

## **NOTICE OF PUBLIC HEARING** **Minor Variance**

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**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
  - Applicant/agent on file, or
  - Person likely to be interested in this application
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**APPLICATION NO.:** AN/A-21:434

**APPLICANTS:** Agent Lanca Contracting Ltd. c/o P. Bisanti  
Owner 1978771 Ontario Inc. c/o S. Modi

**SUBJECT PROPERTY:** Municipal address **586 Tradewind Dr., Ancaster**

**ZONING BY-LAW:** Zoning By-law 05-200, as Amended 10-128 and 18-219

**ZONING:** "M3, 678 and M3 and 377 and 678" (Prestige Business Park) district

**PROPOSAL:** To permit the development of the lands through the construction of two (2) multi-tenanted industrial buildings as per Site Plan application DA-18-156, notwithstanding that;

1. A landscaped area having a minimum width of 3.2m shall be permitted to be provided and maintained abutting a street, except for points of ingress and egress instead of the minimum 6.0m wide landscaped area required abutting a street.

Notes: The Zoning By-law also requires a minimum 3.0m wide planting strip between parking spaces and aisles or driveways and a street which may be located within the required landscaped area, except for points of ingress and egress. Please note that the required planting strips or landscaped areas have not been clearly labelled or indicated on the submitted Site Plan from which to determine compliance; therefore, further variances may be required.

The zoning By-law permits a maximum combined gross floor area of 25% of the principle use or 500.0m<sup>2</sup> whichever is the lesser for accessory retail, showroom area and tasting room. Insufficient details were provided from which to determine compliance; therefore, further variances may be required.

The lands are subject to Site Plan Control application DA-18-156.

This application will be heard by the Committee as shown below:

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**DATE:** Thursday, February 3rd, 2022  
**TIME:** 1:20 p.m.  
**PLACE:** Via video link or call in (see attached sheet for details)  
To be streamed at  
[www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)  
for viewing purposes only

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## **PUBLIC INPUT**

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

## **MORE INFORMATION**

For more information on this matter, including access to drawings illustrating this request:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

