

## **NOTICE OF PUBLIC HEARING** **Minor Variance**

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**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

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**APPLICATION NO.:** HM/A-21:373

**APPLICANTS:** Owner Hughson Business Space Corp.  
Agent Urban Solutions c/o Matt Johnston

**SUBJECT PROPERTY:** Municipal address **18-30 King St. E., Hamilton**

**ZONING BY-LAW:** Zoning By-law 05-200, as Amended by By-law 21-189

**ZONING:** D2, H21, T8 and Scheduled D and E (Downtown Prime Retail Streets (D2)) Zone

**PROPOSAL:** To permit the construction of a commercial building in order to facilitate Site Plan Application File No. SPA-21-078 notwithstanding that:

1. No setback shall be required required for any portion of the building exceeding 22.0m in height to the westerly side lot line and the rear lot line instead of the requirement that a minimum 3.0m setback shall be required for any portion of a building exceeding 22.0m in height from a side or rear lot line.
2. A minimum of 58% of the area of the ground floor façade shall be comprised of clear glazed windows and doors instead of the requirement that a minimum of 60% of the area of the ground floor façade shall be comprised of clear glazed windows and doors.
3. The ground floor storey shall be no greater than 5.1 in height instead of the requirement that the ground floor storey shall be no greater than 4.5 metres in height.
4. Exterior building cladding for the first three storeys, except decorative architectural features (such as window and door frames, sills, lintels, surrounds, and cornices), shall be permitted to be either one or a combination of no more than three (3) of the permitted exterior building cladding materials and wood and brick veneer shall be permitted as additional types of exterior building cladding material instead of the requirement that exterior building cladding for the first three storeys, except decorative architectural features (such as window and door frames, sills, lintels, surrounds, and cornices), shall be of either one or a combination of no more than two of the following materials: Brick; Concrete panels; Stone Block, stone veneer or artificial stone; Stucco; or, Metal and metal panels, excluding aluminum siding or any metal variant thereof.
5. A maximum building height of 25.0m shall be permitted instead of the maximum required building height of 22.0m.
6. The principal entrances from King Street East shall be permitted to be recessed into the main façade and shall not be required to be setback the least distance from King Street East instead of the requirement that a minimum of one principal entrance shall be provided within the ground floor façade setback the least distance from a street
7. No parking spaces shall be required instead of the minimum required one (1) parking space for each 50m<sup>2</sup> of gross floor area in excess of 450m<sup>2</sup> for commercial school, financial establishment, medical clinic, office and/or veterinary service uses.

NOTE:

- i) The variances are necessary to facilitate Site Plan File No. SPA-21-116.
- ii) Pursuant to Variance # 6, the five (5) entrances are recessed slightly from the closest part of the building from the King Street East street line.
- iii) Pursuant to Variance # 7, no parking space are required for Retail or Restaurant uses.

This application will be heard by the Committee as shown below:

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<b>DATE:</b>	<b>Thursday, December 9th, 2021</b>
<b>TIME:</b>	<b>3:10 p.m.</b>
<b>PLACE:</b>	<b>Via video link or call in (see attached sheet for details)</b> <b>To be streamed at</b> <b><a href="http://www.hamilton.ca/committeeofadjustment">www.hamilton.ca/committeeofadjustment</a></b> <b>for viewing purposes only</b>

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**PUBLIC INPUT**

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

**MORE INFORMATION**

For more information on this matter, including access to drawings illustrating this request:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

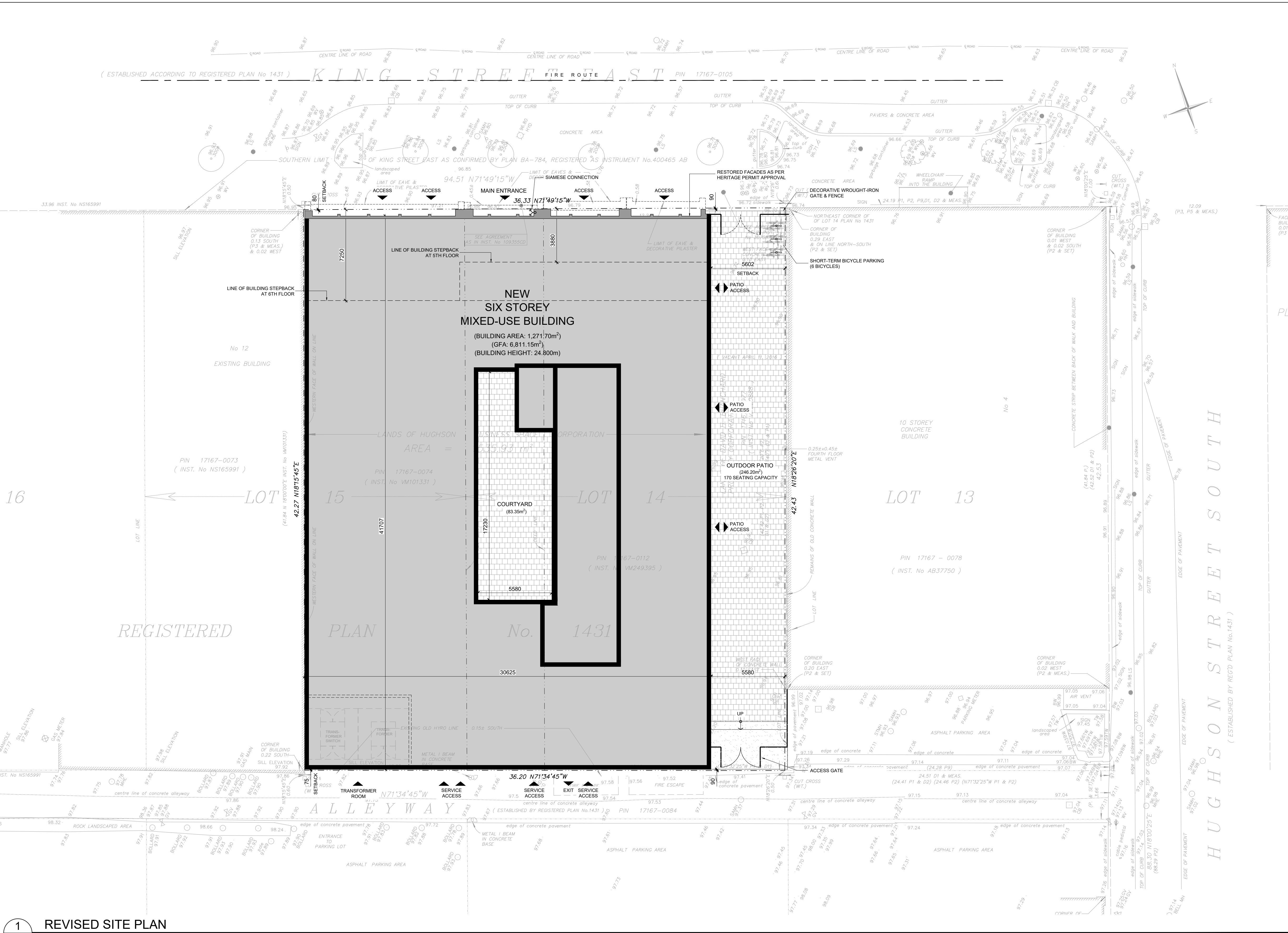
DATED: November 23rd, 2021.

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

***Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.***





1 REVISED SITE PLAN  
A01.01 SCALE: 1:150

UNDERTAKING FORM:

