



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING

Application for Consent/Land Severance

APPLICATION NUMBER: HM/B-21:104

SUBJECT PROPERTY: 260 Dunsmure Rd., Hamilton

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICANT(S): Agent A.J. Clarke & Associates Ltd. c/o Ryan Ferrari
Owner Dunsmure Developments

PURPOSE OF APPLICATION: To permit the conveyance of a parcel of land and to retain a parcel of land for residential purposes.
Subject lands also subject to HM/B-21:46.

Severed lands:

6.7m[±] x 29.59m[±] and an area of 199.5m^{2±}

Retained lands:

6.74m[±] x 25.09m[±] and an area of 189m^{2±}

**This application will be heard in conjunction with
Minor Variance Application HM/A-21:404**

The Committee of Adjustment will hear this application on:

DATE: Thursday, December 9th , 2021
TIME: 3:50 p.m.
PLACE: Via video link or call in (see attached sheet for details)

To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

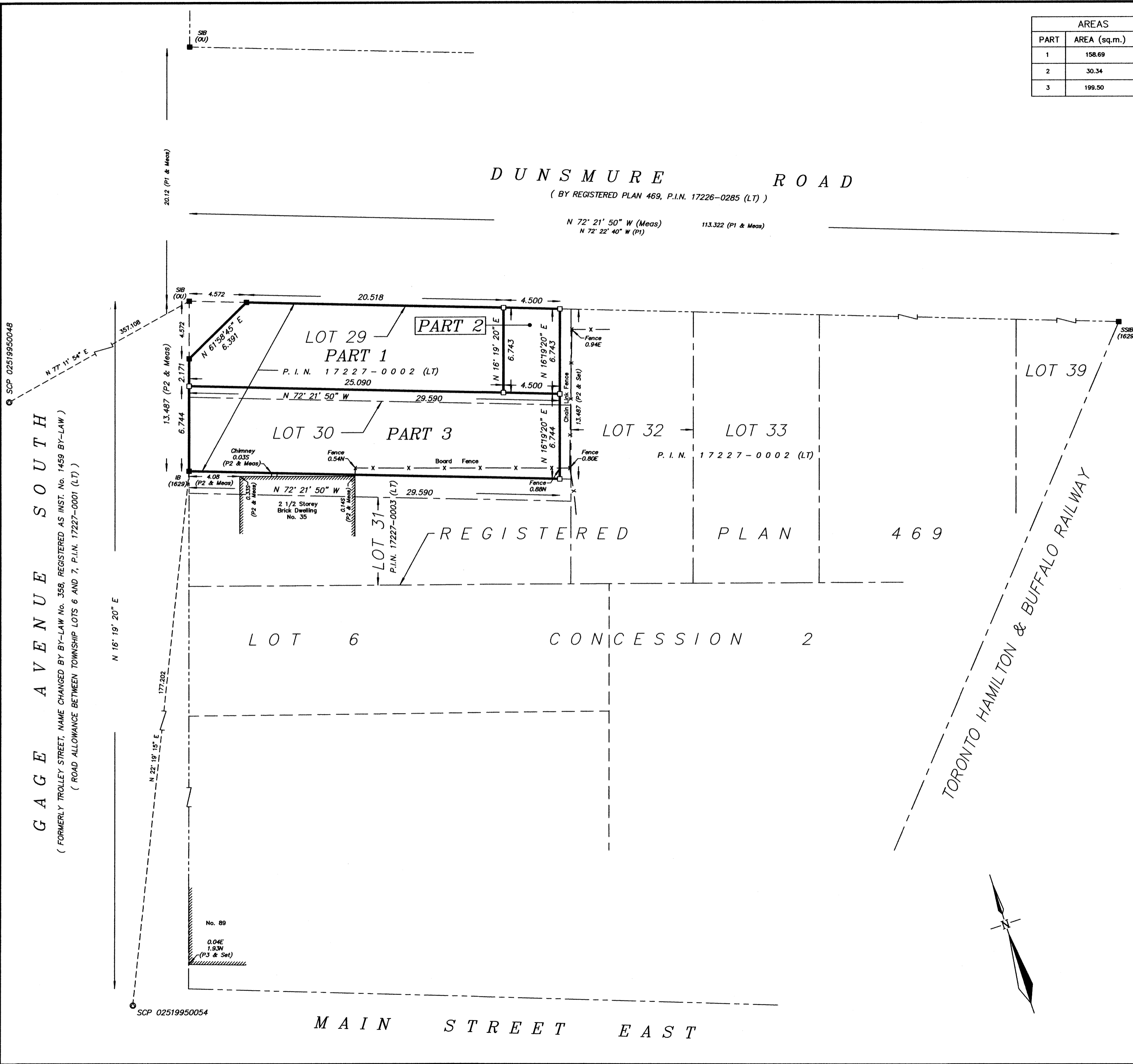
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: November 23rd, 2021

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



AREAS	
PART	AREA (sq.m.)
1	158.69
2	30.34
3	199.50

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

DATE: _____

BRYAN JACOBS
ONTARIO LAND SURVEYOR

PLAN 62R-

RECEIVED AND DEPOSITED

DATE: _____

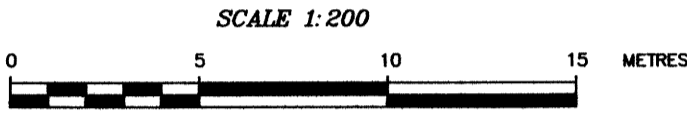
REPRESENTATIVE FOR
LAND REGISTRAR FOR THE LAND TITLES
DIVISION OF WENTWORTH (No. 62).

SCHEDULE			
PART	LOT	PLAN	P.I.N.
1	PART OF LOT 29	REGISTERED PLAN 469	PART OF P.I.N. 17227-0002 (LT)
2	PART OF LOT 29	REGISTERED PLAN 469	PART OF P.I.N. 17227-0002 (LT)
3	PART OF LOTS 29 & 30	REGISTERED PLAN 469	PART OF P.I.N. 17227-0002 (LT)

PARTS 1, 2, & 3: COMPRISE PART OF P.I.N. 17227-0002 (LT).

PLAN OF SURVEY OF
PART OF LOTS 29 & 30
REGISTERED PLAN 469

CITY OF HAMILTON



B.A. JACOBS SURVEYING LTD.
ONTARIO LAND SURVEYOR

- LEGEND AND NOTES:
- DENOTES SURVEY MONUMENT FOUND
 - DENOTES SURVEY MONUMENT PLANTED
 - SIB DENOTES STANDARD IRON BAR
 - SSIB DENOTES SHORT STANDARD IRON BAR
 - IB DENOTES IRON BAR
 - CC DENOTES CUT CROSS
 - (OU) DENOTES ORIGIN UNKNOWN
 - WT. DENOTES WITNESS
 - P1 DENOTES REGISTERED PLAN 469
 - P2 DENOTES PLAN BY MACKAY & MACKAY (Y-6289)
 - P3 DENOTES PLAN BY A.J. CLARKE LTD. (E-14158)
 - (1629) DENOTES B.A. JACOBS O.L.S.

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

BEARINGS ARE UTM GRID, DERIVED FROM SPECIFIED CONTROL POINTS 02519950048 AND 02519950054, UTM ZONE 17, NAD83 (ORIGINAL).

DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.9997020.

ALL SET SSIB MONUMENTS WERE USED DUE TO LACK OF OVERBURDEN AND/OR PROXIMITY OF UNDERGROUND UTILITIES IN ACCORDANCE WITH SECTION 11 (4) OF O.REG. 525/91.

FOR BEARING COMPARISONS, A ROTATION OF 1°40'40" COUNTER CLOCKWISE WAS APPLIED TO BEARINGS ON REGISTERED PLAN 469

SPECIFIED CONTROL POINTS (SCPs): UTM ZONE 17, NAD83 (ORIGINAL). COORDINATES TO URBAN ACCURACY PER SEC. 14 (2) OF O.REG. 216/10.		
POINT ID	NORTHING	EASTING
SCP 02519950048	4788797.407	594711.103
SCP 02519950054	4788699.692	594988.167
COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN		

SURVEYOR'S CERTIFICATE

- I CERTIFY THAT:
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 - THE SURVEY WAS COMPLETED ON _____

DRAFT

DATE _____ BRYAN JACOBS
ONTARIO LAND SURVEYOR

B.A. JACOBS SURVEYING LTD.
152 JACKSON STREET EAST, SUITE 102
HAMILTON, ONTARIO (LBN 1L3)
PHONE 905-521-1535 bajacobs@rogers.com

JOB No. 19s78-R

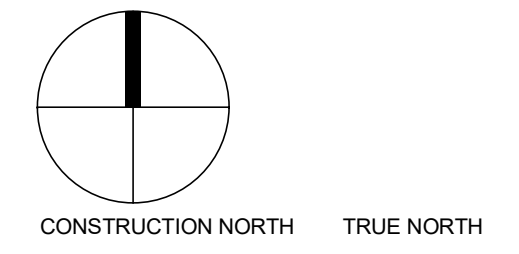
NO.	ISSUED	DATE
1	CLIENT REVIEW	2021.05.28
2	ISSUED FOR PERMIT	2021.06.23
3	ISSUED FOR PERMIT (SEMS)	2021.06.25

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DUNSMURE TOWNHOUSES

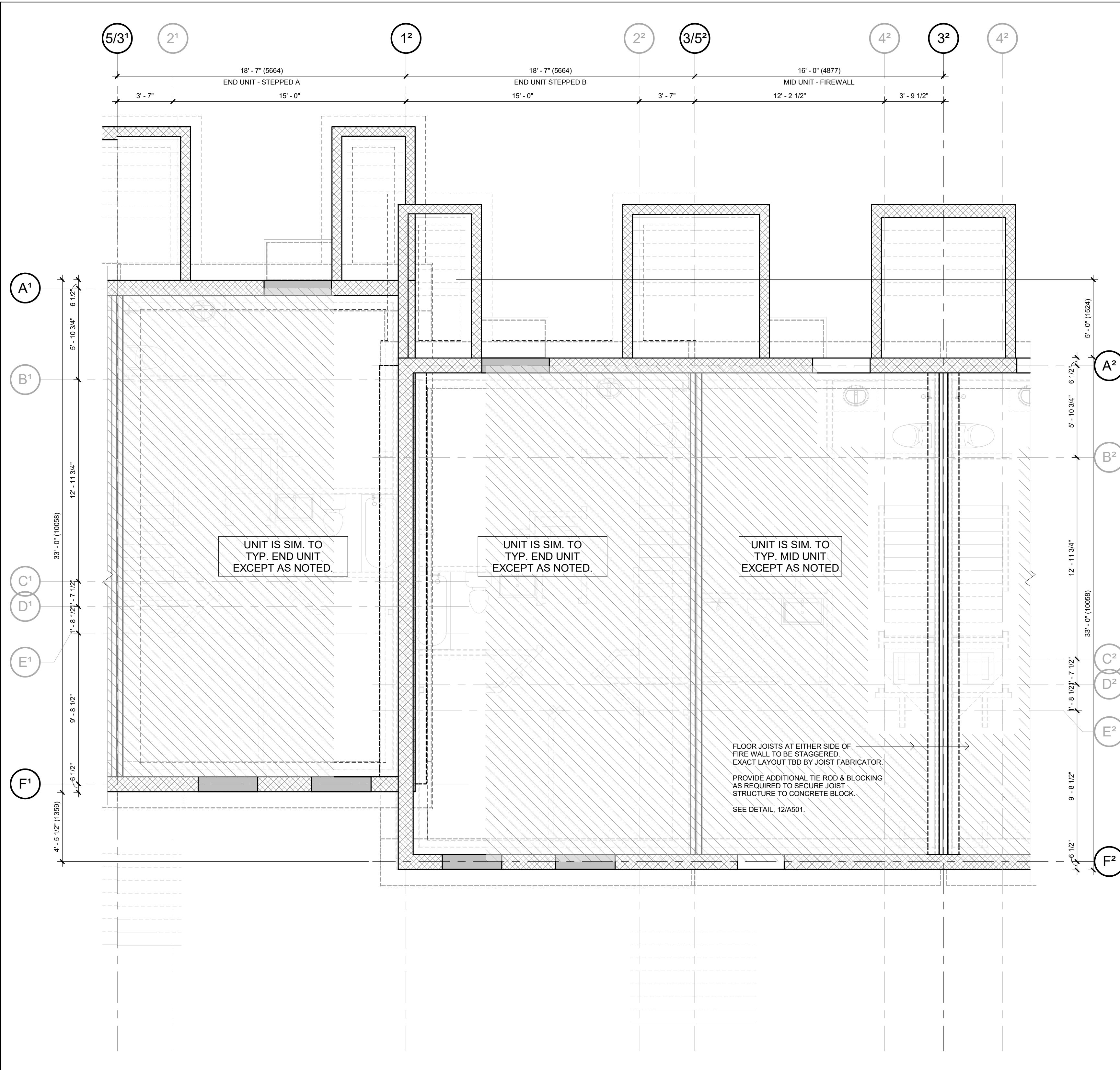
260 DUNSMURE RD.
HAMILTON, ONTARIO

SHEET NAME

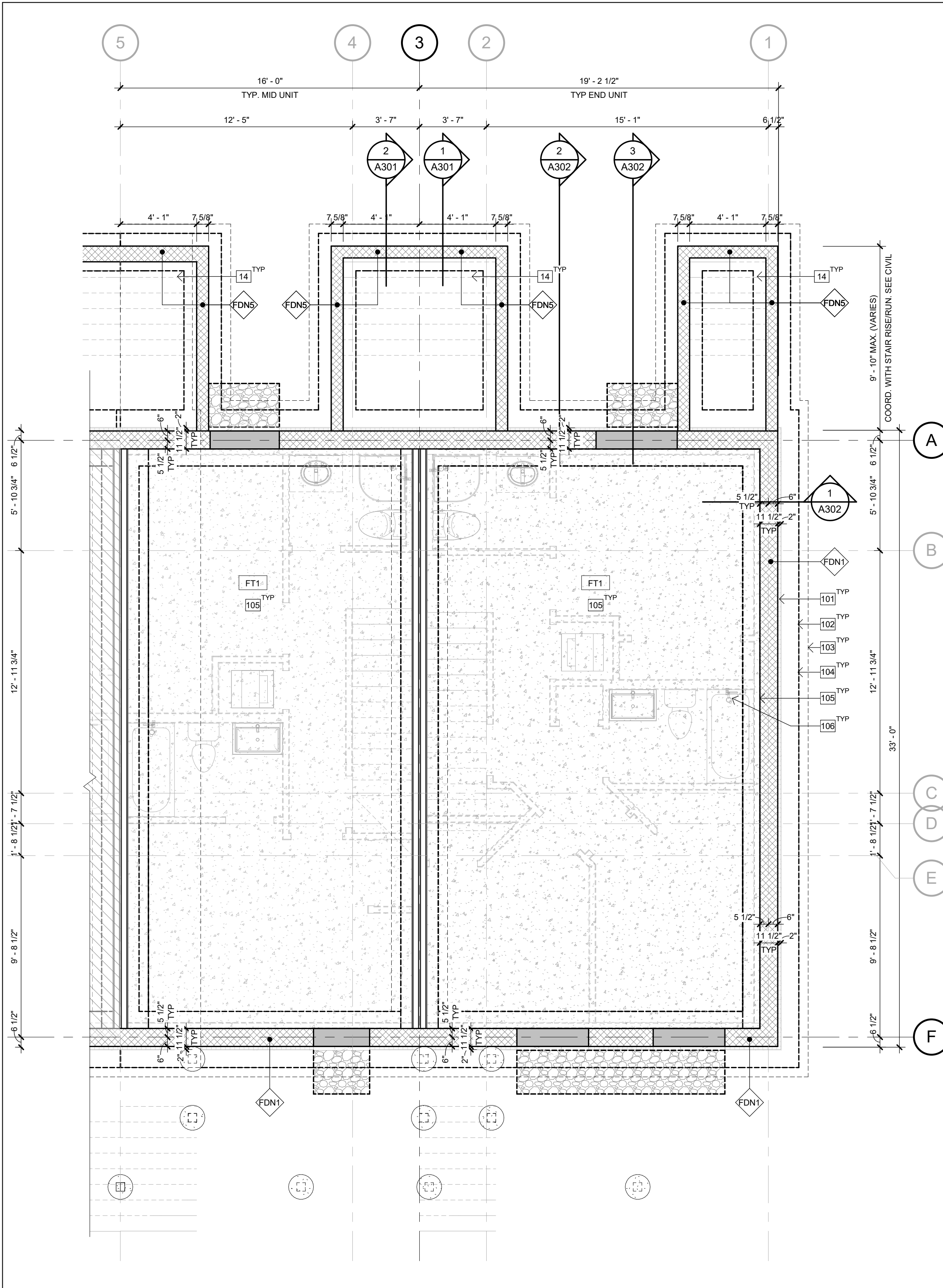
FOUNDATION PLAN

START DATE	FEB 2021
DRAWN BY	MC
CHECKED BY	KN
SCALE	1/4" = 1'-0"
PROJECT NO.	121001
DRAWING	

A101



2 FOUNDATION PLAN - BLOCK 3 VARIATIONS
1/4" = 1'-0"



1 FOUNDATION PLAN - TYPICAL BLOCK
1/4" = 1'-0"

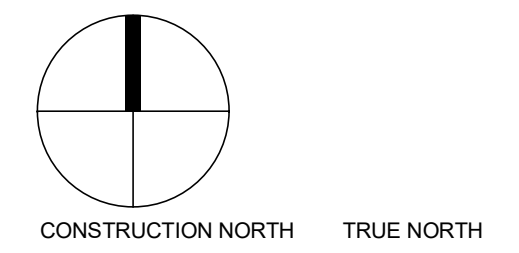
NO.	ISSUED	DATE
1	ISSUED FOR PERMIT (SEMIS)	2021.06.25

