

## **NOTICE OF PUBLIC HEARING** **Minor Variance**

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**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
  - Applicant/agent on file, or
  - Person likely to be interested in this application
- 

**APPLICATION NO.:** DN/A-21:410

**APPLICANTS:** Owners Adam & Maria Fielding

**SUBJECT PROPERTY:** Municipal address **183 York Rd., Dundas**

**ZONING BY-LAW:** Zoning By-law 3581-86, as Amended

**ZONING:** "R2" (Single-Detached Residential Zone (R2))

**PROPOSAL:** To permit the construction of 8.03m (26'4") x 8.79m (28'10") "L-shaped" rear addition, a rear northerly 3.86m (12'8") x 4.24m (13'11") uncovered porch (deck) and a 1.55m (5'1") x 9.45m (31'0") unenclosed front porch with stairs onto an existing single detached dwelling notwithstanding that:

1. A roofed-over or screened but otherwise unenclosed one-storey porch at the first storey level, including stairs, eaves and gutters, may project into a required front yard to a distance of not more than 3.0 metres, and every such projecting porch shall be distant at least 3.0 metres from the front lot line instead of the requirement that a roofed-over or screened but otherwise unenclosed one-storey porch at the first storey level, including eaves and gutters, may project into a required front yard to a distance of not more than 3.0 metres, and every such projecting porch shall be distant at least 4.0 metres from the front lot line.

This application will be heard by the Committee as shown below:

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**DATE:** Thursday, January 20th, 2022  
**TIME:** 3:30 p.m.  
**PLACE:** Via video link or call in (see attached sheet for details)  
To be streamed at  
[www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)  
for viewing purposes only

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### **PUBLIC INPUT**

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

## MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

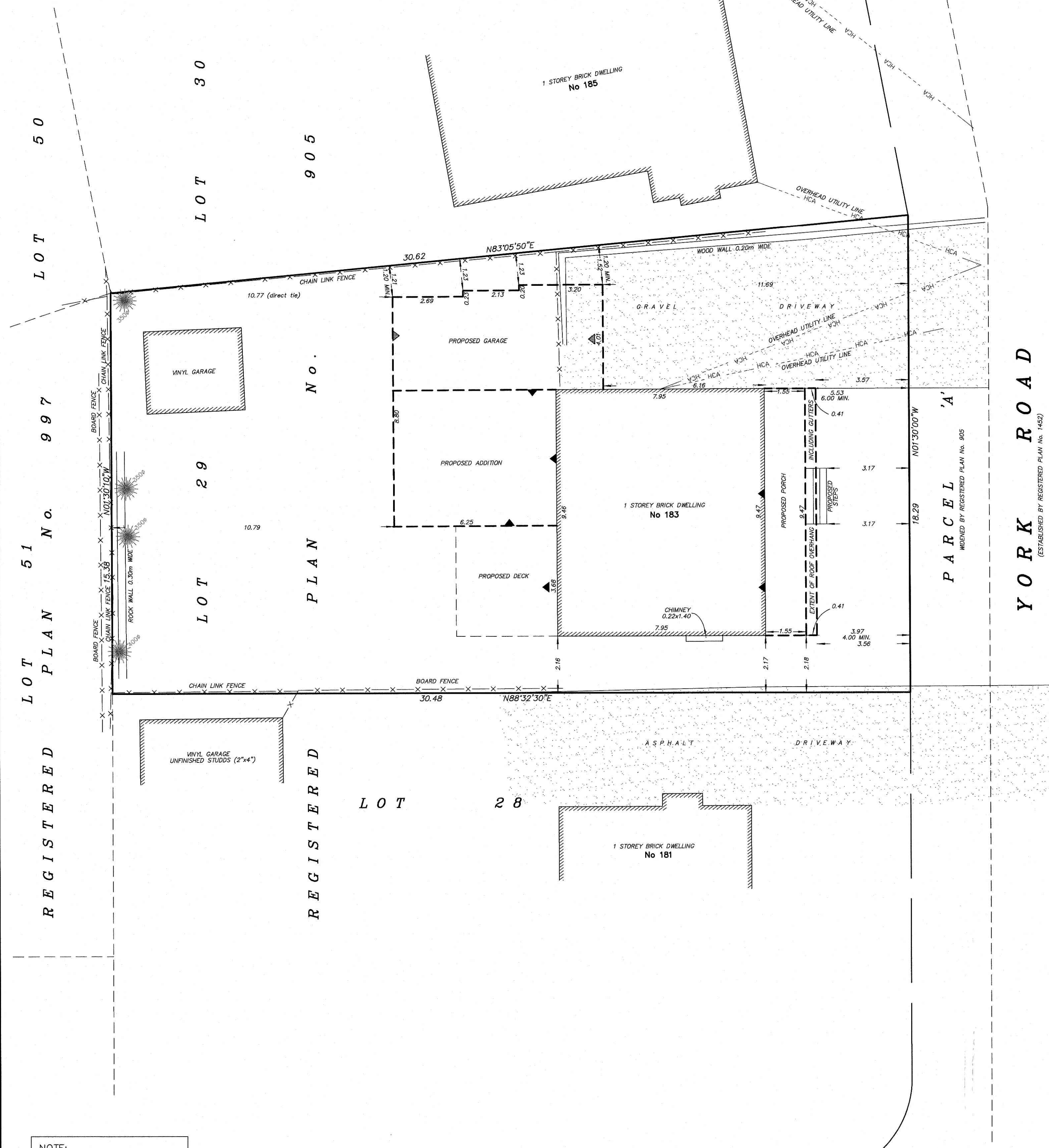
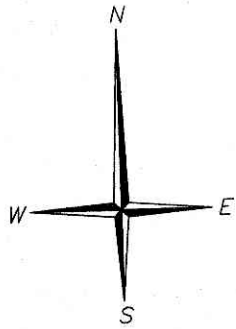
DATED: January 4th, 2022.

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

***Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.***

PROPOSED SKETCH OF  
LOT 29  
REGISTERED PLAN No. 905  
NOW IN THE  
**CITY OF HAMILTON**  
SCALE 1:100  
0 1 2 3 4 5 metres  
G. G. ALDWORTH, O.L.S.



NOTE:  
The builder is to verify the location and grade of all sewer and water services prior to setting u/s footings elevation

NOTE:  
The builder is to verify the location of all street hardware and utilities prior to construction. Driveways and/or driveway approaches shall be located such that hydro vaults and other street furniture are minimum 1.2 metres from the projections of the outside garage walls unless otherwise detailed on the lot grading plan.

LEGEND:  
▲ DENOTES ENTRANCE DOOR LOCATION  
▲ DENOTES GARAGE DOOR LOCATION

METRIC:  
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

NOTE:  
EXISTING LOCATION OF THE BUILDING DERIVED FROM A. J. CLARKE & ASSOCIATES LTD. DATED OCTOBER 14, 2021 (INDEXED R-4596)

NOVEMBER 22, 2021  
DATE



**A. J. Clarke and Associates Ltd.**

SURVEYORS • PLANNERS • ENGINEERS  
25 MAIN STREET WEST, SUITE 300  
HAMILTON, ONTARIO, L8P 1H1  
TEL. 905-528-8761 FAX 905-528-2289  
email: [ajc@ajclarke.com](mailto:ajc@ajclarke.com)

PROJECT No 218252R

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A. J. CLARKE & ASSOCIATES LTD. IS STRICTLY PROHIBITED.

H:\Jobs\N-to-S\RP\905\Lot 29\183 York Road, Dundas (218252R)\Current Work\R-4596C.dwg



**3D PERSPECTIVE**

N.T.S.

PROPERTY INFORMATION		
BY-LAW SECTION	CURRENT	PROPOSED
ZONE	R2	R2
PROPERTY SIZE	512.5m <sup>2</sup>	512.5m <sup>2</sup>
LOT FRONTAGE	18.29 m	18.29 m
LOT COVERAGE	14.7 %	33.0%
MAXIMUM HEIGHT	7.65 m	8.43 m
FRONT SETBACK	5.52m	3.97 m
LEFT SETBACK	2.16 m	2.16 m
RIGHT SETBACK	5.36m	1.21 m
REAR SETBACK	17.04 m	10.79 m

GENERAL NOTES	
TYPE	DESCRIPTION
DIMENSIONS	DRAWINGS ARE IMPERIAL
AREAS	GROSS FLOOR AREA IS TO EXTERIOR OF WALLS.