TREE CONSERVATION

- ALL EXISTING TREES TO REMAIN ON SITE, OR ON ADJACENT PROPERTIES, SHALL BE FULLY PROTECTED WITH TREE PRESERVATION FENCING TO THE SATISFACTION OF THE MANAGER OF FORESTRY AND HORTICULTURE OR HIS DESIGNATE TO PROTECT THE ROOTS, TRUNK AND BRANCHES DURING CONSTRUCTION. AREAS WITHIN THE PROTECTIVE FENCING LINE SHALL REMAIN UNDISTURBED AND SHALL NOT BE USED FOR THE STORAGE OF BUILDING MATERIALS, STRUCTURES OR EQUIPMENT. THIS TREE PROTECTION ZONE SHALL BE COMPLETED PRIOR TO THE COMMENCEMENT OF SITE CLEARANCE, DEMOLITION OR ANY TYPE OF CONSTRUCTION.
- SURPLUS SOIL, EQUIPMENT, VEHICLES, TOOLS, DEBRIS OR MATERIALS SHALL NOT BE PLACED OVER THE ROOT SYSTEMS OF THE TREES WITHIN THE TREE PROTECTION ZONE, WHICH MAY IMPED THE FREE PASSAGE OF WATER, AIR OR NUTRIENTS TO THE TREE. NO CONTAMINANTS SHALL BE DUMPED OR FLUSHED WHERE FEEDER ROOTS OF TREES EXIST.
- THE CONTRACTOR SHALL, WHEREVER POSSIBLE, AVOID CUTTING SURFACE ROOTS. IF ROOT CUTS ARE NECESSARY, THEY SHOULD BE DONE QUICKLY, MAKING SMOOTH FLUSH CUTS. THE ROOTS SHALL BE BACK-FILLED AND WATERED BEFORE THEY HAVE A CHANCE TO DRY OUT.
- WHERE LIMBS OR PORTIONS OF TREES MUST BE REMOVED TO ACCOMMODATE CONSTRUCTION WORK, THE CONTRACTOR IN ACCORDANCE WITH ACCEPTED ARBORCULTURAL PRACTICES WILL REMOVE THEM. THE CONTRACTOR SHALL TAKE MEASURES TO PREVENT ANY FURTHER DAMAGES.
- WHERE NECESSARY, THE TREES WILL BE GIVEN AN OVERALL PRUNING BY THE CONTRACTOR AT APPROPRIATE STAGES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL, WHEREVER POSSIBLE, AVOID DISTURBING ORIGINAL GRADES AROUND TREES IN AREAS OF PROTECTIVE FENCING.
- NO CABLES OR ROPES OF ANY TYPE SHALL BE WRAPPED AROUND OR INSTALLED IN TREES.
- AT NO TIME, UNDER ANY CIRCUMSTANCES, SHALL ANY PART OF THE TREE THAT IS TO REMAIN AFTER CONSTRUCTION IS COMPLETED, HAVE SIGNS OR FENCES NAILED TO IT OR SURVEY MARKINGS OR PAINT APPLIED TO THE TREE.
- THE MANAGER OF FORESTRY & HORTICULTURE OR HIS DESIGNATE SHALL BE NOTIFIED TO INSPECT ALL TREE PROTECTION MEASURES. THESE MEASURES SHALL REMAIN IN FULL EFFECT UNTIL THE COMPLETION OF CONSTRUCTION, AT WHICH TIME AUTHORIZATION FROM THE MANAGER OF FORESTRY & HORTICULTURE OR HIS DESIGNATE MUST BE OBTAINED FOR THE REMOVAL OF THE TREE PROTECTION ZONE.
- THE MANAGER OF FORESTRY & HORTICULTURE MUST BE NOTIFIED TO IMMEDIATELY WHEN ANY MUNICIPALITY OWNED TREE IS INJURED OR DESTROYED DURING CONSTRUCTION.

DESCRIPTION OF PROPERTY

18-30 KING STREET EAST  
In the CITY OF HAMILTON Part of LOTS 14 and 15 - George Hamilton Survey  
THE TOPOGRAPHICAL AND SURVEY INFORMATION ON THIS DRAWING WAS OBTAINED FROM A SURVEY PREPARED BY:  
A.J. Clarke and Associates Ltd., Hamilton, On.  
PLAN DATED: April 19, 2016 DWG. No.: T-2420  
Elevations shown on this plan are geodetic and are referred to CITY OF HAMILTON BENCH MARK No 3-21  
CITY OF HAMILTON BENCH MARK, HAMILTON CLUB, AT SOUTH-EAST CORNER OF JAMES STREET SOUTH AND MAIN STREET, PLAT EN WEST BRICK WALL 8.4m SOUTH OF NORTH-WEST CORNER OF BUILDING. ELEVATION=99.46m.

SITE PLAN INFORMATION

ZONING	D2 DISTRICT (DOWNTOWN PRIME RETAIL STREETS)
NET LOT AREA	1,535.93 m <sup>2</sup>
BUILDING COVERAGE	1,271.70 m <sup>2</sup>
GROSS FLOOR AREA	6,811.15 m <sup>2</sup>
SETBACKS	REQUIRED PROVIDED
FRONT YARD	3.0m MIN STEPBAC 3.88m (@ 6 <sup>TH</sup> FLOOR)
SIDE YARD	3.0m MIN STEPBAC 5.58m (EAST SIDE) 0.0m (WEST SIDE)
REAR YARD	3.0m MIN STEPBAC 0.075m
BUILDING HEIGHT	11.0m MINIMUM 22.0 MAXIMUM 24.80m
LANDSCAPE AREA	0.0m 329.50m

PARKING INFORMATION

PARKING CALCULATION	SPACES REQUIRED
COMMERCIAL SPACE (RETAIL)	1,183.50 m <sup>2</sup> GFA MAIN LEVEL NO PARKING REQUIRED as per By-Law 05200 Section 5.6 (a) iv.
OFFICE SPACE	5,590.85 m <sup>2</sup> 1 SPACE PER 50 m <sup>2</sup> OF GFA IN excess of 450 m <sup>2</sup> as per By-Law 05200 Section 5.6 (a) iv.
CALCULATION SUMMARY:	
PARKING SPACES REQUIRED FOR 1,183.50m <sup>2</sup> OF COMMERCIAL USE = 0 SPACES. (Retail Space in Ground Floor will not include any of the commercial uses identified in the By-Law requiring parking).	
PARKING REQUIRED FOR 5,590.85 m <sup>2</sup> OF NEW OFFICE SPACE IN EXCESS OF 450 m <sup>2</sup> = 5,140.85 m <sup>2</sup> (1 per 50 m <sup>2</sup> of GFA) = 103 PARKING SPACES.	
TOTAL PARKING REQUIRED:	103 SPACES
TOTAL PARKING PROVIDED:	0 SPACES
BARRIER-FREE PARKING REQUIRED:	4 SPACES (+13%)
BARRIER-FREE PARKING PROVIDED:	0 SPACES
LOADING SPACES REQUIRED:	0 SPACES
LOADING SPACES PROVIDED:	0 SPACES

GENERAL NOTES

- ALL WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNICIPAL SERVICES FOR THE PROJECT SHALL BE TO THE SATISFACTION OF THE DIRECTOR OF PLANNING, PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT.
- FIRE ROUTE SIGNS AND 3-WAY FIRE HYDRANTS SHALL BE ESTABLISHED TO THE SATISFACTION OF THE CITY FIRE DEPARTMENT AND AT THE EXPENSE OF THE OWNER.
- THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNERS BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/ APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:
  - BUILDING PERMIT
  - SEWER AND WATER PERMITS
  - ROAD CUT PERMITS
  - RELOCATION OF SERVICES
- ABANDONED ACCESSSES MUST BE REMOVED AND THE CURB AND BOULEVARD RESTORED WITH SOD AT THE OWNERS EXPENSE TO THE SATISFACTION OF THE TRAFFIC ENGINEERING SECTION, PUBLIC WORKS DEPARTMENT.
- ALL SIGNS MUST COMPLY WITH SIGN REGULATIONS AND APPROACH APPROVAL PERMITS IF REQUIRED.
- ALL FENCES PROPOSED MUST COMPLY WITH THE REGULATIONS CONTAINED WITHIN FENCE BY-LAW 10-142.
- DURING CONSTRUCTION, ALL VEHICLES, EQUIPMENT, AND MATERIALS MUST BE KEPT ON PRIVATE PROPERTY AND CANNOT OCCUPY THE MUNICIPAL SIDEWALK ALLEY OR ROADWAY. SHOULD OCCUPANCY BE REQUIRED, A ROAD OCCUPANCY PERMIT MUST BE OBTAINED FROM THE CORRIDOR MANAGEMENT SECTION. SHOULD LONG-TERM OCCUPANCY BE REQUIRED (3 MONTHS OR MORE), A CONSTRUCTION MANAGEMENT SITE PLAN (CMSP) WILL BE REQUIRED AS A CONDITION OF BUILDING PERMIT THAT ILLUSTRATES ANY LANE/SIDEWALK CLOSURES, CRANE LOCATIONS, AND TRUCK HAUL ROUTES.
- THIS PROPERTY IS ELIGIBLE FOR WEEKLY COLLECTION OF GARBAGE, RECYCLING, ORGANICS, AND LEAF AND YARD WASTE THROUGH THE CITY OF HAMILTON SUBJECT TO COMPLIANCE WITH SPECIFICATIONS INDICATED BY THE PUBLIC WORKS DEPARTMENT AND SUBJECT TO COMPLIANCE WITH THE CITY'S SOLID WASTE MANAGEMENT BY-LAW 09-067, AS AMENDED.
- SHOULD THE APPLICANT BE REQUIRED TO CLOSE THE ROAD FOR WATER/OR SEWER CONNECTIONS, THE APPLICANT MUST OBTAIN A TEMPORARY ROAD CLOSURE PERMIT FROM CORRIDOR MANAGEMENT.

