



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: HM/A-21:406

APPLICANTS: Agent DeFilippis Design
Owner Aziz Lazar

SUBJECT PROPERTY: Municipal address **47 Alderson Dr., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended 78-103

ZONING: "B" (Suburban Agriculture and Residential, etc.) district

PROPOSAL: To facilitate the creation of two (2) lots in conjunction with Severance Application HM/B-21:105, and the construction of two (2) single family dwellings, notwithstanding that:

1. A minimum side yard width of 1.25 metres shall be provided for the portion of the lands to be severed and the portion of the lands to be retained, instead of the minimum required side yard width of 3.0 metres.
2. A minimum lot width of 15.08 metres shall be provided for the portion of the lands to be severed and the portion of the lands to be retained instead of the minimum required lot width of 20.0 metres.
3. A minimum lot area of 806.90 square metres shall be provided for the portion of the lands to be severed and the portion of the lands to be retained, instead of the minimum required lot area of 1100.0 square metres.

NOTE:

1. Please note this application is to be heard in conjunction with Severance Application HM/B-21:105.
2. Specific details regarding the percentage of gross area of the front yard that is to be used for landscaping were not been indicated as part of this application. Further variances may be required if compliance with Section 18(14)(i) cannot be achieved.
3. Specific details regarding proposed yard encroachments and other supplementary requirements as established by Section 18, were not indicated as part of this application. Further variances may be required if compliance with Section 18 cannot be achieved.
4. Specific details regarding parking on each lot have were not indicated as part of this application. Further variances may be required if compliance with Section 18A cannot be achieved.

5. Please note elevation drawings were not included as part of this application. As such, the height of the proposed dwellings has not been reviewed for zoning compliance. Further variances may be required if compliance with Section 8(2) cannot be achieved.

6. Construction of the proposed development is subject to the issuance of a building permit in the normal manner. Be advised that Ontario Building Code regulations may require specific setbacks and construction types.

This application will be heard by the Committee as shown below:

DATE: Thursday, December 9th, 2021
TIME: 2:15 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

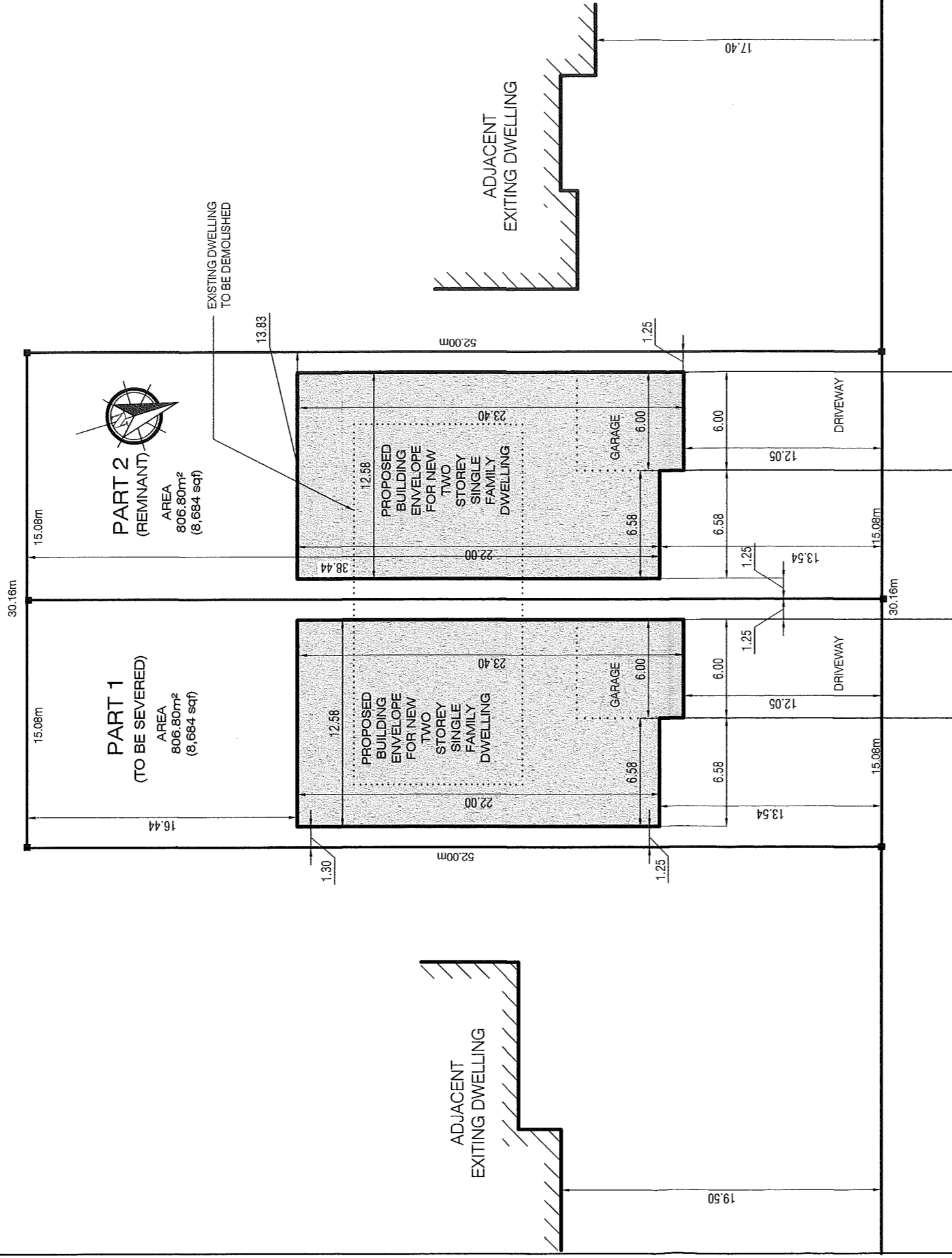
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: November 23rd, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