COMPLIANCE PACKAGE "A1"	
O.B.C. 2012 SUPPLEMENTARY STANDARD SB-12 TABLE 2.1.1.2 (1)	
Ceiling With Attic	R60
Ceiling Without Attic	R60
Exposed Floor	R31
Walls Above Grade	R22
Basement Walls	R20ci

COVER PAGE	A0.01
FOUNDATION	F1.02
MAIN FLOOR	A1.03
SECOND FLOOR	A1.04
ELEVATIONS	A2.05
ELEVATIONS	A2.06
SECTIONS	A4.07
GENERAL NOTES	A3.08



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DRAWINGS PROVIDED BY:



sanddconstruction@outlook.com  
PH/F 905-679-5991

REGISTRATION INFORMATION  
The undersigned has reviewed and takes responsibility for this design and has the qualifications set out in the Ontario Building Code to be a designer.

FRM: SANDO Construction Ltd. B.C.I.N.# 47221  
INDIVIDUAL: JAMES SUPPLE B.C.I.N.# 36897

PROJECT DESCRIPTION:

ADDITION  
Fielding Residence  
183 York Road  
Dundas ON L9H1M8

LOT 29  
PLAN No. 905

EXISTING AREA:  
1st FLOOR: 136 sq.ft.  
2nd FLOOR: 509 sq.ft.  
TOTAL AREA: 1345 sq.ft.

FINISHED AREA:  
1st FLOOR: 1110 sq.ft.  
2nd FLOOR: 1360 sq.ft.  
TOTAL AREA: 2470 sq.ft.

LOT COVERAGE:  
TOTAL HOUSE 1490 sq. ft.  
NEW ENTRY 158 sq.ft.  
NEW DECK 175 sq.ft.  
TOTAL AREA 1823 sq.ft.

PERFORMANCE INFO:  
EXTERIOR WALL AREA: 3500sq.ft.  
WINDOW AREA: 360.8sq.ft.

W.S.G.% = 10.3%

COVER PAGE

DESCRIPTION	DATE
FOR REVIEW	2021-08-18

DATE: 2021-11-21

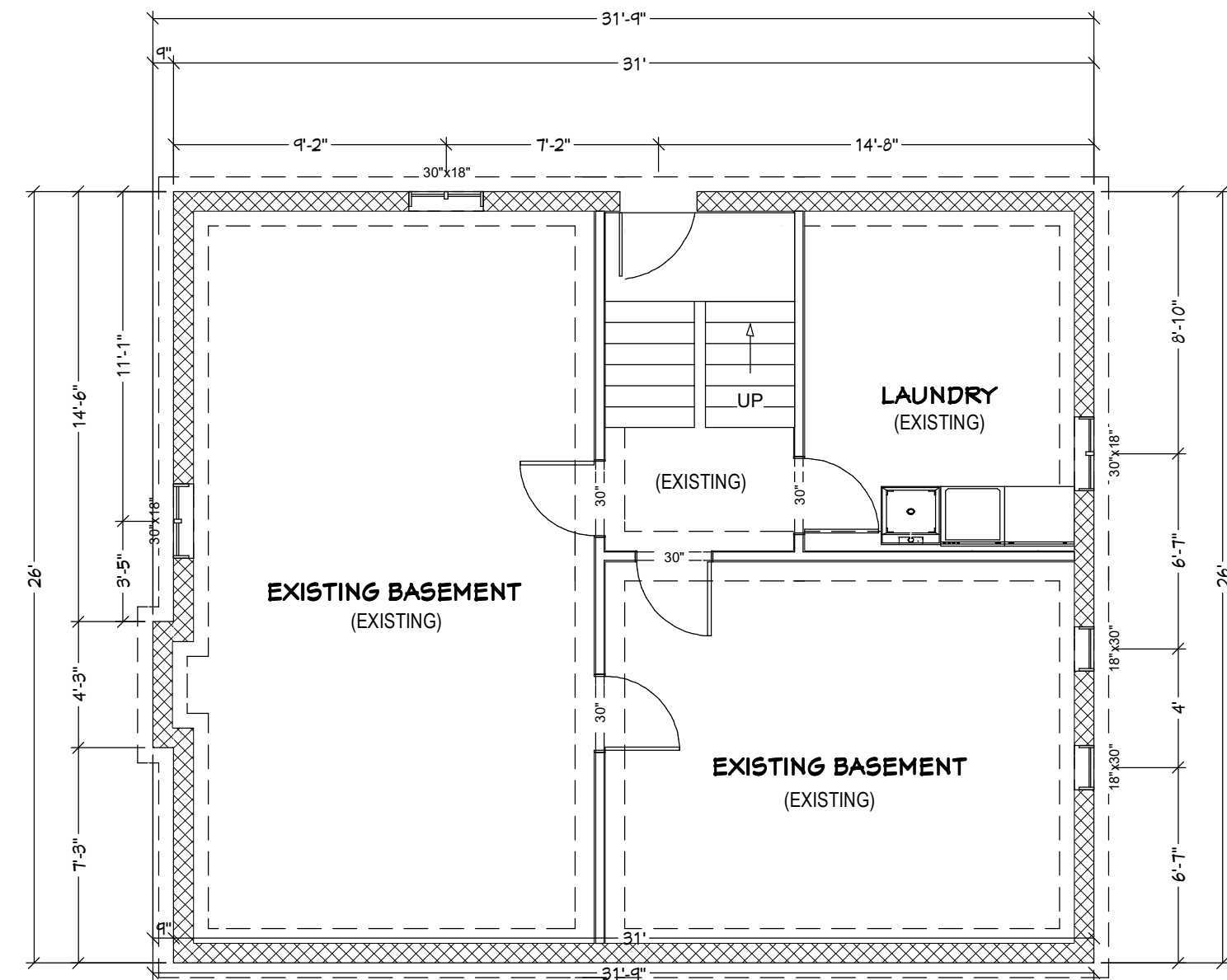
SCALE: 3/16"=1'-0"

SHEET: **A0.01**



CONCRETE::  
COMPRESSIVE STRENGTH @ 28 DAYS  
-20 MPA FOR FOOTINGS AND WALLS  
-25 MPA FOR BASEMENT FLOOR  
-32 MPA FOR GARAGE FLOORS  
AIR ENTRAINMENT 5% TO 8%  
MAX WATER TO CEMENT RATIO .45  
  
FINAL POUR HEIGHTS OF CONCRETE  
FOUNDATION WALLS TO BE CONFIRMED  
ONSITE BY CONTRACTOR  
DEPTH OF BACK FILL NOT TO  
EXCEED 7'6" AGAINST WALL

PROVIDE LATERAL SUPPORT TO TOP FLANGE  
OF ALL BEAMS AS PER O.B.C. 9023.4.3 (2)(3)  
  
