

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: HM/A-21:398

APPLICANTS: Owners Chris & Crystal Caco

SUBJECT PROPERTY: Municipal address **111 South Bend Rd. E., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended

ZONING: "C" (Urban Protected Residential, etc) district

PROPOSAL: To permit the construction of a new roofed-over unenclosed front porch and a new accessory building located in the rear yard of the existing single family dwelling notwithstanding that:

1. The accessory building shall be 4.7m from the flankage side lot line (along Dodson Street) instead of the minimum required 6.0m setback from a flankage side lot line.
2. The minimum required 6.0m wide manoeuvring space required for each parking space may be provided off-site whereas the by-law requires all manoeuvring spaces to be provided on the lot.

NOTES:

- i. The Hamilton Zoning By-law 6593 permits a maximum building height of 4.0m for an accessory building. The plans provided have not illustrated building height as defined by the Hamilton Zoning By-law 6593 (Measured from Grade to the upper most point of the building), as such compliance with this regulation could not be determined. Please be advised that further variances may be required in the height of the proposed accessory building exceeds 4.0m.

This application will be heard by the Committee as shown below:

DATE: Thursday, December 9th, 2021
TIME: 2:10 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: November 23rd, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

SITE PLAN LEGEND

EXISTING WALL/ PARTITION

NEW WALL/ PARTITION/ STRUCTURE

PROPERTY LINE

SETBACK LINE

EXISTING TREES

PARKING DATA	
NUMBER OF HABITABLE ROOMS IN HOME	8
REQUIRED PARKING SPACES (2.7m x 6.0m)	2
PARKING SPACES PROVIDED	2
MANOEUVRING SPACE REQUIRED	6m
MANOEUVRING SPACE PROVIDED	3.84m
DRIVEWAY WIDTH REQUIRED	2.8m
DRIVEWAY WIDTH PROVIDED	6.1m
DRIVEWAY MATERIAL	CONCRETE
PERCENT OF EXTERIOR SIDE YARD USED FOR PARKING REQUIRED	NOT MORE THAN 50%
PERCENT OF EXTERIOR SIDE YARD USED FOR PARKING PROVIDED	28.1%

THIS SITE PLAN SKETCH SHOULD BE VIEWED IN CONJUNCTION WITH THE REVISED ARCHITECTURAL DRAWINGS USED FOR THE APPLICABLE LAW REVIEW, WHICH INCLUDES PLANS, ELEVATIONS AND SECTIONS OF THE PROPOSED STRUCTURES

