

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: SC/A-21:415

APPLICANTS: Owner T. Thach & C. Ho

SUBJECT PROPERTY: Municipal address **15 Centennial Pkwy S., Stoney Creek**

ZONING BY-LAW: Zoning By-law 3692-92, as Amended

ZONING: RM1(H) district Multiple Residential

PROPOSAL: To allow for a home occupation (nail salon) with a total gross floor area of 46.45 m² or 38% of the total gross floor area of the single detached dwelling notwithstanding:

1. A maximum residential gross floor area of 46.5 m² or 38% of the dwelling unit be intended for a home occupation (nail salon), whereas the Zoning By-law permits a maximum residential gross floor area of 20% of the dwelling unit for the purposes of a home occupation.

Notes:

1. For the purposes of this application, the front lot line is considered to be the easterly lot line along Centennial Pkwy S.

2. Floor plans and elevation drawings were not provided with the submission. As such, additional variances may be required if the interior and exterior of the building does not comply with the provisions of Section 4.8 of Stoney Creek By-law 3692-92. Section 4.8 contains specific regulations for establishing a home occupation.

3. The site plan submitted is illegible/lacking detail to determine all necessary variances. Specifically, it is unclear if the site has sufficient parking to facilitate the proposed use.

4. There is insufficient information within Building Division records to recognize the accessory structure in the rear yard, and the parking area in the front yard. Additional variances may be required.

5. The establishment of the proposed parking area is subject to site plan control.

This application will be heard by the Committee as shown below:

DATE:	Thursday, January 20th, 2022
TIME:	1:25 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	To be streamed at
	www.hamilton.ca/committeeofadjustment
	for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

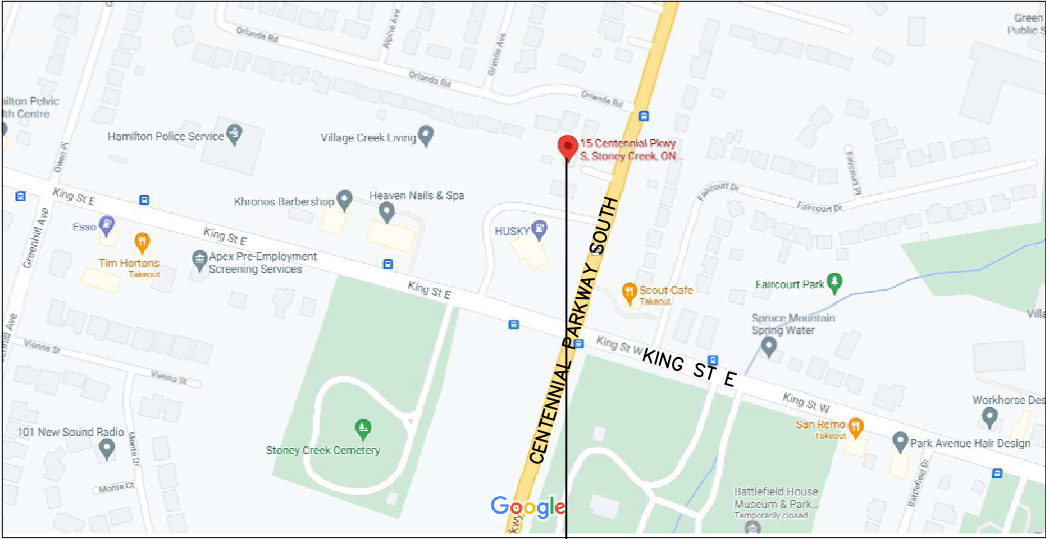
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: January 4th, 2022.

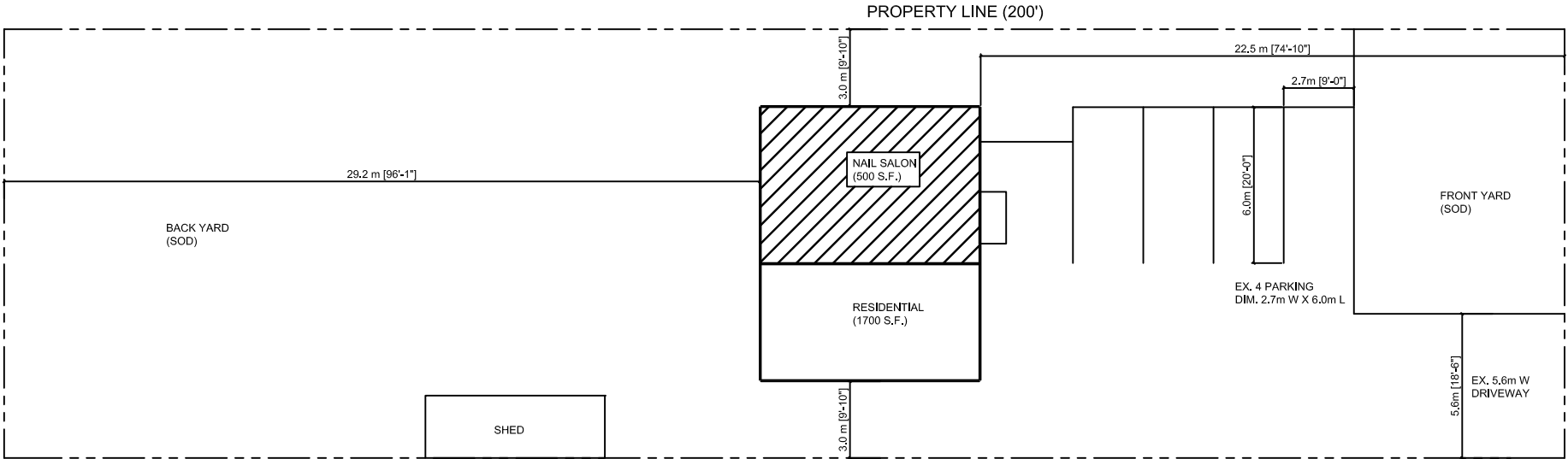
Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