VERIFY HEIGHT WITH GRADING  
PLAN BY SURVEYOR  
  
PROVIDE DOUBLE JOIST ABOVE ALL  
BASEMENT EXTERIOR WINDOWS  
  
PROVIDE DOUBLE JOIST OR BLOCKING  
FOR ALL PARALLEL WALLS ABOVE  
  
ALL FOUNDATION WALLS 10"  
UNLESS OTHERWISE SPECIFIED  
  
BASEMENT FLOOR SLAB MIN. 25 MPA  
or DAMPROOF AS PER OBC 9.16.4.2 & 9.22

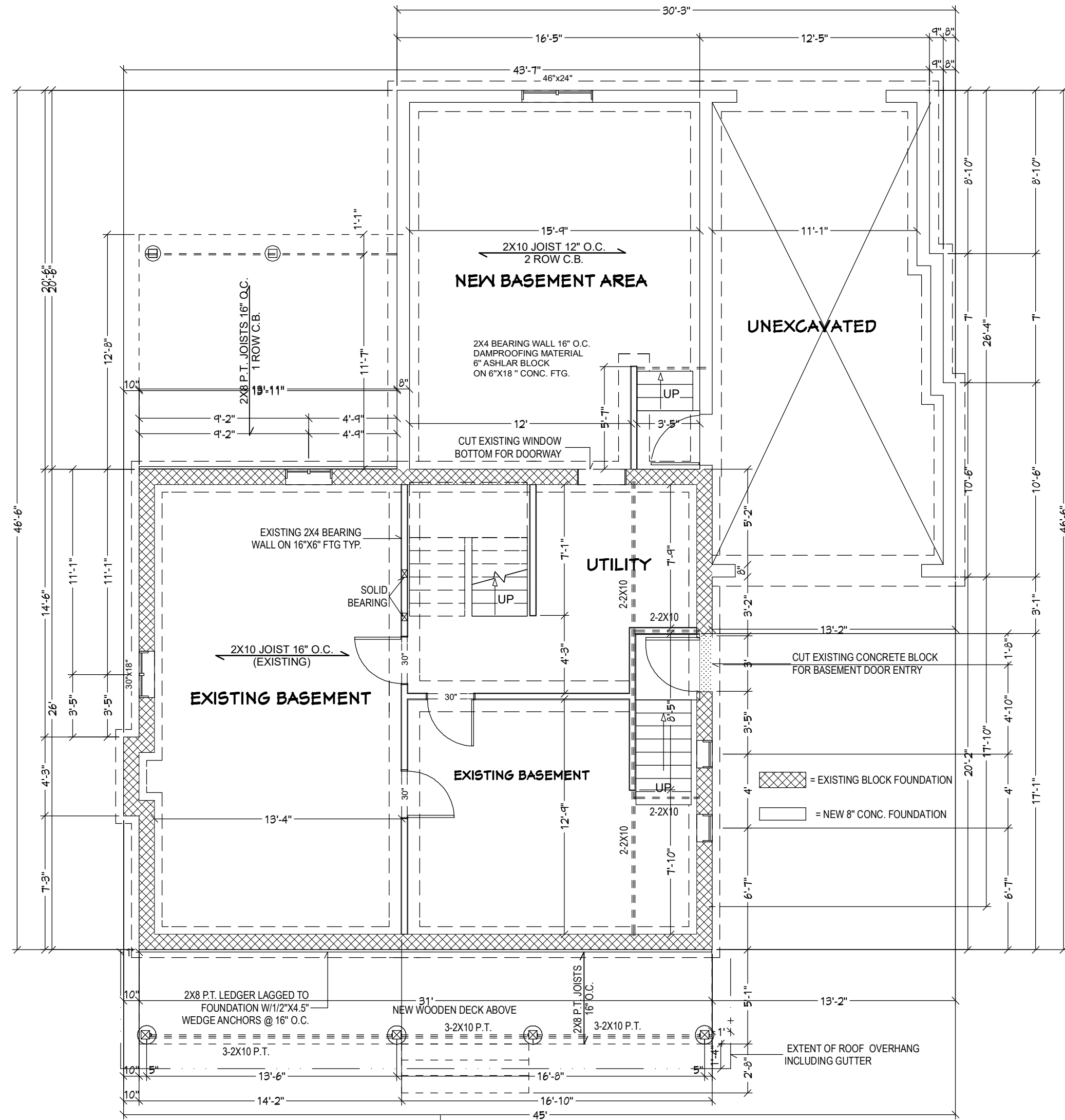


EXISTING LAYOUT

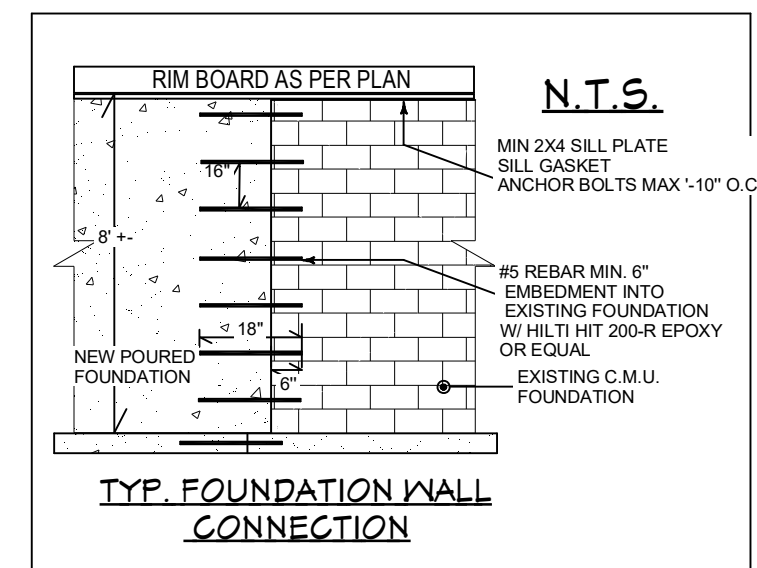
WOOD LINTEL SPANS			SPF 1 OR 2 GRADE AS PER O.B.C. 2012			
LINTEL SIZE	ROOF & CEILING ONLY		ROOF/CEILING + 1 STORY		ROOF/CEILING + 2 STORY	
	EXT. WALLS	INT. BRG. WALLS	EXT. WALLS	INT. BRG. WALLS	EXT. WALLS	INT. BRG. WALLS
2-2X6	5'-5"	4'-5"	4'-6"	3"-4"	4'-1"	2'-10"
2-2X8	6'-7"	5'-4"	5'-5"	3'-11"	5'-0"	3'-5"
2-2X10	8'-1"	6'-7"	6'-8"	4'-7"	6'-1"	4'-2"
2-2X12	9'-4"	7'-7"	7'-9"	5'-5"	6'-11"	4'-9"



3/16" : 1'



PROPOSED LAYOUT



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DRAWINGS PROVIDED BY:

**SD**  
sanddconstruction@outlook.com  
PH/F 905-679-5991

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The undersigned has reviewed and takes responsibility for this design and has the qualifications set out in the Ontario Building Code to be a designer.  
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INDIVIDUAL: JAMES SUPPLE B.C.I.N. # 36897

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**ADDITION**  
**Fielding Residence**  
**183 York Road**  
**Dundas ON L9H1M8**

**LOT 29**  
**PLAN No. 905**

EXISTING AREA:  
1st FLOOR: 156 sq.ft.  
2nd FLOOR: 509 sq.ft.  
TOTAL AREA: 1345 sq.ft.

FINISHED AREA:  
1st FLOOR: 1110 sq.ft.  
2nd FLOOR: 1360 sq.ft.  
TOTAL AREA: 2470 sq.ft.

LOT COVERAGE:  
TOTAL HOUSE 1490 sq. ft.  
NEW ENTRY 158 sq. ft.  
NEW DECK 175 sq. ft.  
TOTAL AREA 1823 sq. ft.

PERFORMANCE INFO:  
EXTERIOR WALL AREA: 3500sq.ft.  
WINDOW AREA: 360.8sq.ft.

W.S.G.% = 10.3%

**FOUNDATION**  
**PLAN**

DESCRIPTION	DATE
FOR REVIEW	2021-08-18

DATE: 2021-11-21

SCALE: 3/16"=1'-0"

SHEET: **F1.02**

CONTRACTOR TO VERIFY ALL DIMENSIONS BEFORE PROCEEDING. ALL WORK TO CONFORM TO THE O.B.C.

[illegible]

STEEL LINTEL SPANS			AS PER O.B.C. 2012	
VERT. SEC.	HORIZ. SEC.	THICKNESS	3.5" BRICK	4" STONE
3 1/2"	3 1/2"	1 1/4"	8'-1"	7'-9"
4"	3 1/2"	1 1/4"	8'-9"	8'-2"
4 7/8"	3 1/2"	5/16"	10'-10"	10'-1"
4 7/8"	3 1/2"	3/8"	11'-5"	10'-8"
4 7/8"	3 1/2"	1/2"	11'-9"	10'-11"
5 7/8"	3 1/2"	3/8"	12'-7"	11'-8"
5 7/8"	3 1/2"	1/2"	13'-5"	12'-5"
5 7/8"	4"	1/2"	13'-6"	12'-7"
7 1/8"	4"	3/8"	14'-1"	13'-1"
7 1/8"	4"	1/2"	15'-1"	14'-0"

[illegible]

WOOD LINTEL SPANS		SPF 1 OR 2 GRADE AS PER O.B.C. 2012					
LINTEL SIZE	ROOF & CEILING ONLY		ROOF/CEILING + 1 STORY		ROOF/CEILING + 2 STORY		
	EXT. WALLS	INT. BRG. WALLS	EXT. WALLS	INT. BRG. WALLS	EXT. WALLS	INT. BRG. WALLS	
2-2X6	5'-5"	4'-5"	4'-6"	3'-4"	4'-1"	2'-10"	
2-2X8	6'-7"	5'-4"	5'-5"	3'-11"	5'-0"	3'-5"	
2-2X10	8'-1"	6'-7"	6'-8"	4'-7"	6'-1"	4'-2"	
2-2X12	9'-4"	7'-7"	7'-9"	5'-5"	6'-11"	4'-9"	

SHEET: **A1.03**

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CONSTRUCTION LTD., DEVELOPED FOR THE  
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LTD. USE OF THESE DRAWINGS AND CONCEPTS  
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EXISTING AREA:  
1st FLOOR: 756 sq.ft.  
2nd FLOOR: 589 sq.ft.  
TOTAL AREA: 1345 sq.ft.