LEGEND:

---	PROPERTY LINE
- - - -	FIRE ROUTE
[Pattern]	AREA OF NEW PAVERS SURFACE
[Pattern]	AREA OF NEW CONCRETE SURFACE
[Symbol]	BUILDING ENTRANCE
[Symbol]	BARRIER-FREE PARKING SPACE
[Symbol]	EXISTING TREE
[Symbol]	CATCH BASIN
[Symbol]	FIRE HYDRANT
[Symbol]	GAS VALVE
[Symbol]	GAS METER
[Symbol]	WATER VALVE
[Symbol]	SIGN
[Symbol]	LIGHT STANDARDS
[Symbol]	SIAMESE CONNECTION
[Symbol]	SANITARY MANHOLE
[Symbol]	STORM MANHOLE

Hughson Business Space Corporation Mixed-use Building

18-30 King Street East  
Hamilton, ON L8N 1A3, CANADA

dpa architecture interiors urban design

905-522-0220  
info@dpai.ca  
25 main st w, suite 1800  
hamilton, ON L8P 1H1

Drawings are not to be scaled.

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Seals



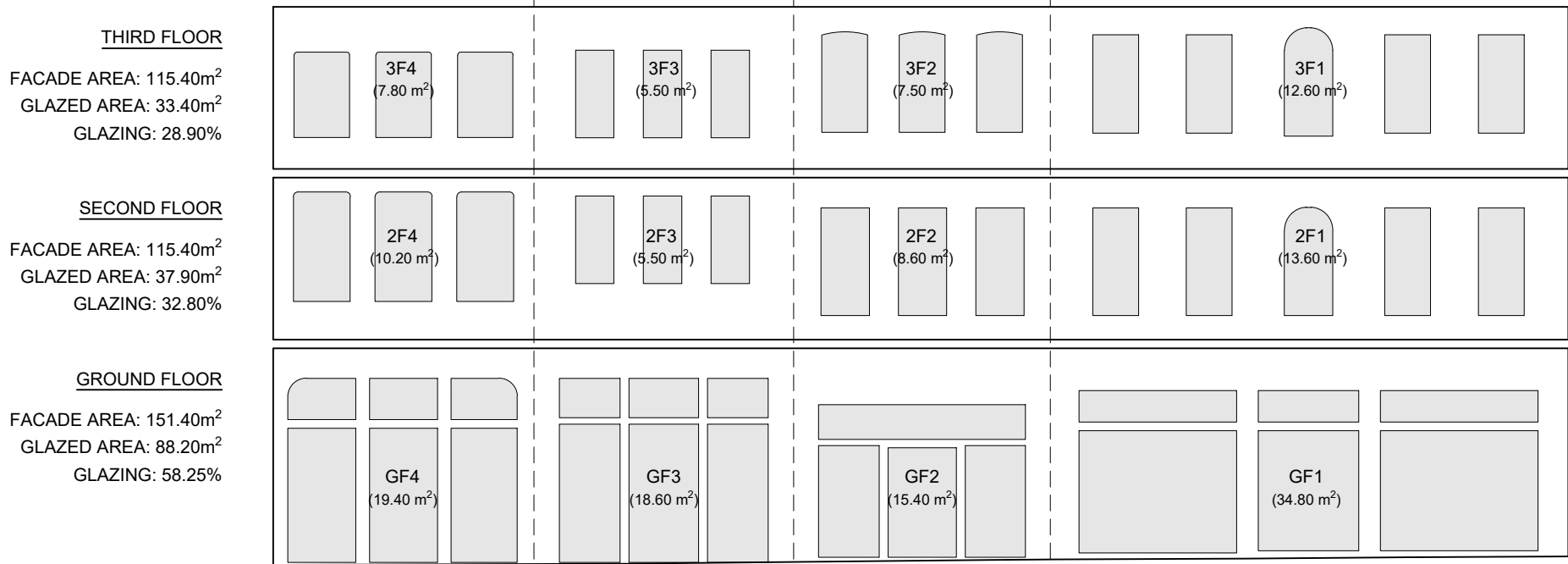
Key Plan





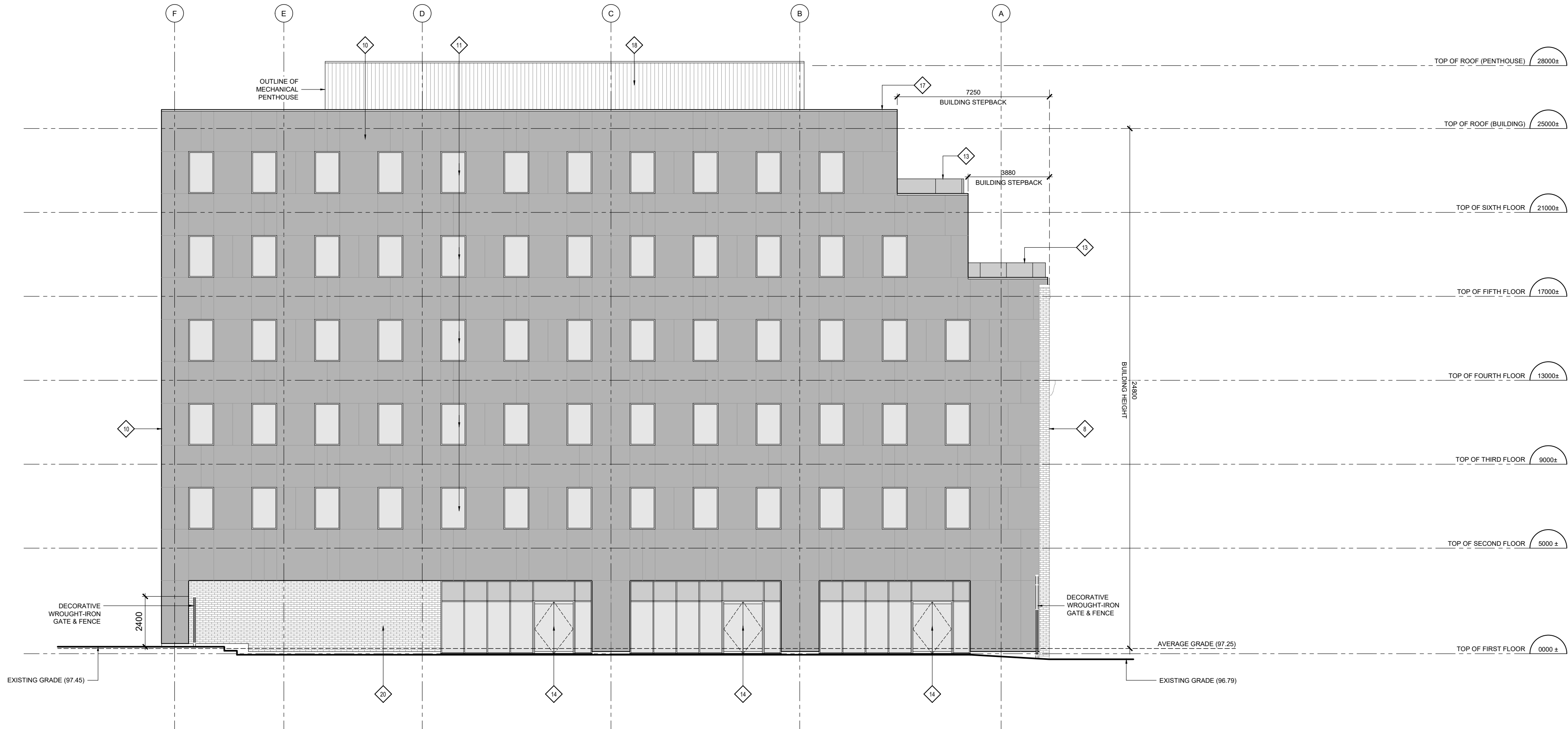
3 FRONT ELEVATOR GLAZING CALCULATION

A02.01 SCALE: 1:150



1 FRONT ELEVATION (NORTH)

A02.01 SCALE: 1:150



2 SIDE ELEVATION (EAST)

A02.01 SCALE: 1:150

ELEVATION FINISH SCHEDULE

- RESTORED EXISTING STONE MASONRY FACADE WALLS. SITE VERIFY WHERE EXISTING FACADE WAS ALTERED & RESTORE TO MATCH ORIGINAL.
- RECONSTRUCTED EXISTING DORMERS
- NEW ROOF DORMER TO MATCH EXISTING
- NEW ROOF TO MATCH EXISTING
- ALUMINUM CLAD WOOD FRAME WINDOW SYSTEM
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- EXTERIOR PAVED SURFACE (PAVERS)
- STOREFRONT SILL - PAINTED WOOD PROFILE
- NEW ROOF TO MATCH EXISTING
- RECESSED SIAMESE CONNECTION
- PROJECTING CORNICE - PAINTED WOOD PROFILE
- ARCHITECTURAL BLOCK
- RESTORED METAL CORNICE
- RESERVED
- RESERVED