1 PROPOSED SITE SKETCH
SK-1 1:200

1	ISSUED TO COA FOR REVIEW	05.16.21
REV.	DESCRIPTION	DATE

GRUNDY SERVICES

739-563-6363

9 Philip St.

St. George, Ontario N0E1N0

(226) 218-6727

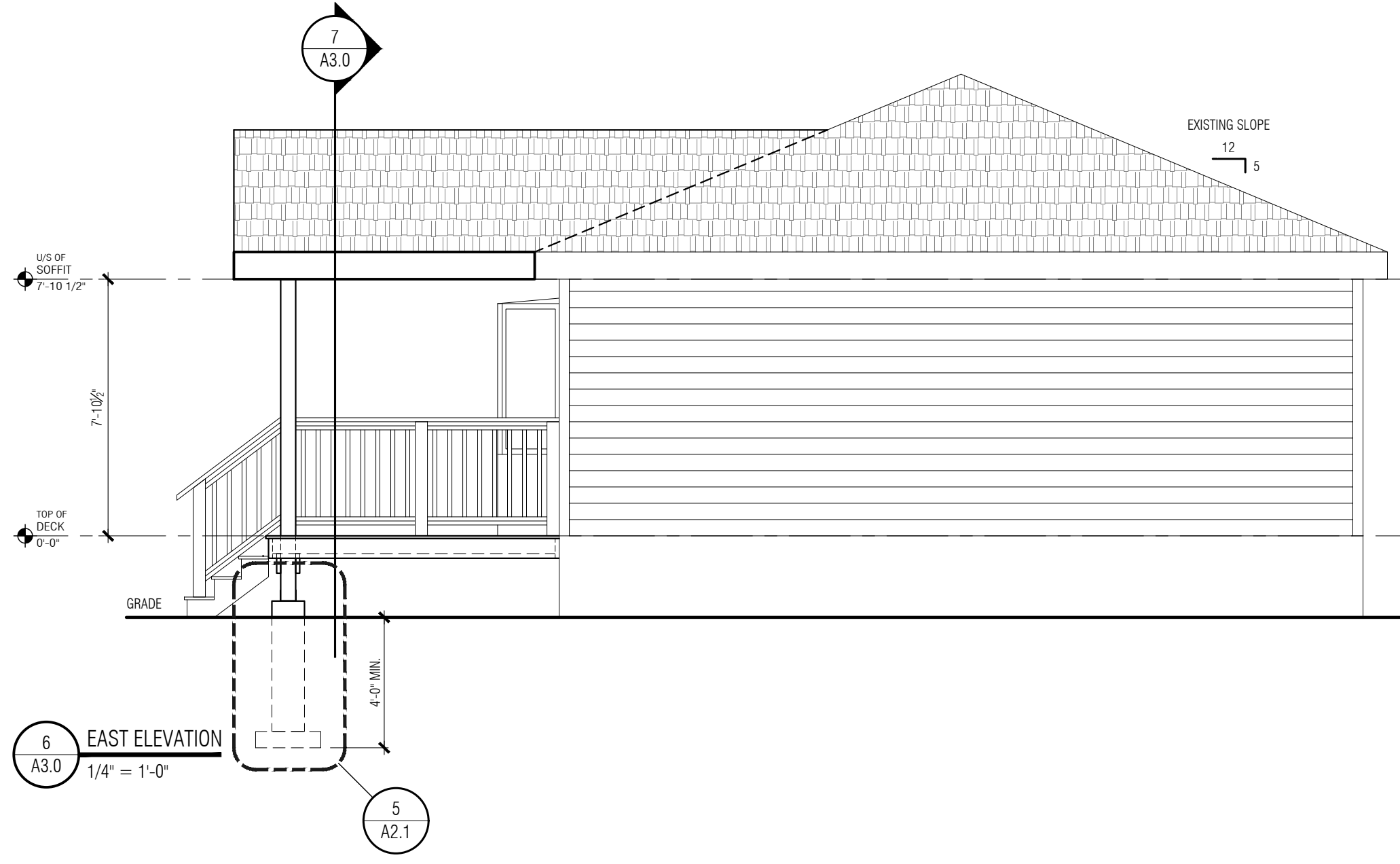