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DUNSMURE TOWNHOUSES

260 DUNSMURE RD.
HAMILTON, ONTARIO

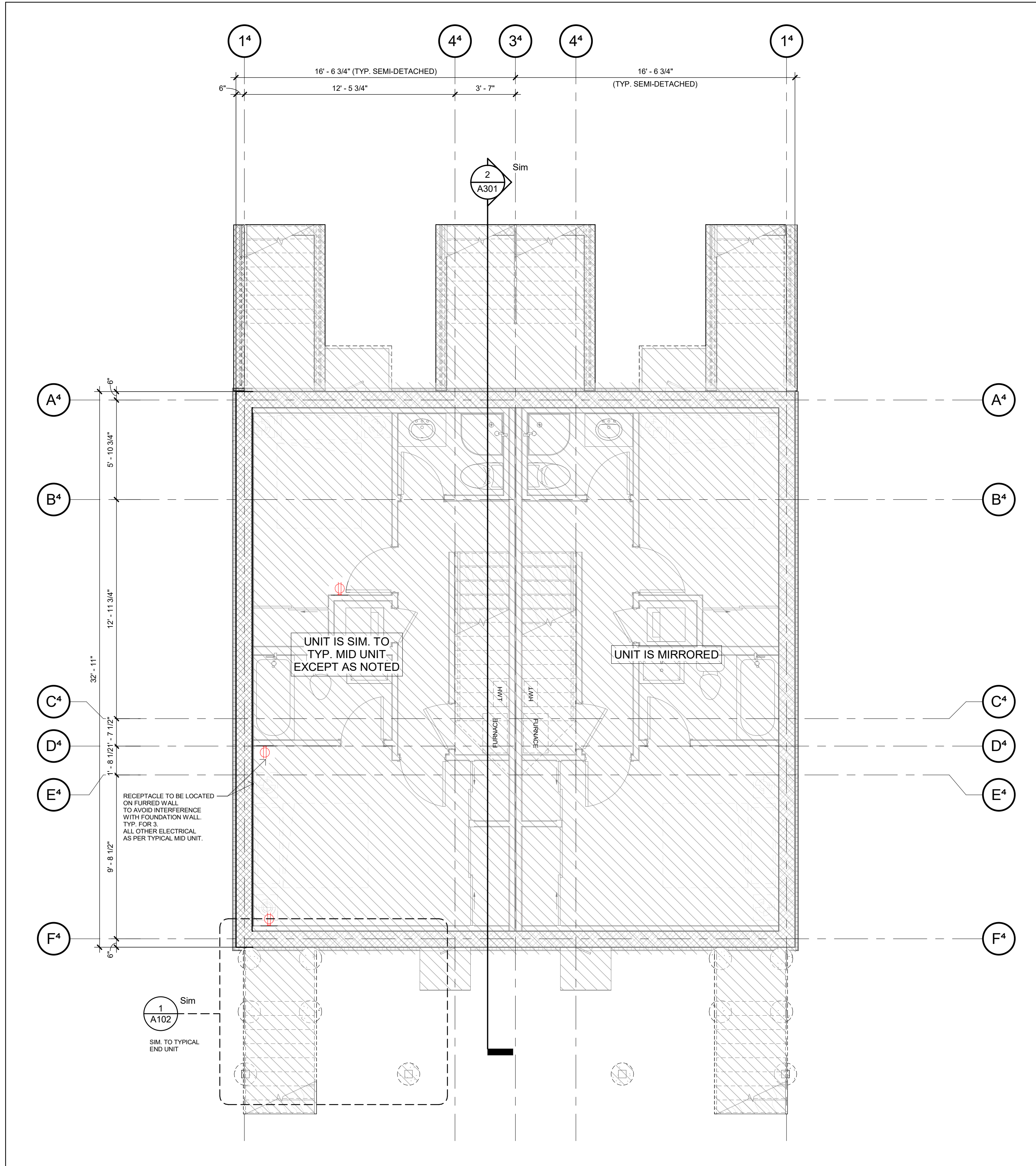
SHEET NAME

FOUNDATION & BASEMENT PLAN - SEMIS

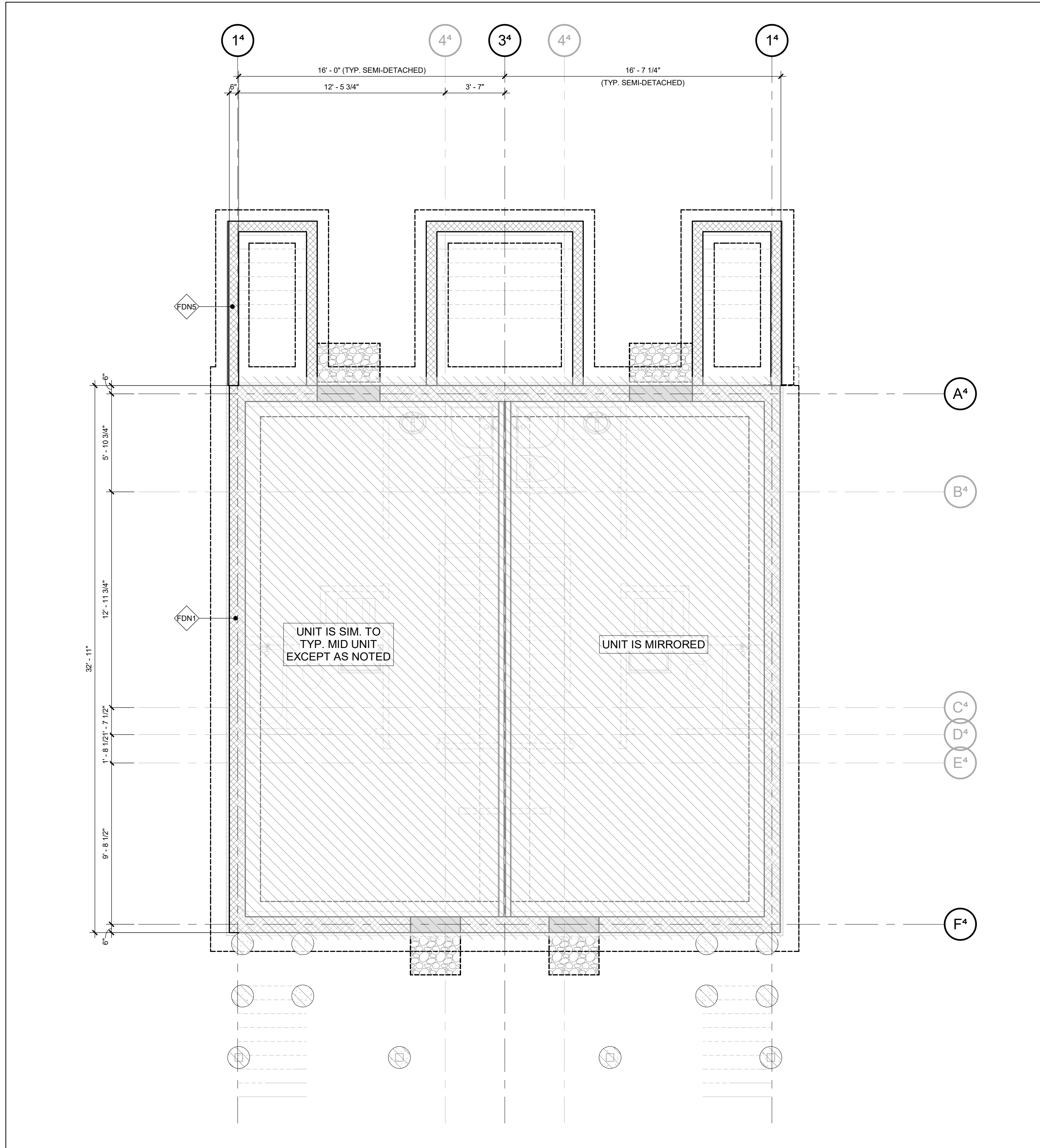
START DATE	FEB 2021
DRAWN BY	Author
CHECKED BY	Checker
SCALE	1/4" = 1'-0"
PROJECT NO.	121001

DRAWING

A101a



2 BASEMENT FLOOR PLAN - SEMI-DETACHED
A101a 1/4" = 1'-0"



1 FOUNDATION PLAN - SEMI-DETACHED
A101a 1/4" = 1'-0"

KEYNOTES

9.9.10.1. Egress Windows or Doors for Bedrooms

- (1) Except where a door on the same floor level as the bedroom provides direct access to the exterior, every floor level containing a bedroom in a suite shall be provided with at least one outside window that,
- (a) is operable from the inside without the use of tools,
- (b) provides an individual, unobstructed open portion having a minimum area of 0.35 m² with no dimension less than 380 mm, and
- (c) maintains the required opening described in Clause (b) without the need for additional support.
- (2) Except for basement areas, the window required in Sentence (1) shall have a maximum sill height of 1 000 mm above the floor.
- (3) When sliding windows are used, the minimum dimension described in Sentence (1) shall apply to the operable portion of the window.
- (4) Where the sleeping area within a live/work unit is on a mezzanine with no obstructions more than 1 070 mm above the floor, the window required in Sentence (1) may be provided on the main level of the live/work unit provided the mezzanine is not more than 25% of the area of the live/work unit or 20 m², whichever is less, and an unobstructed direct path of travel is provided from the mezzanine to this window.
- (5) Where a window required in Sentence (1) opens into a window well, a clearance of not less than 550 mm shall be provided in front of the window.
- (6) Where the sash of a window referred to in Sentence (5) swings towards the window well, the operation of the sash shall not reduce the clearance in a manner that would restrict escape in an emergency.
- (7) Where a protective enclosure is installed over the window well referred to in Sentence (5), such enclosure shall be operable from the inside without the use of keys, tools or special knowledge of the opening mechanism.



Chamberlain Architect Services Limited

4671 Palladium Way (Unit 1)
Burlington, Ontario. L7M 0W9
CANADA
Phone: 905.631.7777
www.chamberlainPD.com

NO.	ISSUED	DATE
1	INTERNAL COORDINATION	2021.05.10
2	CLIENT REVIEW	2021.05.28
3	ISSUED FOR PERMIT	2021.06.23
4	ISSUED FOR PERMIT (SEMS)	2021.06.25

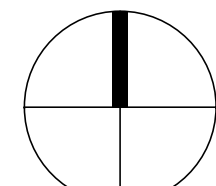
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CONSTRUCTION NORTH TRUE NORTH

