



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: HM/A-21:420

APPLICANTS: Owner Musse Kahin
Agent M. Akindolire

SUBJECT PROPERTY: Municipal address **484 Cannon St. E., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended

ZONING: D district (Urban Protected Residential - One and Two Family Dwellings, etc.)

PROPOSAL: To permit the construction of an uncovered front porch with stairs at the first storey onto one (1) half of an existing semi-detached dwelling notwithstanding that:

1. The uncovered front porch with stairs at the first storey shall be permitted to be 0.0m from the westerly side lot line and 0.0m from the Cannon Street East street line instead of the requirement that an uncovered porch which does not extend more than 1.0 metre above the floor level of the first storey, may project into a required yard, if distant at least 0.5 metres from the nearest side lot line and at least 1.5 metres from the nearest street line.

NOTE:

- i) The variances are based on the Site Plan submitted.
- ii) An Encroachment Agreement with the Public Works Division is required for the uncovered front porch and stairs which project onto the Cannon Street East road allowance.

This application will be heard by the Committee as shown below:

DATE: Thursday, January 20th, 2022
TIME: 1:40 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

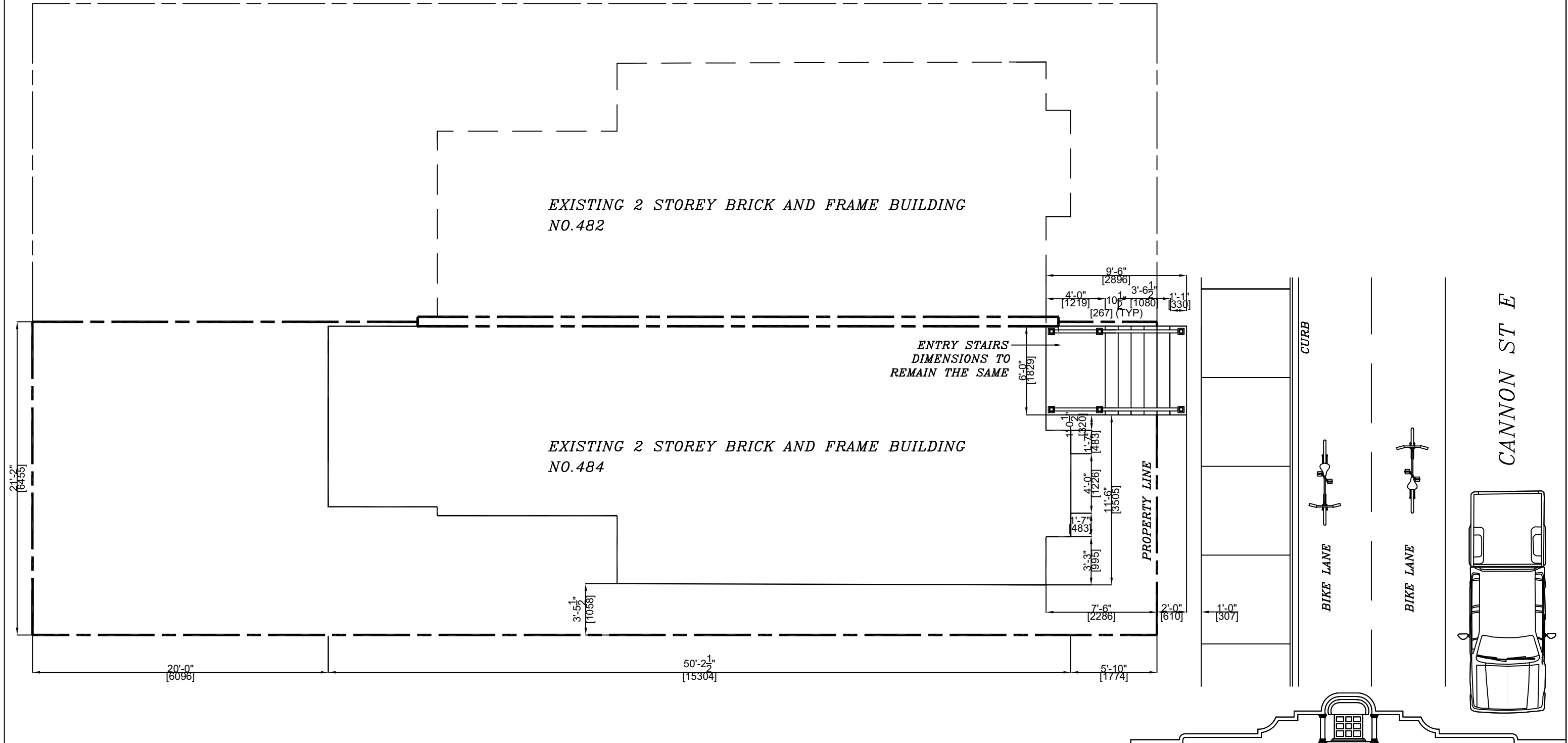
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: January 4th, 2022.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



