



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: HM/A-21:228

APPLICANTS: Owner Terri Laan

SUBJECT PROPERTY: Municipal address **147 Beach Blvd., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended 99-169

ZONING: "C/S-1435" (Urban Protected Residential) district

PROPOSAL: To permit the creation of two lots through land severance application HM/B-21: 52 notwithstanding that;

1. A minimum lot frontage of 6.0 m shall be provided for the portion of the land to be retained (shown as Part 2, 4 and Fletcher Avenue) instead of the minimum required lot frontage of 12.0 m; and
2. A minimum of 1.5 m setback shall be maintained on the westerly side lot line (where the new lot line is being created) for the existing concrete block building instead of the minimum required side yard along each side lot line of a width of at least 1.7 m; and
3. A minimum of 0.6 m side yard width shall be maintained on the southerly side lot line for the existing concrete block building instead of the minimum required side yard along each side lot line of a width of at least 1.7 m; and
4. A minimum southerly side yard width of 1.3 m shall be maintained for the existing deck instead of the minimum required side yard along each side lot line of a width of at least 1.7 m;

Notes:

These variances are necessary to facilitate land severance application HM/B-21: 52.

Please be advised that a portion of this property is within an area regulated by Hamilton Conservation Authority. Please contact the Hamilton Conservation Authority at (905) 525-2181 prior to any development.

The lands are subject to Site Plan Control. As such, development or redevelopment may require application to the Development Planning Division. For further information, please contact (905) 546-2424 extension 1355 or email pd.generalinquiry@hamilton.ca

This application will be heard by the Committee as shown below:

DATE: Thursday, January 20th, 2022
TIME: 2:10 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

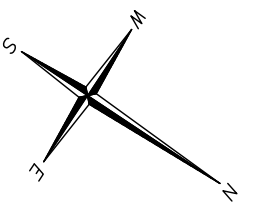
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: January 4th, 2022.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