DUNSMURE TOWNHOUSES

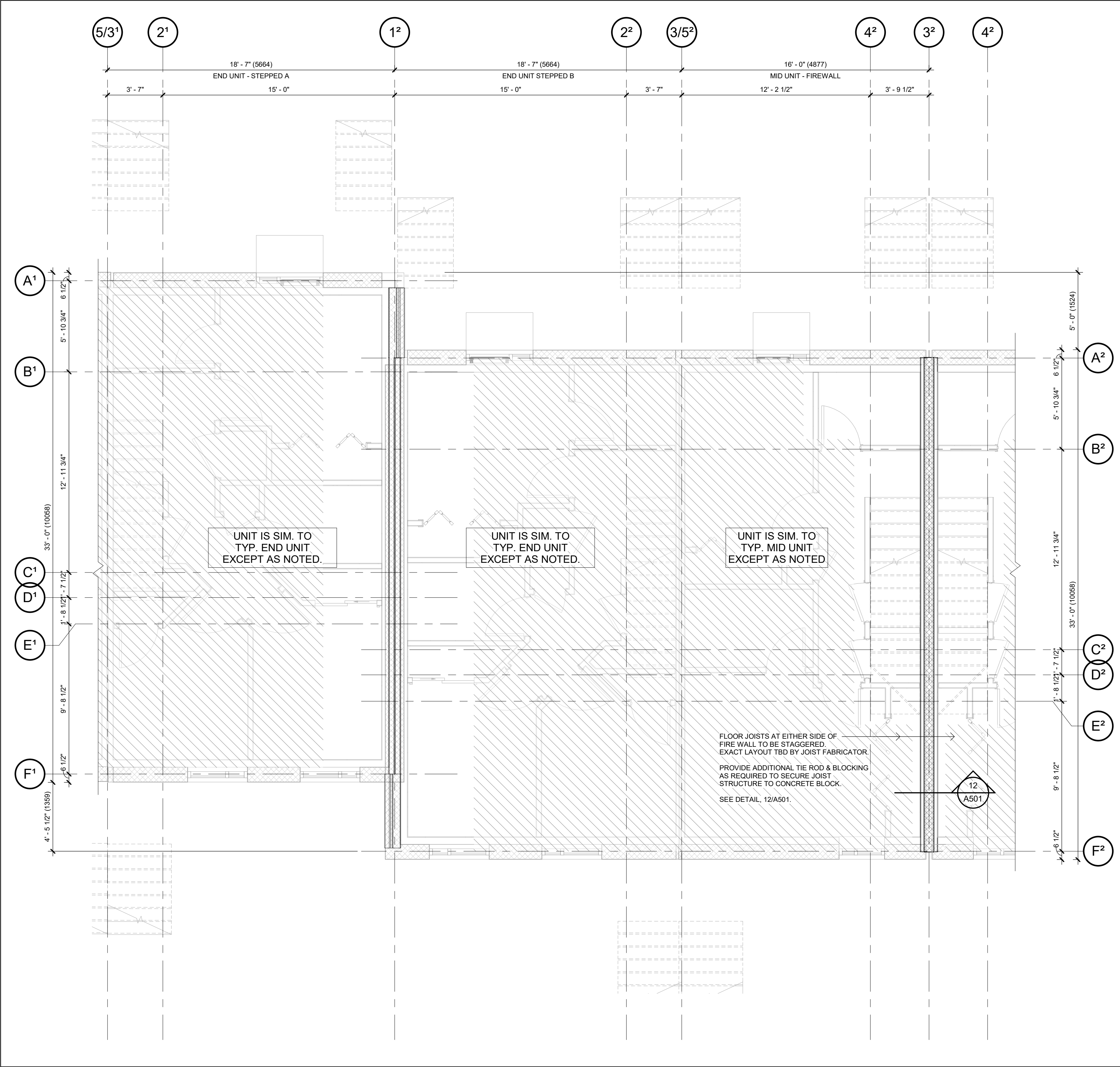
260 DUNSMURE RD.
HAMILTON, ONTARIO

SHEET NAME

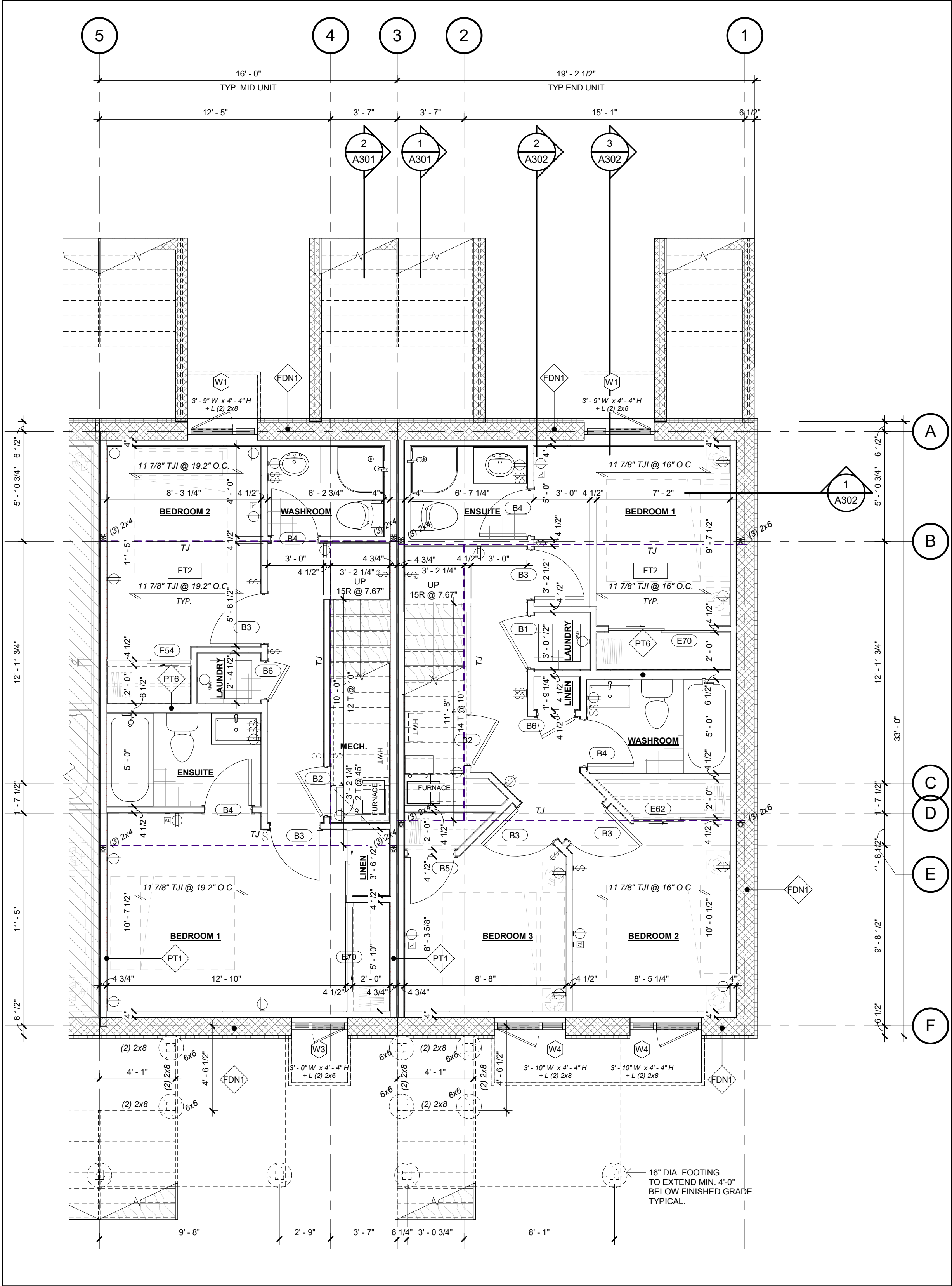
BASEMENT FLOOR PLAN

START DATE	FEB 2021
DRAWN BY	MC
CHECKED BY	KN
SCALE	1/4" = 1'-0"
PROJECT NO.	121001
DRAWING	

A102



2 BASEMENT FLOOR PLAN - BLOCK 3 VARIATIONS
A102 1/4" = 1'-0"



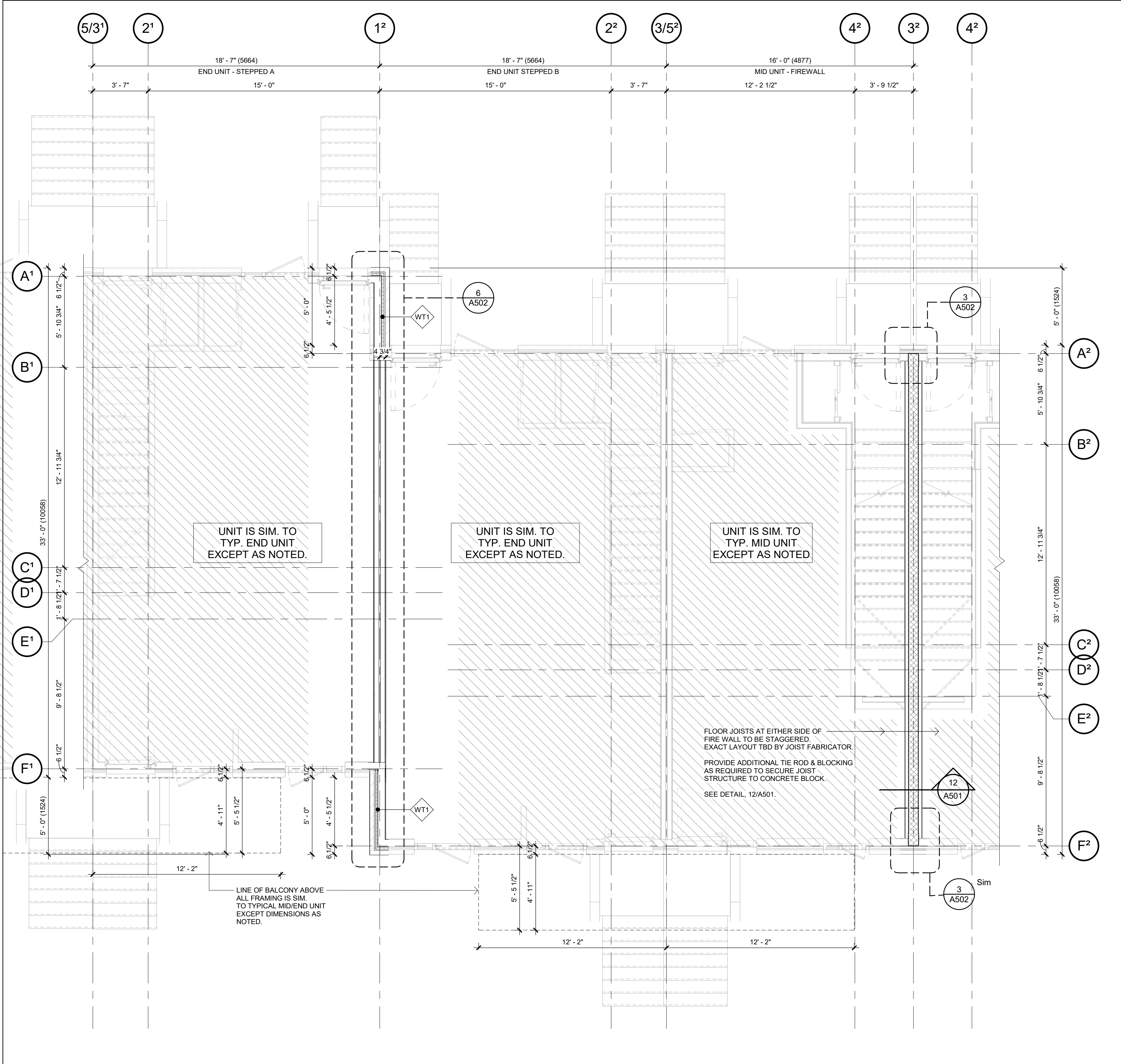
1 BASEMENT FLOOR PLAN - TYPICAL BLOCK
A102 1/4" = 1'-0"

ALL INTERIOR PARTITION & FURRING WALLS ARE PT5 & PT5a
UNLESS OTHERWISE NOTED.

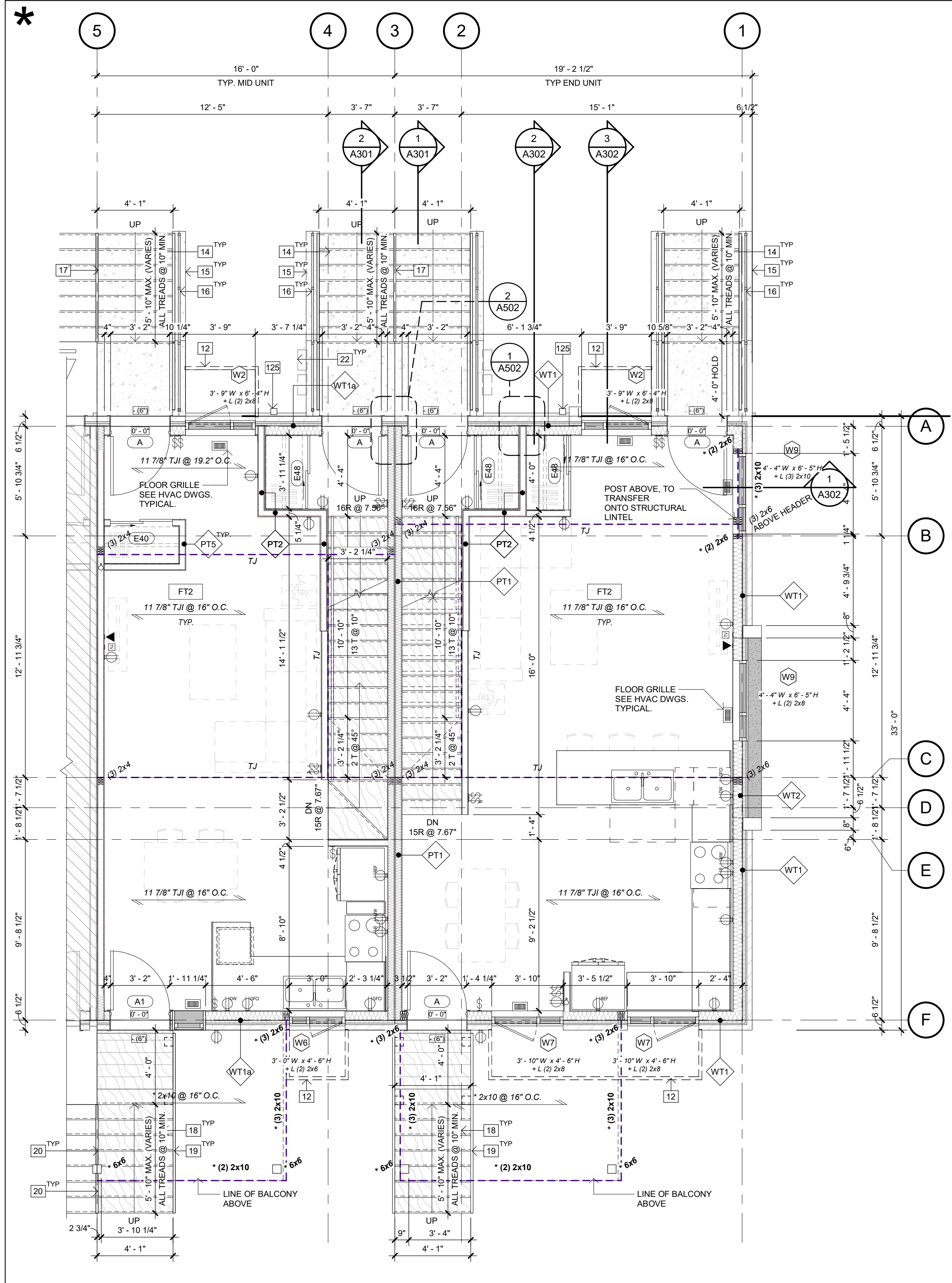
STRUCTURAL NOTES:

ITEMS NOTED WITH " * " REVIEWED BY
STRUCTURAL ENGINEER.

STAMP:



2
A103 GROUND FLOOR PLAN - BLOCK 3 VARIATIONS
1/4" = 1'-0"



1
A103 GROUND FLOOR PLAN - TYPICAL BLOCK
1/4" = 1'-0"

ALL INTERIOR PARTITION & FURRING WALLS ARE PT5 & PT5a
UNLESS OTHERWISE NOTED.

KEYNOTES

- CAST IN PLACE CONCRETE STAIR, TO MEET OBC 9.8.4. EXACT NUMBER OF RISERS VARIES. SEE CIVIL DRAWINGS. SITE VERIFY/CONFIRM EXACT HEIGHT PRIOR TO CONSTRUCTION.
- PRECAST CONCRETE SILL, EDGES TO EXTEND 1/2" BEYOND WALL.
- PREFINISHED ALUMINUM GUARDRAIL, TO MEET OBC 9.8.7, AND LOAD REQUIREMENTS AS PER OBC 4.1.5.15. COLOUR TO BE BLACK. TOP RAIL TO BE AT 3'-0" ABOVE LEADING EDGE OF STAIR, 1/2" PAINTED METAL PICKETS AT 4" O.C. TOP, MID, AND BOTTOM RAIL 1 1/2", 2" METAL RAIL POSTS.
- PREFINISHED ALUMINUM HANDRAIL, TO MEET OBC 9.8.7. COLOUR TO BE BLACK.
- EXTERIOR WOOD STAIR, TO MEET OBC 9.8.4. EXACT NUMBER OF RISERS VARIES. SEE CIVIL DRAWINGS. SITE VERIFY/CONFIRM EXACT HEIGHT PRIOR TO CONSTRUCTION. FINISH TO MATCH WOOD LOOK SIDING.
- WOOD GUARDRAIL TO MEET OBC 9.8.7, AND LOAD REQUIREMENTS AS PER OBC 4.1.5.15. TOP RAIL TO BE AT 3'-0" ABOVE LEADING EDGE OF STAIR, 1/2" PAINTED METAL PICKETS AT 4" O.C. FINISH TO MATCH WOOD LOOK SIDING.
- WOOD HANDRAIL, TO MEET OBC 9.8.7. FINISH TO MATCH WOOD LOOK SIDING.
- PROPOSED GAS METER LOCATION. EXACT LOCATION TBD BY AUTHORITY HAVING JURISDICTION. MAINTAIN MIN. 1.0 m CLEARANCE FROM ALL OPERABLE WINDOWS/DOORS (OR CLEARANCE AS RECOMMENDED BY AHJ).
- RAIN WATER LEADER, TO SPILL ONTO ADJACENT GRADE (DIRECTED MIN. 4' AWAY FROM BUILDING FACE). RAIN WATER LEADER FINISH TO BE BLACK.



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Services Limited

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4	ISSUED FOR PERMIT (SEMS)	2021.06.25

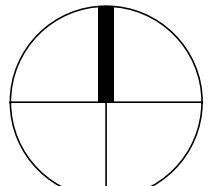
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DUNSMURE
TOWNHOUSES

260 DUNSMURE RD.
HAMILTON, ONTARIO

SHEET NAME

GROUND FLOOR
PLAN

START DATE	FEB 2021
DRAWN BY	MC
CHECKED BY	KN
SCALE	1/4" = 1'-0"
PROJECT NO.	121001
DRAWING	

A103

KEYNOTES	
19	WOOD GUARDRAIL TO MEET OBC 9.8.7., AND LOAD REQUIREMENTS AS PER OBC 4.1.5.15. TOP RAIL TO BE AT 3'-0" ABOVE LEADING EDGE OF STAIR. 12" PAINTED METAL PICKETS AT 4" O.C. FINISH TO MATCH WOOD LOOK SIDING.
21a	FOR SEMI-DETACHED, UNITS 3a & 4a, ALL GLAZING AT LOWER PORTION OF WINDOW WB TO BE REPLACED WITH SPANDREL PANEL. INSTEAD OF TYPICAL (DOUBLE GLAZED) PANEL UNIT. PROVIDE FURRING, INSULATION, VAPOUR BARRIER, AND GYPSUM BOARD TO MATCH & MEET INTERIOR FINISHED FACE OF ADJACENT WALL.