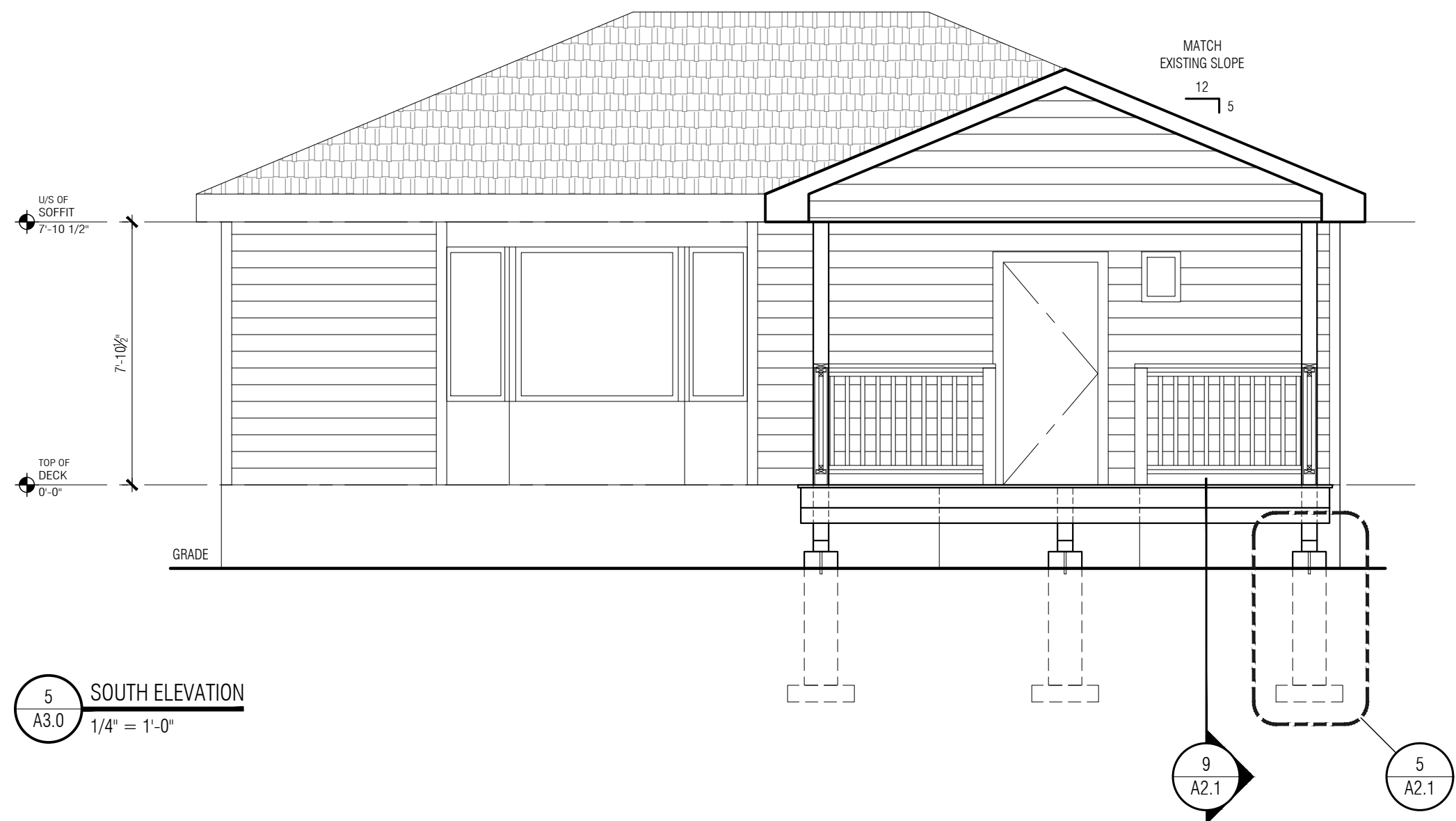
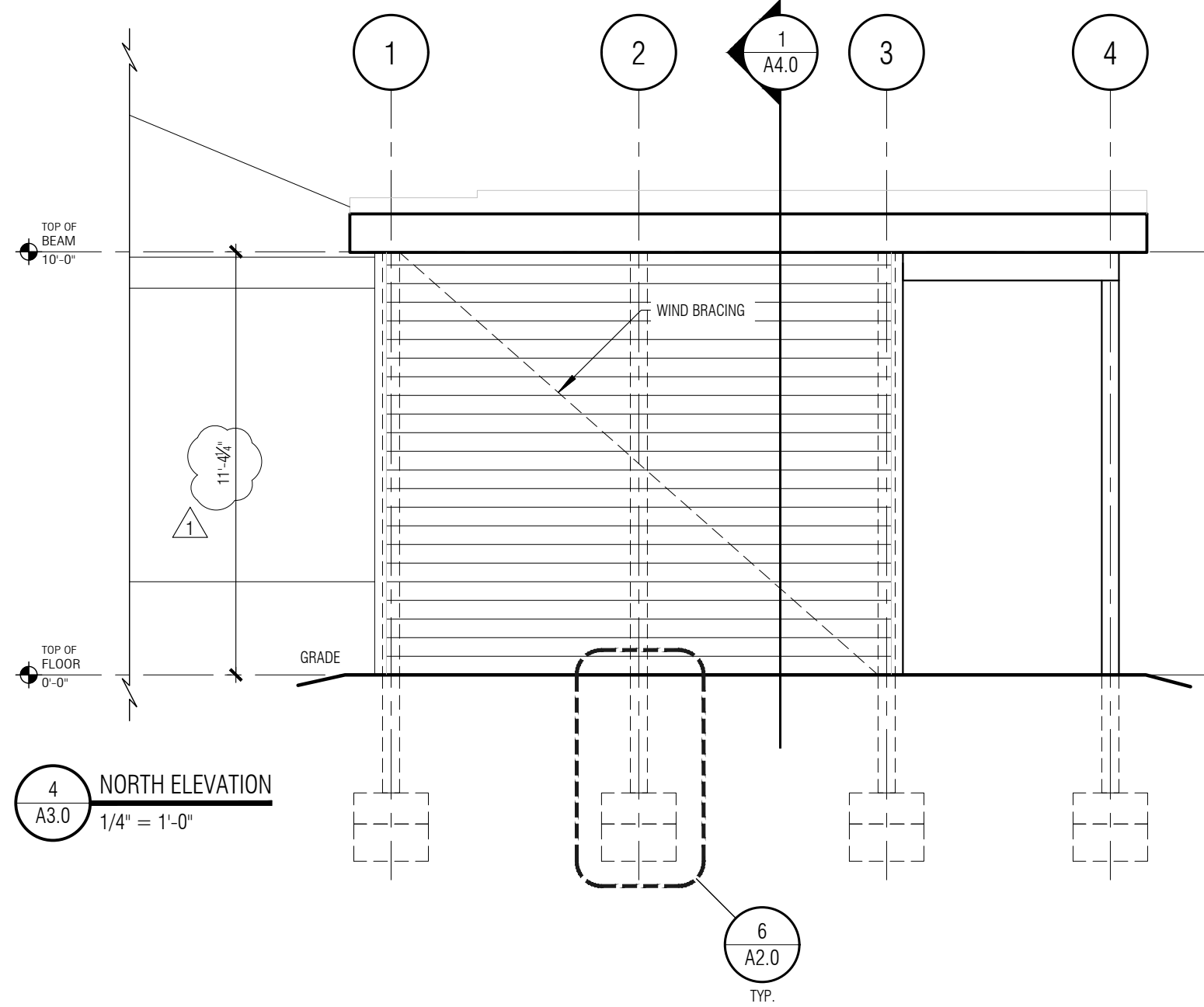
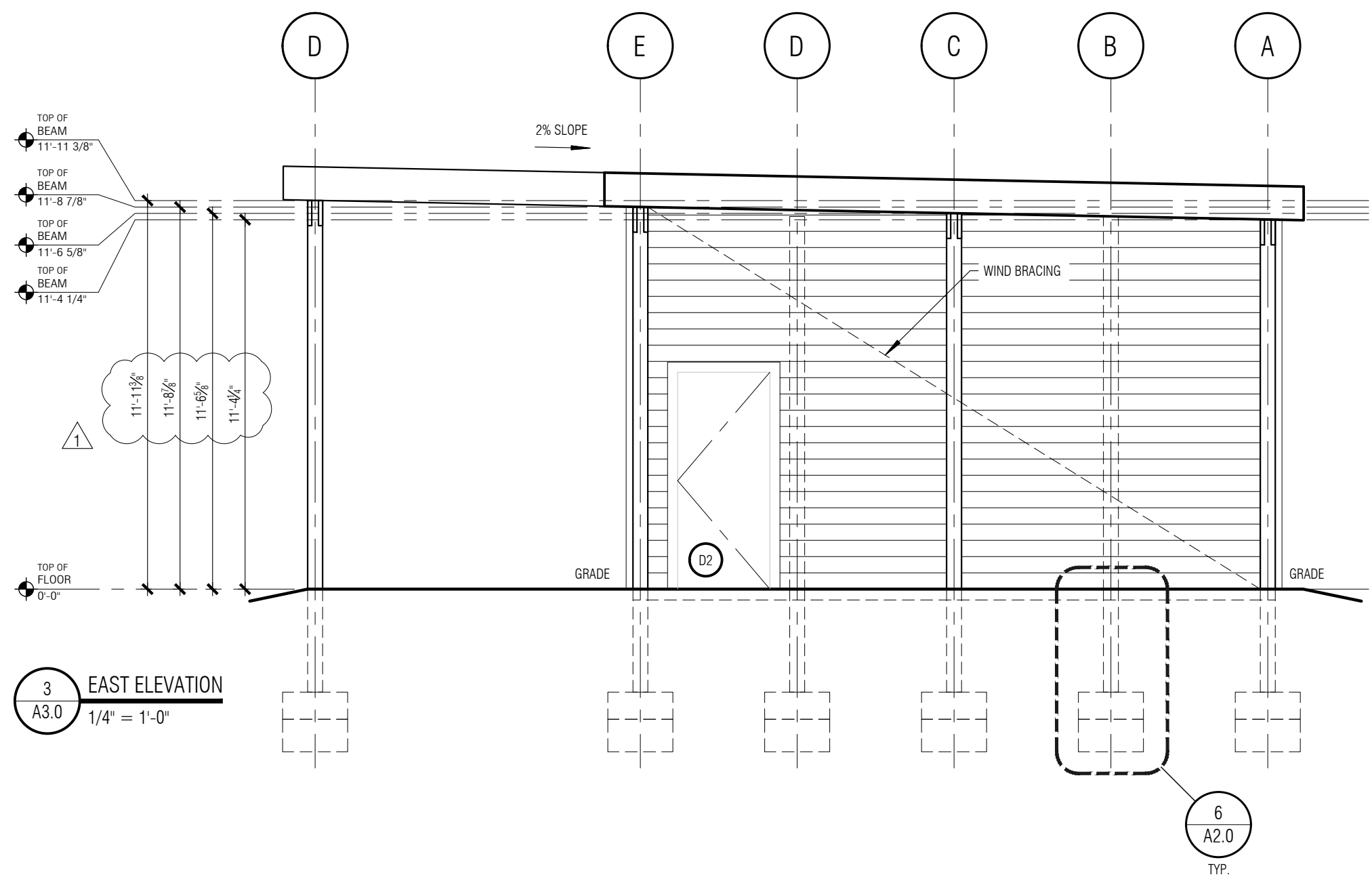