PROPOSE NAIL SALON
(500 SF OR 46 m2)

1 KEY PLAN
A0 NTS



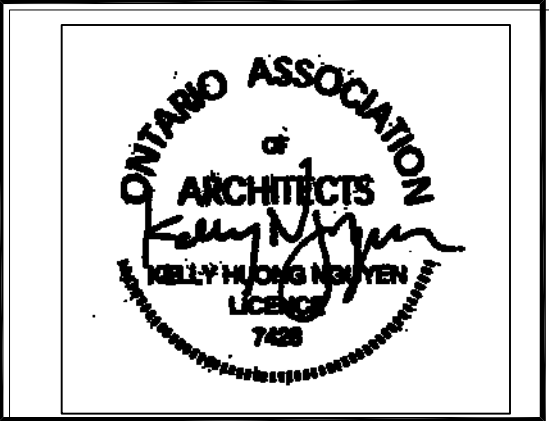
CENTENNIAL PARKWAY SOUTH
PROPERTY LINE (50')

SITE STATISTIC:	
LOT AREA :	10,000SF (929m2)
PARKING :	4 SPACES
FIRST FLOOR AREA :	855 S.F.
SECOND FLOOR AREA :	445 S.F.
TOTAL FLOOR AREA :	1300 S.F.
ALLOWABLE COMMERCIAL AREA (NAIL SALON)	260 S.F. (20%)
PROPOSE COMMERCIAL AREA (NAIL SALON)	500 S.F. (38%)

2

2 SITE PLAN
A0 NTS

REVISION:		
No:	Date:	Description:
1	JUN 2021	FOR PERMIT
2	AUG 2021	FOR ZONING/CoA
3		



Contractors quoting on job must visit site and make allowances where necessary, report any discrepancies to the designer before commencing any work.
Do not scale drawings.
This document is the property of CKL DESIGN INC and is submitted for use only with project proposed or authorized by CKL DESIGN INC. These drawings should not be used or duplicated for any purposes without written permission from CKL DESIGN INC.

PROJECT:

NAIL SALON

15 CENTENNIAL PARKWAY S

STONEY CREEK, ON

TITLE:

KEY/SITE PLAN

CKL DESIGN INC

19 OAK STREET, UNIT B
NORTH YORK, ON M9N 0A4
416.792.9218
kelly@knarchitect.ca
www.knarchitect.ca

PROJECT No:
C-21

DRAWN BY / APPROVE BY:
KNA / KNA

SCALE:
NTS

DATE:
JUN/2021

DRAWING No.

A0

**Committee of Adjustment**

City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE**FOR OFFICE USE ONLY.**

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____**The Planning Act****Application for Minor Variance or for Permission**

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS
Registered Owners(s)		
Applicant(s)*		
Agent or Solicitor		

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Home Trust
145 King St. W.
Suite 2300, Toronto
ON M5H 1S8

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

more square footage for the nail salon, from ~~400~~ 200 sq feet to 500 sq feet.

☐ Secondary Dwelling Unit ☒ Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

Using previous space from residence as nail salon.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

15 Centennial Pkwy S., Stoney Creek,
ON L8G 2B8

7. PREVIOUS USE OF PROPERTY

Residential ☒ Industrial ☐ Commercial ☐
Agricultural ☐ Vacant ☐ Other ☐

Other _____

- 8.1 If Industrial or Commercial, specify use _____

- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐ No ☒ Unknown ☐

- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐ No ☒ Unknown ☐

- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐ No ☒ Unknown ☐

- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐ No ☒ Unknown ☐

- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐ No ☒ Unknown ☐

- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes ☐ No ☒ Unknown ☐

- 8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ☐ No ☒ Unknown ☐

- 8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

Been residing at Property for more than 10 years. Previous owners never represented anything regarding those statements.

- 8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ☐ No ☒

9. **ACKNOWLEDGEMENT CLAUSE**

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

11/11/2021
Date

Signature Property Owner(s)

Tuongvi Thach / Cay Ho
Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage 50'
Depth 200'
Area 10,000 SF
Width of street _____

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:___

- House
- garage
- shed
Nail Salon: main floor, front door

Proposed

12. Location of all buildings and structures on or proposed for the subject lands: (Specify distance from side, rear and front lot lines)

Existing:

Highway 20

Proposed:

Nails Salon

13. Date of acquisition of subject lands:
November 2009
14. Date of construction of all buildings and structures on subject lands:
~ 1942
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
- single family
- home business
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
17. Length of time the existing uses of the subject property have continued:
- nail salon: June 2020
- Dwelling: November 2009
18. Municipal services available: (check the appropriate space or spaces)
- | | | | |
|----------------|-------------------------------------|-----------|--------------------------|
| Water | <input checked="" type="checkbox"/> | Connected | <input type="checkbox"/> |
| Sanitary Sewer | <input checked="" type="checkbox"/> | Connected | <input type="checkbox"/> |
| Storm Sewers | <input checked="" type="checkbox"/> | | |
19. Present Official Plan/Secondary Plan provisions applying to the land:
Secondary Plan
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
Residential to Commercial
21. Has the owner previously applied for relief in respect of the subject property?
Yes ☐ No ☒
If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
Yes ☐ No ☒
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.