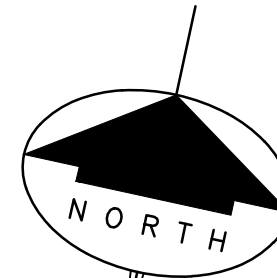
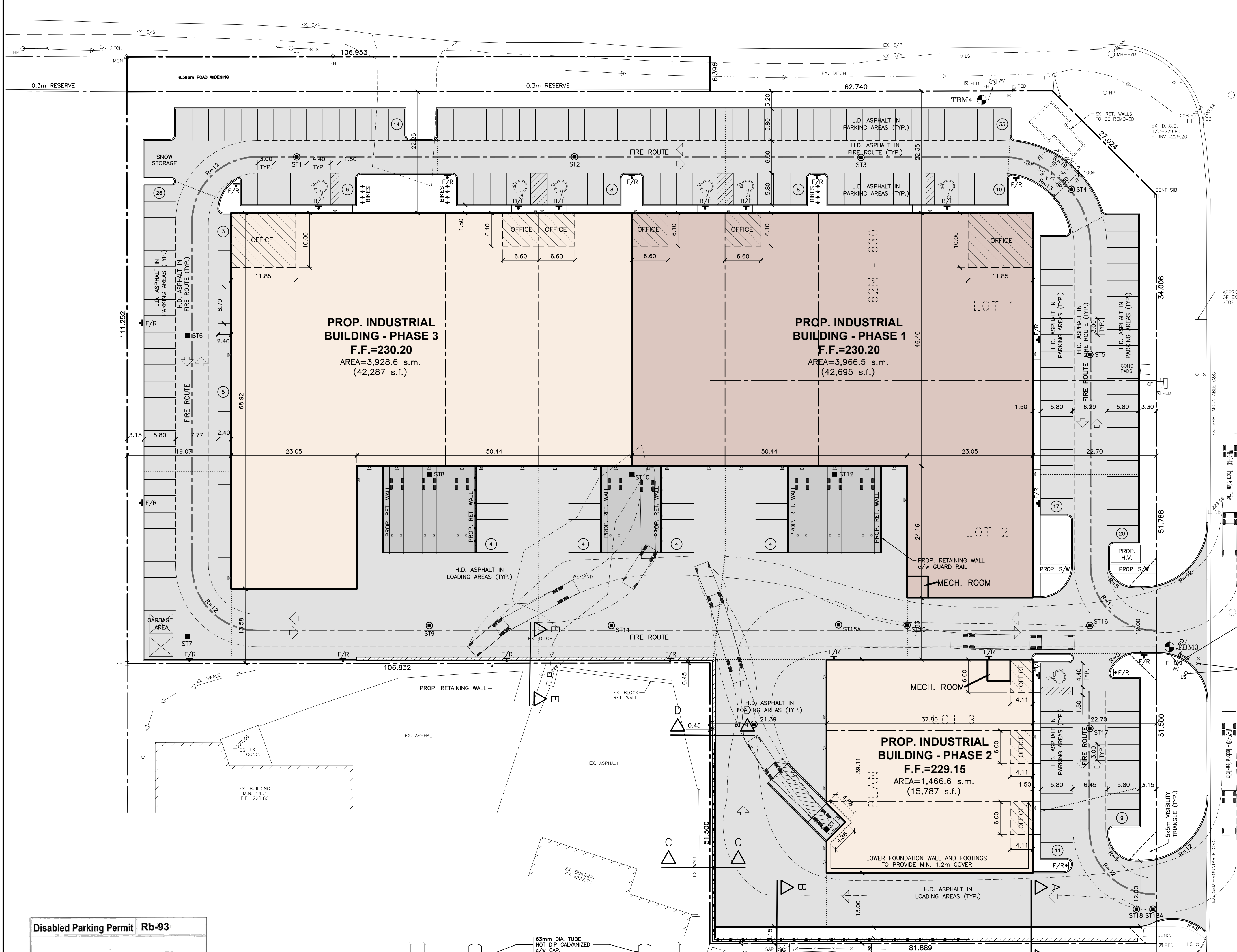
DATED: January 18th, 2021.

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

***Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.***

WILSON STREET



**SPECIAL CONDITION #1 (PRIOR TO THE APPLICATION OF ANY BUILDING PERMIT)**  
THAT, PRIOR TO THE APPLICATION OF A BUILDING PERMIT, THE OWNER/APPLICANT COMPLETE A WETLAND EVALUATION, TO THE SATISFACTION OF THE MANAGER OF DEVELOPMENT PLANNING, HERITAGE & DESIGN.

**SPECIAL CONDITION #2 (PRIOR TO THE ISSUANCE OF ANY BUILDING PERMIT)**  
THAT PRIOR TO ANY ON-SITE WORKS, THE OWNER/APPLICANT PROVIDE EVIDENCE IN THE FORM OF E-MAIL CORRESPONDENCE OR WRITTEN LETTER FROM THE MINISTRY OF ENVIRONMENT, CONSERVATION AND PARKS (MCEP) TO THE SATISFACTION OF THE MANAGER OF DEVELOPMENT PLANNING, HERITAGE AND DESIGN, THAT THE PROPOSED DEVELOPMENT WOULD NOT IMPACT HABITAT FOR SPECIES AT RISK (SAR).