PLOT PLAN
N.T.S.

SITE STATISTIC

PART 1	8,441 sqf	(784.16 m ²)
PART 2	8,441 sqf	(784.16 m ²)
TOTAL:	16,882 sqf	(1,568.32 m²)

- NOTES:
- OWNER/CONTRACTOR TO VERIFY AND CHECK ALL DIMENSIONS AND SPECS PRIOR TO AND DURING CONSTRUCTION.
 - ANY DEVIATIONS, DEFICIENCIES OR DISCREPANCIES FROM THESE DRAWINGS AND SPECS REQUIRES WRITTEN CLARIFICATION AND/OR APPROVAL FROM THE DESIGNER PRIOR TO CONSTRUCTION.



DEFILIPPIS DESIGN
687 BARTON ST., SUITE 201
STONEY CREEK, ONTARIO L8E 5L6
(905) 643-2250 FAX (905) 643-1095
email: defilippisdesign@bellnet.ca

4	
3	
2	
1	
REV.	
JOB NO.	
CHKD. BY	
DRN. BY	
DATE:	MARCH, 2021
SCALE:	N.T.S.
DWG NO.	SP-1

REFERENCE PLAN FOR:

AZIZ LAZAR
47 ALDERSON DRIVE
HAMILTON, ONTARIO

SITE PLAN



Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	ADDRESS
Registered Owners(s)		
Applicant(s)*		
Agent or Solicitor		

Note: Unless any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

Lot Frontage of 15.00m instead of 20.0m
Lot Area of 784sqm instead of 1700sqm.

5. Why it is not possible to comply with the provisions of the By-law?

RE-DEVELOPMENT OF PROPERTY WITH MORE CURRENT STANDARDS AND IN CONFORMANCE WITH OTHER PROPERTIES IN

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

NEIGHBOURHOOD
47 ALDERSON DR; HAMILTON.

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial
Agricultural Vacant

Other _____

8.1 If Industrial or Commercial, specify use

N/A

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 9.1 to 9.10 above?

EXISTING RESIDENTIAL USE IN EXCESS OF 50 YEARS

8.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

JULY 2 / 2021
Date

Signature Property Owner

AZIZ LAZAR

Print Name of Owner

10. Dimensions of lands affected:	FULL PROPERTY	SEVERED PLOTS
Frontage	30.16m	15.08m
Depth	52.00	52.0m
Area	1568 sqm	784 sqm
Width of street	20m	20m

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _

SINGLE FAMILY DWELLING TO BE DEMOLISHED

Proposed

TWO STOREY SINGLE FAMILY DWELLING ONE ON EACH PART

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

Proposed:

SEE SITE SKETCH

13. Date of acquisition of subject lands:
JAN 2021
14. Date of construction of all buildings and structures on subject lands:
50 years plus
15. Existing uses of the subject property:
SINGLE FAMILY
16. Existing uses of abutting properties:
SINGLE FAMILY
17. Length of time the existing uses of the subject property have continued:
50 years plus
18. Municipal services available: (check the appropriate space or spaces)
 Water ✓ Connected ✓
 Sanitary Sewer ✓ Connected ✓
 Storm Sewers _____
19. Present Official Plan/Secondary Plan provisions applying to the land:
URBAN SETTLEMENT
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
HAM 6593 "B" RESIDENTIAL
21. Has the owner previously applied for relief in respect of the subject property?
 Yes No
 If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No
23. Additional Information
CONCURRENT APP
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

See SITE SKETCH