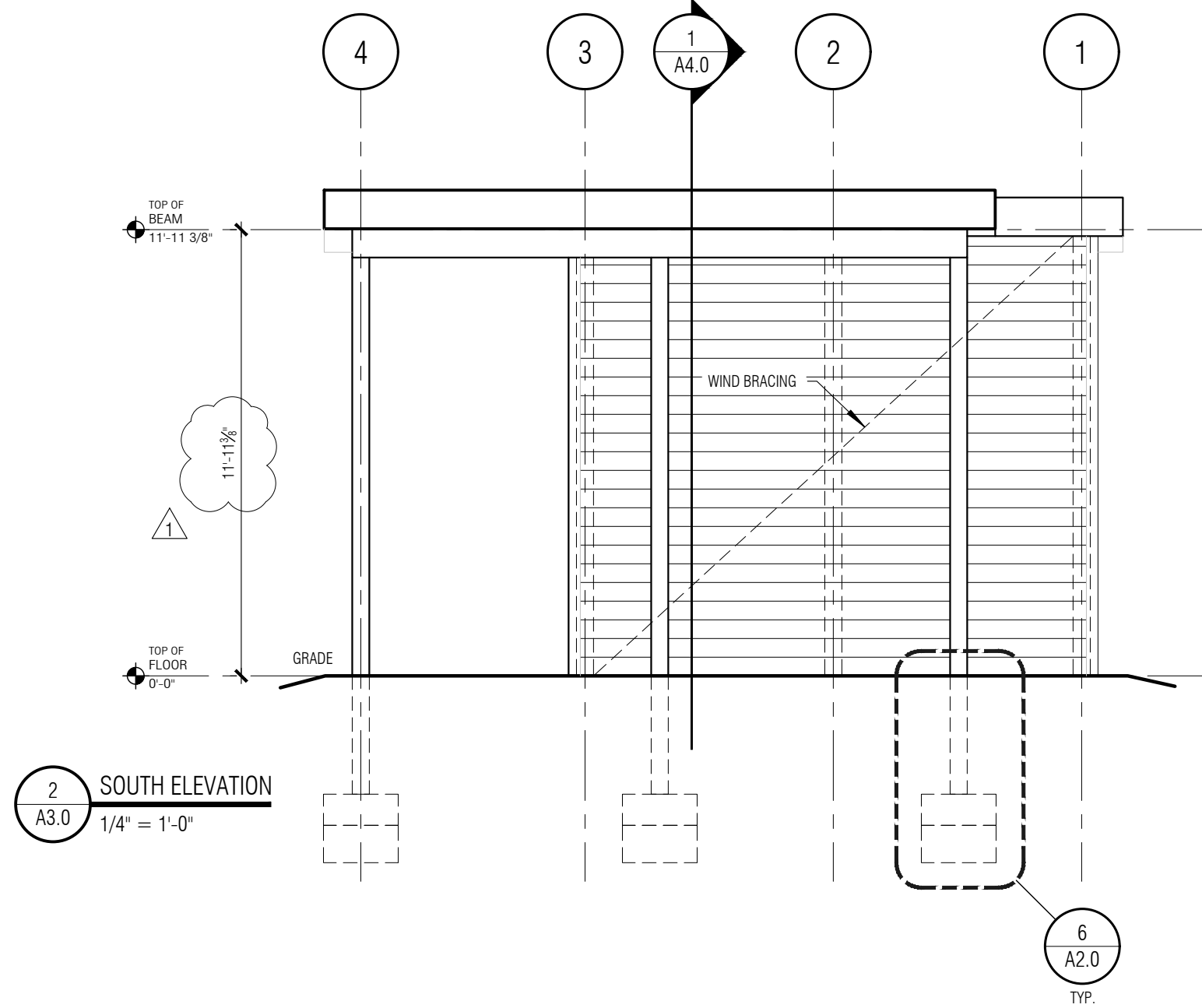
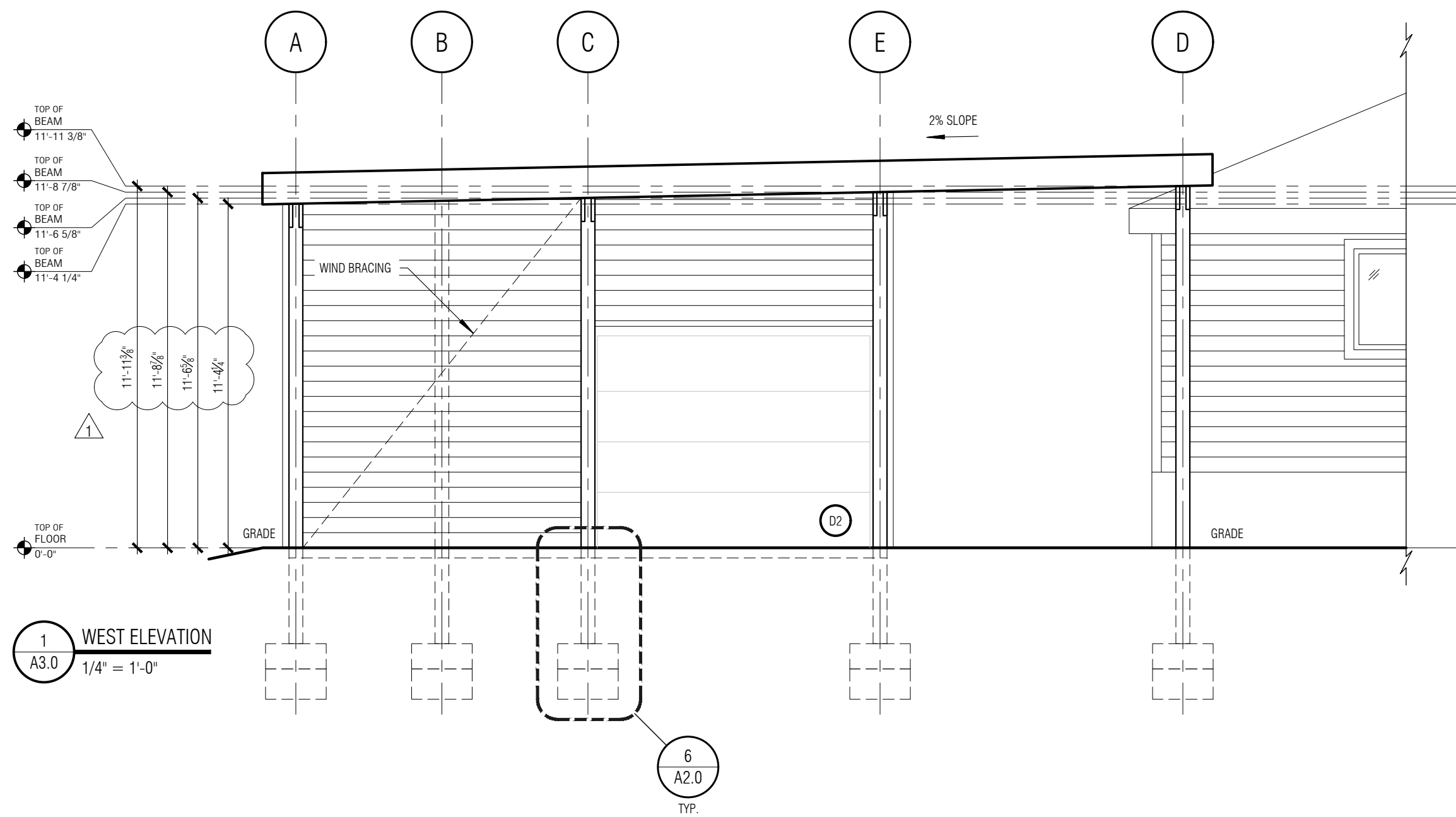
jgrundycastconcepts@gmail.com