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1	ISSUED FOR PERMIT (SEMS)	2021.06.25

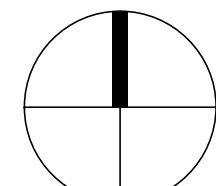
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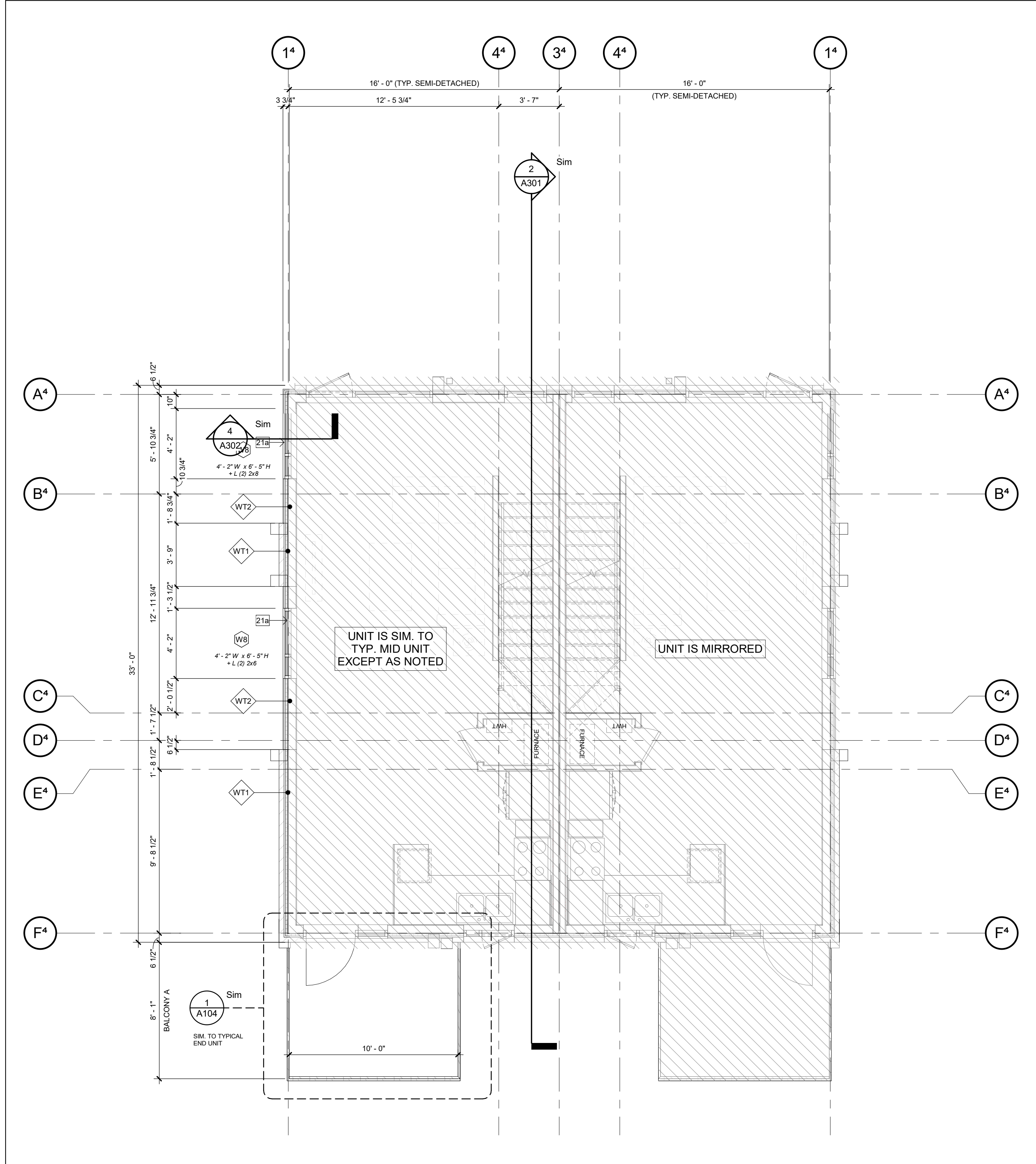
SHEET NAME

GROUND & SECOND FLOOR - SEMIS

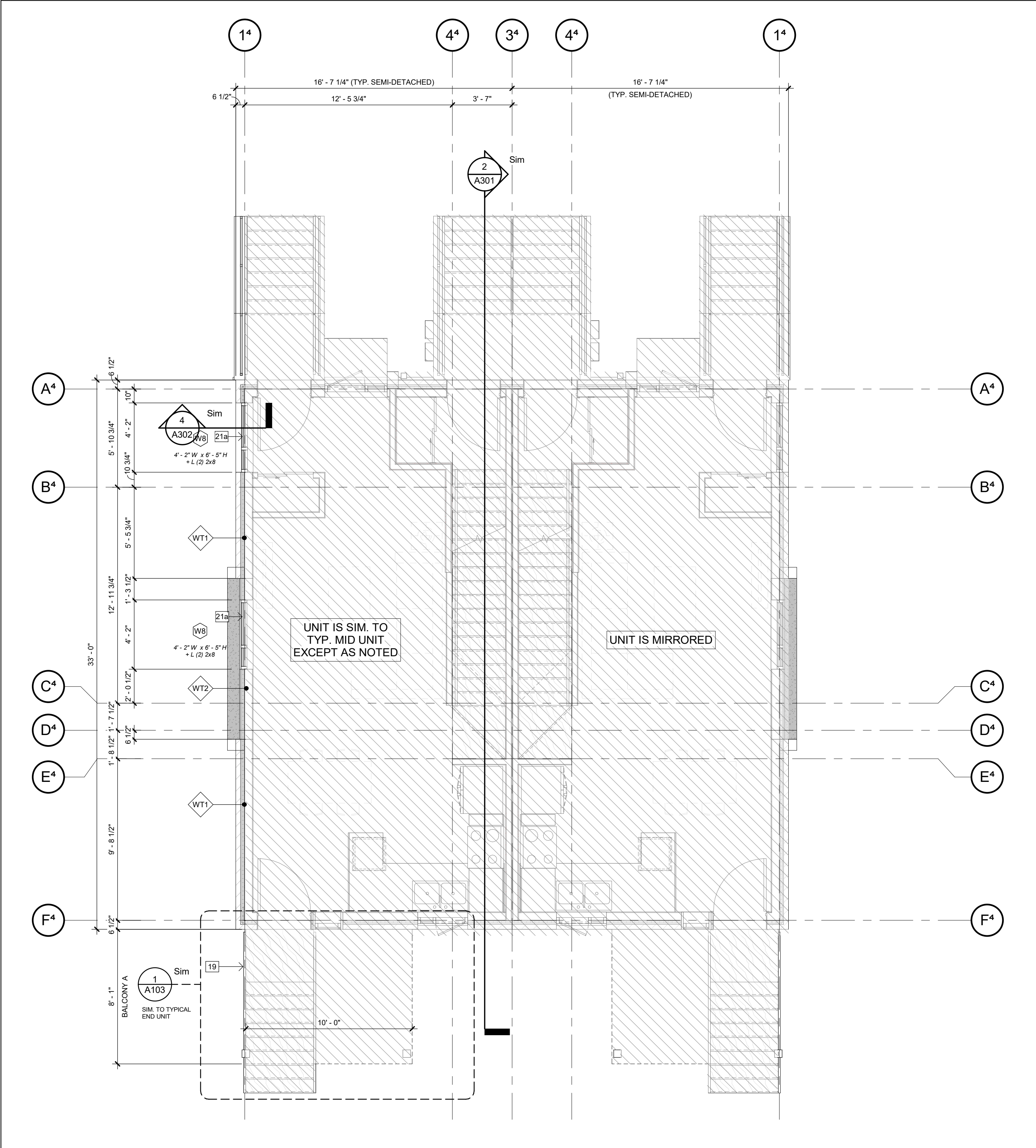
START DATE	FEB 2021
DRAWN BY	Author
CHECKED BY	Checker
SCALE	1/4" = 1'-0"
PROJECT NO.	121001

DRAWING

A103a



2 SECOND FLOOR PLAN - SEMI-DETACHED
A103a 1/4" = 1'-0"



1 T/O GROUND FLOOR - SEMI-DETACHED
A103a 1/4" = 1'-0"

C:\Users\myungj\Documents\121001 - Dunsmure Towns. Site Plan, 2021-12-22, mdeslewicz@chamberlainpd.com.rvt 2021-06-25 11:45:58 AM

KEYNOTES		
19	WOOD GUARDRAIL TO MEET OBC 9.8.7, AND LOAD REQUIREMENTS AS PER OBC 4.1.5.15. TOP RAIL TO BE AT 5'-0" ABOVE LEADING EDGE OF STAIR. 1/2" PAINTED METAL PICKETS AT 4" O.C. FINISH TO MATCH WOOD LOOK SIDING.	
19a	WOOD GUARDRAIL, SIM TO KEYNOTE 19, EXCEPT: WOOD GUARDRAIL IS TO BE 4'-0" HIGH. PROVIDE ADDITIONAL 1'-0" HIGH FROSTED GLASS PRIVACY SCREEN, SECURED TO TOP OF WOOD GUARD. SCREEN ATTACHMENT TO BE ENGINEERED TO RESIST WIND LOADS AS REQUIRED. EXACT ATTACHMENT AS RECOMMENDED BY MANUFACTURER. PROVIDE STAMPED SHOP DRAWINGS PRIOR TO INSTALLATION. (FOR UNITS 41-60, AS REQUIRED BY SITE PLAN APPROVAL.) SEE DETAIL ON A200b.	
117	INTERIOR STAIRS TO MEET OBC 9.8.4. SITE VERIFY/CONFIRM EXACT HEIGHT PRIOR TO CONSTRUCTION.	
119	FINISHED WOOD HANDRAIL TO MEET OBC 9.8.7, AT 3'-0" ABOVE LEADING EDGE, SECURED TO WALL.	



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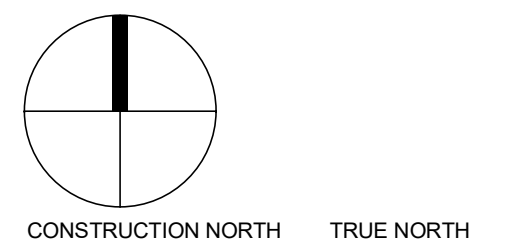
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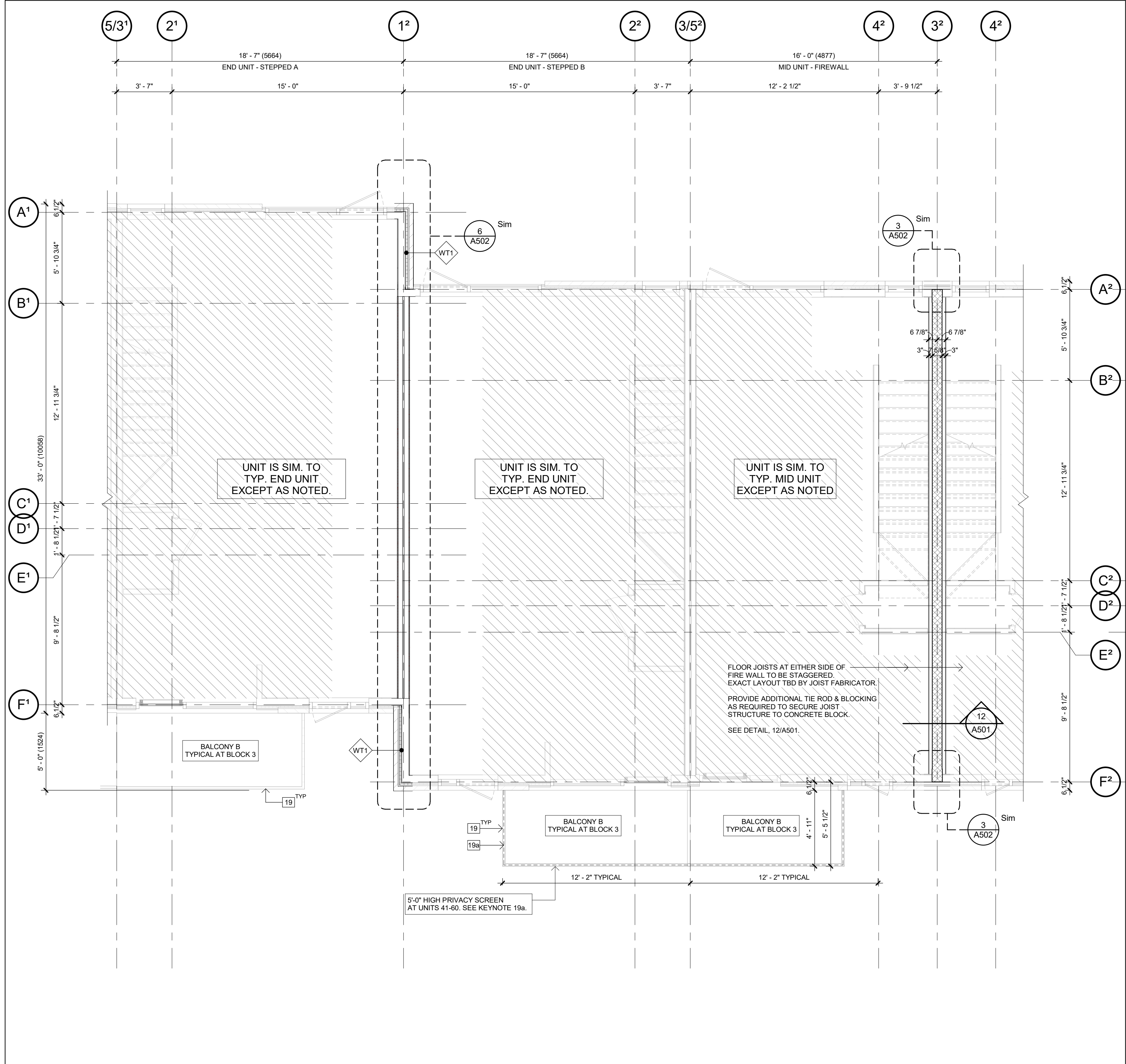
260 DUNSMURE RD.
HAMILTON, ONTARIO

SHEET NAME

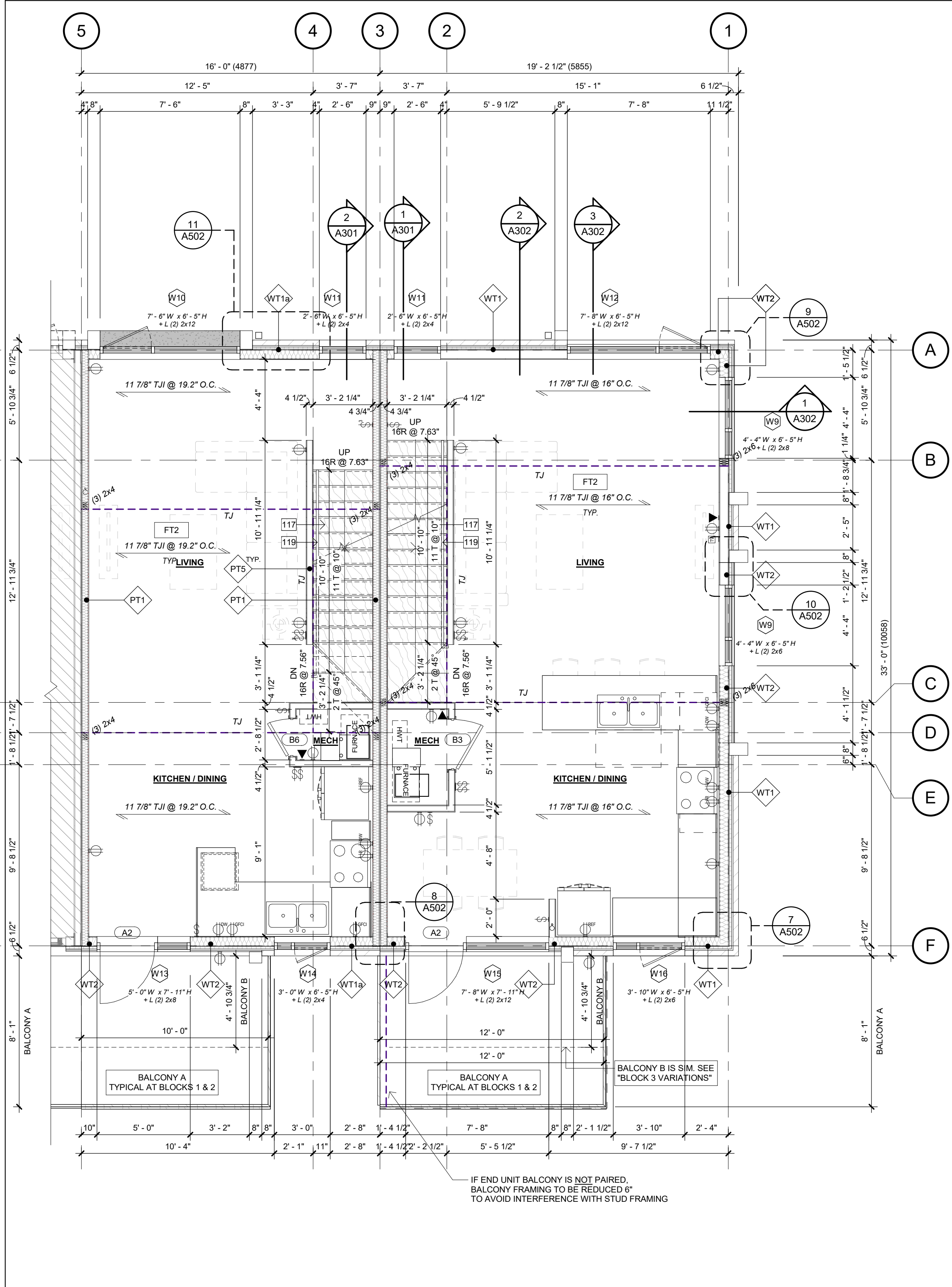
SECOND FLOOR PLAN

START DATE	FEB 2021
DRAWN BY	MC
CHECKED BY	KN
SCALE	1/4" = 1'-0"
PROJECT NO.	121001
DRAWING	

A104



2 SECOND FLOOR PLAN - BLOCK 3 VARIATIONS
A104 1/4" = 1'-0"



1 SECOND FLOOR PLAN - TYPICAL BLOCK
A104 1/4" = 1'-0"

ALL INTERIOR PARTITION & FURRING WALLS ARE PT5 & PT5a
UNLESS OTHERWISE NOTED.