ELEVATION MATERIALS LEGEND

- DENOTES AREAS OF EXISTING FACADE RESTORATION (FACADE MATERIALS TO BE COORDINATED AS PER HERITAGE PERMIT APPROVAL)
- GLASS - VISION
- GLASS - SPANDREL
- ENVELOPE - FIBER CEMENT CLADDING
- ROOFING TO MATCH EXISTING
- EIFS - COLOUR TO BE DETERMINED
- RECLAIMED BRICK FROM DEMOLITION

ELEVATION NOTES

- PROPOSED TREATMENT OF HERITAGE COMPONENTS IS PRELIMINARY AND SUBJECT TO REVIEW AND AMENDMENT BY OUR RETAINED CERTIFIED HERITAGE CONSULTANTS. FINAL CO-ORDINATION OF HERITAGE FACADES AND NEW WORK WILL BE COMPLETED WITH INPUT FROM OUR HERITAGE CONSULTANT.
- COLOUR PALETTE DETAILS OF 30 KING STREET EAST FACADE MATERIALS WILL BE RESOLVED AT A LATER STAGE IN THE DESIGN.
- REFER TO CIVIL GRADING PLAN FOR THE F.F.E. OF SOUTH ELEVATION ENTRANCES ON GRADE

ELEVATION GLAZING CALCULATIONS (FRONT FACADE):

GROUND FLOOR

AREA OF FACADE:	151.40 m²
AREA OF GLAZED WINDOWS & DOORS:	88.20 m²
PERCENTAGE OF GLAZING REQUIRED:	60%
PERCENTAGE OF GLAZING PROVIDED:	58.25%

SECOND FLOOR

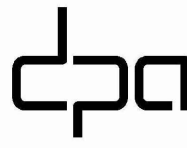
AREA OF FACADE:	115.40 m²
AREA OF GLAZED WINDOWS & DOORS:	37.90 m²
PERCENTAGE OF GLAZING REQUIRED:	MIN 25% MAX 40%
PERCENTAGE OF GLAZING PROVIDED:	32.80%

THIRD FLOOR

AREA OF FACADE:	115.40 m²
AREA OF GLAZED WINDOWS & DOORS:	33.40 m²
PERCENTAGE OF GLAZING REQUIRED:	MIN 25% MAX 40%
PERCENTAGE OF GLAZING PROVIDED:	28.90%

Hughson Business Space Corporation Mixed-use Building

18-30 King Street East  
Hamilton, ON L8N 1A3, CANADA



905-522-0220  
info@dpai.ca  
25 main st w, suite 1800  
hamilton, ON L8P 1H1

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Seals



Key Plan



03	ISSUED FOR MINOR VARIANCE (R2)	2021-11-08
02	ISSUED FOR SPA RESUBMISSION (R1)	2021-09-16
01	ISSUED FOR SPA RESUBMISSION	2021-07-08

No. Issues/Revisions Date

Drawing Title:

PRELIMINARY EXTERIOR ELEVATIONS

Issue Date: 2021-11-08

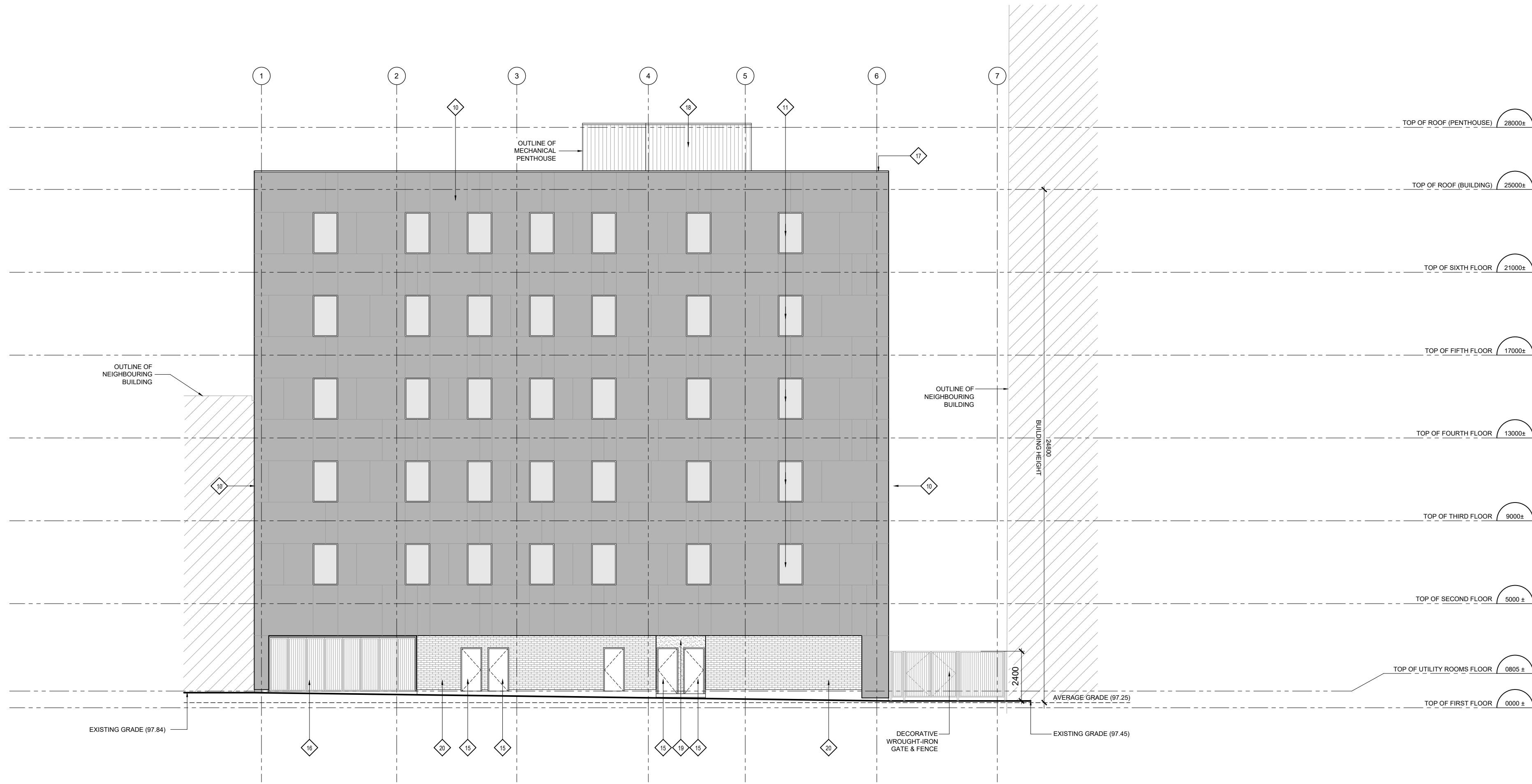
Drawn by: PN Checked by: PN

Project No.: 12102 Scale: 1:150

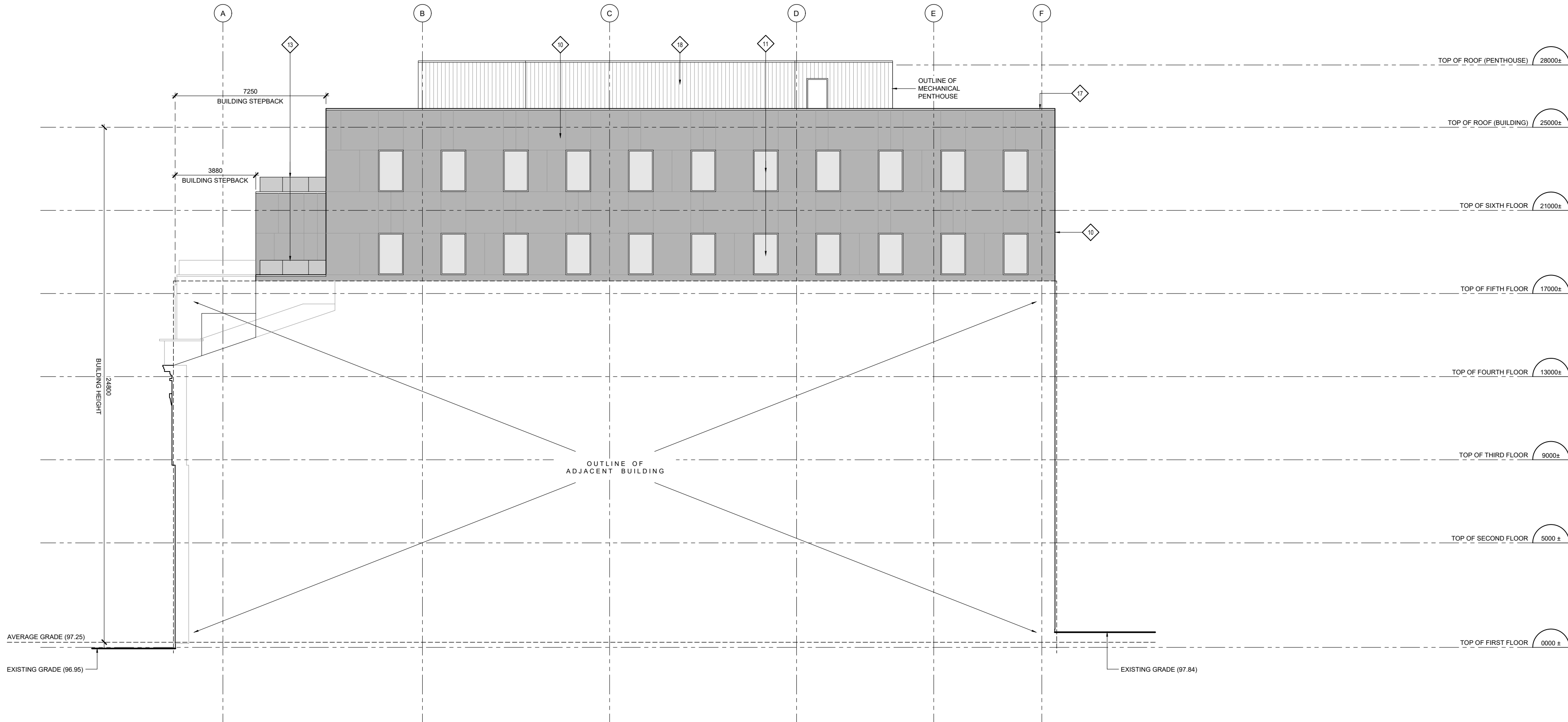
Drawing No.:

A02.01





1 REAR ELEVATION (SOUTH)  
A02.01 SCALE: 1:150



2 SIDE ELEVATION (WEST)  
A02.01 SCALE: 1:150

#### ELEVATION FINISH SCHEDULE

- 1 RESTORED EXISTING STONE MASONRY FACADE WALLS. SITE VERIFY WHERE EXISTING FACADE WAS ALTERED & RESTORE TO MATCH ORIGINAL.
- 2 RECONSTRUCTED EXISTING DORMERS
- 3 NEW ROOF DORMER TO MATCH EXISTING
- 4 NEW ROOF TO MATCH EXISTING
- 5 ALUMINUM CLAD WOOD FRAME WINDOW SYSTEM
- 6 ALUMINUM CLAD WOOD FRAME STOREFRONT
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- 10 FIBER CEMENT WALL CLADDING SYSTEM
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- 23 STOREFRONT SILL - PAINTED WOOD PROFILE
- 24 NEW ROOF TO MATCH EXISTING
- 25 RECESSED SIAMESE CONNECTION
- 26 PROJECTING CORNICE - PAINTED WOOD PROFILE
- 27 ARCHITECTURAL BLOCK
- 28 RESTORED METAL CORNICE
- 29 RESERVED
- 30 RESERVED

#### ELEVATION MATERIALS LEGEND

- 1 DENOTES AREAS OF EXISTING FACADE RESTORATION (FACADE MATERIALS TO BE COORDINATED AS PER HERITAGE PERMIT APPROVAL)
- 2 GLASS - VISION
- 3 GLASS - SPANDREL
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3. REFER TO CIVIL GRADING PLAN FOR THE F.F.E. OF SOUTH ELEVATION ENTRANCES ON GRADE

#### ELEVATION GLAZING CALCULATIONS (FRONT FACADE):

##### GROUND FLOOR

AREA OF FACADE: 151.40 m<sup>2</sup>  
AREA OF GLAZED WINDOWS & DOORS: 88.20 m<sup>2</sup>  
PERCENTAGE OF GLAZING REQUIRED: 60%  
PERCENTAGE OF GLAZING PROVIDED: 58.25%

##### SECOND FLOOR

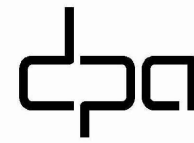
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##### THIRD FLOOR

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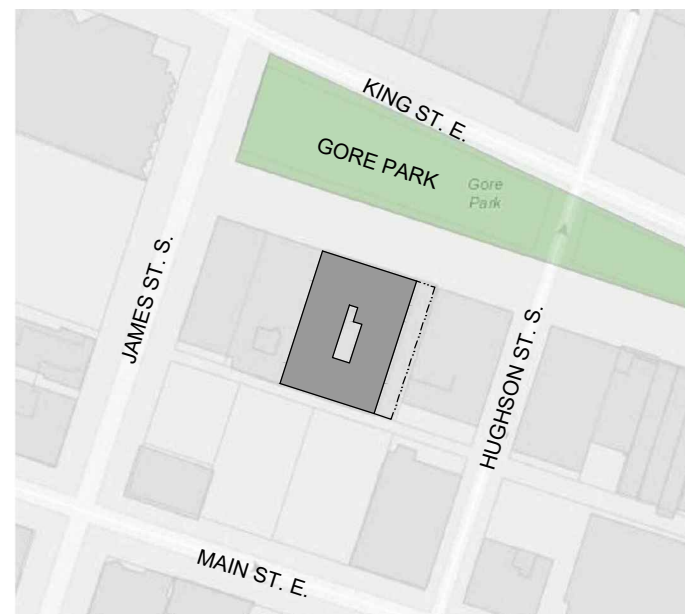
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Seals



Key Plan



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No.	Issues/Revisions	Date
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Drawing Title:

#### PRELIMINARY EXTERIOR ELEVATIONS

Issue Date: 2021-11-08

Drawn by: PN Checked by: PN

Project No.: 12102 Scale: 1:150

Drawing No.:

A02.02

Hughson Business Space  
Corporation  
Mixed-use Building

18-30 King Street East  
Hamilton, ON L8N 1A3, CANADA

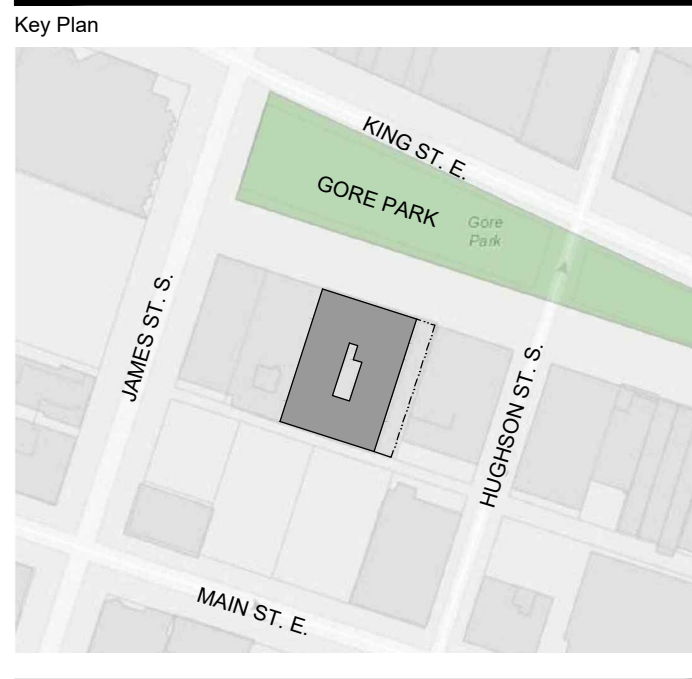


architecture  
interiors  
urban design

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FLOOR PLAN STATISTICS:	
UNIT 101	1,350 SF
UNIT 102	2,185 SF
UNIT 103	4,466 SF
UNIT 104	1,280 SF
	9,281 SF
LEASABLE AREA:	862.20 M2
GFA:	1,183.50 M2

1 GROUND FLOOR PLAN  
SCALE: 1:150



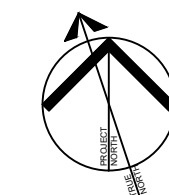
FLOOR PLAN STATISTICS:	
UNIT 201	2,998 SF
UNIT 202	3,357 SF
UNIT 203	3,667 SF
	10,022 SF
LEASABLE AREA:	931.00 M2
GFA:	1,206.70 M2

2 SECOND FLOOR PLAN  
SCALE: 1:150

03	ISSUED FOR REFERENCE (R2)	2021-11-08
02	ISSUED FOR SPA RESUBMISSION (R1)	2021-09-16
01	ISSUED FOR SPA RESUBMISSION	2021-07-08
No.	Issues/Revisions	Date
Drawing Title:		

PRELIMINARY  
FLOOR PLANS

Issue Date:		2021-11-08	
Drawn by:	PN	Checked by:	PN
Project No.:	12102	Scale:	1:150



A03.01



Hughson Business Space  
Corporation  
Mixed-use Building

18-30 King Street East  
Hamilton, ON L8N 1A3, CANADA



architecture  
interiors  
urban design

t 905-522-0220  
e info@dpai.ca  
25 main st w, suite 1800  
hamilton, ON L8P 1H1

Drawings are not to be scaled.