PROJECT:
GARAGE/CARPORT/DECK

CACO RESIDENCE
111 SOUTH BEND RD E
HAMILTON ONTARIO

DRAWING:
PROPOSED
SITE SKETCH

DRAWN: J.G.	CHECKED: J.G.	SHEET No: SK-1
DATE: 04.05.21	PO No.: 2008	REVISION No: R0
SCALE: 1:200		



GENERAL NOTES

1. ALL DESIGN DOCUMENTS ARE THE COPYRIGHT OF GRUNDY SERVICES. NO REPRODUCTIONS OF THE DESIGN DOCUMENTS IN PART OR IN WHOLE IS ALLOWED WITHOUT THE APPROVAL OF GRUNDY SERVICES.
2. ALL WORK IS TO BE PERFORMED IN ACCORDANCE TO THE MINISTRY OF LABOUR'S HEALTH AND SAFETY POLICIES.
3. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ALL ESA PERMITS, TESTING CERTIFICATES AND FINAL CERTIFICATES FROM ESA.
4. THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL ALL BUILDING PERMITS ARE ISSUED AND DEVELOPMENT CHARGES ARE PAID.
5. ALL WORK IS TO BE COMPLETED IN ACCORDANCE TO MOST CURRENT PROVINCIAL, NATIONAL CODE AND MUNICIPAL BYLAWS.
6. DRAWINGS ARE NOT TO BE SCALED.
7. THE CONTRACTOR MUST VERIFY ALL EXISTING CONSTRUCTION AND DIMENSIONS AND REPORT BACK TO THE DESIGNER BEFORE STARTING ANY WORK IF THERE ARE DISCREPANCIES.

EXTERIOR ELEVATIONS NOTES

1. ALL EXTERIOR FINISHES ARE TO BE DETERMINED BY THE OWNER.

FLOOR PLAN LEGEND

- EXISTING WALL / PARTITION
- EXISTING TO BE REMOVED
- NEW WALL / PARTITION
- NEW FOOTING
- FLOOR/WALL/ROOF TYPE CALL OUT
- DOOR TYPE CALL OUT
- GRADE
- DETAIL CALL OUT

FLOOR SCHEDULE

F-1

TYPICAL FLOOR CONSTRUCTION

- 6" CONCRETE SLAB, 32 MPa CONCRETE c/w 6" WWM
- 6" CLEAR GRAVEL
- UNDISTURBED EARTH

OR

F-2

TYPICAL DECK CONSTRUCTION

- 2" x 6" PRESSURE TREATED DECK BOARDS
- 2" x 6" PRESSURE TREATED FLOOR JOISTS @ 16" O.C.