KEYNOTES	
117	INTERIOR STAIRS TO MEET OBC 9.8.4. SITE VERIFY/CONFIRM EXACT HEIGHT PRIOR TO CONSTRUCTION.
118	FINISHED WOOD HANDRAIL TO MEET OBC 9.8.7, AT 3'-0" ABOVE LEADING EDGE, C/W PICKETS AT MAX 4" O.C.
119	FINISHED WOOD HANDRAIL TO MEET OBC 9.8.7, AT 3'-0" ABOVE LEADING EDGE, SECURED TO WALL.



Chamberlain Architect Services Limited
4671 Palladium Way (Unit 1)
Burlington, Ontario. L7M 0W9
CANADA
Phone: 905.631.7777
www.chamberlainPD.com

NO.	ISSUED	DATE
1	INTERNAL COORDINATION	2021.05.10
2	CLIENT REVIEW	2021.05.28
3	ISSUED FOR PERMIT	2021.06.23
4	ISSUED FOR PERMIT (SEMS)	2021.06.25

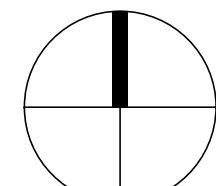
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CONSTRUCTION NORTH TRUE NORTH

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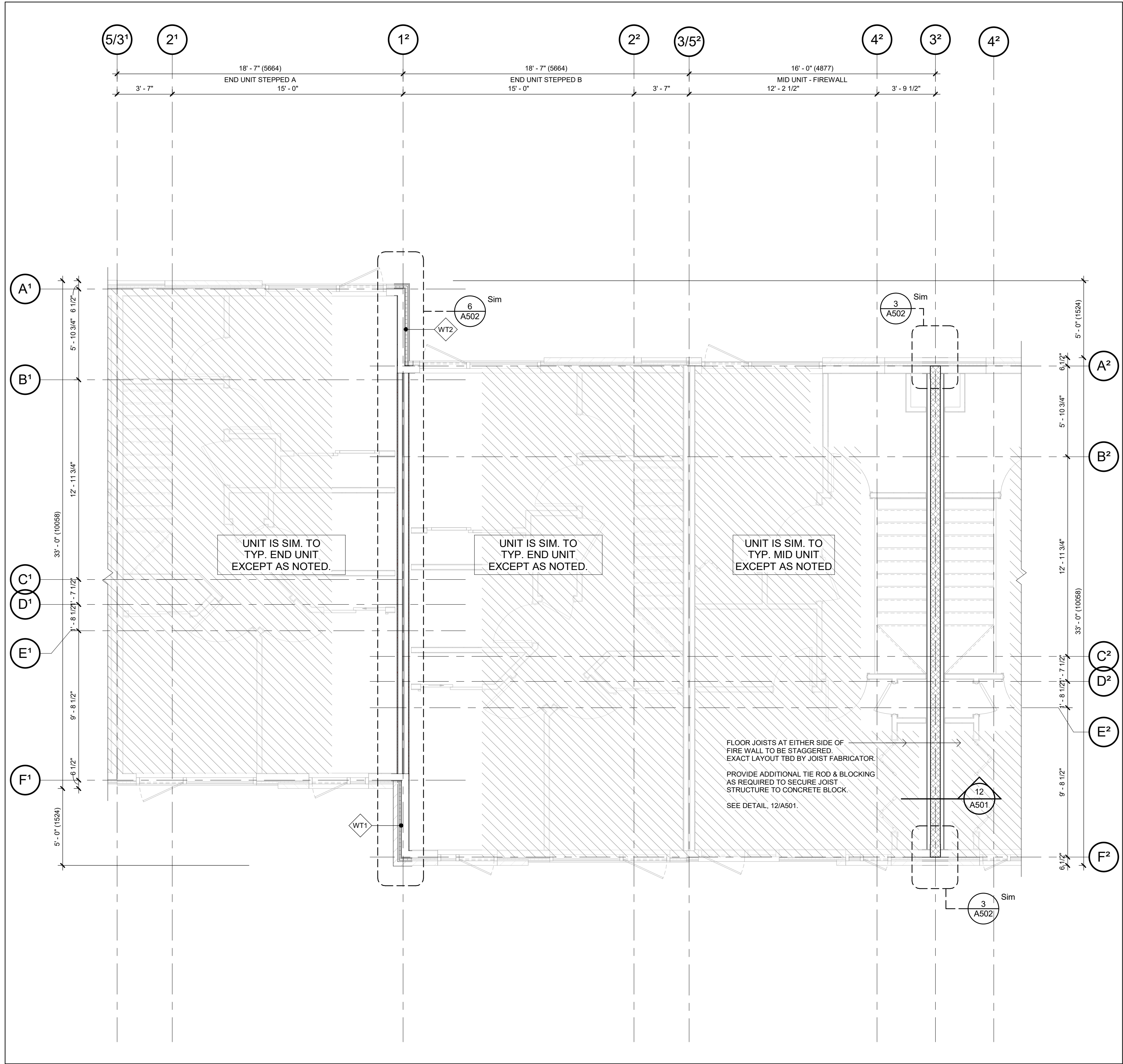
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SHEET NAME

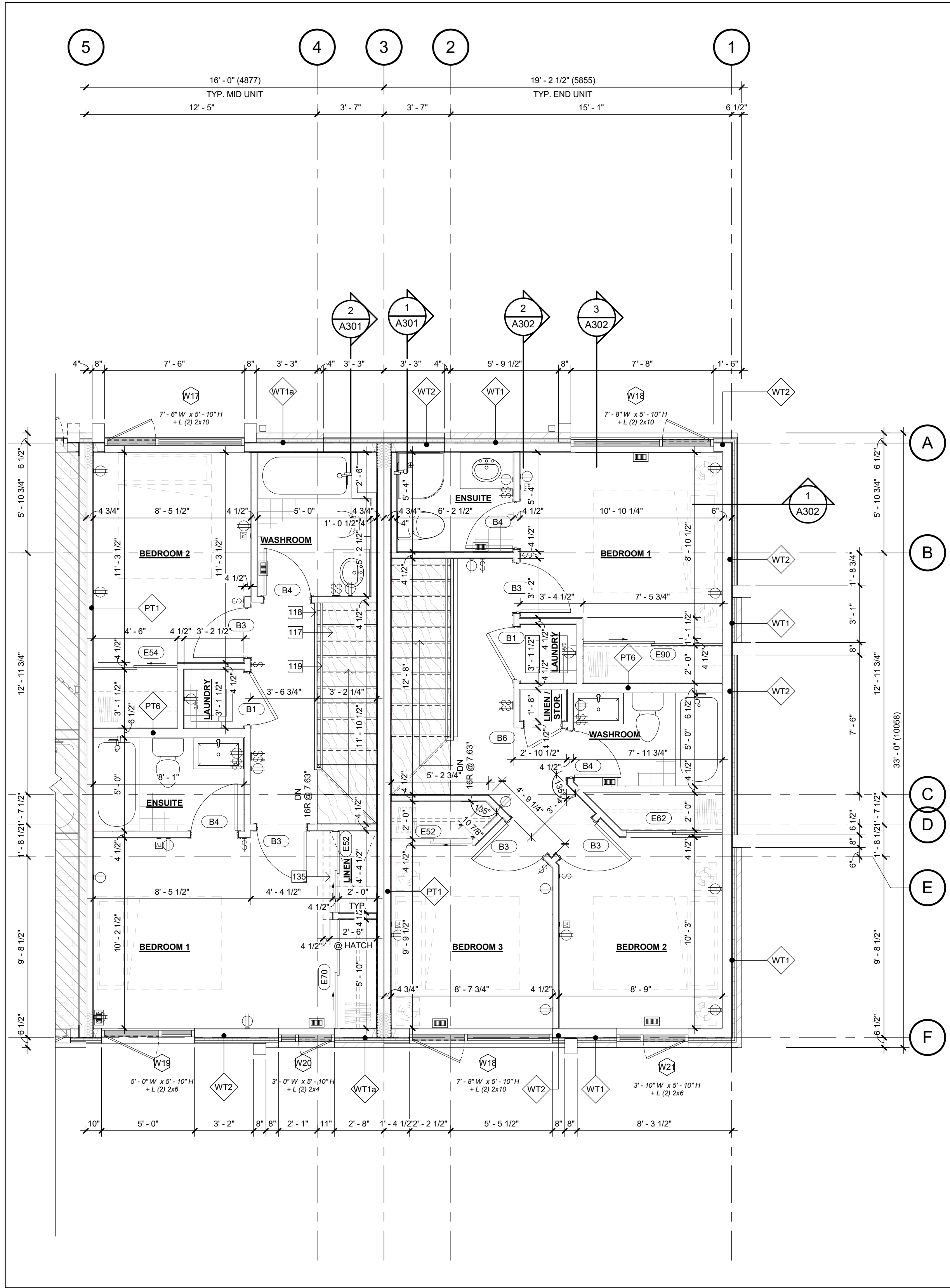
THIRD FLOOR PLAN

START DATE	FEB 2021
DRAWN BY	MC
CHECKED BY	KN
SCALE	1/4" = 1'-0"
PROJECT NO.	121001
DRAWING	

A105



2 THIRD FLOOR PLAN - BLOCK 3 VARIATIONS
A105 1/4" = 1'-0"



1 THIRD FLOOR PLAN - TYPICAL BLOCK
A105 1/4" = 1'-0"

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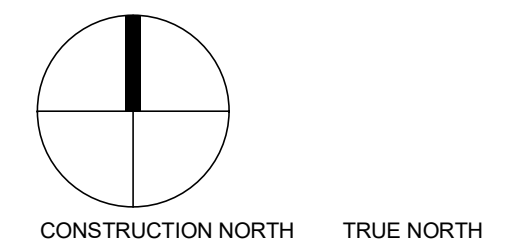
NO.	ISSUED	DATE
1	ISSUED FOR PERMIT (SEMS)	2021.06.25

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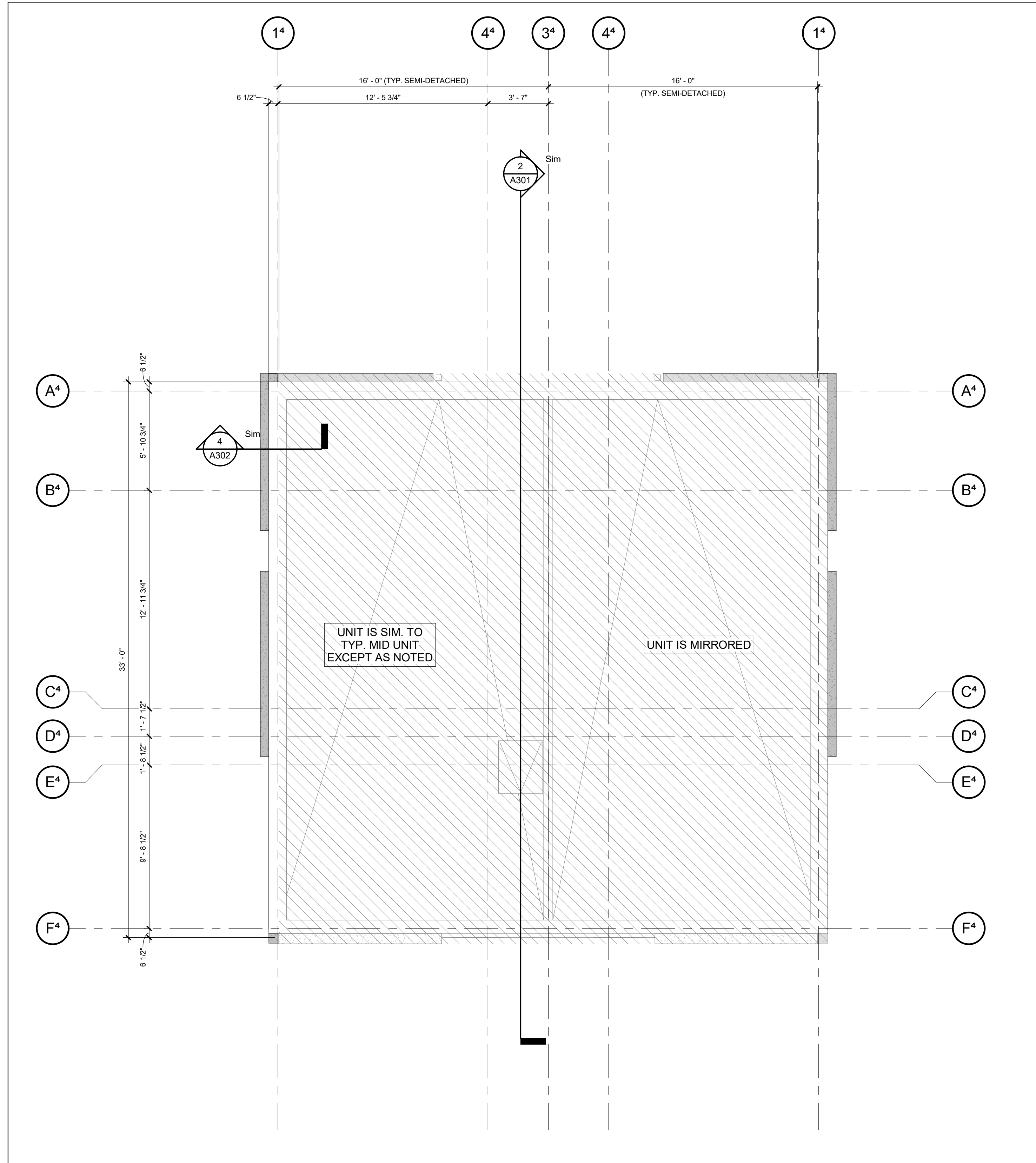
SHEET NAME