**STANDARD CONDITION 2 (b)-TREE MANAGEMENT**  
TO PREPARE AND IMPLEMENT A TREE PRESERVATION/ENHANCEMENT PLAN AS PART OF THE REQUIRED LANDSCAPE PLAN HEREINAFTER DESCRIBED IN SECTION 3(c), SHOWING THE LOCATION OF DRIP LINES, EDGES AND EXISTING PLANTINGS, THE LOCATION OF ALL EXISTING TREES AND THE METHODS TO BE EMPLOYED IN RETAINING TREES REQUIRED TO BE PROTECTED, TO OBTAIN APPROVAL THEREOF FROM THE CITY'S MANAGER OF DEVELOPMENT PLANNING, HERITAGE AND DESIGN, AND TO IMPLEMENT ALL APPROVED TREE SAVING MEASURES. THE IMPLEMENTATION OF THE PLAN SHALL INCLUDE A VERIFICATION OF TREE PROTECTION LETTER, PREPARED BY A QUALIFIED PROFESSIONAL AND APPROVED TO THE SATISFACTION OF THE DIRECTOR OF PLANNING AND CHIEF PLANNER.

**STANDARD CONDITION 3 (e)**  
TO PREPARE A LANDSCAPE PLAN SHOWING PLANTING AND SURFACE DETAILS FOR ALL AREAS NOT COVERED BY BUILDINGS, STRUCTURES, LOADING AREAS OR PARKING AREAS, AND TO OBTAIN APPROVAL THEREOF FROM THE CITY'S MANAGER OF DEVELOPMENT PLANNING, HERITAGE AND DESIGN.