WALL SCHEDULE

W-1

TYPICAL WALL CONSTRUCTION

- VINYL SIDING (MATCH EXISTING ON HOUSE)
- 2x4 SHEATHING
- 2x4 STRAPPING @ 24" O.C.
- 6x6 PRESSURE TREATED (PT) POSTS

ROOF SCHEDULE

R-1

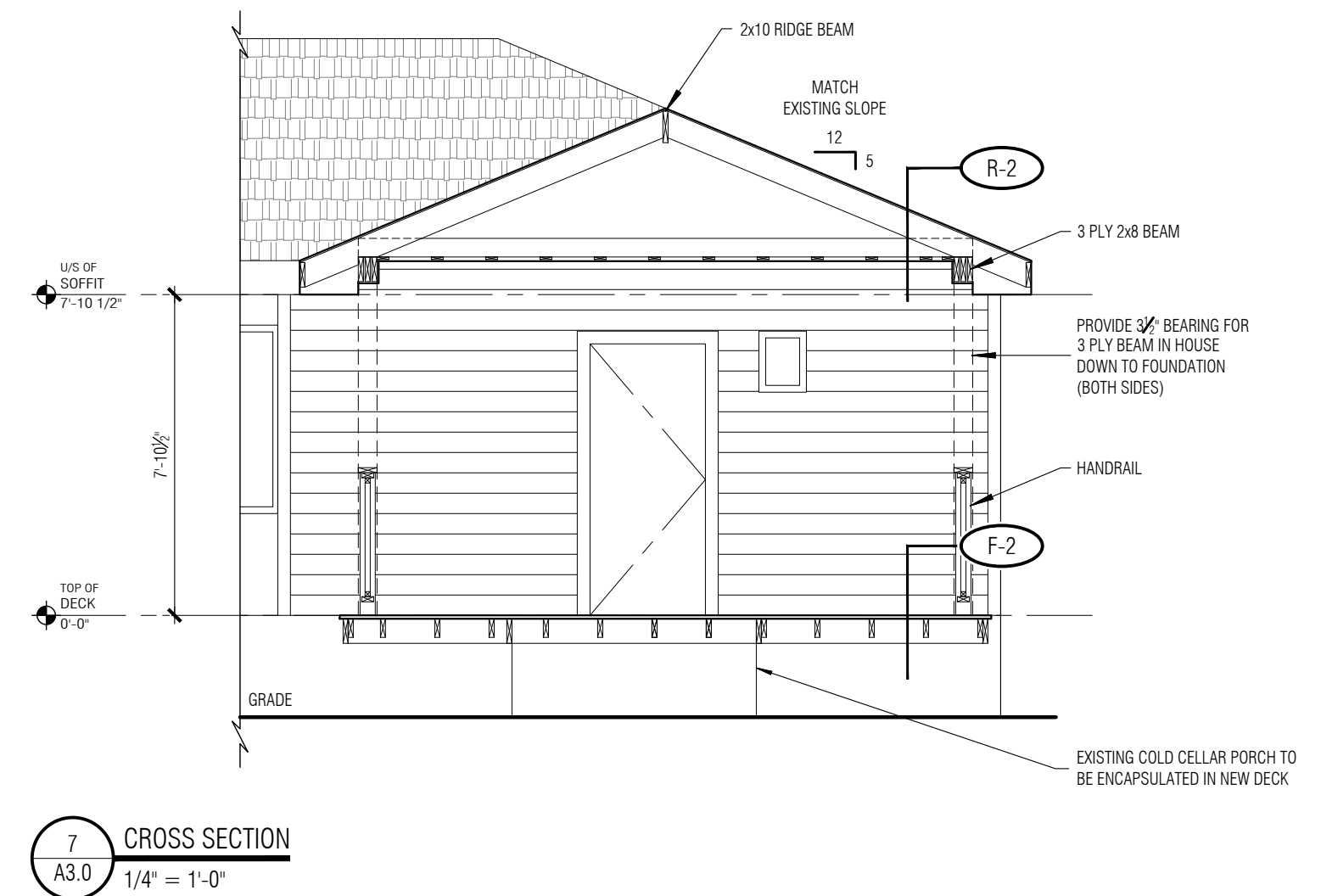
TYPICAL ROOF CONSTRUCTION

- FLAT ROOF @ 2% SLOPE (CLIENT TO VERIFY FINISH)
- 1/2" PLYWOOD SHEATHING c/w H-CLIPS
- 1x6 PRE-ENGINEERED T & J JOISTS @ 16" O.C. (2% SLOPE)

R-2

TYPICAL ROOF CONSTRUCTION

- ASPHALT SHINGLES (CLIENT TO VERIFY COLOUR)
- SYNTHETIC ROOFING MEMBRANE AND 36" MIN EAVE PROTECTION
- 1/2" PLYWOOD SHEATHING c/w H-CLIPS
- 2x6 RAFTERS @ 16" O.C.
- 2x6 CEILING JOISTS @ 16" O.C.
- 1x4 STRAPPING @ 24" O.C.
- ALUMINUM SOFFIT



2	ISSUE TO COA FOR REVIEW	05.16.21
1	REVISE PLANS TO MEET GUIDELINES OF APPLICABLE LAW REVIEW - ZONING BYLAW (MARCH 2, 2021) / HEIGHT OF GARAGE/ CARPORT CHANGED	03.14.21
1	ISSUED FOR ZONING APPROVAL	12.06.20

REV.	DESCRIPTION	DATE
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I, (JORDAN GRUNDY) declare that I have reviewed and taken responsibility for the design work in these documents and it meets the requirements of the Ontario Building Code. I am qualified and registered in the appropriate classes/categories.