THIRD & ROOF PLAN - SEMIS

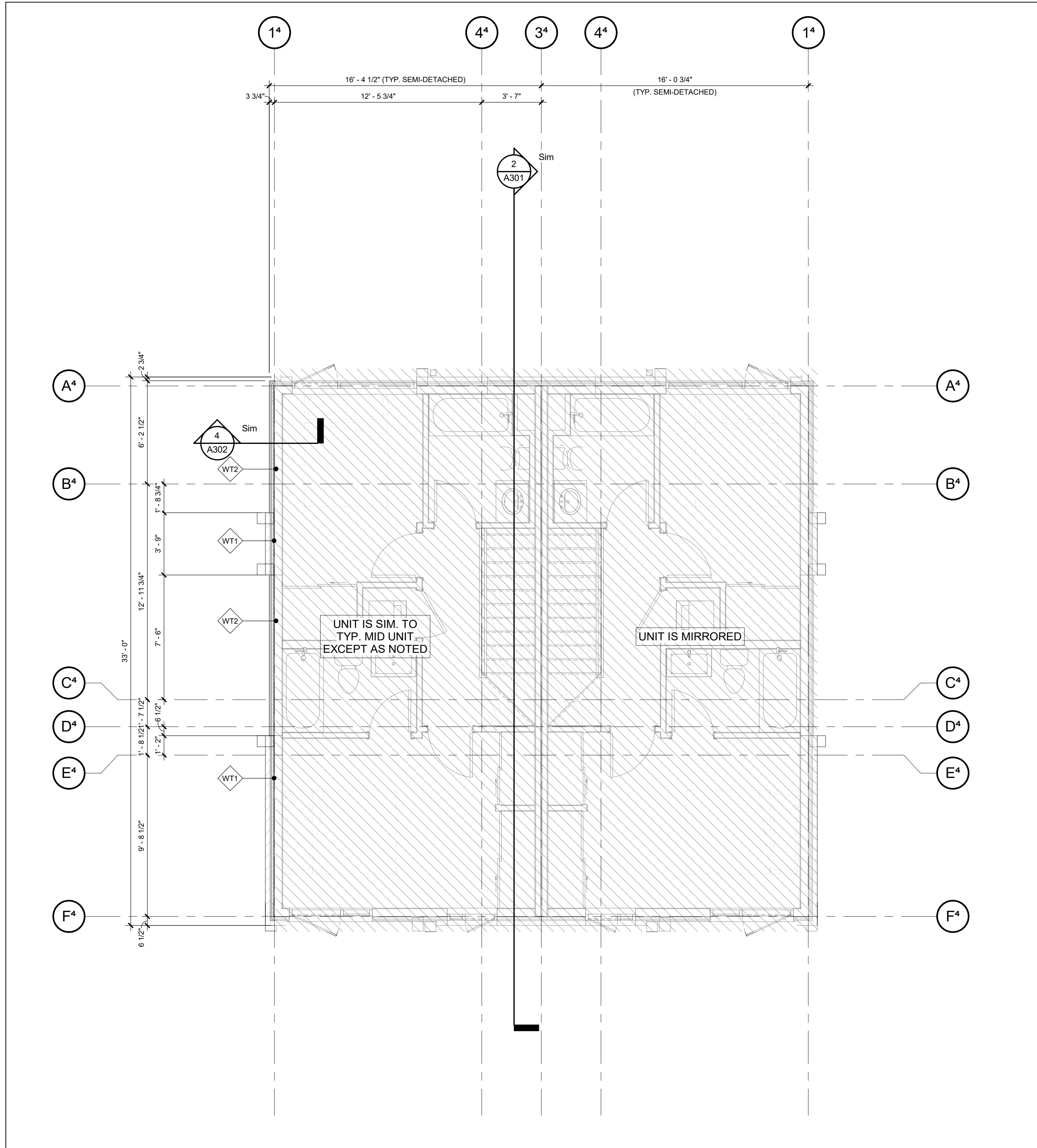
START DATE	FEB 2021
DRAWN BY	Author
CHECKED BY	Checker
SCALE	1/4" = 1'-0"
PROJECT NO.	121001

DRAWING

A105a



2
A105a
ROOF PLAN - SEMI-DETACHED
1/4" = 1'-0"



1
A105a
THIRD FLOOR PLAN - SEMI-DETACHED
1/4" = 1'-0"

KEYNOTES	
125	RAIN WATER LEADER, TO SPILL ONTO ADJACENT GRADE (DIRECTED MIN. 4' AWAY FROM BUILDING FACE). RAIN WATER LEADER FINISH TO BE BLACK.
126	SCUPPER FROM ROOF TO CONNECTION TO RAIN WATER LEADER.



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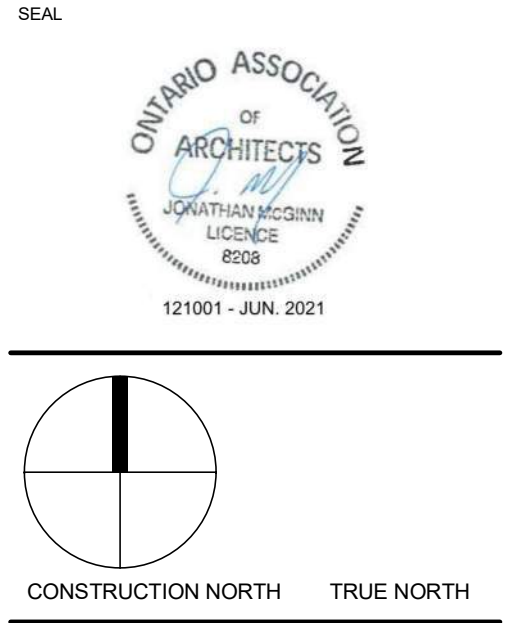
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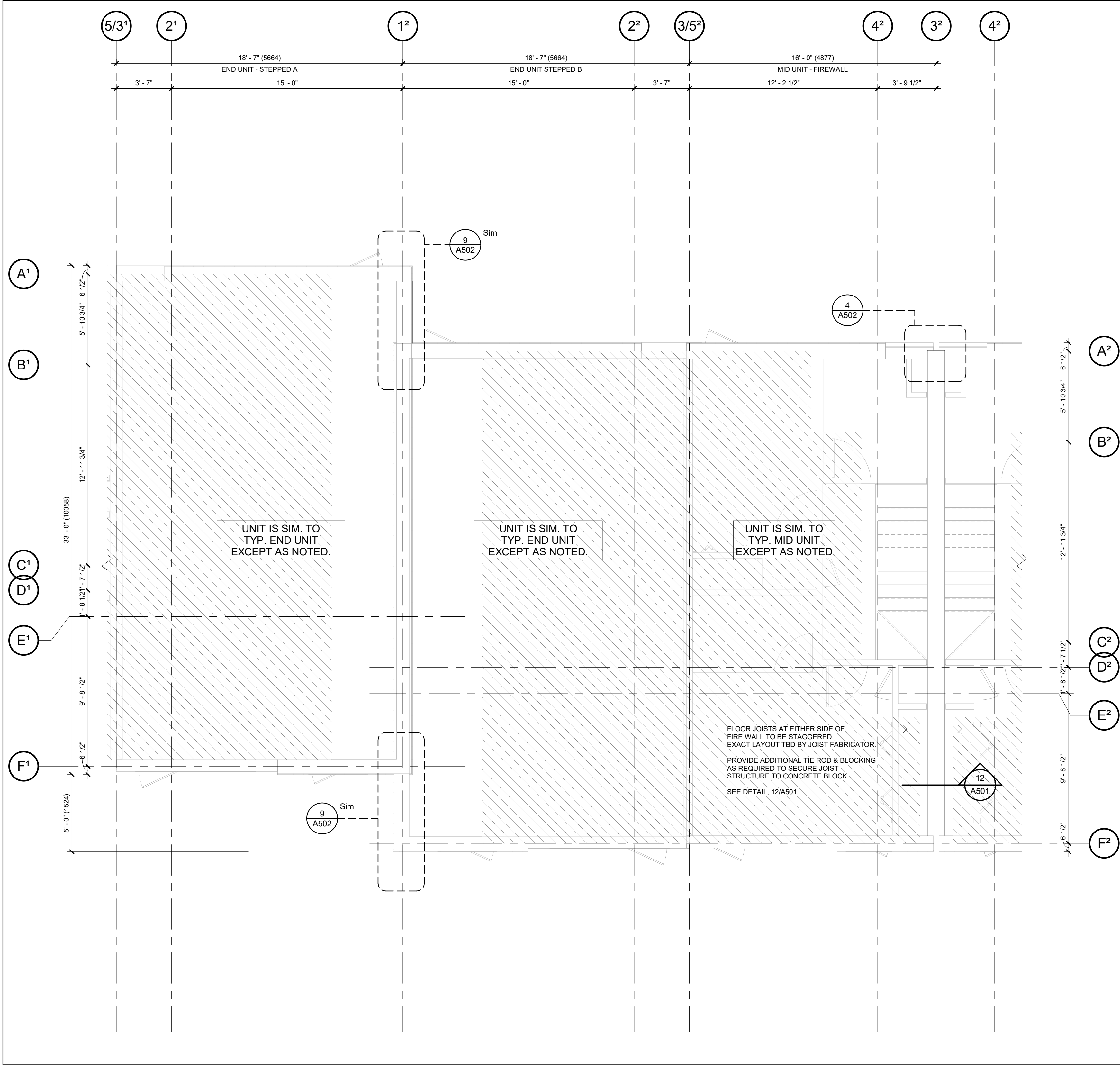
SHEET NAME

ROOF PLAN & DETAILS

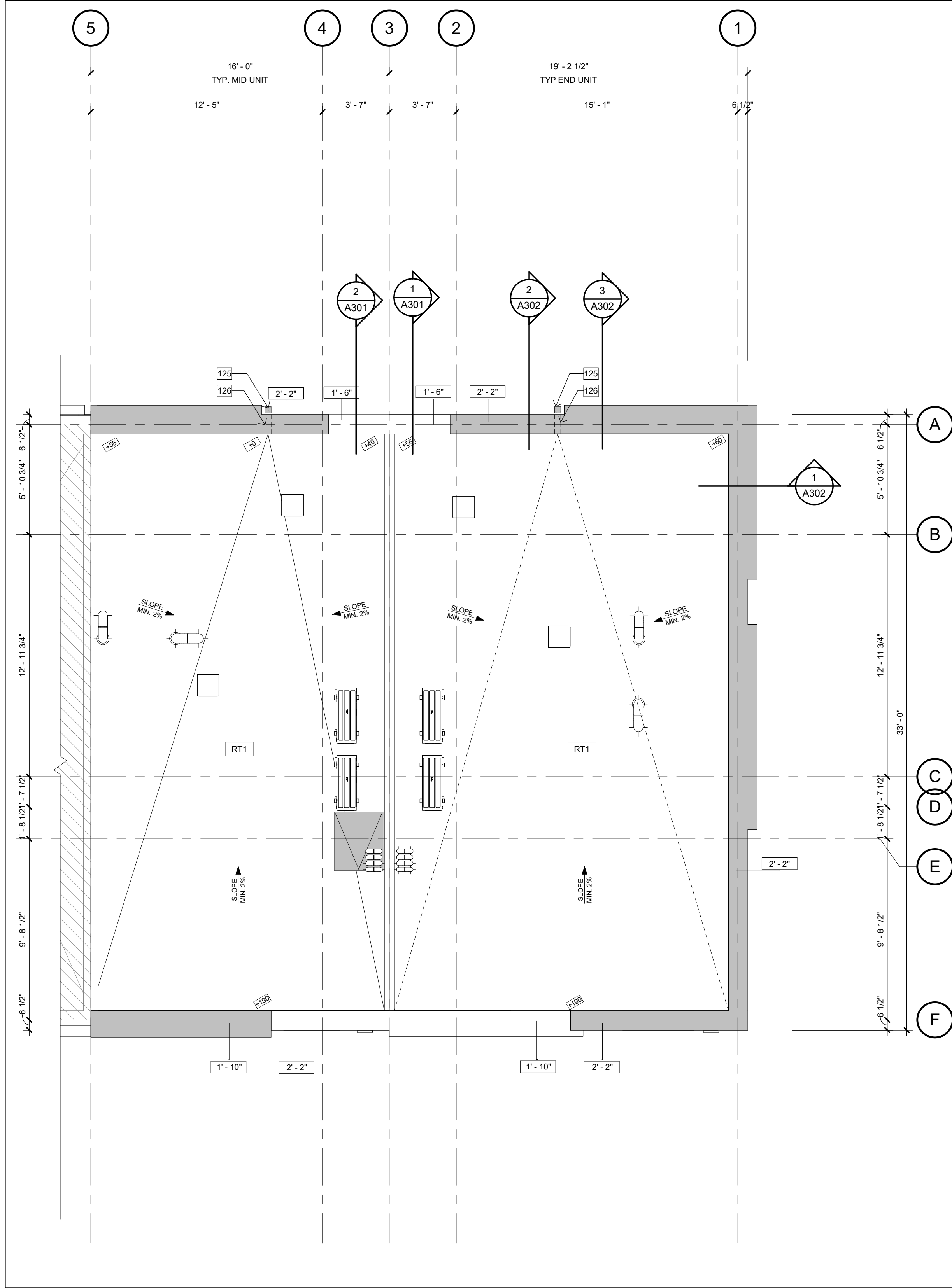
START DATE	FEB 2021
DRAWN BY	MC
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SCALE	1/4" = 1'-0"
PROJECT NO.	121001

DRAWING

A106

















2 ROOF PLAN - BLOCK 3 VARIATIONS
1/4" = 1'-0"







1 ROOF PLAN - TYPICAL BLOCK
1/4" = 1'-0"

KEYNOTES	
11	EGRESS WINDOW C/W WINDOW WELL. TO COMPLY TO OBC 9.8.10.1.
12	WINDOW WELL, B/O WELL TO BE 1'-6" (460mm) BELOW ADJACENT GRADE. SEE DETAIL 4/A301.
14	CAST IN PLACE CONCRETE STAIR, TO MEET OBC 9.8.4. EXACT NUMBER OF RISERS VARIES. SEE CIVIL DRAWINGS. SITE VERIFY/CONFIRM EXACT HEIGHT PRIOR TO CONSTRUCTION.
15	PRECAST CONCRETE SILL, EDGES TO EXTEND 1/2" BEYOND WALL.
16	PREFINISHED ALUMINUM GUARDRAIL TO MEET OBC 9.8.7, AND LOAD REQUIREMENTS AS PER OBC 4.1.5.15. COLOUR TO BE BLACK. TOP RAIL TO BE AT 3'-0" ABOVE LEADING EDGE OF STAIR. 1/2" PAINTED METAL PICKETS AT 4" O.C. TOP, MID, AND BOTTOM RAIL 1 1/2". 2" METAL RAIL POSTS.
17	PREFINISHED ALUMINUM HANDRAIL, TO MEET OBC 9.8.7, COLOUR TO BE BLACK.
125	RAIN WATER LEADER, TO SPILL ONTO ADJACENT GRADE DIRECTED MIN. 4' AWAY FROM BUILDING FACE). RAIN WATER LEADER FINISH TO BE BLACK.

FINISH LEGEND					
	1	DARK MASONRY VENEER		6	WOOD COMPOSITE / WOOD STAIN
	2	LIGHT MASONRY VENEER		7	GLAZING
	3	WOOD FINISH SIDING		8	SPANDREL
	4	CEMENT PANEL TRIM		9	EXTERIOR DOOR / WINDOW FRAME
	5	PREFINISHED METAL FLASHING			





DESCRIPTION

1. DARK MASONRY VENEER (MERIDIAN BRICK - TUXEDO (MAX. 3 1/8 X 10 1/8 X 3 1/2 IN.), RUNNING BOND.)
2. LIGHT MASONRY VENEER (MERIDIAN BRICK - KELOWNA (MAX. 3 1/8 X 10 1/8 X 3 1/2 IN.), RUNNING BOND.)
3. WOOD FINISH SIDING / SOFFIT (CHAMCLAD - TOFFEE 6038 - EXTERIOR SIDING / VENTED SOFFIT (6") - STARTER STRIPS, TRIMS, AND CORNERS TO BE CHAMCLAD, TO MATCH SIDING / SOFFIT.
4. CEMENT PANEL TRIM (UNIQUE TRIM BOARD - SMOOTH - IRON GRAY)
5. PREFINISHED METAL FLASHING, FINISH TO BE BLACK (CHARCOAL - QC 8306)
6. WOOD COMPOSITE (WOOD STAIN, COLOUR TO MATCH WOOD FINISH SIDING) (3) (TREX - ENHANCE)
7. GLAZING: ALL UNITS TO BE FACTORY SEALED DOUBLE GLAZED UNITS IN THERMALLY BROKEN PREFINISHED VINYL WINDOW & DOOR FRAMES. EXTERIOR FINISH TO BE BLACK, INTERIOR FINISH TO BE WHITE. POLAROID OR EQUAL. ALL WINDOWS TO MEET OR EXCEED U-VALUE 1.8 AS REQUIRED BY SB-12.
8. GLAZING - SPANDREL (SEE WINDOW SCHEDULE FOR PRODUCT INFORMATION).
9. EXTERIOR DOOR & FRAMES.
FINISH AT EXTERIOR TO BE BLACK
FINISH AT INTERIOR TO BE WHITE

ALL PRODUCTS OR SUBSTITUTIONS TO BE REVIEWED BY CLIENT PRIOR TO PURCHASE OR INSTALLATION.

NOTE: SEE BLOCK ELEVATIONS (A201-203) FOR ELEVATION AT EACH FULL BUILDING. SOME UNITS ARE MIRRORED.