**UNDERTAKING**  
RE: 1492 WILSON STREET WEST & 586 TRADEWIND DRIVE, HAMILTON (DA-18-156)  
I, (WE) \_\_\_\_\_, THE OWNER(S) OF THE LAND, HEREBY UNDERTAKE AND AGREE WITHOUT RESERVATION:  
(A) TO COMPLY WITH ALL THE CONTENT OF THIS PLAN AND DRAWING AND NOT TO VARY THEREFROM;  
(B) TO PERFORM THE FACILITIES, WORKS OR MATTERS MENTIONED IN SECTION 4(7)(a) OF THE PLANNING ACT SHOWN ON THIS PLAN AND DRAWING(S) IN ACCORDANCE WITH THE CONDITIONS OF APPROVAL AS SET OUT IN THE LETTER OF APPROVAL DATED \_\_\_\_\_;  
(C) TO MAINTAIN TO THE SATISFACTION OF THE CITY AND AT MY (OUR) SOLE RISK AND EXPENSE, ALL OF THE FACILITIES, WORKS OR MATTERS MENTIONED IN SECTION 4(7)(b) OF THE SAID ACT, SHOWN ON THIS PLAN AND DRAWING, INCLUDING REMOVAL OF SNOW FROM ACCESS RAMPS AND DRIVEWAYS, PARKING AND LOADING AREAS AND WALKWAYS; AND,  
(D) IN THE EVENT THAT THE OWNER DOES NOT COMPLY WITH THE PLAN DATED \_\_\_\_\_, THE OWNER AGREES THAT THE CITY MAY ENTER THE LAND AND DO THE REQUIRED WORKS, AND FURTHER THE OWNER AUTHORIZES THE CITY TO USE THE SECURITY FILED TO OBTAIN COMPLIANCE WITH THIS PLAN.  
(E) THAT THE OWNER ACKNOWLEDGE "THE SUBJECT PROPERTY HAS BEEN DETERMINED TO BE AN AREA OF ARCHEOLOGICAL POTENTIAL. IT IS REASONABLE TO EXPECT THAT ARCHEOLOGICAL RESOURCES MAY BE ENCOUNTERED DURING ANY DEMOLITION, GRADING, CONSTRUCTION ACTIVITIES, LANDSCAPING, STAGING, STOCKPILING OR OTHER SOIL DISTURBANCES AND THE PROPONENT IS ADVISED TO CONDUCT AN ARCHEOLOGICAL ASSESSMENT PRIOR TO SUCH IMPACTS IN ORDER TO ADDRESS THESE CONCERNS AND MITIGATE THROUGH PRESERVATION OR RESOURCE REMOVAL AND DOCUMENTATION, ADVERSE IMPACTS TO ANY SIGNIFICANT ARCHEOLOGICAL RESOURCES FOUND. MITIGATION, BY AN ONTARIO-LICENSED ARCHEOLOGIST, MAY INCLUDE THE MONITORING OF ANY MECHANICAL EXCAVATION ARISING FROM THIS PROJECT. IF ARCHEOLOGICAL RESOURCES ARE IDENTIFIED ON SITE, FURTHER STAGE 3 SITE SPECIFIC ASSESSMENT AND STAGE 4 MITIGATION OF DEVELOPMENT IMPACTS MAY BE REQUIRED AS DETERMINED BY THE ONTARIO MINISTRY OF TOURISM, CULTURE AND SPORT. ALL ARCHEOLOGICAL REPORTS SHALL BE SUBMITTED TO THE CITY OF HAMILTON FOR APPROVAL CONCURRENT WITH THEIR SUBMISSION TO THE MINISTRY OF TOURISM, CULTURE AND SPORT."  
(F) THAT THE OWNER AGREES TO DISPLAY THE MUNICIPAL NUMBER (1475) OR FULL ADDRESS (1475 SANDHILL DRIVE) ON A SIGN NEAR THE FRONT EXTERIOR ENTRANCE IN A MANNER THAT IS VISIBLE FROM THE STREET.  
(G) THE OWNER SHALL COMPLETE TO THE SATISFACTION OF THE DIRECTOR OF ENGINEERING OF THE CITY OF HAMILTON AND CANADA POST:  
(i) THAT THE HOME/BUSINESS MAIL DELIVERY WILL BE FROM A DESIGNATED CENTRALIZED MAIL BOX;  
(ii) THAT THE DEVELOPERS/OWNERS BE RESPONSIBLE FOR OFFICIALLY NOTIFYING THE PURCHASER OF THE EXACT CENTRALIZED MAIL BOX LOCATIONS PRIOR TO THE CLOSING OF ANY HOME SALES;  
(h) THE OWNER FURTHER AGREES TO:  
(i) WORK WITH CANADA POST TO DETERMINE AND PROVIDE TEMPORARY SUITABLE CENTRALIZED MAIL BOX LOCATION WHICH MAY BE UTILIZED BY CANADA POST UNTIL THE CURB, BOULEVARDS AND SIDEWALK ARE IN PLACE IN THE REMAINDER OF THE SUBDIVISION;  
(ii) INSTALL A CONCRETE PAD IN ACCORDANCE WITH THE REQUIREMENTS OF AND IN LOCATIONS TO BE APPROVED BY CANADA POST TO FACILITATE THE PLACEMENT OF COMMUNITY MAIL BOXES;  
(iii) IDENTIFY THE TAPES ABOVE ON THE ENGINEERING SERVICES DRAWINGS SAID PADS ARE TO BE POURED AT THE TIME OF THE SIDEWALK AND/OR CURB INSTALLATION WITH EACH PHASE OF THE PLAN OR SUBDIVISION;  
(iv) DETERMINE THE LOCATION OF ALL CENTRALIZED MAIL RECEIVING FACILITIES IN COOPERATION WITH CANADA POST AND TO INDICATED THE LOCATION OF THE REMAINS ARE ENCOUNTERED DURING CONSTRUCTION, THE PROPONENT SHOULD IMMEDIATELY CONTACT BOTH MCTS AND THE REGISTRAR OR DEPUTY REGISTRAR OF THE CEMETERIES REGULATION UNIT OF THE MINISTRY OF SMALL BUSINESS AND CONSUMER SERVICES (416-326-8392).  
(c) CANADA POST MULTI-UNIT POLICY, WHICH REQUIRES THAT THE OWNER/DEVELOPER PROVIDE CENTRALIZED MAIL BOX ASSEMBLY (LESS THAN 100 UNITS) WILL REQUIRE A FRONT LOADING LOCK BOX ASSEMBLY & MORE THAN 100 UNITS WILL REQUIRE A REAR LOADING LOCK BOX ASSEMBLY. BOTH REQUIRE A EXTERIOR LOCK WILL BE IN AFFECT FOR BUILDINGS AND COMPLEXES WITH A COMMON LOBBY, COMMON INDOOR OR SHELTERED SPACE.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_

