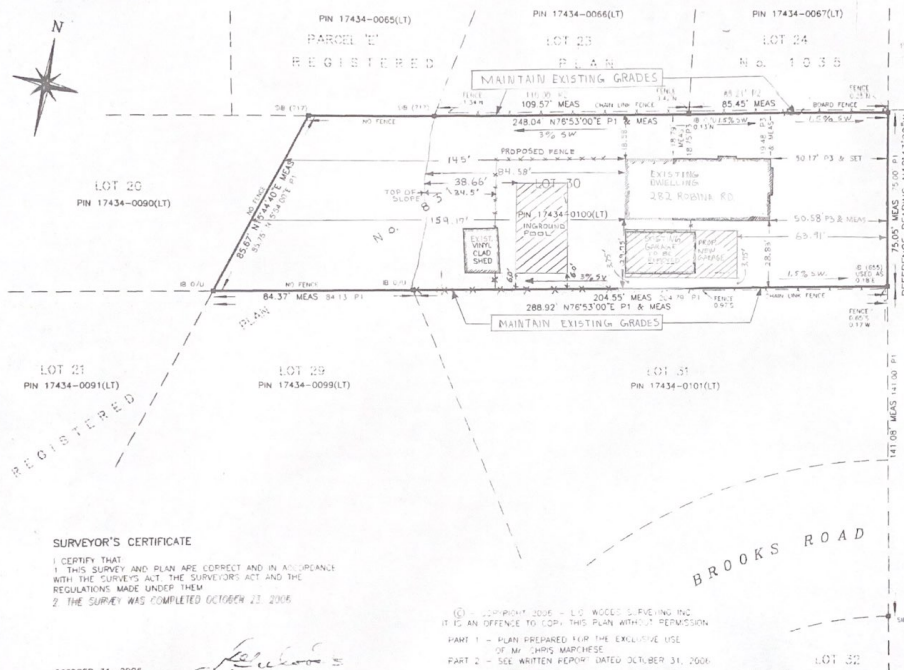
- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

DATED: November 23rd, 2021.

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

***Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.***



SURVEYOR'S REAL PROPERTY REPORT (PART 1)

PLAN SHOWING  
LOT 30  
REGISTERED PLAN No. 831  
MAPLE LANE SURVEY  
IN THE FORMER  
TOWN OF ANCASTER  
IN THE  
CITY OF HAMILTON

SCALE 1" = 30'  
0' 30' 60' 90' feet  
L.C. WOODS SURVEYING INC.  
2006

LEGEND:

- D DENOTES PLANTED MONUMENT
- DENOTES FOUND MONUMENT
- DENOTES IRON BAR
- DENOTES STANDARD IRON BAR
- /○ DENOTES OPEN UNKNOWN
- P1 DENOTES REGISTERED PLAN No. 831
- P2 DENOTES REGISTERED PLAN No. 1035
- P3 DENOTES PLAN B-1 - PETERS, O.L.S.
- 655 DENOTES J. T. PETERS, O.L.S.
- 717 DENOTES J. J. PETERS, O.L.S.
- 1135 DENOTES L. C. WOODS, O.L.S.

BEARING NOTE:

BEARINGS ARE MAGNETIC AND ARE REFERRED TO  
THE WESTERN LIMIT OF ROBINA ROAD SHOWN ON PLAN  
831 AT N12°45'20" W

IMPERIAL NOTE:

DISTANCES SHOWN ON THIS PLAN ARE IN FEET AND  
CAN BE CONVERTED TO METRES BY MULTIPLYING BY  
0.3048

L.G. WOODS SURVEYING INC.  
PROFESSIONAL LAND SURVEYORS

334 HATT STREET - DUNDAS DISTRICT  
CITY OF HAMILTON, L9H 2H9  
TEL (905) 627-0978 - FAX (905) 627-2818

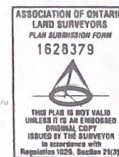
SURVEYOR'S CERTIFICATE

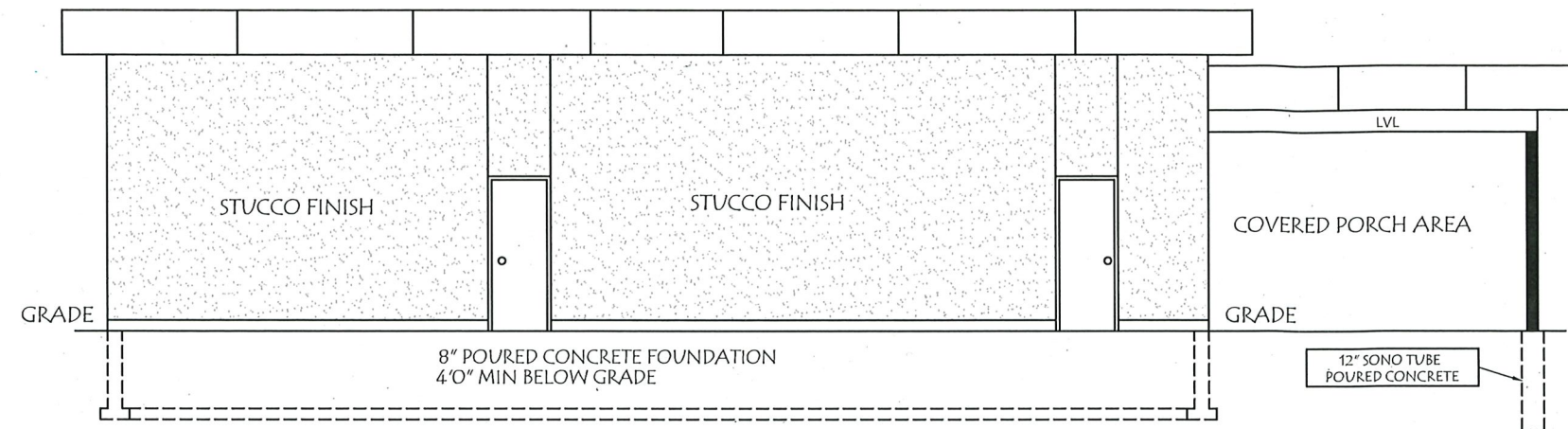
I CERTIFY THAT:  
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE  
WITH THE SURVEYORS ACT AND THE  
REGULATIONS MADE UNDER THEM  
2. THE SURVEY WAS COMPLETED OCTOBER 23, 2006

OCTOBER 31, 2006  
DATE

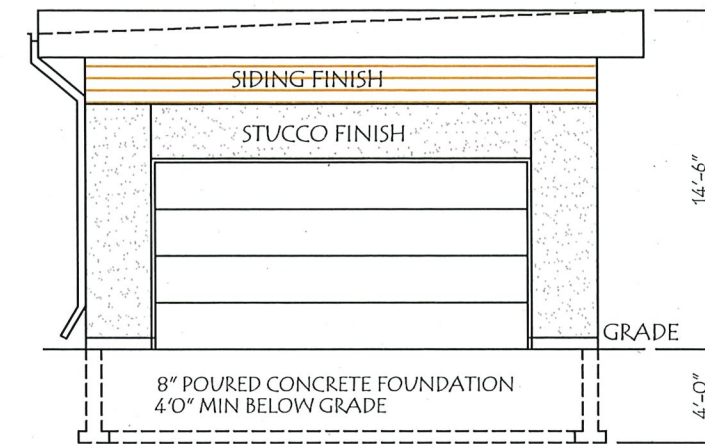
*L.G. Woods*  
L.G. WOODS, O.L.S., O.L.S.P.