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CANADA
Phone: 905.631.7777
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NO.	ISSUED	DATE
1	ISSUED FOR PERMIT (SEMIS)	2021.06.25

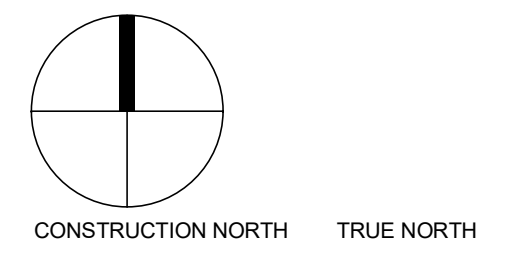
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DUNSMURE TOWNHOUSES

260 DUNSMURE RD.
HAMILTON, ONTARIO

SHEET NAME

UNIT ELEVATIONS - SEMIS

START DATE	FEB 2021
DRAWN BY	Author
CHECKED BY	Checker
SCALE	As indicated
PROJECT NO.	121001

DRAWING

A200c












2 REAR ELEVATION - SEMIS
A200c 1/4" = 1'-0"



1 FRONT ELEVATION - SEMIS
A200c 1/4" = 1'-0"

KEYNOTES	
14	CAST IN PLACE CONCRETE STAIR, TO MEET OBC 9.8.4. EXACT NUMBER OF RISERS VARIES. SEE CIVIL DRAWINGS. SITE VERIFY/CONFIRM EXACT HEIGHT PRIOR TO CONSTRUCTION.
15	PRECAST CONCRETE SILL, EDGES TO EXTEND 1/2" BEYOND WALL.
16	PREFINISHED ALUMINUM GUARDRAIL TO MEET OBC 9.8.7, AND LOAD REQUIREMENTS AS PER OBC 4.1.5.15. COLOUR TO BE BLACK. TOP RAIL TO BE AT 3'-0" ABOVE LEADING EDGE OF STAIR. 1/2" PAINTED METAL PICKETS AT 4" O.C. TOP, MID, AND BOTTOM RAIL 1 1/2" 2" METAL RAIL POSTS.
18	EXTERIOR WOOD STAIR, TO MEET OBC 9.8.4. EXACT NUMBER OF RISERS VARIES. SEE CIVIL DRAWINGS. SITE VERIFY/CONFIRM EXACT HEIGHT PRIOR TO CONSTRUCTION. FINISH TO MATCH WOOD LOOK SIDING.
19	WOOD GUARDRAIL TO MEET OBC 9.8.7, AND LOAD REQUIREMENTS AS PER OBC 4.1.5.15. TOP RAIL TO BE AT 3'-0" ABOVE LEADING EDGE OF STAIR. 1/2" PAINTED METAL PICKETS AT 4" O.C. FINISH TO MATCH WOOD LOOK SIDING.
21a	FOR SEMI-DETACHED, UNITS 3a & 4a, ALL GLAZING AT LOWER PORTION OF WINDOW W8 TO BE REPLACED WITH SPANDREL PANEL. INSTEAD OF TYPICAL (DOUBLE GLAZED) PANEL UNIT. PROVIDE FURRING, INSULATION, VAPOUR BARRIER, AND GYPSUM BOARD TO MATCH & MEET INTERIOR FINISHED FACE OF ADJACENT WALL.

FINISH LEGEND

	1	DARK MASONRY VENEER		6	WOOD COMPOSITE / WOOD STAIN
	2	LIGHT MASONRY VENEER		7	GLAZING
	3	WOOD FINISH SIDING		8	SPANDREL
	4	CEMENT PANEL TRIM		9	EXTERIOR DOOR / WINDOW FRAME
	5	PREFINISHED METAL FLASHING			

DESCRIPTION

1. DARK MASONRY VENEER (MERIDIAN BRICK - TUXEDO (MAX. 3 1/8 X 10 1/8 X 3 1/2 IN.), RUNNING BOND.)
2. LIGHT MASONRY VENEER (MERIDIAN BRICK - KELOWNA (MAX. 3 1/8 X 10 1/8 X 3 1/2 IN.), RUNNING BOND.)
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4. CEMENT PANEL TRIM (HARDEE TRIM BOARD - SMOOTH - IRON GRAY)
5. PREFINISHED METAL FLASHING, FINISH TO BE BLACK (CHARCOAL - QC 8306)
6. WOOD COMPOSITE / WOOD STAIN, COLOUR TO MATCH WOOD FINISH SIDING (3) (TREX - ENHANCE)
7. GLAZING: ALL UNITS TO BE FACTORY SEALED DOUBLE GLAZED UNITS IN THERMALLY BROKEN PREFINISHED VINYL WINDOW & DOOR FRAMES. EXTERIOR FINISH TO BE BLACK. INTERIOR FINISH TO BE WHITE. POLLARD OR EQUAL. ALL WINDOWS TO MEET OR EXCEED U-VALUE 1.8 AS REQUIRED BY SB-12.
8. GLAZING - SPANDREL (SEE WINDOW SCHEDULE FOR PRODUCT INFORMATION).
9. EXTERIOR DOORS & FRAMES.

FINISH AT EXTERIOR TO BE BLACK
FINISH AT INTERIOR TO BE WHITE

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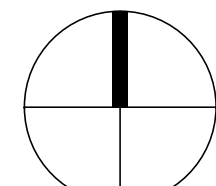
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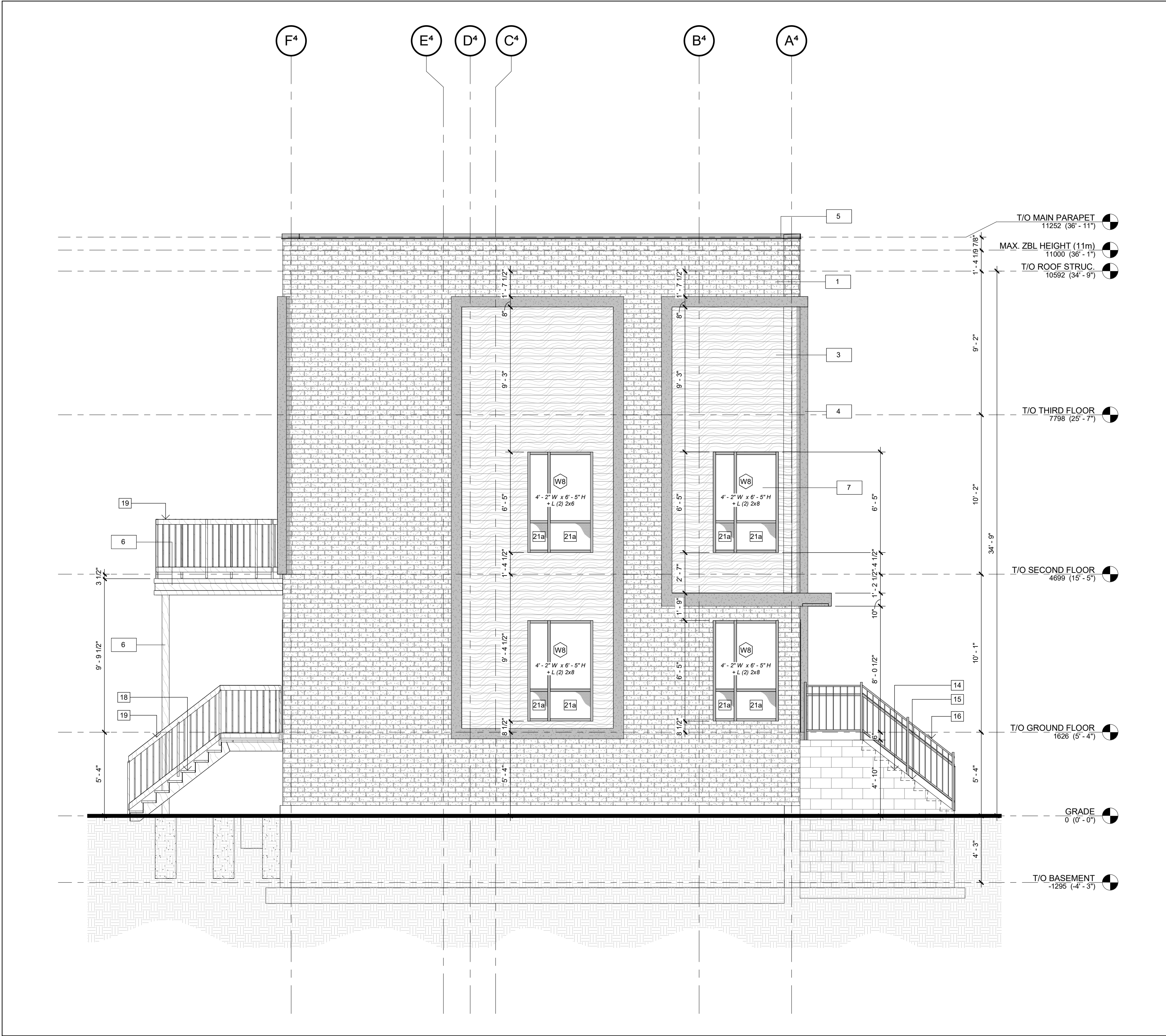
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UNIT ELEVATIONS - SEMIS

START DATE	FEB 2021
DRAWN BY	Author
CHECKED BY	Checker
SCALE	As indicated
PROJECT NO.	121001

DRAWING

A200d



1 SIDE ELEVATION - SEMIS - NORTH
A200d 1/4" = 1'-0"

C:\Users\myung\Documents\121001 - Dunsmure Towns_Site Plan_2021-12-22.mxd mslwcz@chamberlainpd.com 1/4



A. J. Clarke and Associates Ltd.

SURVEYORS • PLANNERS • ENGINEERS

City of Hamilton
Committee of Adjustment
71 Main Street West, 5th Floor
Hamilton, ON L8P 4Y5

November 4, 2021

Attn: Ms. Jamila Sheffield
Secretary Treasurer, Committee of Adjustment (email: Jamila.Sheffield@hamilton.ca)

**Re: 260 Dunsmure Road
Minor Variance and Severance Application Submission**

Dear Ms. Sheffield:

A.J Clarke and Associates Ltd. has been retained by Tibro Properties Ltd. for the purposes of submitting the enclosed Minor Variance and Consent Applications for the subject lands, municipally known as 260 Dunsmure Road. These applications will facilitate the approval of a semi-detached dwelling on the subject lands as well as the establishment of a reciprocal access easement. The proposed easement is intended to be 6.743 m x 4.5 m and is further denoted as Part 2 of the draft reference plan, as shown.

The demolition of the former office building will facilitate the construction of the semi-detached dwelling.

The subject lands are located southwest of Dunsmure Road and Gage Avenue South. The property known as 276 Dunsmure Road is proposed to be redeveloped for 60 Stacked Townhouse Units and is currently in the process of being developed. The lands municipally known as 260 Dunsmure Road are proposed to be severed from the remainder of the 276 Dunsmure lands. An application for severance is required to facilitate conveyance of this portion of the subject lands. The tenure of the dwellings is intended to be for rental purposes. In addition, a proposed internal secondary unit will be constructed in either half of each semi-detached dwelling. Accordingly, no variances are necessary for the establishment of either internal Secondary Dwelling Unit.

The following supporting materials are submitted to your attention, in support of the subject application:

- 1) One (1) copy of the required filled and signed Minor Variance Application Form;
- 2) One (1) copy of the required filled and signed Severance Application Form;
- 3) One (1) digital copy of the Site Plan.
- 4) One (1) digital copy of the Draft Reference Plan.

Application fees will be paid over the phone, as per staff's instructions.

The subject lands are designated "Neighbourhoods" on Schedule E-1 in the Urban Hamilton Official Plan. The Neighbourhoods designation permits a range of residential uses.

The lands municipally known as 260 Dunsmure are zoned "D" (One and Two Family Dwellings) District in City of Hamilton Zoning By-law No. 6593. Semi-Detached Dwellings are Permitted.



Minor Variance

Variances are required to address the deficiency in lot size as well as the lot frontages for both lots. A technical variance is also necessary to recognize the parking situation on site.

1. To permit a minimum lot frontage of 6.7m (Part 1) and 6.7m (Part 3) for each half of a semi-detached dwelling, whereas a minimum lot frontage of 9m is required for each half of a semi-detached dwelling.
2. To permit a minimum lot area of 189m² (Parts 1 and 2) and 199m² (Part 3) for each half of a semi-detached dwelling, whereas a minimum lot area of 270m² is required for each half of a semi-detached dwelling.
3. To permit a parking space to be located on the adjacent lot whereas a parking space must be provided and maintained only on the lot on which the principle use, building or structure is located.
4. To permit a maneuvering space of 0.0m, whereas a 6.0m maneuvering space is required.
5. To permit 40% of the front yard to be landscaped, whereas a minimum of 50% of the front yard is required to be landscaped.

This minor variance application is made under the authority of Section 45(1) of the Planning Act. Accordingly, a minor variance must meet the requisite four tests as described in Section 45 (1) of the Act. The tests and professional opinion are outlined below:

With respect to the four tests, the proposal maintains the purpose and intent of the Official Plan and Zoning By-law as the proposal will facilitate the creation of rental units within this neighbourhood, which is a desirable and sought-after tenure in the lower City. In addition, the proposed lots are generally in keeping with the lot pattern found in this neighbourhood. The reduction in front yard landscaping is minor, as part of the boulevard will be dedicated to the City of Hamilton as part of the severance application. This area is intended to be sodded, however, and will soften the streetscape along the frontage of the subject lands. Accordingly, there is adequate balance of hardscaping and sodding in front of the subject lands and it is a common condition for the dwellings to have little front yard landscaping along Gage Avenue.

With respect to parking, two parking spaces are proposed on the northerly lot adjacent to Dunsmure Avenue. The intent is that one space will be dedicated to the semi-detached dwelling on the south side of the subject lands. Accordingly, this is a desirable development pattern as Gage Avenue is an arterial road which will not allow driveway access. Further, the parking configuration will conserve the existing streetscape by allowing the proposed dwelling to hide the parking from the Gage Avenue frontage. A concurrently submitted consent application will ensure that there is reciprocal access over the north property. The parking configuration is desirable and there are no perceived impacts on the surrounding properties stemming from the variance. Accordingly, the variances requested above meet the four tests and should be approved.



Severance and Consent

A previous severance application severed a lot having an area of 388m² and approximate frontage of 13.4 m along Gage Avenue South and 29.5m along Dunsmure Road. To facilitate the development of a semi-detached dwelling, the aforementioned lot will be severed into two parcels with a reduced frontage and lot area. Accordingly, the following policies are applicable to the proposed severance:

F.1.14.3.1 Consents for new lot creation, for both the severed and retained lands, for residential uses in the Neighbourhoods designation shown on Map E-1 – Urban Land Use Designation, shall be permitted provided the following conditions are met:

a) The lots comply with the policies of this Plan, including secondary plans, where one exists;

b) The lots comply with existing Neighbourhood Plans;

c) The lots are in conformity with the Zoning By-law or a minor variance is approved;

d) The lots reflect the general scale and character of the established development pattern in the surrounding area by taking into consideration lot frontages and areas, building height, coverage, mass, setbacks, privacy and overview;

e) The lots are fully serviced by municipal water and wastewater systems; and,

f) The lots have frontage on a public road.

In accordance with the above criteria, the proposed lot will conform to the Zoning By-law upon approval of the concurrent minor variances. The lots have access to full municipal services. The lot is generally in keeping with the lot sizes and frontages in the immediate vicinity of the neighbourhood. The lot to the south of the proposed lot is approximately 269m² and there are lots directly to the north along Dunsmure that are approximately 169m² to 250m² in size with frontages ranging from 7m to 8m. The proposed lots are generally in keeping with the established lot pattern and configuration of this neighbourhood.

Residential Intensification

Residential Intensification is a key component to Hamilton's growth strategy moving forward to the 2031 Planning Horizon.