WITNESS (SIGNATURE) \_\_\_\_\_ OWNER(S) (SIGNATURE) \_\_\_\_\_

WITNESS (PRINT) \_\_\_\_\_ OWNER(S) (PRINT) \_\_\_\_\_

ADDRESS OF WITNESS \_\_\_\_\_

SITE STATISTICS

ITEM	PROPOSAL	ZONING BYLAW REQUIREMENTS
ZONING CATEGORY	M3	M3
LOT AREA (sq. m.)	24,507	4,000 MIN.
YARD ABUTTING A STREET (m)	22.25 (WILSON ST.) 22.70 (TRADEWIND DR.) 22.70 (TRADEWIND DR.)	6.0 MIN. & 25.0 MAX.
MIN. YARD ABUTTING A RESIDENTIAL OR INSTITUTIONAL ZONE	N/A	N/A
BUILDING HEIGHT (m)	8.84	11.00 MAX.
GROUND FLOOR AREA (sq. m.)	- PHASE 1 OFFICE 199.0 - PHASE 1 PLANT 3,767.5 - PHASE 2 OFFICE 74.0 - PHASE 2 PLANT 1,392.6 - PHASE 3 OFFICE 199.0 - PHASE 3 PLANT 3,729.6 - PHASE 3 PLANT 9,361.7	N/A
GROSS FLOOR AREA (sq. m.)	- PHASE 1 OFFICE 199.0 - PHASE 1 PLANT 3,767.5 - PHASE 2 OFFICE 74.0 - PHASE 2 PLANT 1,392.6 - PHASE 3 OFFICE 199.0 - PHASE 3 PLANT 3,729.6 - PHASE 3 PLANT 9,361.7	N/A
NUMBER OF PARKING SPACES	188	188 *
NUMBER OF BARRIER FREE PARKING SPACES	7	7
NUMBER OF LOADING SPACES	9	N/A
PARKING STALL DIMENSIONS (m)	3.00 x 5.80	3.00 x 5.80
PARKING STALL DIMENSIONS-PARALLEL (m)	2.40 x 6.70	2.40 x 6.70
BARRIER FREE PARKING STALL DIMENSIONS (m)	4.40 x 5.80	4.40 x 5.80
* CALCULATION IS BASED ON PLANNED BUSINESS CENTRE = 1 PARKING SPACE FOR EVERY 50 sq.m. OF GROSS FLOOR AREA		
** CALCULATION BASED ON 1 + 3% REQUIRED SPACES		

- LEGEND:**
- EXISTING ELEVATIONS
  - PROPOSED ELEVATIONS
  - PROPOSED SWALE ELEVATIONS
  - PROPOSED SWALE
  - GENERAL DRAINAGE
  - DENOTES MANDOOK
  - DENOTES OVERHEAD DOOR
  - BARRIER FREE PARKING SIGN
  - FIRE ROUTE/NO PARKING SIGN
  - PAINTED HANDICAPPED SYMBOL TO MEET MUNICIPAL REQUIREMENTS
  - SITE PROPERTY LINE
  - FIRE ROUTE
  - PARKING COUNT BUBBLE