© - COPYRIGHT 2006 - L.C. WOODS SURVEYING INC.  
IT IS AN OFFENCE TO COPY THIS PLAN WITHOUT PERMISSION  
PART 1 - PLAN PREPARED FOR THE EXCLUSIVE USE  
OF MY CLIENTS PURPOSE  
PART 2 - SEE WRITTEN REPORT DATED OCTOBER 31, 2006

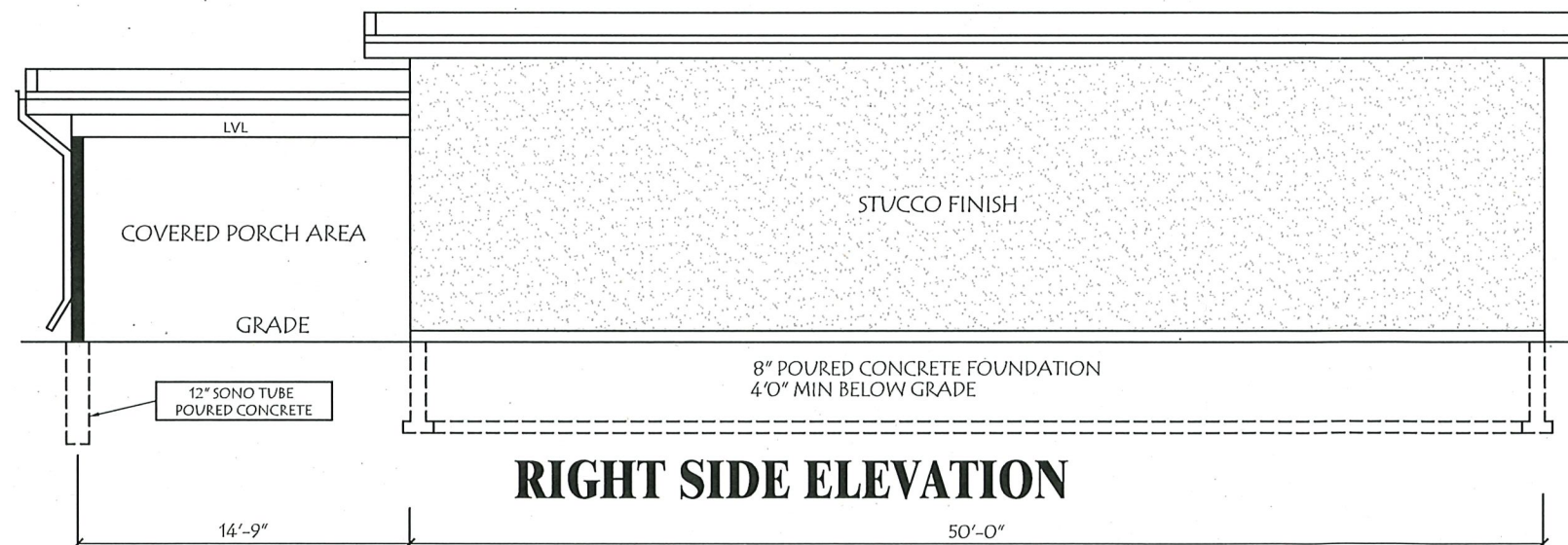




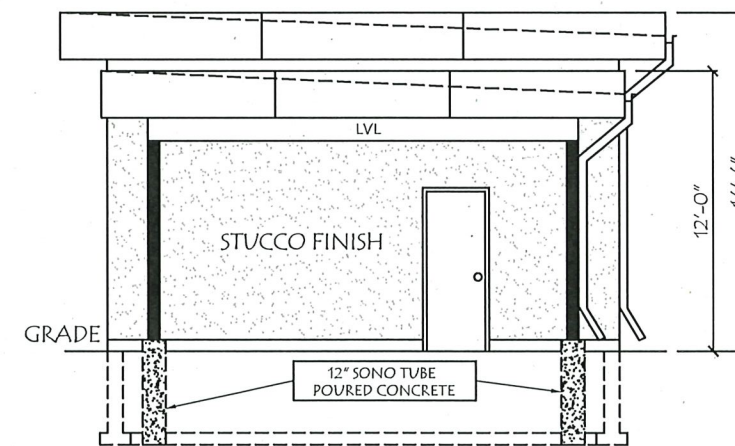
**LEFT SIDE ELEVATION**



**FRONT ELEVATION**



**RIGHT SIDE ELEVATION**



**REAR ELEVATION**

**RECEIVED**  
**SEP 22 2021**  
**REPLIED**

| AREA       | FT <sup>2</sup> | ELEVATIONS   |  | DRAWING SCALE 1/8" = 1'   |                   |
|------------|-----------------|--|--|---------------------------|-------------------|
| TOTAL AREA | 1100            | PROPOSED GARAGE<br>FOR<br>MASSIMO ERAMO<br>282 ROBINA DR. ANCASTER<br>ONTARIO, L9G 2L7 |  | DRAWN BY MASS.E.          |                   |
|            |                 |  |  | DATE DRAWN SEPT. 22, 2021 |                   |
|            |                 |  |  | CHECKED BY                |                   |
|            |                 |  |  | DATE PRINTED              |                   |
|            |                 |  |  | PROJECT NO.               | DRAWING NO.<br>A1 |



- 7.2 ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE CONSTRUCTION SAFETY ACT 1990 & SUBSEQUENT AMENDMENTS.