B.2.4.2.2 When considering an application for a residential intensification development within the Neighbourhoods designation, the following matters shall be evaluated:



b) compatibility with adjacent land uses including matters such as shadowing, overlook, noise, lighting, traffic, and other nuisance effects;

The proposed development of a semi-detached dwelling is permitted under the current “D” Zoning category. In addition, parking has been located in the rear of the subject lands to avoid traffic impacts along Gage Avenue.

c) the relationship of the proposed building(s) with the height, massing, and scale of nearby residential buildings;

d) the consideration of transitions in height and density to adjacent residential buildings;

The proposed development is 3 storeys in height, which is permitted. In addition, the respective setbacks of the proposed dwelling are proposed to be as of right. Accordingly, the proposed semi-detached dwelling is complementary to the surrounding neighbourhood and compatible.

e) the relationship of the proposed lot(s) with the lot pattern and configuration within the neighbourhood;

As noted above, the proposed lots are consistent with the general lot pattern and configuration of the neighbourhood.

f) the provision of amenity space and the relationship to existing patterns of private and public amenity space;

The proposed semi-detached dwellings include the provisions for adequate rear yard amenity space, beyond that of what is required in the Zoning By-law. Accordingly, adequate amenity is provided.

g) the ability to respect and maintain or enhance the streetscape patterns including block lengths, setbacks and building separations;

h) the ability to complement the existing functions of the neighbourhood;

The proposed development complements the functions of the neighbourhood and is an appropriate form of residential intensification. The proposed lot pattern is consistent with the lot pattern and configuration of the neighbourhood. The development thereby respects and maintains the character of the existing neighbourhood.

i) the conservation of cultural heritage resources; and,

Through the site plan process for 276 Dunsmure. A Cultural Heritage Impact Assessment was submitted to the City and was reviewed by the Policy and Design Working Group, who approved the demolition with mitigation measures such as conserving and documenting the features of the building. These measures have been completed and will be implemented at 276 Dunsmure.



j) infrastructure and transportation capacity and impacts.

There are no perceived impacts on transportation and infrastructure.

As such, the proposed lot is appropriate for the development of the subject lands and has sufficient regard for the matters listed under Section 51 (24) of the Planning Act.

Further, the consent application will establish a reciprocal access easement over Part 2, as shown on the draft reference plan. This will allow reciprocal access for the tenant of the southern half of the semi-detached dwelling.

I trust that you will find the enclosed satisfactory for your purposes. Please confirm receipt of this submission and we look forward to being scheduled for the next available hearing date. If you have any questions or require additional information, please do not hesitate to contact our office.

Sincerely,

Ryan Ferrari, BURPI, CPT
Planner
A. J. Clarke and Associates Ltd.

Encl.

Cc: Dunsmure Developments Ltd. c/o Savan Chandaria



Hamilton

Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR CONSENT TO SEVER LAND
UNDER SECTION 53 OF THE *PLANNING ACT*

Office Use Only

Date Application Received:	Date Application Deemed Complete:	Submission No.:	File No.:
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1 APPLICANT INFORMATION

1.1, 1.2	NAME	ADDRESS
Registered Owners(s)		
Applicant(s)*		
Agent or Solicitor		

* Owner's authorisation required if the applicant is not the owner.

1.3 All correspondence should be sent to ☐ Owner ☒ Applicant ☐ Agent/Solicitor

2 LOCATION OF SUBJECT LAND Complete the applicable lines

2.1 Area Municipality Hamilton	Lot Pt Lots 29 & 30	Concession	Former Township
Registered Plan N°. 469	Lot(s)	Reference Plan N°. TBD	Part(s)
Municipal Address 260 Dunsmure Road			Assessment Roll N°.

2.2 Are there any easements or restrictive covenants affecting the subject land?

☐ Yes ☒ No

If YES, describe the easement or covenant and its effect:

3 PURPOSE OF THE APPLICATION

3.1 Type and purpose of proposed transaction: (check appropriate box)

a) Urban Area Transfer (do not complete Section 10):

☒ creation of a new lot

Other: ☐ a charge

- ☐ addition to a lot
☐ an easement

- ☐ a lease
☐ a correction of title

b) Rural Area / Rural Settlement Area Transfer (Section 10 must be completed):

- ☐ creation of a new lot
☐ creation of a new non-farm parcel
(i.e. a lot containing a surplus farm dwelling
resulting from a farm consolidation)
☐ addition to a lot

- Other: ☐ a charge
☐ a lease
☐ a correction of title
☐ an easement

3.2 Name of person(s), if known, to whom land or interest in land is to be transferred, leased or charged:

TBD

3.3 If a lot addition, identify the lands to which the parcel will be added:

N/A

4 DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Description of land intended to be **Severed**:

Frontage (m)	Depth (m)	Area (m ² or ha)
6.7m	29.59	199.5m2

Existing Use of Property to be severed:

- ☒ Residential
☐ Agriculture (includes a farm dwelling)
☐ Other (specify) _____
- ☐ Industrial
☐ Agricultural-Related
- ☐ Commercial
☐ Vacant

Proposed Use of Property to be severed:

- ☒ Residential
☐ Agriculture (includes a farm dwelling)
☐ Other (specify) _____
- ☐ Industrial
☐ Agricultural-Related
- ☐ Commercial
☐ Vacant

Building(s) or Structure(s):

Existing: Vacant 1 Storey Office Building

Proposed: Future Semi-Detached Dwelling

Type of access: (check appropriate box)

- ☐ provincial highway
☐ municipal road, seasonally maintained
☒ municipal road, maintained all year
- ☐ right of way
☐ other public road

Type of water supply proposed: (check appropriate box)

- ☒ publicly owned and operated piped water system
☐ privately owned and operated individual well
- ☐ lake or other water body
☐ other means (specify) _____

Type of sewage disposal proposed: (check appropriate box)

- ☒ publicly owned and operated sanitary sewage system
☐ privately owned and operated individual septic system
☐ other means (specify) _____

4.2 Description of land intended to be **Retained**:

Frontage (m)	Depth (m)	Area (m ² or ha)
6.74	25.09	189m2

Existing Use of Property to be retained:

- ☒ Residential
☐ Agriculture (includes a farm dwelling)
☐ Other (specify) _____
- ☐ Industrial
☐ Agricultural-Related
- ☐ Commercial
☐ Vacant

Proposed Use of Property to be retained:

- ☒ Residential
- ☐ Agriculture (includes a farm dwelling)
- ☐ Other (specify) _____
- ☐ Industrial
- ☐ Agricultural-Related
- ☐ Commercial
- ☐ Vacant

Building(s) or Structure(s):

Existing: Vacant 1 Storey Office Building

Proposed: Semi Detached Dwelling

Type of access: (check appropriate box)

- ☐ provincial highway
- ☒ municipal road, seasonally maintained
- ☐ municipal road, maintained all year
- ☐ right of way
- ☐ other public road

Type of water supply proposed: (check appropriate box)

- ☒ publicly owned and operated piped water system
- ☐ privately owned and operated individual well
- ☐ lake or other water body
- ☐ other means (specify) _____

Type of sewage disposal proposed: (check appropriate box)

- ☒ publicly owned and operated sanitary sewage system
- ☐ privately owned and operated individual septic system
- ☐ other means (specify) _____

4.3 Other Services: (check if the service is available)

- ☒ electricity
- ☒ telephone
- ☒ school bussing
- ☒ garbage collection

5 CURRENT LAND USE

5.1 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Urban Hamilton Official Plan designation (if applicable) Neighbourhoods

Please provide an explanation of how the application conforms with a City of Hamilton Official Plan.

See attached cover letter.

5.2 What is the existing zoning of the subject land? D* (Urban Protected Residential etc.) District

If the subject land is covered by a Minister's zoning order, what is the Ontario Regulation Number? _____

5.3 Are any of the following uses or features on the subject land or within 500 metres of the subject land, unless otherwise specified. Please check the appropriate boxes, if any apply.

Use or Feature	On the Subject Land	Within 500 Metres of Subject Land, unless otherwise specified (indicate approximate distance)
An agricultural operation, including livestock facility or stockyard	<input type="checkbox"/>	
A land fill	<input type="checkbox"/>	
A sewage treatment plant or waste stabilization plant	<input type="checkbox"/>	
A provincially significant wetland	<input type="checkbox"/>	

A provincially significant wetland within 120 metres	<input type="checkbox"/>	
A flood plain	<input type="checkbox"/>	
An industrial or commercial use, and specify the use(s)	<input type="checkbox"/>	
An active railway line	<input checked="" type="checkbox"/>	Within 100m
A municipal or federal airport	<input type="checkbox"/>	

6 PREVIOUS USE OF PROPERTY

- ☐ Residential
 ☐ Industrial
 ☒ Commercial
☐ Agriculture
 ☐ Vacant
 ☐ Other (specify)

- 6.1 If Industrial or Commercial, specify use Former Office
- 6.2 Has the grading of the subject land been changed by adding earth or other material, i.e., has filling occurred?
☐ Yes ☒ No ☐ Unknown
- 6.3 Has a gas station been located on the subject land or adjacent lands at any time?
☐ Yes ☒ No ☐ Unknown
- 6.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
☐ Yes ☐ No ☒ Unknown
- 6.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
☐ Yes ☒ No ☐ Unknown
- 6.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or biosolids was applied to the lands?
☐ Yes ☒ No ☐ Unknown
- 6.7 Have the lands or adjacent lands ever been used as a weapons firing range?
☐ Yes ☒ No ☐ Unknown
- 6.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
☐ Yes ☒ No ☐ Unknown
- 6.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (e.g., asbestos, PCB's)?
☐ Yes ☒ No ☐ Unknown
- 6.10 Is there reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?
☒ Yes ☐ No ☐ Unknown
- 6.11 What information did you use to determine the answers to 6.1 to 6.10 above?
Property owner information.
- 6.12 If previous use of property is industrial or commercial or if YES to any of 6.2 to 6.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.
 Is the previous use inventory attached?
☐ Yes ☒ No

7 PROVINCIAL POLICY

- 7.1 a) Is this application consistent with the Policy Statements issued under subsection of the *Planning Act*? (Provide explanation)

☒ Yes ☐ No

See attached cover letter.

- b) Is this application consistent with the Provincial Policy Statement (PPS)?
☒ Yes ☐ No (Provide explanation)

See attached cover letter.

- c) Does this application conform to the Growth Plan for the Greater Golden Horseshoe?
☒ Yes ☐ No (Provide explanation)

See attached cover letter.

- d) Are the subject lands within an area of land designated under any provincial plan or plans? (If YES, provide explanation on whether the application conforms or does not conflict with the provincial plan or plans.)
☐ Yes ☒ No

- e) Are the subject lands subject to the Niagara Escarpment Plan?
☐ Yes ☒ No

If yes, is the proposal in conformity with the Niagara Escarpment Plan?

☐ Yes ☐ No

(Provide Explanation)

- f) Are the subject lands subject to the Parkway Belt West Plan?
☐ Yes ☒ No

If yes, is the proposal in conformity with the Parkway Belt West Plan?

☐ Yes ☐ No (Provide Explanation)

- g) Are the subject lands subject to the Greenbelt Plan?
☐ Yes ☒ No

If yes, does this application conform with the Greenbelt Plan?

☐ Yes ☐ No (Provide Explanation)

8 HISTORY OF THE SUBJECT LAND

- 8.1 Has the subject land ever been the subject of an application for approval of a plan of subdivision or a consent under sections 51 or 53 of the *Planning Act*?
☒ Yes ☒ No ☐ Unknown

If YES, and known, indicate the appropriate application file number and the decision made on the application.

File: HM/B-21:46

- 8.2 If this application is a re-submission of a previous consent application, describe how it has been changed from the original application.

- 8.3 Has any land been severed or subdivided from the parcel originally acquired by the owner of the subject land? ☐ Yes ☒ No

If YES, and if known, provide for each parcel severed, the date of transfer, the name of

the transferee and the land use.
TBD

8.4 How long has the applicant owned the subject land?
2017

8.5 Does the applicant own any other land in the City? ☐ Yes ☒ No
If YES, describe the lands in "11 - Other Information" or attach a separate page.

9 OTHER APPLICATIONS

9.1 Is the subject land currently the subject of a proposed official plan amendment that has been submitted for approval? ☐ Yes ☒ No ☐ Unknown

If YES, and if known, specify file number and status of the application.

9.2 Is the subject land the subject of any other application for a Minister's zoning order, zoning by-law amendment, minor variance, consent or approval of a plan of subdivision? ☐ Yes ☒ No ☐ Unknown

If YES, and if known, specify file number and status of the application(s).
File number Status

10 RURAL APPLICATIONS

10.1 Rural Hamilton Official Plan Designation(s)
☐ Agricultural ☐ Rural ☐ Specialty Crop
☐ Mineral Aggregate Resource Extraction ☐ Open Space ☐ Utilities
☐ Rural Settlement Area (specify) Settlement Area Designation

If proposal is for the creation of a non-farm parcel resulting from a farm consolidation, indicate the existing land use designation of the abutting or non-abutting farm operation.

10.2 Type of Application (select type and complete appropriate sections)
☐ Agricultural Severance or Lot Addition
☐ Agricultural Related Severance or Lot Addition
☐ Rural Resource-based Commercial Severance or Lot Addition
☐ Rural Institutional Severance or Lot Addition
☐ Rural Settlement Area Severance or Lot Addition
☐ Surplus Farm Dwelling Severance from an Abutting Farm Consolidation
☐ Surplus Farm Dwelling Severance from a Non-Abutting Farm Consolidation

10.3 Description of Lands

a) Lands to be Severed:

Frontage (m): (from Section 4.1)	Area (m ² or ha): (from in Section 4.1)
----------------------------------	--

Existing Land Use: Proposed Land Use:

b) Lands to be Retained:

Frontage (m): (from Section 4.2)	Area (m ² or ha): (from Section 4.2)
----------------------------------	---

Existing Land Use: _____ Proposed Land Use: _____

10.4 Description of Lands (Abutting Farm Consolidation)

a) Location of abutting farm:

(Street) (Municipality) (Postal Code)

b) Description abutting farm:

Frontage (m):	Area (m ² or ha):
---------------	------------------------------

Existing Land Use(s): _____ Proposed Land Use(s): _____

c) Description of consolidated farm (excluding lands intended to be severed for the surplus dwelling):

Frontage (m):	Area (m ² or ha):
---------------	------------------------------

Existing Land Use: _____ Proposed Land Use: _____

d) Description of surplus dwelling lands proposed to be severed:

Frontage (m): (from Section 4.1)	Area (m ² or ha): (from Section 4.1)
----------------------------------	---

Front yard set back: _____

e) Surplus farm dwelling date of construction:

☐ Prior to December 16, 2004 ☐ After December 16, 2004

f) Condition of surplus farm dwelling:

☐ Habitable ☐ Non-Habitable

g) Description of farm from which the surplus dwelling is intended to be severed (retained parcel):

Frontage (m): (from Section 4.2)	Area (m ² or ha): (from Section 4.2)
----------------------------------	---

Existing Land Use: _____ Proposed Land Use: _____

10.5 Description of Lands (Non-Abutting Farm Consolidation)

a) Location of non-abutting farm

(Street) (Municipality) (Postal Code)

b) Description of non-abutting farm

Frontage (m):	Area (m ² or ha):
---------------	------------------------------

Existing Land Use(s): _____ Proposed Land Use(s): _____

c) Description of surplus dwelling lands intended to be severed:

Frontage (m): (from Section 4.1)	Area (m ² or ha): (from Section 4.1)
----------------------------------	---

Front yard set back: _____

d) Surplus farm dwelling date of construction:

☐ Prior to December 16, 2004 ☐ After December 16, 2004

e) Condition of surplus farm dwelling:

☐ Habitable

☐ Non-Habitable

- f) Description of farm from which the surplus dwelling is intended to be severed (retained parcel):

Frontage (m): (from Section 4.2)	Area (m ² or ha): (from Section 4.2)
----------------------------------	---

Existing Land Use: _____ Proposed Land Use: _____

11 OTHER INFORMATION

Is there any other information that you think may be useful to the Committee of Adjustment or other agencies in reviewing this application? If so, explain below or attach on a separate page.

Severance will facilitate the approval of Site Plan Application DA-19-107. Lands will be developed in accordance with the "D" Zone Regulations

12 SKETCH (Use the attached Sketch Sheet as a guide)

12.1 The application shall be accompanied by a sketch showing the following in metric units:

- (a) the boundaries and dimensions of any land abutting the subject land that is owned by the owner of the subject land;
- (b) the approximate distance between the subject land and the nearest township lot line or landmark such as a bridge or railway crossing;
- (c) the boundaries and dimensions of the subject land, the part that is intended to be severed and the part that is intended to be retained;
- (d) the location of all land previously severed from the parcel originally acquired by the current owner of the subject land;
- (e) the approximate location of all natural and artificial features (for example, buildings, barns, railways, roads, watercourses, drainage ditches, banks of rivers or streams, wetlands, wooded areas, wells and septic tanks) that,
 - i) are located on the subject land and on land that is adjacent to it, and
 - ii) in the applicant's opinion, may affect the application;
- (f) the current uses of land that is adjacent to the subject land (for example, residential, agricultural or commercial);
- (g) the location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private road or a right of way;
- (h) the location and nature of any easement affecting the subject land.

13 ACKNOWLEDGEMENT CLAUSE

I acknowledge that The City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

2 Nov 2021
Date


Signature of Owner