Contractor must verify all dimensions on the job and report any discrepancy to architects before proceeding with the work.

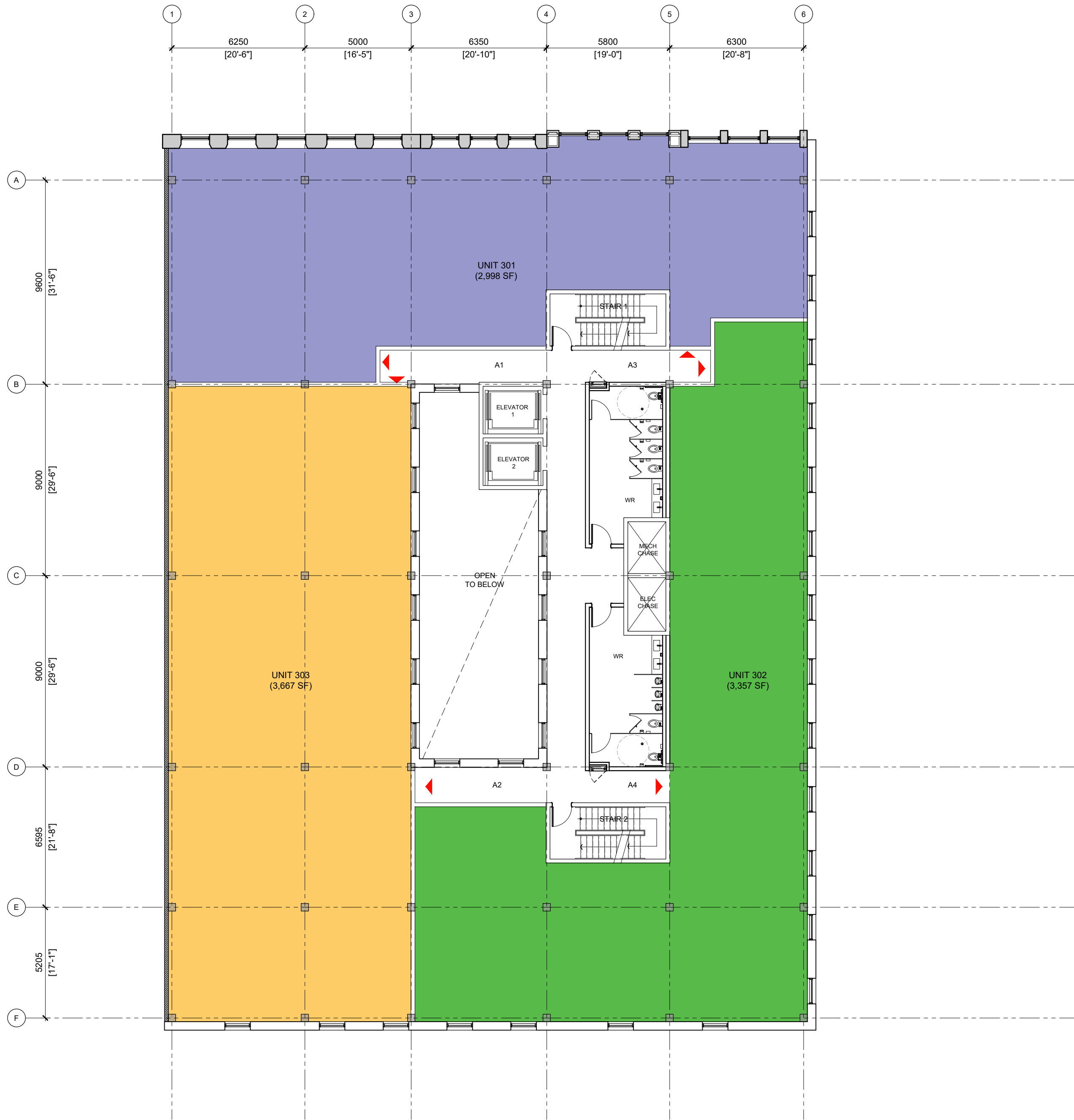
All drawings and specifications are the property of the architect and must be returned at the completion of the work.

This drawing is not to be used for construction until countersigned. Date:

Seals



Key Plan



FLOOR PLAN STATISTICS:	
UNIT 301	2,998 SF
UNIT 302	3,357 SF
UNIT 303	3,667 SF
	10,022 SF
LEASABLE AREA:	931.00 M2
GFA:	1,206.70 M2

1 THIRD FLOOR PLAN  
SCALE: 1:150



FLOOR PLAN STATISTICS:	
UNIT 401	2,647 SF
UNIT 402	3,357 SF
UNIT 403	3,665 SF
	9,669 SF
LEASABLE AREA:	898.30 M2
GFA:	1,172.80 M2

2 FOURTH FLOOR PLAN  
SCALE: 1:150

03	ISSUED FOR REFERENCE (R2)	2021-11-08
02	ISSUED FOR SPA RESUBMISSION (R1)	2021-09-16
01	ISSUED FOR SPA RESUBMISSION	2021-07-08

No. Issues/Revisions Date

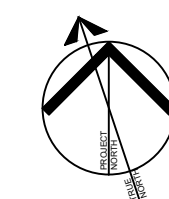
Drawing Title:

PRELIMINARY  
FLOOR PLANS

Issue Date: 2021-11-08

Drawn by: PN Checked by: PN

Project No.: 12102 Scale: 1:150



A03.02

Hughson Business Space  
Corporation  
Mixed-use Building

18-30 King Street East  
Hamilton, ON L8N 1A3, CANADA



architecture  
interiors  
urban design

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e info@dpai.ca  
25 main st w, suite 1800  
hamilton, ON L8P 1H1