- 7.3 REMOVE ALL TOPSOIL, ORGANIC & LOOSE FILL MATERIAL FROM BUILDING AREA BEFORE COMMENCING CONSTRUCTION.
- 7.4 REMOVE ALL LOOSE OR SOFTENED AREAS BENEATH SLAB ON GRADE BEFORE PLACING GRANULAR FILL.
- 7.5 ALL FOOTINGS SHALL BEAR ON UNDISTURBED SOIL WITH A MINIMUM SOL BEARING CAPACITY OF 3000 P.S.F.
- 7.6 ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM 4'-0" BELOW FINISHED EXTERIOR GRADE TO PROTECT FOOTINGS FROM FROST ACTION.
- 7.7 ALL CONCRETE SUPPLY & INSTALATION TO CONFORM TO CSA STANDARD A 23.
- 7.8 REINFORCING STEEL SHALL BE DEFORMED HI-BOND HARD GRADE WITH A MINIMUM YIELD STRENGTH OF 58,000 P.S.I.
- 7.9 CONCRETE WALLS ARE 200mm(8") U.N.O.
- 7.10 TOP OF ALL FOUNDATION WALLS TO BE MIN. 150mm (6") AT EXTERIOR MASONRY ABOVE FINAL GRADE.
- 7.11 CONCRETE FOR SLABS ONGRADE SHALL HAVE A MINIMUM 28 DAY STRENGTH OF 25MPa (4,000 P.S.I.)
- 7.12 ALL CONCRETE FORMS TO BE WET THOROUGHLY BEFORE POURING CONCRETE.
- 7.13 DO NOT ADD WATER TO CONCRETE. IF HIGHER SLUMP CONCRETE IS REQUIRED, CONCRETE SUPPLIER SHALL DESIGN AND SUPPLY ACCORDINGLY.
- 7.14 WATER CURING OF CONCRETE IS RECOMMENDED.
- 7.15 USE A MINIMUM OF 8 INCH COMPACTED LAYER OF 3/4" CLEAR STONE UNDER ALL GROUND SLABS.
- 7.16 CONCRETE COVER FOR REINFORCING STEELSHALL BE PROVIDED AS FOLLOWS: FTGS = 3"; WALLS = 2".
- 7.17 SPACING OF CONTROL JOINTS IN CONCRETE SLABS SHALLNOT EXCEED 20'-0" O.C.