FINISHED AREA:  
1st FLOOR: 1110 sq.ft.  
2nd FLOOR: 1360 sq.ft.  
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LOT COVERAGE:  
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NEW DECK 175 sq.ft.  
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WINDOW AREA: 360.8sq.ft.  
W,S&G%= 10.3%

SECOND  
FLOOR  
PLAN

DATE: 2021-11-21

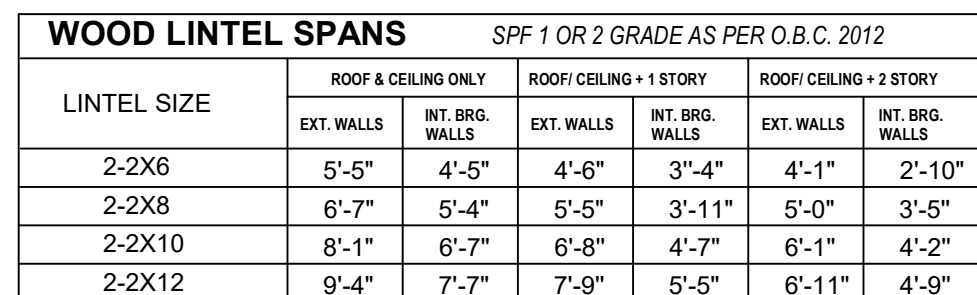
SCALE: 3/16"=1'-0"

SHEET: **A1.04**



**F2 SECOND FLOOR**

## PROPOSED LAYOUT



CONTRACTOR TO VERIFY ALL DIMENSIONS BEFORE PROCEEDING. ALL WORK TO CONFORM TO THE O.B.C.

PROVIDE GUARDS AT DOORS WHERE DISTANCE TO GRADE IS 2'-0" OR GREATER(SB-7 TYPE GUARDS FOR HOUSING OR SMALL BUILDINGS)

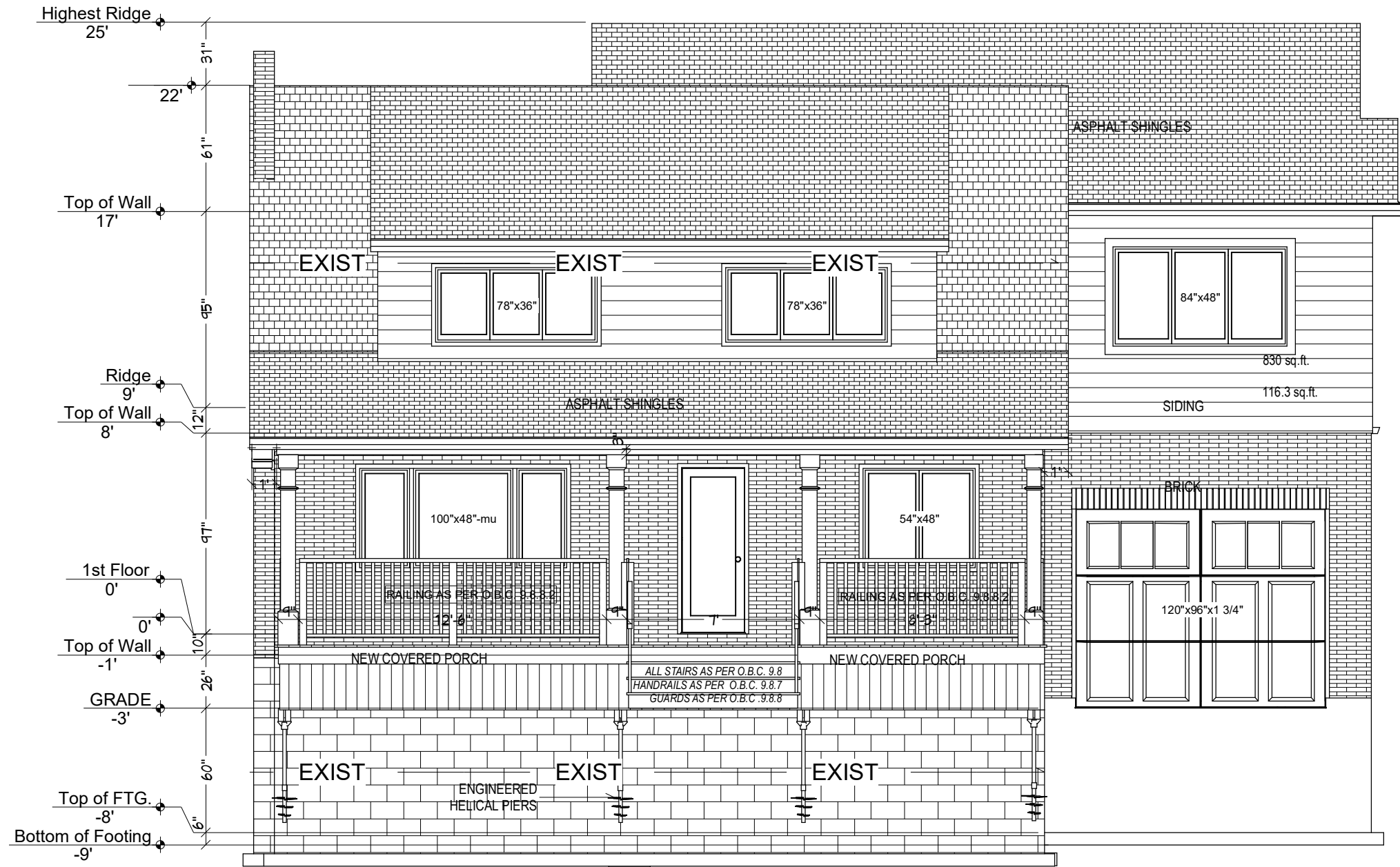
ALL TRUSSES PARALLAM BEAMS AND TJI FLOOR JOISTS TO BE SUPPLIED AND DESIGNED BY THE LUMBER SUPPLIER OR TRUSS MANUFACTURER  
PROVIDE LIGHTING AT ALL ENTRANCES AS PER O.B.C. 9.34.2.1

ALL CONSTRUCTION TO COMPLY WITH THE LATEST EDITION OF THE ONTARIO BUILDING CODE

ALL DOORS AND WINDOWS TO MEET RESISTANCE TO FORCED ENTRY AS PER O.B.C. 9.6.8 & 9.7.6

FLASHING REQUIRED OVER EXTERIOR OPENINGS AS PER O.B.C. 9.27.3

NUMBER OF STEPS MAY VARY DUE TO SITE CONDITIONS. STEPS AND RISERS AS PER O.B.C.9.8.8



PERFORMANCE INFO	
EXTERIOR WALL AREA	830 sq.ft.
WINDOW AREA	138.33 sq.ft.