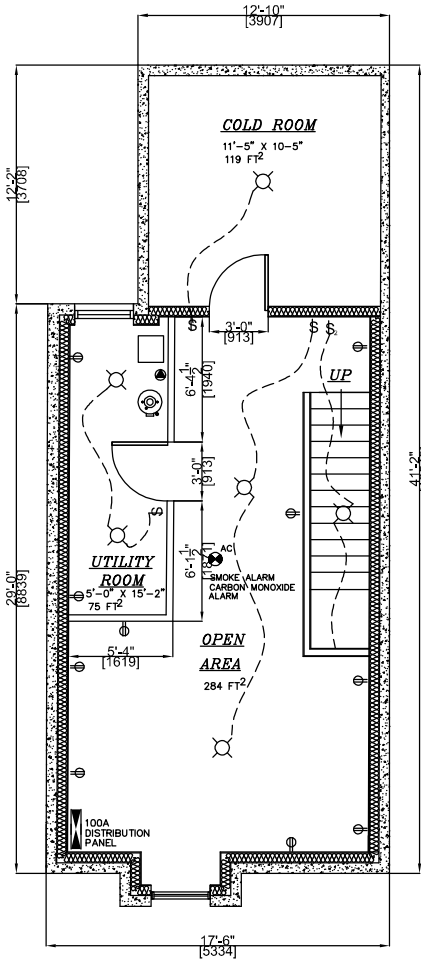
SITE LAYOUT

SCALE: 1: 50

PROJECT TITLE:		DESIGNED BY:	DATE:
484 CANNON ST. E HAMILTON ON, L8L 2E4		DRAWN BY:	SCALE: 1: 50
CLIENT:		SHEET TITLE:	SHEET NO.
SIGNATURE:		BUILDING RENOVATION SITE LAYOUT & ENTRY STAIR	1 OF 3