Individual BCIN: 43819
Signature of the Designer:
Date: 12.06.20

GS
GRUNDY SERVICES
DESIGNS PLANS PERMITS
9 Philip St.
St. George, Ontario N6E1N0
(226) 215-6727
jgrundyserviceconcepts@gmail.com

PROJECT:
GARAGE/CARPORT/DECK
CACO RESIDENCE
111 SOUTH BEND RD E
HAMILTON ONTARIO

DRAWING:
GARAGE &
COVERED DECK
ELEVATIONS

DRAWN: J.G.	CHECKED: J.G.	SHEET No: A3.0
DATE: 10.25.20	PO No.: 2008	REVISION No: R1
SCALE: 1/4" = 1'-0"		

**Committee of Adjustment**

City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE**FOR OFFICE USE ONLY.**

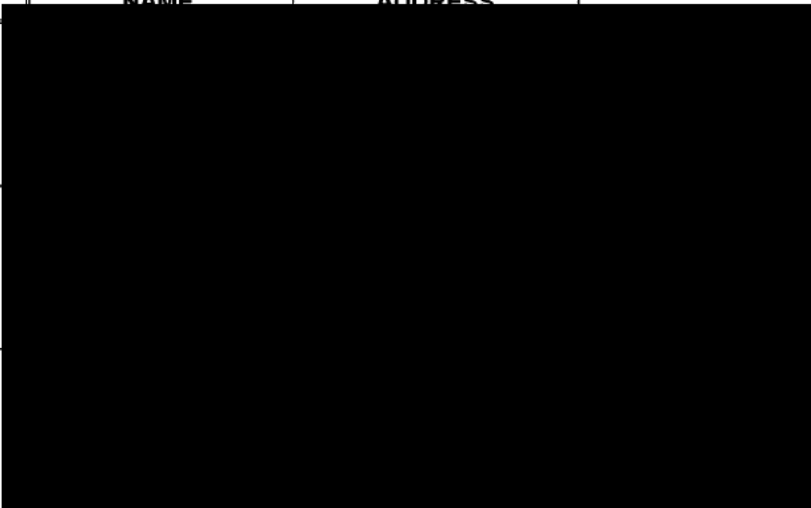
APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____**The Planning Act****Application for Minor Variance or for Permission**

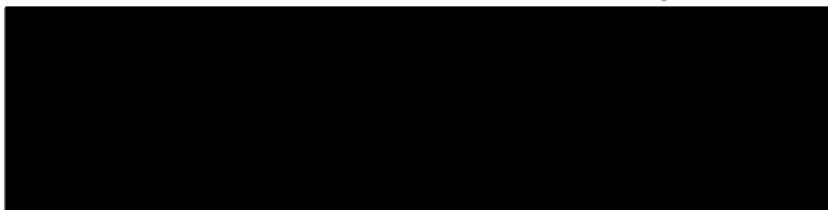
The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2

	NAME	ADDRESS
Registered Owners(s)		
Applicant(s)*		
Agent or Solicitor		

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:



Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

Set backs and parking manoeuvring

5. Why it is not possible to comply with the provisions of the By-law?

The location of house in relation to current setback requirements

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

111 South Bend Rd E

7. PREVIOUS USE OF PROPERTY

Residential ☒ Industrial ☐ Commercial ☐

Agricultural ☐ Vacant ☐

Other _____

- 8.1 If Industrial or Commercial, specify use N/A

- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐ No ☒ Unknown ☐

- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐ No ☒ Unknown ☐

- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐ No ☒ Unknown ☐

- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐ No ☒ Unknown ☐

- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐ No ☒ Unknown ☐

- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes ☐ No ☒ Unknown ☐

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ☐ No ☒ Unknown ☐

8.11 What information did you use to determine the answers to 9.1 to 9.10 above?

Age of survey

8.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ☐ No ☒

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

April 9, 2021
Date


Signature Property Owner

Chris Caco
Print Name of Owner

Chrystal Caco

10. Dimensions of lands affected:

Frontage 18m
Depth 27m
Area 486 m
Width of street 8.69m

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:

House 33'-6" x 24'-8" 12' height to eaves
1 story 827ft²

Carport over shed

Shed 12'-1" x 12'-5" 8' to eaves
150sqft

12'-1" x 18'-5" 8' to eaves
222sqft

Garage/Carport

29'-9" x 19'-11 1/2" 10'-7 1/8" height
436ft²

Front Porch Covered

16' x 9' 15' to peak
144ft²

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

House
1.2m from side
6m from front

Carport/Shed
6m from side
5m from Rear

Proposed:

Front Porch
3.66m from front
1.2m from side

Garage/Carport
2.57m from rear
3.85m from side

13. Date of acquisition of subject lands:
April 9, 2009
14. Date of construction of all buildings and structures on subject lands:
1952
15. Existing uses of the subject property:
Residential
16. Existing uses of abutting properties:
Residential
17. Length of time the existing uses of the subject property have continued:
69 years
18. Municipal services available: (check the appropriate space or spaces)
Water Yes Connected Yes
Sanitary Sewer Yes Connected Yes
Storm Sewers Yes
19. Present Official Plan/Secondary Plan provisions applying to the land:
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
21. Has the owner previously applied for relief in respect of the subject property?
☐ Yes ☒ No
If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
☐ Yes ☒ No
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.