PIN 17571 - 0104

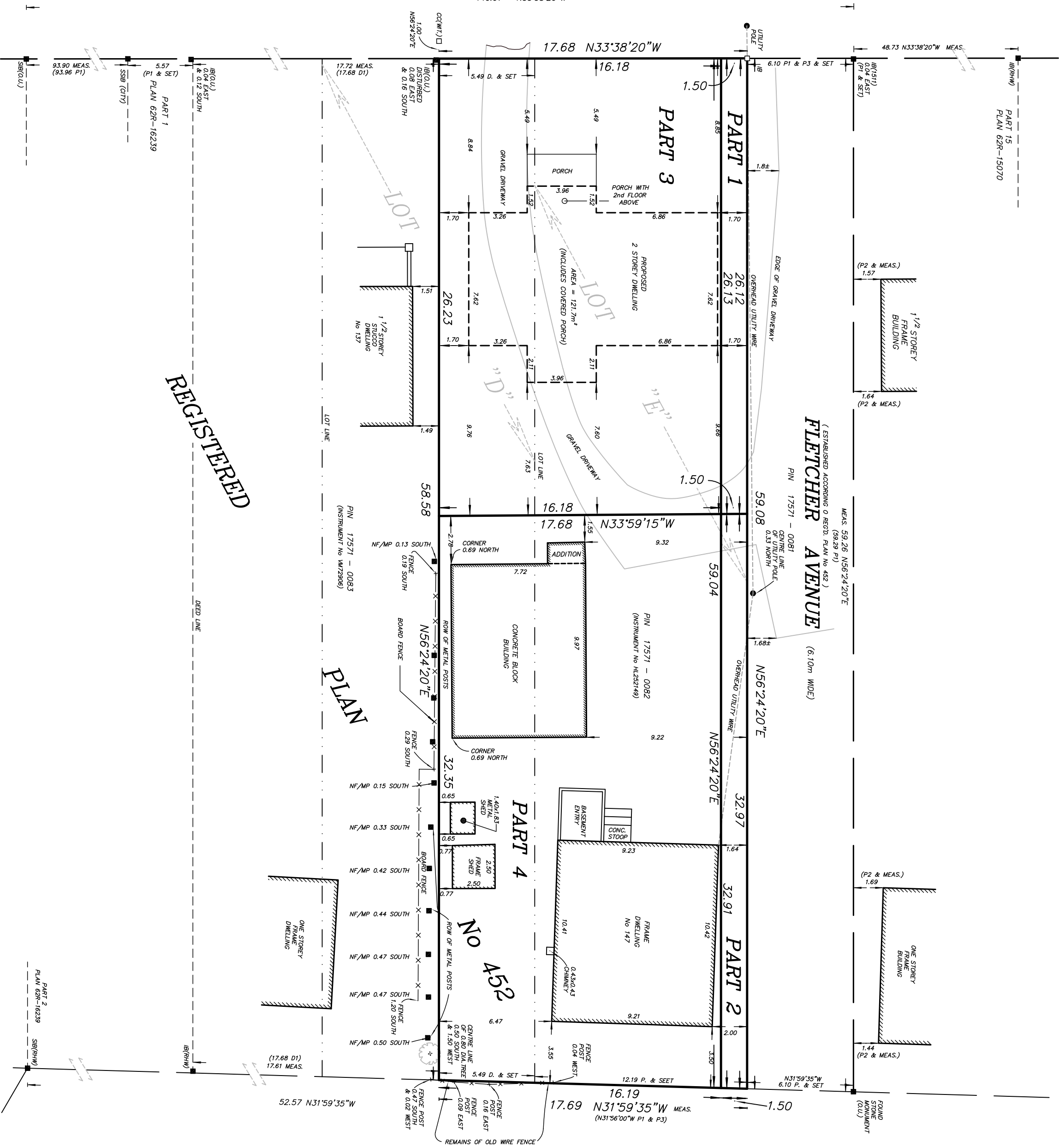
BEACH BOULEVARD

(ESTABLISHED BY BURLINGTON BEACH COMMISSION BY-LAW No 188, REGISTERED AS 1248 BY-LAW DATED JULY 7, 1949 TRANSFERRED BY ORDER IN COUNCIL OC-2180/64, EFFECTIVE JULY 9, 1964 INST. No 1469 MISC. (P-2113-241)
(141.05 P1) (N33°40'30"W P3)
140.97 N33°38'20"W

PIN 17571 - 0230

BURLINGTON BEACH EAST OF BEACH BOULEVARD

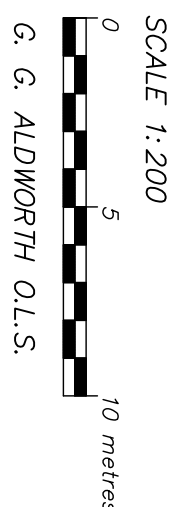
WATERFRONT TRAIL



SCHEDULE			
PART	PART OF LOT	PLAN	PART OF PIN
1	PART LOT "E"	REGISTERED	17571-0082
2	PART LOT "E"	PLAN 452	
3	"D" & "E"		
4	"D" & "E"		

PLAN 62R-	
RECEIVED AND DEPOSITED:	
DATE	REPRESENTATIVE FOR
JUNE 13, 2019	LAND REGISTRAR FOR THE LAND TITLES DIVISION OF WENTWORTH (No. 62)
DATE	LAUREN HARRISON

PLAN OF SURVEY OF
LOT "E" & PART OF LOT "D"
REGISTERED PLAN NO. 452
IN THE
CITY OF HAMILTON



BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS (A) AND (B) BY REAL TIME NETWORK (RTN) OBSERVATIONS, UTM ZONE 17, NAD83 (CSRS) (2010). DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF FOR BEARING COMPARISON A ROTATION OF

POINT ID	NORTHING	EASTING
(A)		
(B)		

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

METRIC: DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

- LEGEND:
- DENOTES A SURVEY MONUMENT PLANTED
 - DENOTES A SURVEY MONUMENT FOUND
 - IB DENOTES IRON BAR
 - SIB DENOTES STANDARD IRON BAR
 - SB DENOTES SHORT STANDARD IRON BAR
 - PB DENOTES PLASTIC BAR
 - CC DENOTES COT CROSS
 - (1511) DENOTES G. V. CONSOLI O. L. S.
 - (1074) DENOTES CITY OF HAMILTON
 - (DHO) DENOTES DEPARTMENT OF HIGHWAYS OF ONTARIO
 - (RHW) DENOTES REGION OF HAMILTON-WENTWORTH (O.U.)
 - (D1) DENOTES INSTRUMENT No HL252149
 - (P1) DENOTES REGISTERED PLAN No 452
 - (P2) DENOTES PLAN 62R-16239
 - (P3) DENOTES BUILDING LOCATION SURVEY BY G. CONSOLI SURVEYING LTD. DATED MARCH 18, 1987
 - (MEAS) DENOTES MEASURED
 - (WIT) DENOTES WITNESS
 - NF/MP DENOTES NORTH FACE OF METAL POST