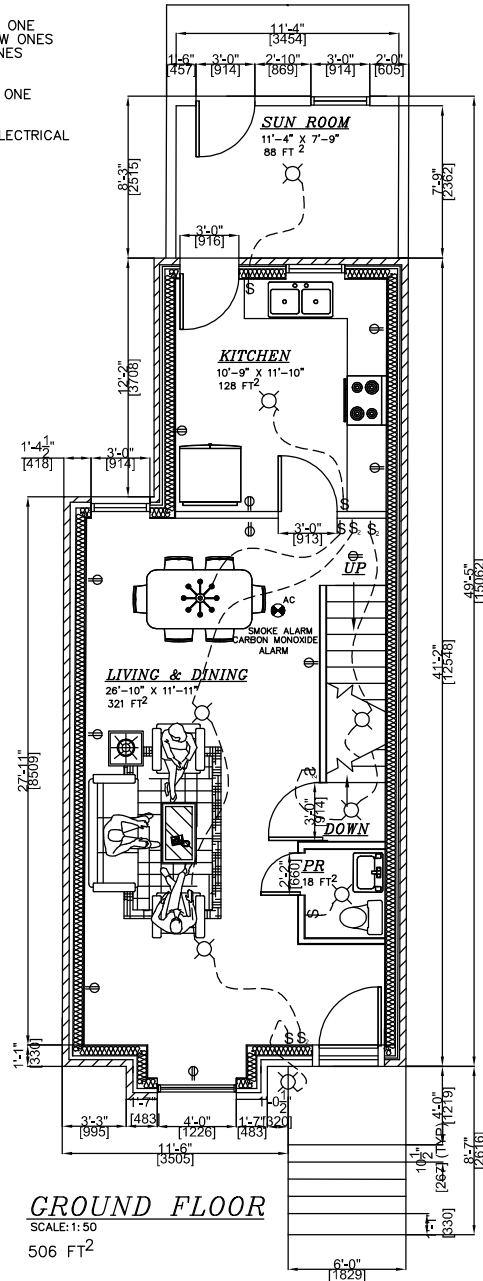
BUILDING RENOVATION NOTES

1. REMOVE EXISTING DRYWALL & INSTALL NEW ONES
2. REPLACE EXISTING WINDOWS WITH NEW ONES
3. REMOVE EXISTING ENTRANCE STAIRS AND INSTALL NEW ONE
4. REPLACE ALL INTERIOR AND EXTERIOR DOORS WITH NEW ONES
5. REMOVE EXISTING TUB AND TOILET AND INSTALL NEW ONES
6. INSTALL NEW RECESSED LIGHTING
7. REPLACE PLUMBING
8. REMOVE EXISTING FURNACE & INSTALL HIGH EFFICIENT ONE
9. REPLACE HOT WATER TANK
10. INSTALL NEW FLOORING
11. FINISH BASMENT TO INCLUDE FRAMING, INSULATION& ELECTRICAL