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Seals

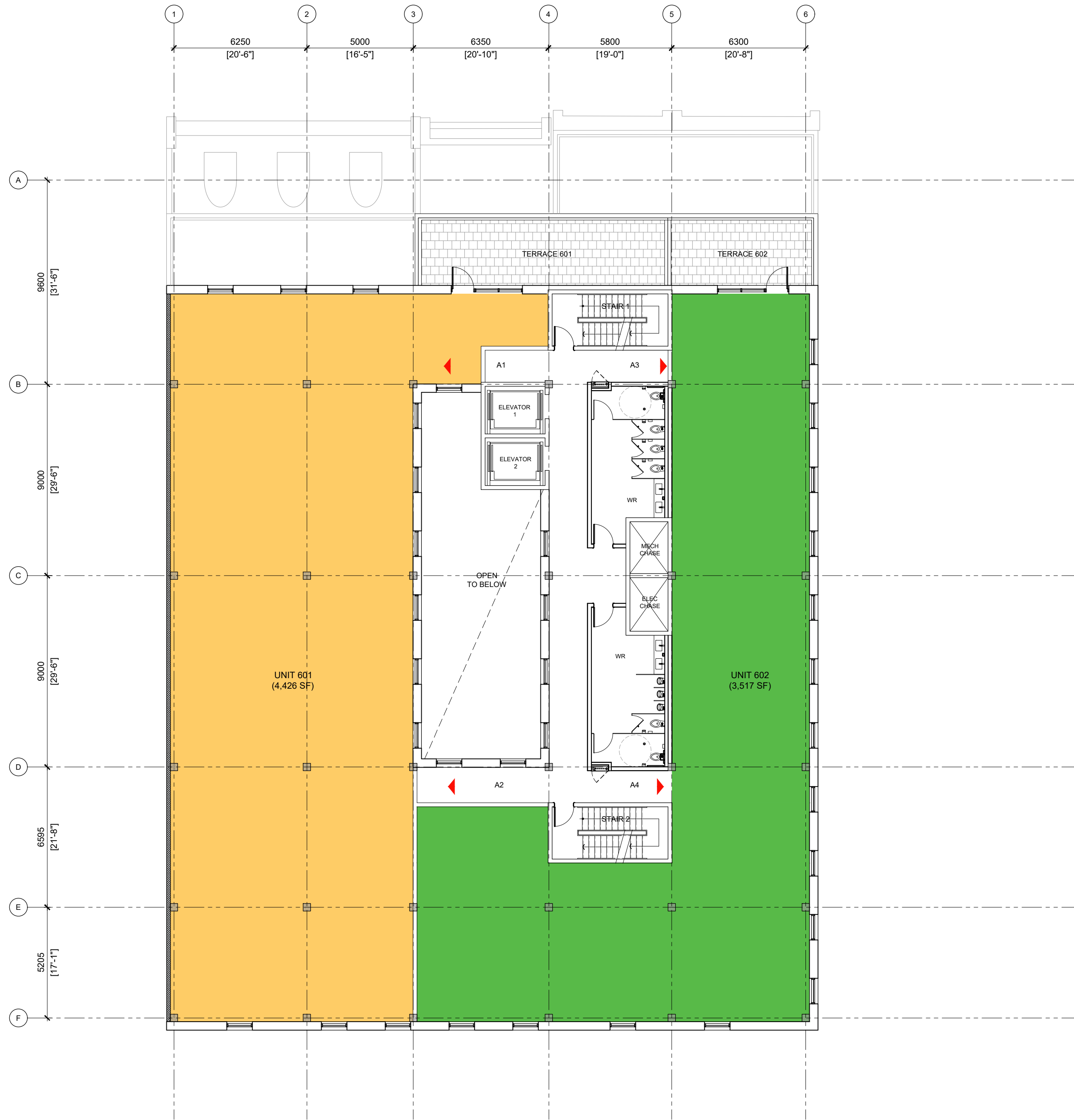


Key Plan



FLOOR PLAN STATISTICS:	
UNIT 501	1,061 SF
UNIT 502	3,216 SF
UNIT 503	4,193 SF
	8,470 SF
LEASABLE AREA:	786.90 M2
GFA:	1,052.70 M2

1 FIFTH FLOOR PLAN  
A03.03 SCALE: 1:150



FLOOR PLAN STATISTICS:	
UNIT 601	4,426 SF
UNIT 602	3,517 SF
	7,943 SF
LEASABLE AREA:	738.00 M2
GFA:	988.75 M2

2 SIXTH FLOOR PLAN  
A03.03 SCALE: 1:150

03	ISSUED FOR REFERENCE (R2)	2021-11-08
02	ISSUED FOR SPA RESUBMISSION (R1)	2021-09-16
01	ISSUED FOR SPA RESUBMISSION	2021-07-08

No. Issues/Revisions Date

Drawing Title:

PRELIMINARY  
FLOOR PLANS

Issue Date: 2021-11-08

Drawn by: PN Checked by: PN

Project No.: 12102 Scale: 1:150



A03.03



Hughson Business Space  
Corporation  
Mixed-use Building

18-30 King Street East  
Hamilton, ON L8N 1A3, CANADA



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e info@dpai.ca  
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hamilton, ON L8P 1H1

Drawings are not to be scaled.

Contractor must verify all dimensions on the job and report any discrepancy to architects before proceeding with the work.

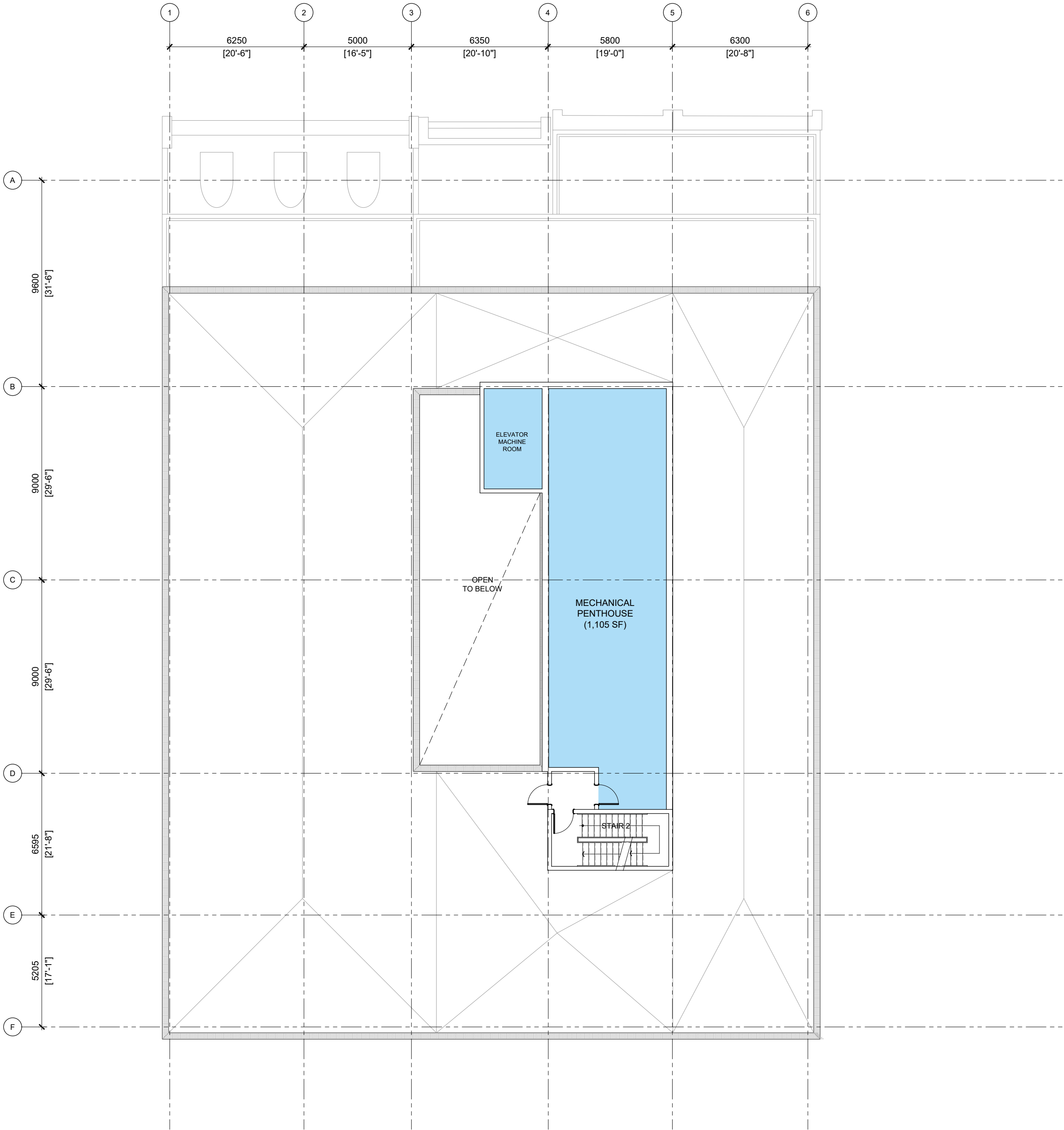
All drawings and specifications are the property of the architect and must be returned at the completion of the work.

This drawing is not to be used for construction until countersigned. Date:

Seals



Key Plan



1 MECHANICAL PENTHOUSE  
A03.04 SCALE: 1:150

03	ISSUED FOR REFERENCE (R2)	2021-11-08
02	ISSUED FOR SPA RESUBMISSION (R1)	2021-09-16
01	ISSUED FOR SPA RESUBMISSION	2021-07-08

No. Issues/Revisions Date

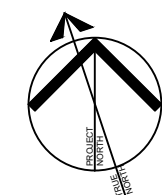
Drawing Title:

PRELIMINARY  
FLOOR PLANS

Issue Date: 2021-11-08

Drawn by: PN Checked by: PN

Project No.: 12102 Scale: 1:150



Drawing No.:

A03.04

November 9, 2021

408-21

**Via Email & Delivered**

Jamila Sheffield  
Secretary Treasurer, Committee of Adjustment

City of Hamilton  
71 Main Street West, 5<sup>th</sup> Floor  
Hamilton, ON L8P 4Y5

Dear Ms. Sheffield:

**RE: 18-30 King Street East, Hamilton (Gore Buildings)  
Resubmission - Minor Variance Application HM/A-21:373**

UrbanSolutions Planning & Land Development Consultants Inc. (UrbanSolutions) is the authorized planning consultants acting on behalf of Hughson Business Space Corporation, the registered owner of the lands municipally known as 18-30 King Street East (The Gore) (subject lands). On behalf of the owner, UrbanSolutions has prepared the enclosed the Minor Variance application resubmission which follows an initial submission from October 6, 2021.