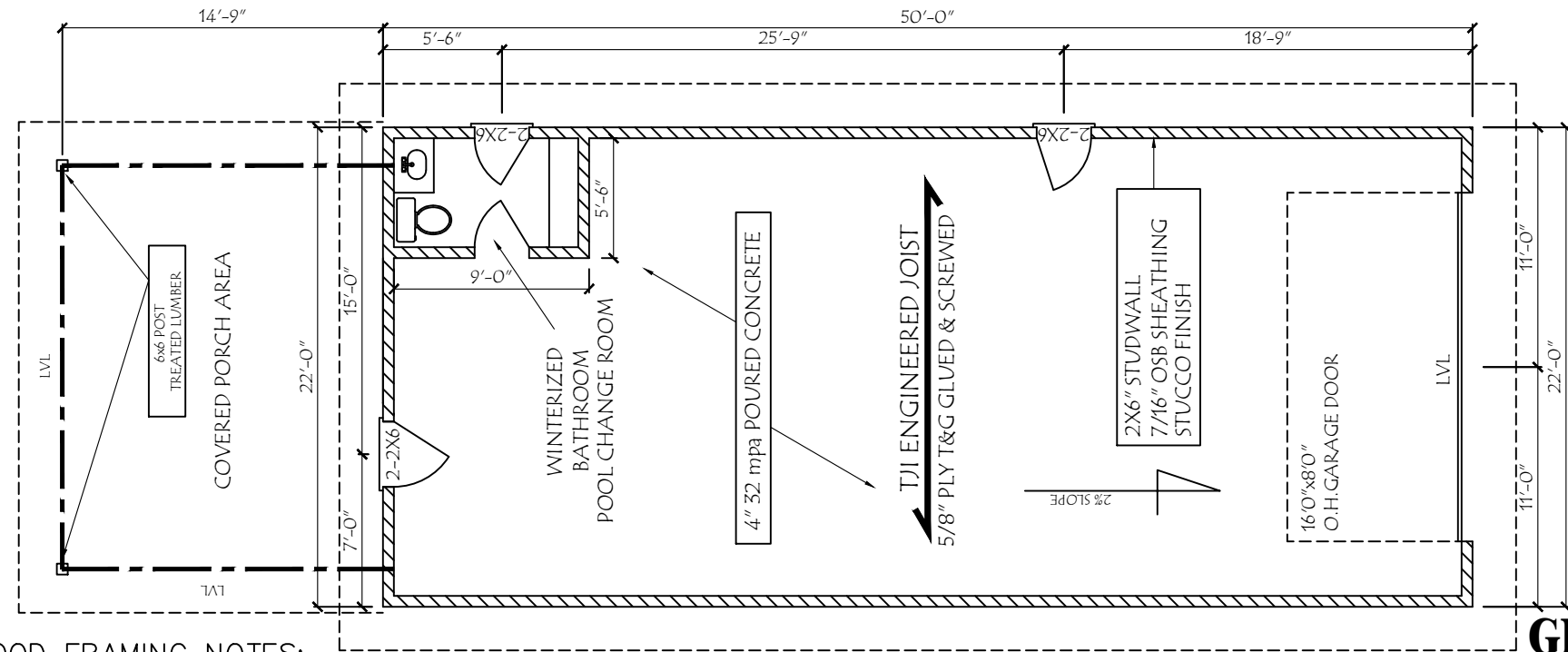
GARAGE TO HAVE 4" CONC. SLAB FLOOR WITH REINF'D STEEL RODS,  
SLAB MINIMUM 32 MPa 6-8% AIR. 2% FLOOR PITCHED TO DRAIN TO OUTDOORS, MIN. 2% SLOPE & 8" CLEAR 3/4" GRANULAR BASE.

11.1 FLASHING IS REQUIRED UNDER ALL JOINTED SILLS  
OVERHEADS OF WINDOWS & DOORS IN EXTERIOR  
WALLS IF DISTANCE BELOW EAVE IS MORE THAN 1/4  
ROOF OVERHANG.

11.2 FLASHING BETWEEN ROOF SHINGLES 0.8mm(20GA)  
GALV. METAL 75mm( 3") UP BEHIND SHEATHING &  
EXTEND 75 mm (3") HORIZONTALLY.

- 2.1 MIN. 70mm(2 3/4") THICKNESS UP TO 11m (36'-1") MAX. HEIGHT.
- 2.2 TIES TO BE CORROSION RESISTANT, CORRUGATED 7.6mm( 22GA) 22mm (7/8") WIDE SPACED 400mm (16") O.C HORIZONTAL & 600mm ( 24") VERTICAL NAILED TO STUDS THROUGH THE SHEATHING.
- 2.3 PROVIDE 25mm (1") AIR SPACE BETWEEN MASONRY VENEER & WALL SHEATHING.
- 2.4 DRAIN BOTTOM OF SPACE WITH WEEP HOLES @ 800mm ( 2'-7") O/C IN STARTER COURSE MIN. 150mm ( 6") ABOVE FINISHED GRAD, 10mm ( 3/8") DIAMETER HOLES.
- 2.5 PROVIDE 6 MIL POLYETHYLENE FLASHING UNDER STARTER COURSE UNDER WEEP HOLES & 150mm ( 6") UP THE WALL, UNDER SHERATHING PAPER.
- 2.6 MAX. CORBEL OVER FOUNDATION WALL 13mm (1/2").