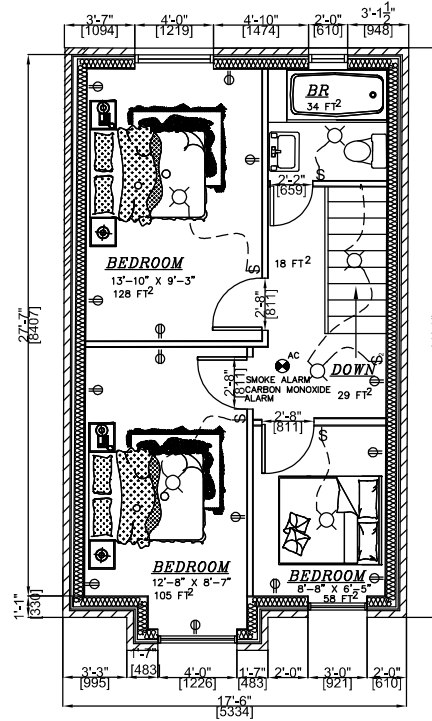
BASEMENT

SCALE: 1:50
478 FT²



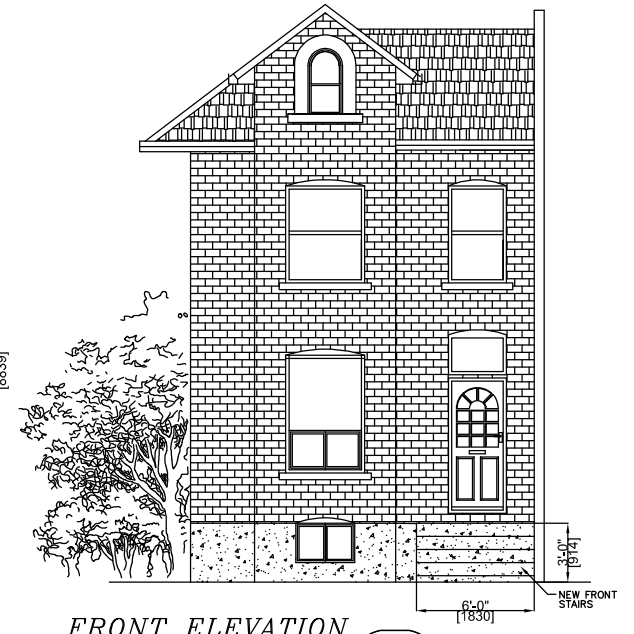
GROUND FLOOR

SCALE: 1:50
506 FT²



SECOND FLOOR

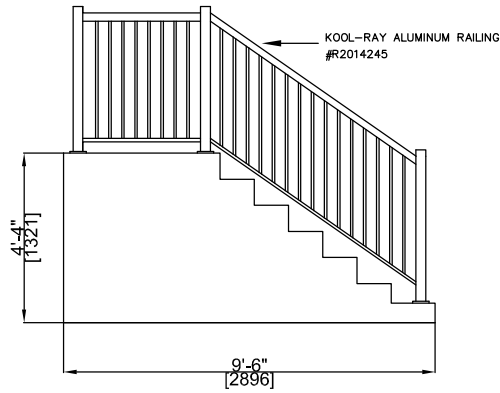
SCALE: 1:50
372 FT²



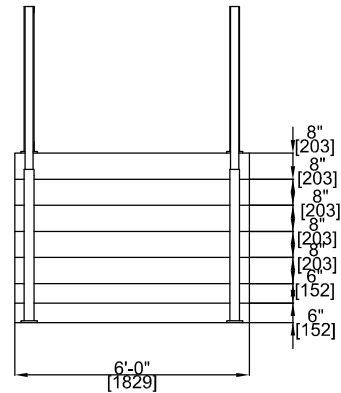
FRONT ELEVATION

SCALE: 1:50

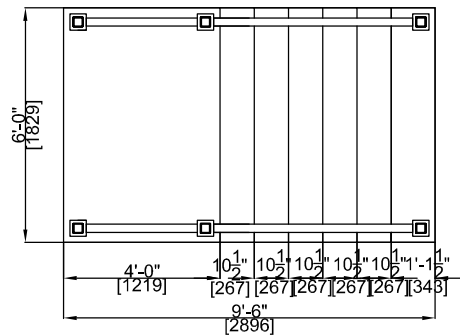
PROJECT TITLE:		DESIGNED BY:	DATE:
484 CANNON ST. E HAMILTON ON, L8L 2E4		DRAWN BY:	SCALE: 1:50
CLIENT:		SHEET TITLE:	SHEET NO.
SIGNATURE:		BUILDING RENOVATION FLOOR PLANS AND ELEVATION	2 OF 3



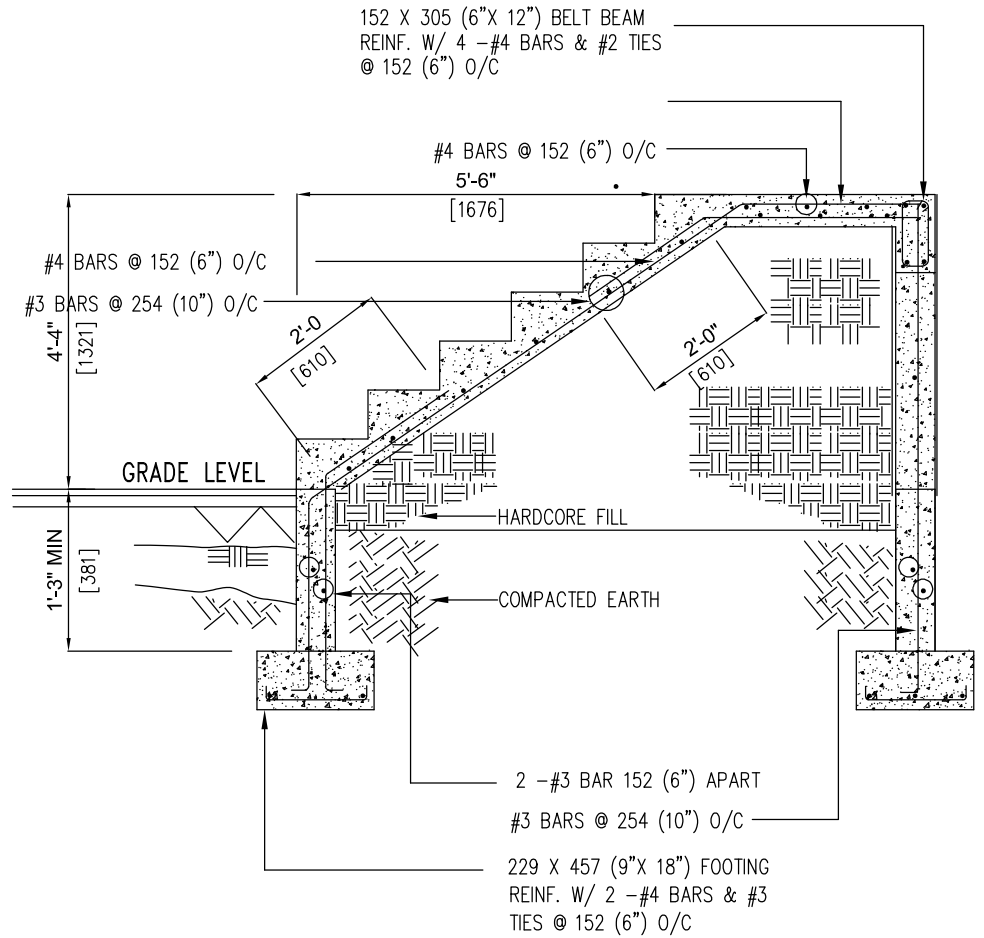
SIDE ELEVATION
SCALE: 1:50



FRONT ELEVATION
SCALE: 1:50



PLAN OF STAIRS
SCALE: 1:50



SECTION OF STAIR
SCALE : 1 : 24

PROJECT TITLE:	DESIGNED BY:	DATE:	
484 CANNON ST. E HAMILTON ON, L8L 2E4	DRAWN BY:	SCALE: 1:50	
	SHEET TITLE:		SHEET NO.
	BUILDING RENOVATION FRONT STAIRS LAYOUT & DETAILS		3 OF 3
CLIENT:			
SIGNATURE:			