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## ELEVATIONS

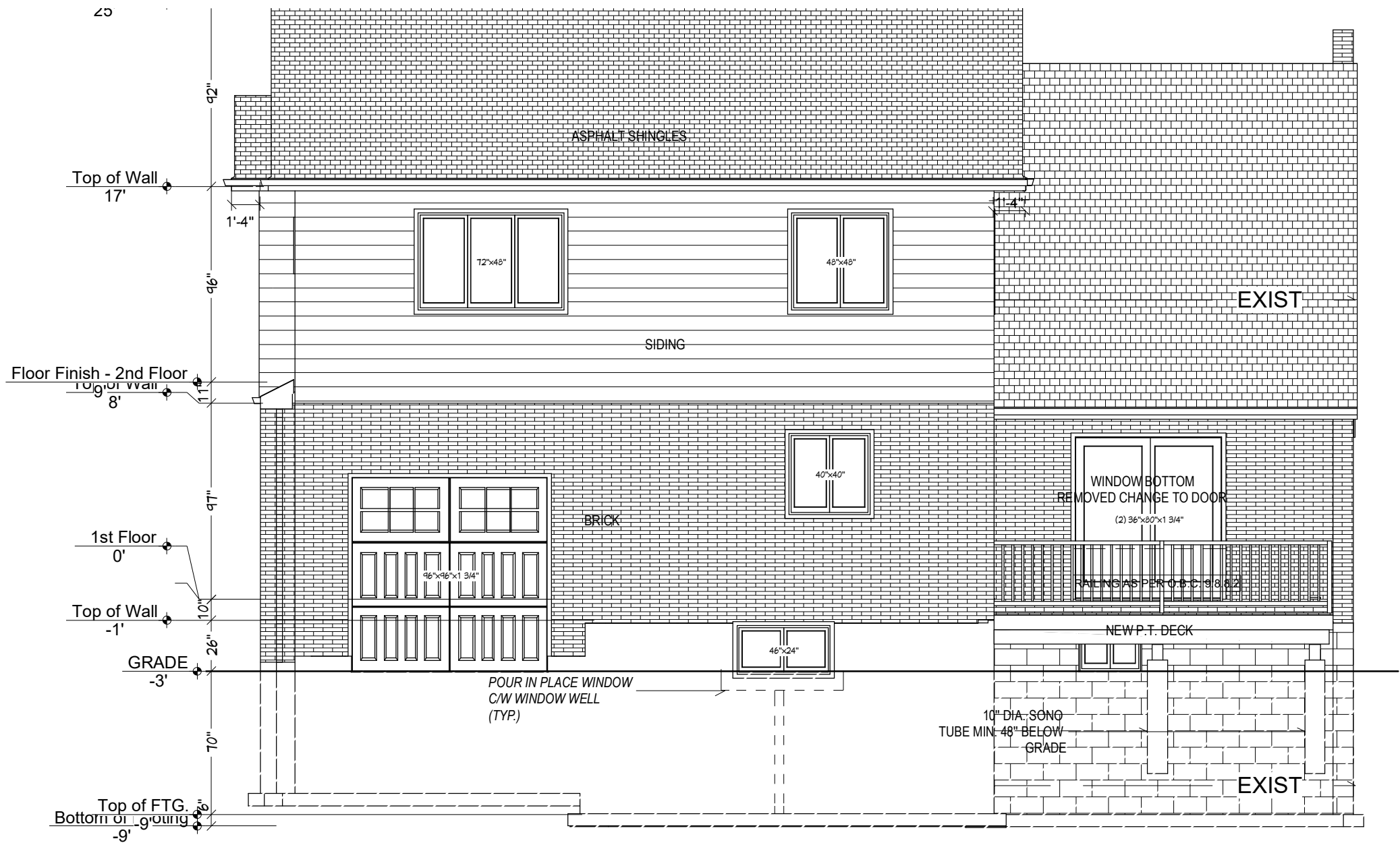
DESCRIPTION	DATE
FOR REVIEW	2021-08-18

DATE: 2021-11-21

SCALE: 3/16"=1'-0"

SHEET: **A2.05**

**E1 FRONT ELEVATION**  
3/16" : 1'



PERFORMANCE INFO	
EXTERIOR WALL AREA	830 sq.ft.
WINDOW AREA	91 sq.ft.

**E2 REAR ELEVATION**  
3/16" : 1'

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PROVIDE GUARDS AT DOORS WHERE DISTANCE TO GRADE IS 2'-0" OR GREATER(SB-7 TYPE GUARDS FOR HOUSING OR SMALL BUILDINGS)

ALL TRUSSES PARALLAM BEAMS AND TJI FLOOR JOISTS TO BE SUPPLIED AND DESIGNED BY THE LUMBER SUPPLIER OR TRUSS MANUFACTURER

PROVIDE LIGHTING AT ALL ENTRANCES AS PER O.B.C. 9.34.2.1

ALL CONSTRUCTION TO COMPLY WITH THE LATEST EDITION OF THE ONTARIO BUILDING CODE

ALL DOORS AND WINDOWS TO MEET RESISTANCE TO FORCED ENTRY AS PER O.B.C. 9.6.8 & 9.7.6

FLASHING REQUIRED OVER EXTERIOR OPENINGS AS PER O.B.C. 9.27.3



PERFORMANCE INFO	
EXTERIOR WALL AREA	920 sq.ft.
WINDOW AREA	42.5 sq.ft.

**E3 RIGHT ELEVATION**  
3/16" : 1'



PERFORMANCE INFO	
EXTERIOR WALL AREA	920 sq.ft.
WINDOW AREA	89 sq.ft.

NUMBER OF STEPS MAY VARY DUE TO SITE CONDITIONS. STEPS AND RISERS AS PER O.B.C.9.8.8

**E4 LEFT ELEVATION**  
3/16" : 1'

CONTRACTOR TO VERIFY ALL DIMENSIONS BEFORE PROCEEDING. ALL WORK TO CONFORM TOTHE O.B.C.



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**PLAN No. 905**

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2nd FLOOR: 504 sq.ft.  
TOTAL AREA:1345 sq.ft.