EXTERIOR WALLS:  
STUCCO FINISH  
7/16" OSB SHEATHING  
2"x6" STUDS @ 16" C/C  
1/2" DRYWALL



13.7 NAILING REQUIREMENTS ( PER O.B.C. 2017) SHALL BE AS FOLLOWS:

- (1) VERTICAL STUDS TO BOTTOM PLATES : 4-#3 ARDOX NAILS.
- (2) VERTICAL STUDS TO TOP PLATES : 4-3 1/2" ARDOX NAILS.
- (3) ROOF TRUSSES TO PLATES: PER TRUSS MANUFACTURER.
- (4) WIND BRACING (PER TRUSS):
- (5) WIND BRIDGING (PER TRUSS):
- (6) LINTELS: 3 1/2" ARDOX NAILS @ 12" O.C. HORIZONTAL  
& @ 4" O.C. VERTICAL STAGGERED.
- (7) WALL SHEATHING 1 1/2" ARDOX NAILS @ 8" O.C. TO  
STUDS & PLATES.

13.8 THE GENERAL CONTRACTOR SHALL TAKE PRECAUTIONS TO NOT OVERLOAD THE STRUCTURE DURING CONSTRUCTION.

13.9 ALL FRAMING LUMBER TO O.B.C. 2017 STANDARDS. SIZES OF JOINTS LINTELS, ETC., INDICATED ON TDRAWINGS SPECIFIED AS # 2 U.N.O.

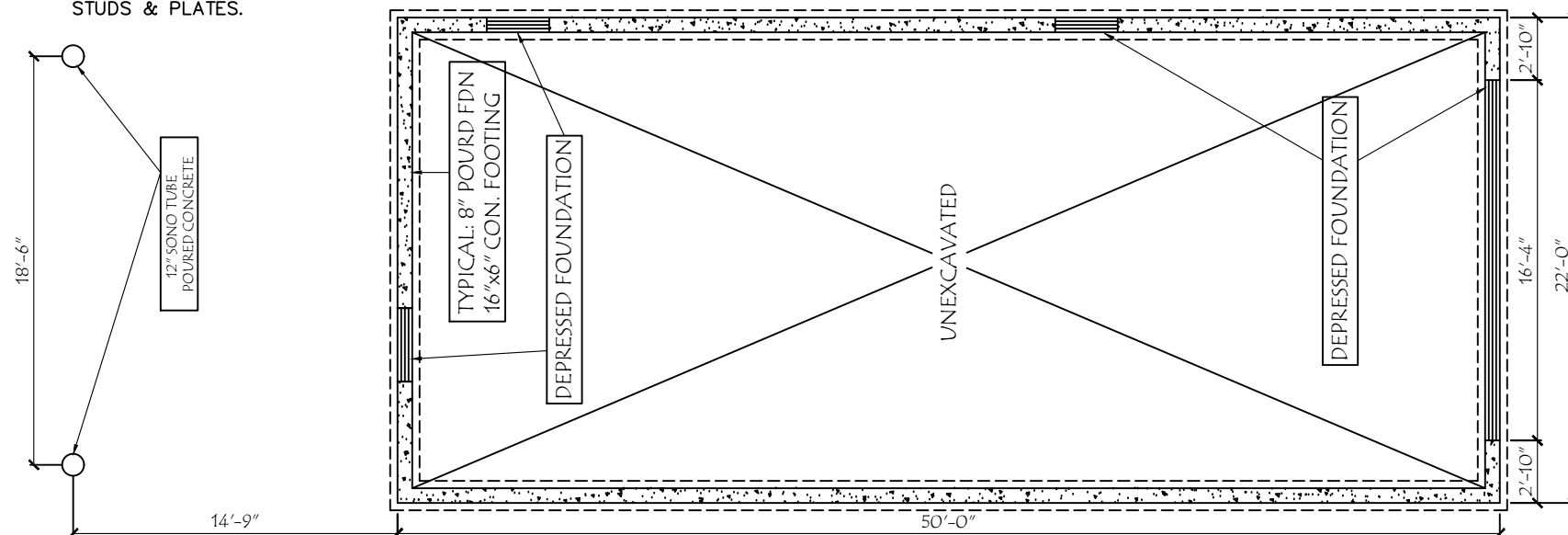
13.10 LATERAL SUPPORT ( WALLS SUPPORTING JOISTS) ANCHOR SILL PLATES @ 2400 mm (7'-10") O.C. W/13mm ( 1/2") DIAMETER ANCHOR BOLTS EMBEDDED 100mm(4") INTO CONCRETE FOUNDATION WALL.