SURVEYOR'S CERTIFICATE:

- I CERTIFY THAT: THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 13th DAY OF MAY, 2019

DATE: JUNE 13, 2019
 SURVEYOR: ATHITHAN KANAGANAYAGAM
 ONTARIO LAND SURVEYOR

A. J. Clarke and Associates Ltd.
 SURVEYORS • ENGINEERS • PLANNERS
 25 MAIN STREET WEST, SUITE 300
 HAMILTON, ONTARIO, L8P 1H1
 TEL. 905-528-8761 FAX 905-528-2299
 email: ajc@ajclarke.com



Hamilton

Planning and Economic Development Department
Planning Division

Committee of Adjustment
City Hall
5th floor 71 Main Street West
Hamilton, Ontario L8P 4Y5

Phone (905) 546-2424 ext.4221
Fax (905) 546-4202

**PLEASE FILL OUT THE FOLLOWING PAGES AND
RETURN TO THE CITY OF HAMILTON PLANNING
DEPARTMENT.**

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

**CITY OF HAMILTON
COMMITTEE OF ADJUSTMENT
HAMILTON, ONTARIO**

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

- Name of Owner Terri Laan Telephone No. [Redacted]
FAX NO. _____ E-mail address [Redacted]
- Address [Redacted] Postal Code [Redacted]
- Name of Agent N/A Telephone No. _____
FAX NO. _____ E-mail address. _____
- Address _____
Postal Code _____

Note: Unless otherwise requested all communications will be sent to the agent, if any.

- Names and addresses of any mortgagees, holders of charges or other encumbrances:
Scotiabank
4519 Dundas Street, Burlington ON Postal Code L7M5B4

Postal Code _____

6. Nature and extent of relief applied for:
Reduced front lot width from 12m to 6m
Reduced South side yard from 1.7m to 1.31m
-
7. Why it is not possible to comply with the provisions of the By-law?
To facilitate severance pertaining to the existing rear lot
To facilitate an existing deck
-
8. Legal description of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):
Reg. Plan #452. Part 2 & 4. Lot E & part of lot D. 147 Beach Blvd,
-
9. PREVIOUS USE OF PROPERTY
- Residential Industrial Commercial
Agricultural Vacant
Other _____
- 9.1 If Industrial or Commercial, specify use

- 9.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
Yes No Unknown
- 9.3 Has a gas station been located on the subject land or adjacent lands at any time?
Yes No Unknown
- 9.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
Yes No Unknown
- 9.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
Yes No Unknown
- 9.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
Yes No Unknown
- 9.7 Have the lands or adjacent lands ever been used as a weapon firing range?
Yes No Unknown
- 9.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
Yes No Unknown

9.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

9.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

9.11 What information did you use to determine the answers to 9.1 to 9.10 above?

City of Hamilton staff, AJClarke & neighbour's input.

9.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property w _____ n – by reason of its approval to this Application.

Jan 21, 2021
Date


Signature Property Owner

Terri Laan
Print Name of Owner

10. Dimensions of lands affected:

Frontage _____
Depth _____
Area _____
Width of street _____

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _____

Proposed: Vacant land

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing: _____

Proposed: _____

13. Date of acquisition of subject lands:

June 2016

14. Date of construction of all buildings and structures on subject lands:

1945

15. Existing uses of the subject property: Residential

16. Existing uses of abutting properties: Residential

17. Length of time the existing uses of the subject property have continued:

1945

18. Municipal services available: (check the appropriate space or spaces)

Water Yes Connected Yes

Sanitary Sewer Yes Connected Yes

Storm Sewers Yes

19. Present Official Plan/Secondary Plan provisions applying to the land:

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:

21. Has the owner previously applied for relief in respect of the subject property?

Yes

If the answer is yes, describe briefly.

As outlined in COA Application No. HM/A-16: 225

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

23. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

NOTE: It is required that two copies of this application be filed with the secretary-treasurer of the Committee of Adjustment together with the maps