Following the Site Plan submission (SPA-21-116), comments from the City's Zoning division identified several variances regarding the proposed built form. As changes to the Site Plan have continued to evolve since the first minor variance submission based on these comments, a resubmission is now required with the biggest change being a reduction in parking from 24 spaces to 0. The updated variances include;

- **Variance No. 1:** To permit a step back of 0.0 metres for the portion of the building above 22.0m on the westerly and rear lot lines for lands within the (D2) Downtown Prime Retail Streets Zone.
- **Variance No. 2:** To permit a maximum ground floor storey height of 5.1m, whereas 4.5m is permitted for lands within the (D2) Downtown Prime Retail Streets Zone.
- **Variance No. 3:** To permit a maximum building height of 25m (6 storeys) whereas 22.0m is the maximum permitted height for lands within the D2 'Prime Retail Streets' zone.
- **Variance No. 4:** To permit a minimum of 58% of glazing for the ground floor windows and doors whereas 60% is required for lands within the (D2) Downtown Prime Retail Streets Zone.
- **Variance No. 5:** To permit a maximum of 4 materials for the exterior cladding of the first three storeys whereas no more than two materials are permitted.
- **Variance No. 6:** To reduce the required parking ratio from 1 space per 50 m<sup>2</sup> GFA (104.4 spaces) to 0 spaces per 50m<sup>2</sup> (0 spaces).



Section 45(1) of the *Planning Act*, R.S.O. 1990, as amended, requires a Minor Variance to satisfy four tests. As the downtown core continues to grow, the additional storeys are required to accommodate increased demand for office space. Variances 1-5 pertain to the need to maintain the heritage character. The variances related to parking space dimensions are highly technical in nature and necessary to facilitate the proposed development. Additionally, the proposed building will contain the original façade preserving its heritage character by utilizing a mix of original materials and modern elements making it a landmark development in Hamilton's downtown core. Due to the existing heritage character, glazing on the windows and doors on the first three storeys is reduced to maintain and recognize the existing appearance of the structures. As Variances 1-5 primarily recognize the existing building conditions and accommodate the heritage preservation, the four tests of Section 45(1) of the *Planning Act* are satisfied.

Regarding Variance 6, the City of Hamilton By-law 05-200, parking requirements are determined based on 1 space per 50m<sup>2</sup> of new GFA in excess of 450m<sup>2</sup> for office buildings while new uses within existing buildings are not subject to a parking ratio. As a result of the demolition and front façade stabilization, the parking ratio credit to the existing gross floor area being demolished is lost. As per By-Law 05-200 Section 5.6 (a) iv., the required parking ratio is calculated based on the increased floor area for only the office space provided. Keeping the demolition of 30 King Street E. in mind, the new GFA is 6821.20m<sup>2</sup> which includes 5640.10m<sup>2</sup> of office space. When compared to the previous GFA of 4100.95m<sup>2</sup>, the increase in GFA excluding the first-floor commercial space is 1,089.15. With respect to the by-law where in excess of 450m<sup>2</sup> is considered for the required parking ratio, this results in the need for only 21.7 spaces.


Considering that the previous uses of the property contained no parking structure, and the built form and site conditions, such as the rear alleyway, give little breathing room for the any new structure to be implemented underground, the reduction is necessary. As such, the reduction from 1 space per 50 m<sup>2</sup> GFA (103 spaces) to 0 spaces per 50m<sup>2</sup> (0 spaces) satisfies the four test of Section 45(1) of the *Planning Act*.

In support of this resubmission, please find enclosed the following:

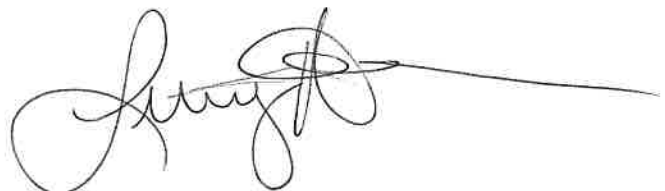
- One (1) copy of the revised architectural package prepared by DPAI;

We trust the enclosed is in order; however, please feel free to contact the undersigned with any questions.

Regards,  
**UrbanSolutions**



Matt Johnston, MCIP, RPP  
Principal



Lindsay Nooren, MES Pl, BA (hons)  
Planner

cc: Councillor Jason Farr, Ward 2, City of Hamilton (via email)  
Mr. Steve Robichaud, Chief Planner, City of Hamilton (via email)

Mr. David Premi, DPAI (via email)  
Hughson Business Space Corporation (via email)





**Committee of Adjustment**  
City Hall, 5<sup>th</sup> Floor,  
71 Main St. W.,  
Hamilton, ON L8P4Y5

Phone: (905) 545-2424 ext. 4221  
Email: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

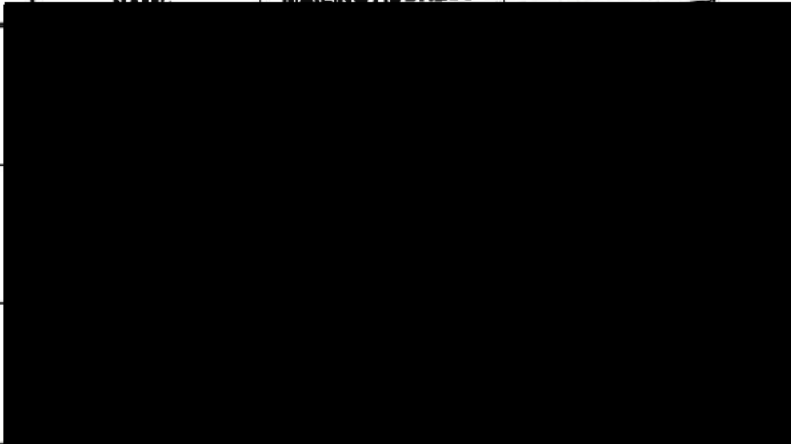
## APPLICATION FOR A MINOR VARIANCE

<b>FOR OFFICE USE ONLY.</b>	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

### The Planning Act

#### Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

	NAME	MAILING ADDRESS
1, 2		
Registered Owners(s)		
Applicant(s)*		
Agent or Solicitor		

**Note:** Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

N/A

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

Refer to Cover Letter

- ☐ Secondary Dwelling Unit      ☐ Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

Refer to Cover Letter

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

18-30 King St. E, Lots 14, 15, Registered Plan Number 1431 in the City of Hamilton

7. PREVIOUS USE OF PROPERTY

- Residential ☐      Industrial ☐      Commercial ☐  
Agricultural ☐      Vacant ☒      Other ☐

Other \_\_\_\_\_

- 8.1 If Industrial or Commercial, specify use \_\_\_\_\_
- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?  
Yes ☐      No ☒      Unknown ☐
- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?  
Yes ☐      No ☒      Unknown ☐
- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?  
Yes ☐      No ☒      Unknown ☐
- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?  
Yes ☐      No ☒      Unknown ☐
- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?  
Yes ☐      No ☒      Unknown ☐
- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?  
Yes ☐      No ☒      Unknown ☐
- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?  
Yes ☐      No ☒      Unknown ☐
- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?  
Yes ☐      No ☒      Unknown ☐



8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ☐ No ☒ Unknown ☐

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

Consultation with owner

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ☐ No ☐ N/A

9. **ACKNOWLEDGEMENT CLAUSE**

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

2021-09-14

Date

DocuSigned by:

  
Signature of Property Owner(s)

Hughson Business Space Corporation

Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage 33.63 m  
Depth 42.43 m  
Area 1,204,400 m<sup>2</sup>  
Width of street 48.0 m (King Street)

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:

Please refer to enclosed topographic survey prepared by A J Clarke and Associates

Proposed:

Please refer to enclosed minor variance sketch prepared by DPAI.

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

Please refer to enclosed topographic survey prepared by A J Clarke and Associates

Proposed:

Please refer to enclosed minor variance sketch prepared by DPAI

13. Date of acquisition of subject lands:

14. Date of construction of all buildings and structures on subject lands:

T90

15. Existing uses of the subject property (single family, duplex, retail, factory etc.)

Vacant

16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):

Office/ Commercial

17. Length of time the existing uses of the subject property have continued:

Unknown

18. Municipal services available: (check the appropriate space or spaces)

Water ☐

Connected ☐

Sanitary Sewer ☐

Connected ☐

Storm Sewers ☐

19. Present Official Plan/Secondary Plan provisions applying to the land:

The subject lands are designated 'Downtown-Mixed Use-Pedestrian Focus' in the Urban Hamilton Official Plan (UHOP)

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:

The subject lands are zoned as D2 'Prime Retail Streets' under the Zoning By-law 05-200

21. Has the owner previously applied for relief in respect of the subject property?

Yes ☐

No ☒

If the answer is yes, describe briefly.

22. Is the subject property the subject of a current application for consent under Section 53 of the Planning Act?

Yes ☐

No ☒

23. Additional Information

24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.