**Disabled Parking Permit Rb-93**

30  
150  
15  
125  
25  
30  
35  
450

**BY PERMIT ONLY**

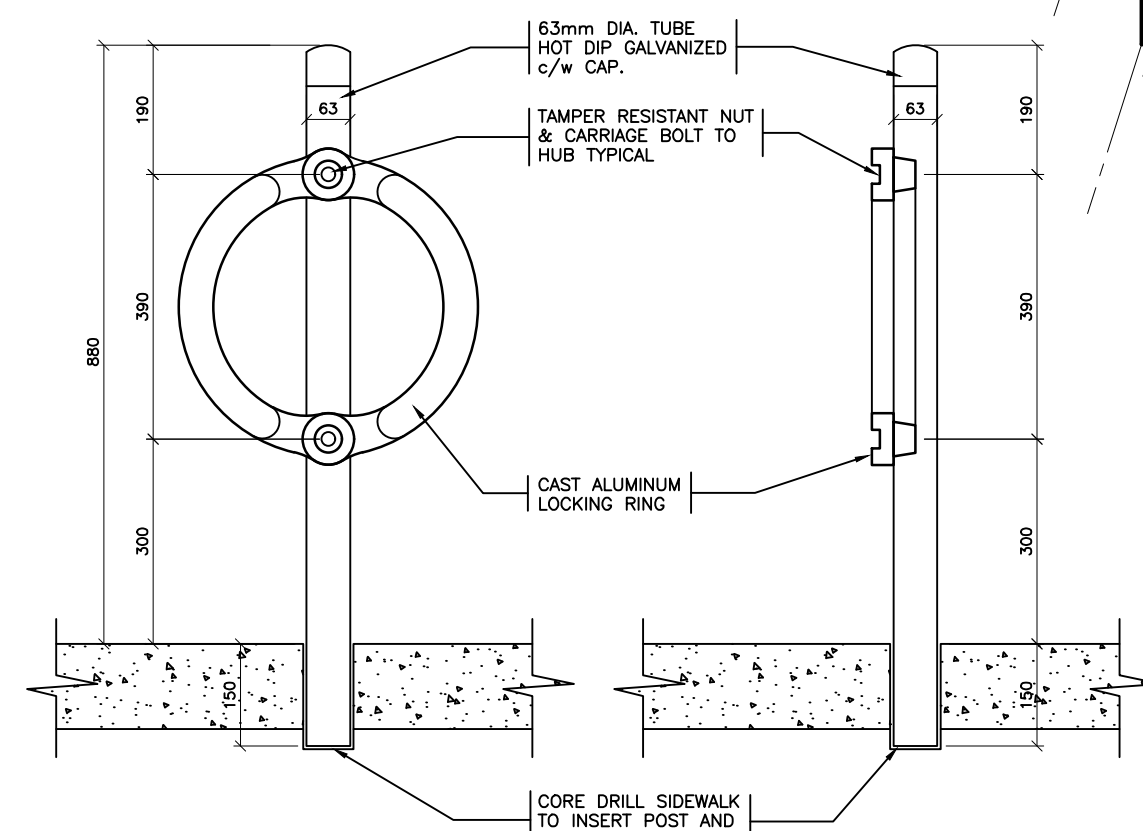
Sign No. & Cut Image Ref. Blank Special Notes  
(Rb-93 (0500 & 0400)) B-7 Must comply with HTA and Regulations. For Bilingual version, see Rb-93 (B).

Sign Element	Colour	Min. Ref. (mm)	Font	All dimensions in millimetres unless noted
Background	White	Type 1	None / Type 1	Series "C"
Border/Inner Color	Black	None	None / Type 1 / Type 1	
Text	Black / Red / Blue	None	None / Type 1 / Type 1	

Ontario



**FIRE ROUTE SIGN DETAIL**  
N.T.S.



**BICYCLE RACK DETAIL**  
N.T.S.

**BARRIER FREE PARKING SIGN DETAIL**  
N.T.S.



T.B.M. No. 3 ELEV. = 229.09m (GEO)
TOP NUT OF FIRE HYDRANT ON THE WEST SIDE OF TRADEWIND DRIVE AS SHOWN.
T.B.M. No. 4 ELEV. = 231.70m (GEO)
TOP NUT OF FIRE HYDRANT ON THE SOUTH SIDE OF HWY. No. 2 AS SHOWN.

NO.	REVISION	DATE (MM/DD/YY)	BY
4	TRANSFORMER RELOCATION	09/15/21	S.J.S.
3	ROAD WIDENING	08/10/21	S.J.S.
2	AS PER CITY COMMENTS	06/10/21	S.J.S.
1	AS PER CITY COMMENTS	05/18/21	K.P.B.