FINISHED AREA:  
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TOTAL HOUSE 1490 sq. ft.  
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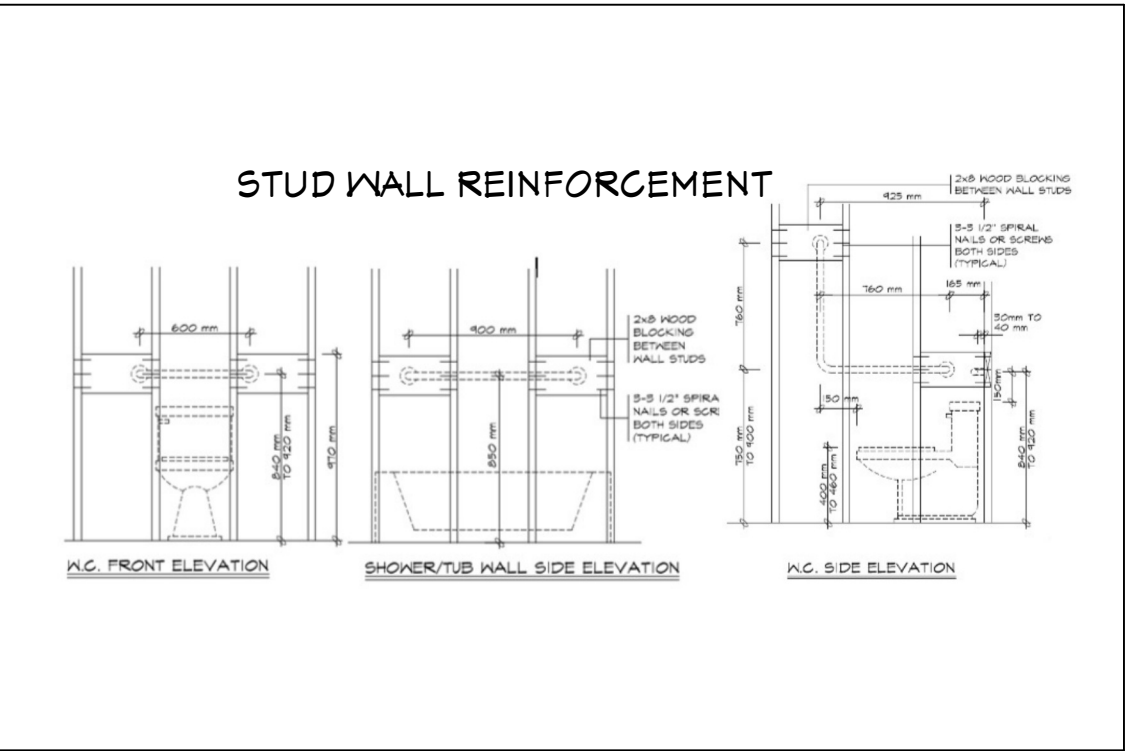
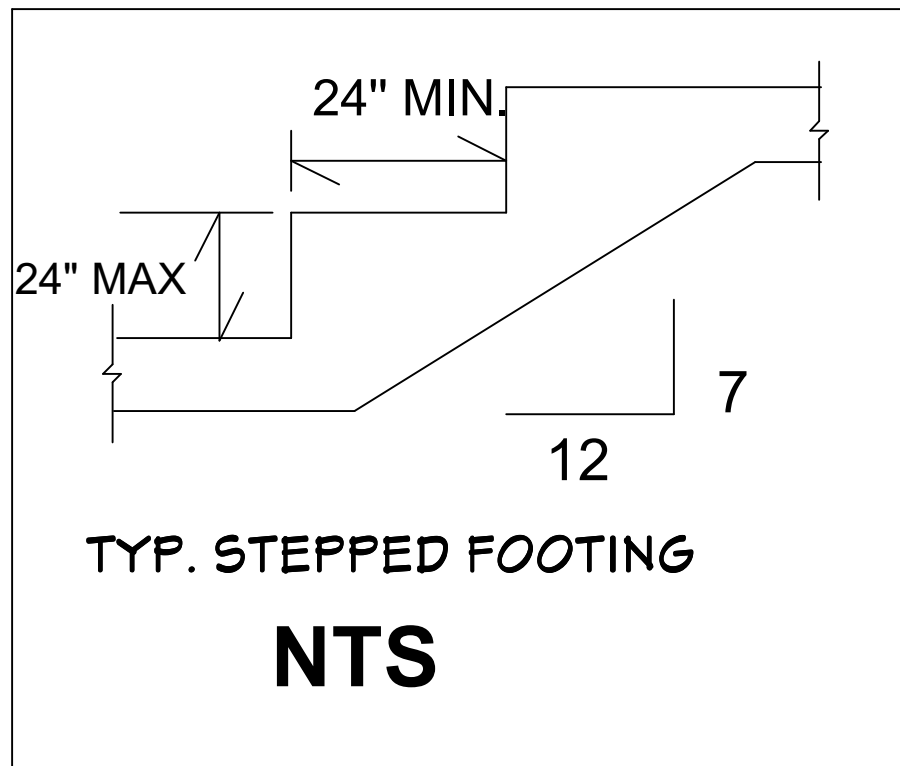
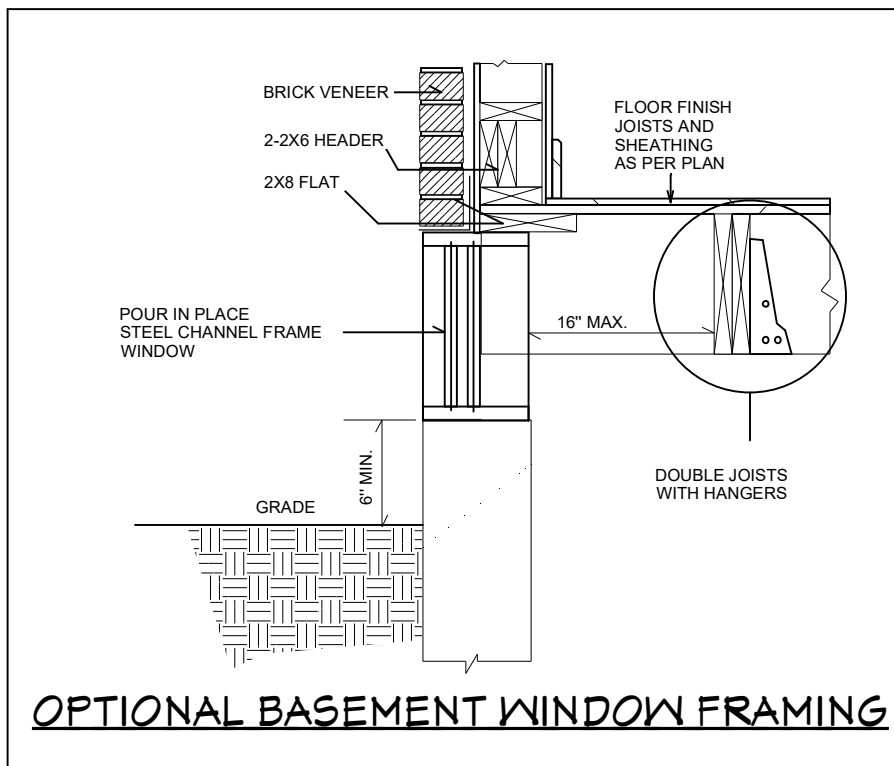
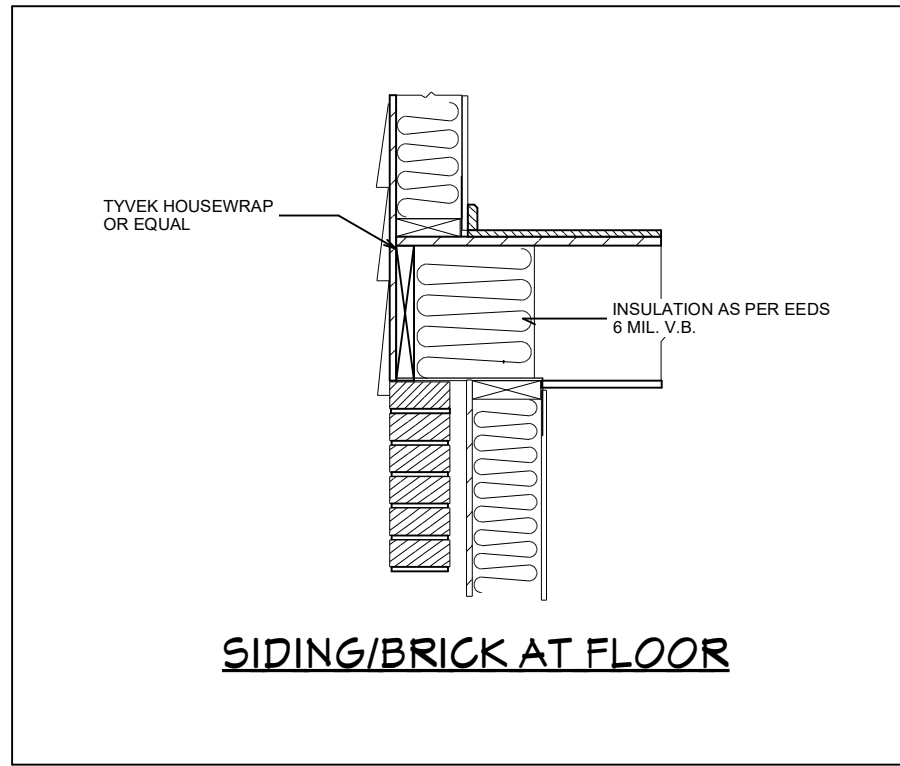
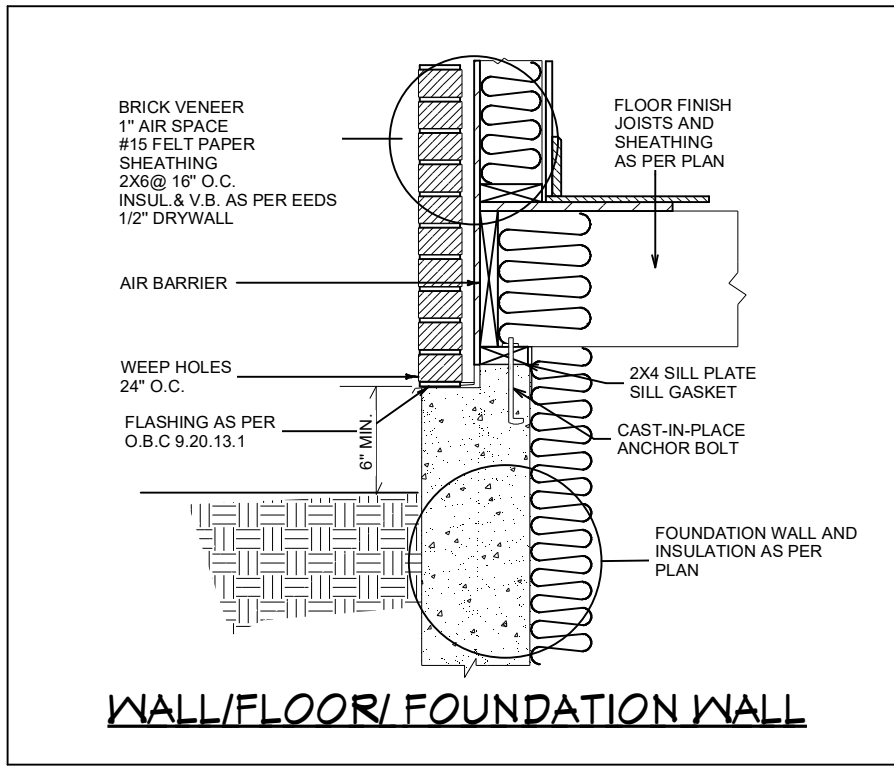
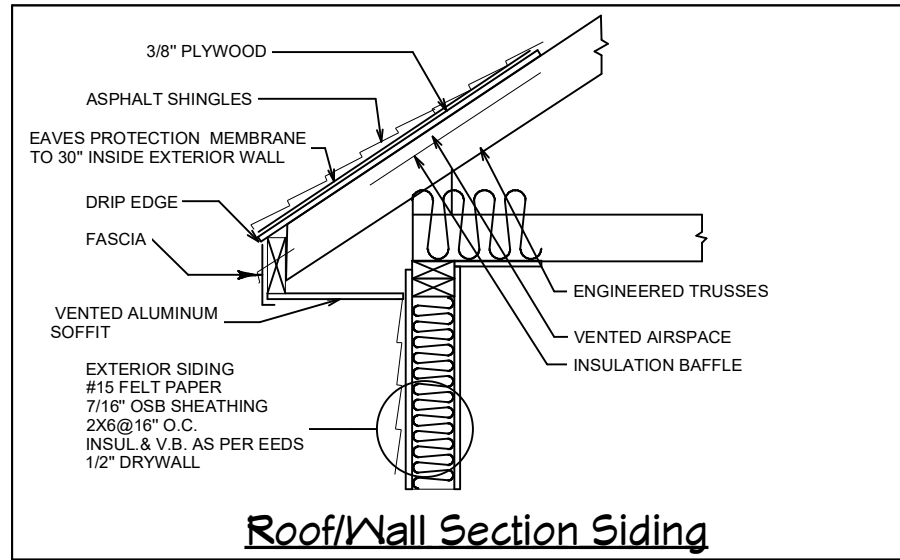
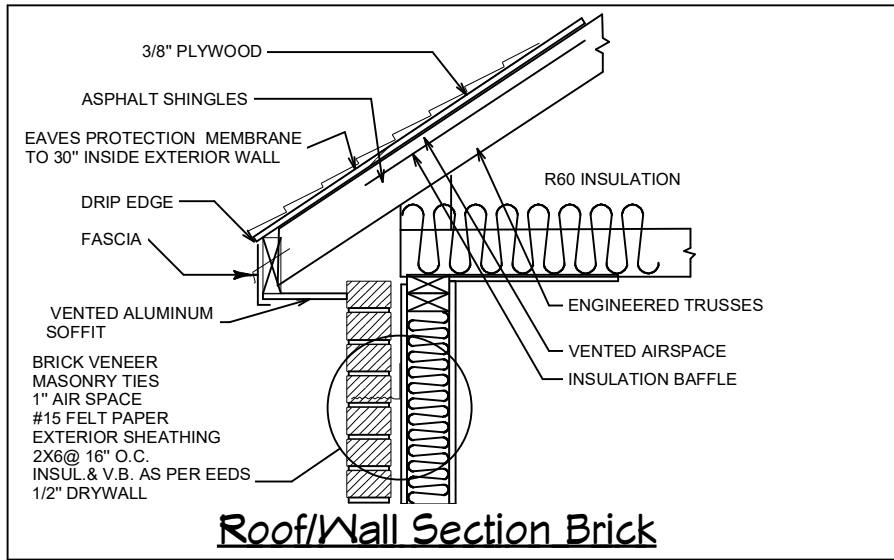
DESCRIPTION	DATE
FOR REVIEW	2021-08-18