Committee of Adjustment
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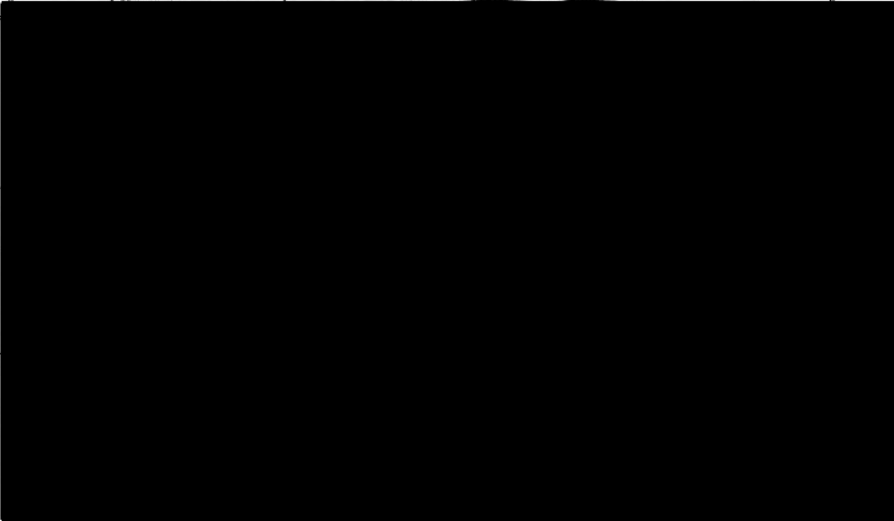
APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS
Registered Owners(s)		
Applicant(s)*		
Agent or Solicitor		

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

*New front stairs will provide
a setback of zero meters
instead of a required 1.5 meters*

☐ Secondary Dwelling Unit

☐ Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

*Construction done with out notification of the
city of Hamilton*

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

484 E. HUNN ST E

7. PREVIOUS USE OF PROPERTY

Residential ☒

Industrial ☐

Commercial ☐

Agricultural ☐

Vacant ☐

Other ☐

Other _____

8.1 If Industrial or Commercial, specify use *WHA*

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e., has filling occurred?

Yes ☐

No ☒

Unknown ☐

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐

No ☒

Unknown ☐

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐

No ☒

Unknown ☐

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐

No ☒

Unknown ☐

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐

No ☒

Unknown ☐

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐

No ☒

Unknown ☐

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐

No ☒

Unknown ☐

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes ☐

No ☒

Unknown ☐

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ☐ No ☒ Unknown ☐

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

Coming in around the area
- Visual research

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ☐ No ☒

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application - by reason of its approval to this Application.

Date _____

Signature Property Owner(s) _____

Print Name of Owner(s) _____

10. Dimensions of lands affected:

Frontage

20 FT

Depth

75 FT

Area

1500

Width of street

street 20 FT 6 FT side walk 10 FT 8 ft ker

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:

506 sq ft

372

2

17.6

51 FT

29.6 FT

Proposed

SOME

1356 sq ft

12. Location of all buildings and structures on or proposed for the subject lands: (Specify distance from side, rear and front lot lines)

Existing:

8 FT

16 FT

8 FT

Left 2 FT

Rear 2 FT

Proposed:

SAME

13. Date of acquisition of subject lands.

14. Date of construction of all buildings and structures on subject lands:

15. Existing uses of the subject property (single family; duplex, retail, factory etc.):
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
17. Length of time the existing uses of the subject property have continued: *over 50 years*
18. Municipal services available: (check the appropriate space or spaces)
Water ☒ Connected ☐
Sanitary Sewer ☒ Connected ☐
Storm Sewers ☐
19. Present Official Plan/Secondary Plan provisions applying to the land: ✓
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
21. Has the owner previously applied for relief in respect of the subject property?
Yes ☒ No ☐
If the answer is yes, describe briefly.
refurbishing ~~floor~~ Stair
22. Is the subject property the subject of a current application for consent under Section 53 of the Planning Act?
Yes ☒ No ☐
23. Additional Information
Re Doing Stair
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.