**J.H. COHOON ENGINEERING LIMITED**  
CONSULTING ENGINEERS

440 HARDY ROAD, UNIT #1, BRANTFORD - ONTARIO, N3T 5L8  
(519) 753-2656 FAX: (519) 753-4263 www.cohooneng.com

PROJECT: **PROPOSED INDUSTRIAL DEVELOPMENT**  
1492 WILSON STREET WEST & 586 TRADEWIND DRIVE  
CITY OF HAMILTON

CLIENT: **LANCA CONTRACTING**

**SITE PLAN (DA-18-156)**

DESIGN: R.W.P.	SCALE: 1:400
DRAWN: K.P.B.	JOB No: 12921
CHECKED: R.W.P.	
SHEET: 1 of 5	DWG. No: 12921-1
DATE: JAN. 25/21	

**CONCRETE BARRIER CURB**  
P.S.D. - 600.110  
N.T.S.

**LIGHT DUTY ASPHALT DESIGN**  
N.T.S.

**HEAVY DUTY ASPHALT DESIGN**  
N.T.S.

**PROPOSED INDUSTRIAL BUILDING - PHASE 3**  
F.F.=230.20  
AREA=3,928.6 s.m.  
(42,287 s.f.)



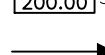

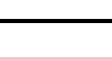












**PROPOSED INDUSTRIAL BUILDING - PHASE 1**  
F.F.=230.20  
AREA=3,966.5 s.m.  
(42,695 s.f.)

**PROPOSED INDUSTRIAL BUILDING - PHASE 2**  
F.F.=229.15  
AREA=1,466.6 s.m.  
(15,787 s.f.)

**TRADEWIND DRIVE**

1. ANY CHANGES IN GRADES AND/OR CATCH-BASINS, REQUIRING THE APPROVAL OF THE DIRECTOR, DEVELOPMENT DIVISION, PLANNING AND DEVELOPMENT DEPARTMENT.
2. ALL ELEVATIONS MUST BE TO GEODETIC DATUM AND A DESCRIPTION OF THE GEODETIC BENCHMARK USED TO ESTABLISH THE ELEVATIONS MUST BE SUBMITTED ON THE PERMITS.
3. THE SITE MUST BE DEVELOPED IN ACCORDANCE WITH THE CURRENT CITY OF HAMILTON "STORM DRAINAGE POLICY" AND THE "GUIDELINES FOR STORM WATER INFRASTRUCTURE DESIGN".
4. IF THE DEVELOPER IS PROPOSING TO ALTER THE GRADE ON ADJACENT LANDS, THEY DO SO, THE DEVELOPER IS REQUIRED TO OBTAIN WRITTEN PERMISSION FROM THE OWNER OF THE AFFECTED LANDS. PERMITTING THIS WORK TO OCCUR, A HOST OF POTENTIAL PROBLEMS MAY BE CREATED. THE DEVELOPMENT DIVISION, PLANNING AND DEVELOPMENT DEPARTMENT, THE ENVIRONMENTAL AND REAL ESTATE DIVISION, PRIOR TO APPROVAL OF THE GRADING PLAN.
5. ANY EXISTING DRAINAGE COURSES, SEWERS OR CULVERTS TRAVERSING THE SITE MUST BE IDENTIFIED AND INCORPORATED INTO THE DESIGN OF THE PROPOSED DEVELOPMENT. DRAINAGE COMING FROM ADJACENT LANDS MUST NOT BE BLOCKED.
6. THE DRAINAGE FOR THE DEVELOPMENT MUST BE REDESIGNED SUCH THAT THERE IS NO NEGATIVE IMPACT ON SURROUNDING LANDS, ROADS AND SEWERS.