DATE: 2021-11-21

SCALE: 3/16"=1'-0"

SHEET: **A2.06**

SHEET: **A4.07**



# GENERAL NOTES

ALL CONSTRUCTION TO MEET OR EXCEED THE LATEST ADDITION OF THE ONTARIO BUILDING CODE

## FOUNDATIONS

- FOOTINGS TO CONFORM TO O.B.C. 9.15.
- FOOTINGS TO BE MIN. 2200 PSI POURED CONC. AND TO REST ON UNDISTURBED SOIL CAPABLE OF SUSTAINING A LOAD OF 2000 LBS. PER SQUARE FT.
- THE UNDERSIDE OF ALL FOOTINGS TO BE MIN. OF 48" BELOW GRADE.
- WINDOW WELLS SHALL BE DRAINED TO THE FOOTING.
- DOWN SPOUTS SHALL HAVE EXTENSIONS TO CARRY WATER AWAY FOR BUILDING AND PROVISIONS SHALL BE MADE TO PREVENT SOIL EROSION.
- FOUNDATION WALLS TO BE MIN. 5 7/8" ABOVE FINISHED GRADE
- ALL ANCHOR BOLTS TO BE MIN 1/2" DIA. EMBEDDED MIN. 4" INTO CONCRETE FOUNDATION AND SPACED NOT MORE THAN 7'-10" APART.

## FRAMING

- ALL LUMBER SHALL MEET O.B.C. STANDARDS AND BE S.P.F. GRADE NO. 1&2 AND SHALL BE IDENTIFIED BY A STAMP.
- SILL PLATES TO BE MIN. 2X4 LUMBER.
- HEADER JOISTS TO BE DOUBLED IF SPAN IS OVER 3'11" AND NOT OVER 10'-8"
- MIN. 1 1/2" BEARING OF ALL JOISTS, CEILING JOISTS AND RAFTERS.
- USE ENGINEERED METAL JOIST HANGERS FOR SUPPORT OF ALL JOISTS AND BEAMS WITH FRAMING INTO THE SIDES OF WOOD BEAMS , TRIMMERS AND HEADERS.
- INTERIOR WALLS TO BE MADE UP OF 2X4 STUDS 16" O.C. UNLESS OTHERWISE NOTED

## BEAMS & COLUMNS

- ALL STEEL BEAMS AND COLUMNS TO BE PRIMED
- MIN. 3 1/2" BEARING BENEATH ALL WOOD AND STEEL BEAMS.
- STEEL COLUMNS NOTED TO HAVE A MIN. OF 3/16" WALL THICKNESS.
- WOOD COLUMNS FOR CARPORTS OR GARAGES TO BE MIN. 3 1/2" X 3 1/2".
- ALL OTHER WOOD COLUMNS TO BE A MIN. OF 5 1/2" X 5 1/2"

## ROOF CONSTRUCTION

- ALL TRUSSES SHALL BE DESIGNED AND CONSTRUCTED AS PER THE O.B.C.
- SUPPLIER SHALL SUPPLY ALL PLANS INCLUDING THE LAYOUT, BEARING AND BRACING AND SHALL BEAR THE SEAL OF AN ENGINEER WITH A LICENCE TO PRACTICE IN THE PROVINCE OF ONTARIO.
- HIP AND VALLEY RAFTERS NOT TO BE LESS THAN 2" GREATER IN DEPTH THAN THE COMMON RAFTERS AND NOT LESS THAN 1 1/2" THICK.
- ROOF AND CEILING FRAMING TO BE DOUBLED ON EACH SIDE OF OPENING GREATER THAN 2 RAFTERS OR JOIST SPACING.
- ROOF SPACES OR ATTICS TO BE VENTED AS PER O.B.C. 9.19.1 TO THE EXTERIOR HAVING A TOTAL AREA OF 1/300 OF THE INSULATED CEILING AREA.
- INSULATION SHALL BE INSTALLED IN A MANNER WHICH WILL NOT REDUCE THE FLOW OF AIR THROUGH THE VENTS AT ANY PORTION OF THE ROOF SPACE.
- BAFFLES SHALL BE INSTALLED AT THE SOFFIT/WALL AREA TO ENSURE AIR FLOW FROM SOFFIT VENTS.

## MASONRY VENEER WALLS

- ALL MASONRY WALLS TO BE MIN. 3 5/8" THICKNESS AND 24'-0" MAX. HEIGHT.
- MASONRY TIES TO BE MIN. 22ga. 7/8" WIDE AND SPACED NOT MORE THAN 16" O.C. HORIZONTALLY AND 24" O.C. VERTICALLY AND NAILED TO THE STUDS BENEATH THE SHEATHING.
- PROVIDE 1" AIR SPACE BETWEEN VENEER AND WALL SHEATHING.
- MAX. CORBEL OVER FOUNDATION WALL IS 1/2".

## ENGINEERED LUMBER

- BEAM AND JOIST SUPPLIER SHALL SUBMIT SHOP DRAWINGS AND ENGINEERING CALCULATIONS FOR ALL BEAMS AND JOISTS AND SHALL BEAR THE SEAL OF A PROFESSIONAL ENGINEER LICENCED AND INSURED TO PRACTICE IN THE PROVINCE OF ONTARIO.
- ALL FRAMING MATERIALS AND METHODS FOR GLUE LAMINATED BEAMS TO BE INSTALLED AS PER MANUFACTURERS DETAILS AND SPECS.
- ALL CONNECTORS AND FASTENERS TO BE INSTALLED AS PER MANUFACTURERS DETAILS AND SPECS.

## STAIRS:

- MAX. RISE 7 7/8"
- MIN. RUN 9"
- MIN. TREAD 9 1/4"
- MIN. HEAD RM. 6' 5"
- MIN. WIDTH 2'-10"

- A LANDING MUST BE MIN. 2' 11" IN LENGTH AT THE TOP OF ANY STAIR LEADING TO THE PRINCIPLE ENTRANCE TO A DWELLING AND OTHER ENTRANCES WITH MORE THAN 5 RISERS.
- GUARDS ARE REQUIRED AROUND EVERY ACCESSIBLE SURFACE THAT IS MORE THAN 25 5/8" ABOVE THE ADJACENT SURFACE.
- GUARDS SHALL HAVE NO OPENINGS GREATER THAN 4" AND NO MEMBER BETWEEN 4" AND 2'-11" THAT WILL FACILITATE CLIMBING.
- HEADROOM FOR STAIRS WITHIN LIVING AREAS SHALL BE MIN. 6'-5"
- HANDRAILS SHALL BE INSTALLED ON AT LEAST ONE SIDE OF ALL STAIRS LESS THAN 3'-7" IN WIDTH.
- EXTERIOR STAIRS WITH 3 OR MORE RISERS TO HAVE A HANDRAIL ON AT LEAST ONE SIDE.

## DOORS & WINDOWS

- EVERY FLOOR CONTAINING A BEDROOM AND NOT CONTAINING AND EXTERIOR DOOR SHALL HAVE AT LEAST ONE WINDOW HAVING AN UNOBSTRUCTED OPENING AREA OF 3.8 SQ.FT. AND NO DIMENSION LESS THAN 15" WHICH IS OPENABLE FROM THE INSIDE WITHOUT TOOLS.
- EXTERIOR HOUSE DOORS AND WINDOWS WITHIN 6' 7" FROM GRADE SHALL BE CONSTRUCTED TO RESIST FORCED ENTRY.
- DOORS SHALL HAVE A DEADBOLT.