13.13 MINIMUM SILL PLATES 38mmx89mm ( 2"x4").

13.14 SILL PLATE ANCHORS TO BE MINIMUM 13mm(1/2") DIAMETER ANCHOR BOLTS EMBEDDED 100mm(4") INTO CONCRETE FOUNDATION WALLS, MAXIMUM SPACING 2400mm (7'-10") O.C. AS PER 9.23.7 O.B.C. 2006.

13.20 MINIMUM 38mm (1 1/2") END BEARING REQUIRED FOR JOIST SUPPORT FOR CEILING ROOF & RAFTER JOISTS.

## GROUND FLOOR PLAN



## FOUNDATION PLAN

|            |  |                 |  |  |  |                          |             |
|------------|--|-----------------|--|--|--|--------------------------|-------------|
| AREA       |  | FT <sup>2</sup> |  | FLOOR PLAN & NOTES<br><br>PROPOSED GARAGE<br>FOR<br>MASSIMO ERAMO<br>282 ROBINA DR. ANCASTER<br>ONTARIO, L9G 2L7 |  | DRAWING SCALE 1/8" = 1'  |             |
| TOTAL AREA |  | 1100            |  |  |  | DRAWN BY MASS.E.         |             |
|            |  |                 |  |  |  | DATE DRAWN SEPT. 22,2021 |             |
|            |  |                 |  |  |  | CHECKED BY               |             |
|            |  |                 |  |  |  | DATE PRINTED             |             |
|            |  |                 |  |  |  | PROJECT NO.              | DRAWING NO. |
|            |  |                 |  |  |  |                          | A2          |

**Committee of Adjustment**

City Hall, 5<sup>th</sup> Floor,  
71 Main St. W.,  
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**APPLICATION FOR A MINOR VARIANCE**

FOR OFFICE USE ONLY.

APPLICATION NO. \_\_\_\_\_ DATE APPLICATION RECEIVED \_\_\_\_\_

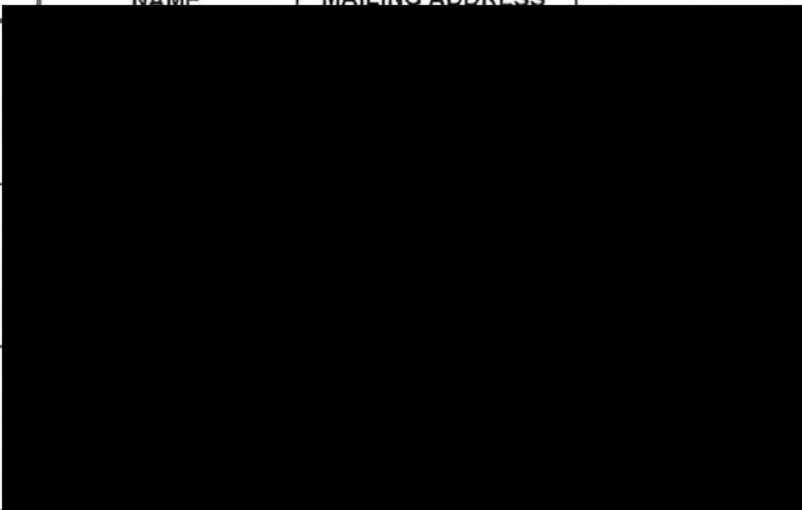
PAID \_\_\_\_\_ DATE APPLICATION DEEMED COMPLETE \_\_\_\_\_