STEEL LINTEL SPANS AS PER O.B.C. 2012					
VERT. SEC.	HORIZ. SEC.	THICKNESS	3.5" BRICK	4" STONE	
3 1/2"	3 1/2"	1/4"	8'-1"	7'-9"	
4"	3 1/2"	1/4"	8'-9"	8'-2"	
4 7/8"	3 1/2"	5/16"	10'-10"	10'-1"	
4 7/8"	3 1/2"	3/8"	11'-5"	10'-8"	
4 7/8"	3 1/2"	1/2"	11'-9"	10'-11"	
5 7/8"	3 1/2"	3/8"	12'-7"	11'-8"	
5 7/8"	3 1/2"	1/2"	13'-5"	12'-5"	
5 7/8"	4"	1/2"	13'-6"	12'-7"	
7 1/8"	4"	3/8"	14'-1"	13'-1"	
7 1/8"	4"	1/2"	15'-1"	14'-0"	

WOOD LINTEL SPANS							SPF 1 OR 2 GRADE AS PER O.B.C. 2012	
LINTEL SIZE	ROOF & CEILING ONLY		ROOF/CEILING + 1 STORY		ROOF/CEILING + 2 STORY			
	EXT. WALLS	INT. BRG. WALLS	EXT. WALLS	INT. BRG. WALLS	EXT. WALLS	INT. BRG. WALLS		
2-2X6	5'-5"	4'-5"	4'-6"	3'-4"	4'-1"	2'-10"		
2-2X8	6'-7"	5'-4"	5'-5"	3'-11"	5'-0"	3'-5"		
2-2X10	8'-1"	6'-7"	6'-8"	4'-7"	6'-1"	4'-2"		
2-2X12	9'-4"	7'-7"	7'-9"	5'-5"	6'-11"	4'-9"		

CONTRACTOR TO VERIFY ALL DIMENSIONS BEFORE PROCEEDING. ALL WORK TO CONFORM TOTHE O.B.C.



To the best of my knowledge these plans are drawn to comply with owner's and/ or builder's specifications and any changes made on them after prints are made will be done at the owner's and / or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. SANDO Construction Ltd. is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.

THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF SANDO CONSTRUCTION LTD. DEVELOPED FOR THE EXCLUSIVE USE OF SANDO CONSTRUCTION LTD USE OF THESE DRAWINGS AND CONCEPTS CONTAINED THEREIN WITHOUT THE WRITTEN PERMISSION OF SANDO CONSTRUCTION LTD. IS PROHIBITED.

DRAWINGS PROVIDED BY:

**SD**  
sandoconstruction@outlook.com  
PH/F 905-679-5991

REGISTRATION INFORMATION  
The undersigned has reviewed and takes responsibility for this design and has the qualifications set out in the Ontario Building Code to be a designer.  
FIRM: SANDO Construction Ltd. B.C.I.N # 47221  
INDIVIDUAL: JAMES SUPPLE B.C.I.N # 36897

PROJECT DESCRIPTION:  
**ADDITION**  
**Fielding Residence**  
**183 York Road**  
**Dundas ON L9H1M8**  
  
**LOT 29**  
**PLAN No. 905**

EXISTING AREA:  
1st FLOOR: 156 sq.ft.  
2nd FLOOR: 504 sq.ft.  
TOTAL AREA:1345 sq.ft.

FINISHED AREA:  
1st FLOOR: 1110 sq.ft.  
2nd FLOOR: 1360 sq.ft.  
TOTAL AREA: 2470 sq.ft.

LOT COVERAGE:  
TOTAL HOUSE 1490 sq. ft.  
NEW ENTRY 158 sq.ft.  
NEW DECK 175 sq.ft.  
TOTAL AREA 1823 sq.ft.

PERFORMANCE INFO:  
EXTERIOR WALL AREA: 3500sq.ft.  
WINDOW AREA: 360.8sq.ft.

W5&G % = 10.3%

## NOTES

DESCRIPTION	DATE
FOR REVIEW	2021-08-18

DATE: 2021-11-21

SCALE: 3/16"=1'-0"

SHEET: **A3.08**



Committee of Adjustment  
City Hall, 5<sup>th</sup> Floor,  
71 Main St. W.,  
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221  
Email: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

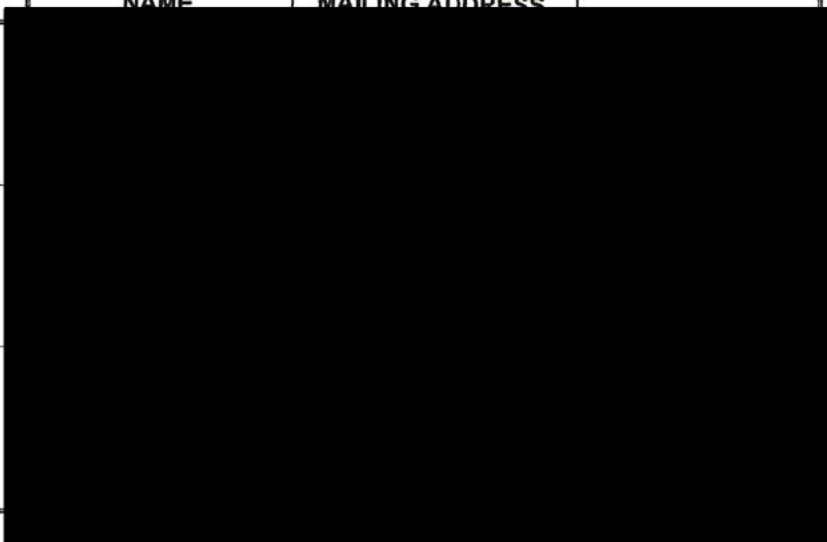
## APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

### The Planning Act

#### Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS
Registered Owners(s)		
Applicant(s)*		
Agent or Solicitor		

**Note:** Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:
- CIBC  
511 Maple Grove Drive, Unit 5  
Oakville, Ontario. L6J6X8  
18004652422

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:  
Wooden deck front Porch With roof

☐ Secondary Dwelling Unit ☒ Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?  
To fit a reasonable size porch it encroaches on the front setback

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):  
Registered plan number 905  
183 York Road, Dundas, Ontario. L9H1M8

7. PREVIOUS USE OF PROPERTY

Residential ☒ Industrial ☐ Commercial ☐  
Agricultural ☐ Vacant ☐ Other ☐

Other \_\_\_\_\_

- 8.1 If Industrial or Commercial, specify use \_\_\_\_\_
- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?  
Yes ☐ No ☒ Unknown ☐
- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?  
Yes ☐ No ☒ Unknown ☐
- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?  
Yes ☐ No ☒ Unknown ☐
- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?  
Yes ☐ No ☒ Unknown ☐
- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?  
Yes ☐ No ☒ Unknown ☐
- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?  
Yes ☐ No ☒ Unknown ☐
- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?  
Yes ☐ No ☒ Unknown ☐
- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?  
Yes ☐ No ☒ Unknown ☐



- 8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ☐ No ☒ Unknown ☐

- 8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

Common Knowledge through neighbours

- 8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ☐ No ☒

**9. ACKNOWLEDGEMENT CLAUSE**

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

NOV 3 / 21  
Date

Maria Fielding & Adam Fielding  
Signature Property Owner(s)  
Maria Fielding & Adam Fielding  
Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage	<u>18.29 m</u>
Depth	<u>30.62 m</u>
Area	<u>513 m</u>
Width of street	<u>8.89 m</u>

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: \_

65.6

Proposed

147

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

Front 7.11  
Left 2.18  
Right 4.78  
Back 17.01

Proposed:

Front 5.56  
Left 2.18  
Right 1.2  
Back 10.77

13. Date of acquisition of subject lands:  
2007
- 
14. Date of construction of all buildings and structures on subject lands:  
1950 ish?
- 
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):  
Single Family
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):  
Single Family
17. Length of time the existing uses of the subject property have continued:  
70 Years ?
18. Municipal services available: (check the appropriate space or spaces)
- |                |                                     |           |                                     |
|----------------|-------------------------------------|-----------|-------------------------------------|
| Water          | <input checked="" type="checkbox"/> | Connected | <input checked="" type="checkbox"/> |
| Sanitary Sewer | <input checked="" type="checkbox"/> | Connected | <input type="checkbox"/>            |
| Storm Sewers   | <input type="checkbox"/>            |           |                                     |
19. Present Official Plan/Secondary Plan provisions applying to the land:
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:  
R2 3581-86
21. Has the owner previously applied for relief in respect of the subject property?  
Yes ☐ No ☒  
If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?  
Yes ☐ No ☒
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.