SECRETARY'S  
SIGNATURE \_\_\_\_\_

**The Planning Act****Application for Minor Variance or for Permission**

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2

|                      | NAME   | MAILING ADDRESS |
|----------------------|--|-----------------|
| Registered Owners(s) |  |                 |
| Applicant(s)*        |  |                 |
| Agent or Solicitor   |  |                 |

**Note:** Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

- 8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ☐ No ☒ Unknown ☐

- 8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

IT'S A RESIDENTIAL SUBDIVISION SINCE 1950'S

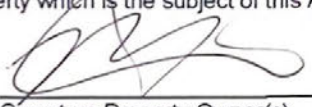
- 8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ☐ No ☐

### 9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

OCT 26, 2021  
Date

  
Signature Property Owner(s)

MASSIMO ERAMO  
Print Name of Owner(s)

10. Dimensions of lands affected:

|                 |                            |
|-----------------|----------------------------|
| Frontage        | 22.86m (75'-0")            |
| Depth           | 88.063m (288.92')          |
| Area            | 187.84m (20,137.5 sq. ft.) |
| Width of street | 6m (19.685')               |

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: HOUSE - GFA = 1690.5 sqft (157.05 m<sup>2</sup>)  
1.5 STORY

W = 8.1788m L = 19.20m H = 4.437m

Proposed

SHED - GFA = 300 sqft (27.87 m<sup>2</sup>) 1 STORY  
W = 4.572m L = 6.096m

NEW GARAGE GFA = 1100 sqft (102.19 m<sup>2</sup>)

1-STORY W = 22'-0" (6.7056m) L = 50'-0" (15.24m) H = 14'-6" (4.4196m)

EXISTING  
GARAGE  
TO BE REMOVED  
GFA = 51.1m  
W = 5.588 L = 9.14m  
H = 3/4m  
1 STORY

12. Location of all buildings and structures on or proposed for the subject lands: (Specify distance from side, rear and front lot lines)

|           |                 |                   |                 |
|-----------|-----------------|-------------------|-----------------|
| Existing: | HOUSE           | 50'-0" (15.24m)   | FRONT LOT LINE  |
|           |                 | 28.83' (8.787m)   | LEFT SIDE YARD  |
|           |                 | 19.48' (5.937m)   | RIGHT SIDE YARD |
|           |                 | 159.17' (48.515m) | REAR LOT LINE   |
|           | GARAGE          | 83'-0" (25.298m)  | FRONT LOT LINE  |
|           | (TO BE REMOVED) | 6.21' (1.893m)    | LEFT SIDE YARD  |
|           |                 | 159.17' (48.515m) | REAR LOT LINE   |

SHED 160'-0" (48.768m) FRONT LOT LINE  
6'-0" (1.829m) LEFT SIDE YARD  
116'-0" (35.4m) REAR LOT LINE



13. Date of acquisition of subject lands:  
OCT 2018
14. Date of construction of all buildings and structures on subject lands:  
HOUSE ADDITION 2020 SHED N/A GARAGE N/A
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):  
SINGLE FAMILY
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):  
SINGLE FAMILY
17. Length of time the existing uses of the subject property have continued:  
64 YEARS
18. Municipal services available: (check the appropriate space or spaces)
- |                |                                     |           |                          |
|----------------|-------------------------------------|-----------|--------------------------|
| Water          | <input checked="" type="checkbox"/> | Connected | <input type="checkbox"/> |
| Sanitary Sewer | <input checked="" type="checkbox"/> | Connected | <input type="checkbox"/> |
| Storm Sewers   | <input type="checkbox"/>            |           |                          |
19. Present Official Plan/Secondary Plan provisions applying to the land:  
N/A
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:  
ER ZONE
21. Has the owner previously applied for relief in respect of the subject property?  
Yes ☐ No ☒  
If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?  
Yes ☐ No ☒
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.