1. ALL WORK INVOLVED IN THE CONSTRUCTION, RELOCATION REPAIR OF MUNICIPAL SERVICES FOR THE PROJECT SHALL BE TO THE SATISFACTION OF THE DEPARTMENT OF PLANNING AND ECONOMIC DEVELOPMENT.
2. BUILDER/OWNER TO VERIFY COMPACT WITH ZONING BYLAWS (E.G. SIDEYARDS, SETBACKS, REARYARDS ETC.)
3. BUILDING TO BE EQUIPPED WITH WALL MOUNTED LIGHTING.
4. ALL FILL PLACED ON SITE SHALL BE COMPACTED TO A MINIMUM OF 95% MOISTURE DENSITY. ALL EXCESS SURFACED MATERIALS OF TESTS SHALL BE TAKEN AT VARIOUS LEVELS TO THE DEPTH OF THE COMPACTED MATERIAL. ALL TEST RESULTS SHALL BE SENT TO THE TOWN WITH A LETTER, SIGNED AND STAMPED BY A SOILS ENGINEER, STATING THAT A MINIMUM NUMBER OF TESTS HAVE BEEN TAKEN AND THAT A MIN. DEGREE OF COMPACTION HAS BEEN ACHIEVED.
5. ALL GARBAGE TO BE COLLECTED AND STORED INTERNALLY. THIS MATERIAL IS UNDESIRABLE. THE TOWN WILL PROVIDE COLLECTION OF GARBAGE, RECYCLABLE MATERIAL AND LEAK AND YARD WASTE MATERIALS. ALL GARBAGE, RECYCLABLE MATERIAL AND LEAK AND YARD WASTE MUST BE PROVIDED THROUGH A PRIVATE WASTE HAULER(S). RECYCLING IS STRONGLY ENCOURAGED.
6. ALL ASPHALT PARKING SPACES ARE TO BE DELINEATED BY LINE.
7. HANDICAP PARKING SPACES SHALL BE SIGNED AS PER THE CURRENT MUNICIPAL CRITERIA.
8. FIRE ROUTE SIGNS AND 3-WAY FIRE HYDRANTS SHALL BE PROVIDED TO THE SATISFACTION OF THE CITY FIRE DEPT. AND AT THE EXPENSE OF THE OWNER.
9. ALL SIGNAGE TO BE IN COMPLIANCE WITH THE CITY OF HAMILTON BY-LAW NO. 10-197.
10. A STOP SIGN IS TO BE PROVIDED AT THE EXIT OF THE SITE TO THE PROPERTY (NOT IN THE ROAD ALLOWANCE).
11. VISION TRIANGLES AT THE VENUCLAR ACCESS POINTS TO BE PROVIDED: 5.0m x 5.0m IN WHICH THE MAXIMUM HEIGHT OF ANY OBJECTS OR MAJOR VEGETATION IS NOT TO EXCEED A HEIGHT OF 1.5m. THE CORNER CUTOFFS ARE TO BE PERPENDICULAR CENTLINE ELEVATION OF THE ADJACENT STREET.
12. MAIN DRIVEWAY DIMENSIONS AT THE PROPERTY LINE BOUNDARIES SHALL BE 3.0m X 6.0m MINUS 2.0m MINUS 2.0m MINUS 2.0m.
13. ALL DRIVEWAYS FROM PROPERTY LINES FOR THE FIRST 7.5m SHALL BE WITHIN 5% MAXIMUM GRADE. THEREAFTER, ALL DRIVEWAYS SHALL BE WITHIN 10% MAXIMUM GRADE.
14. ALL DRIVEWAYS APPROACHES ARE TO BE A MINIMUM 2.5m AWAY FROM EACH SIDE PROPERTY LINE WHERE A HYDRO PLAN IS LOCATED.
15. THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER FROM THE REQUIREMENTS OF THE CONSTRUCTION PERMITS/ APPROVALS NORMALLY REQUIRED TO THE CONSTRUCTION OF THIS PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:

	EXISTING ELEVATIONS
	PROPOSED ELEVATIONS
	PROPOSED SWALE ELEVATIONS
	PROPOSED SWALE
	GENERAL DRAINAGE
	SITE PROPERTY LINE
	EXISTING CATCHBASIN
	EXISTING LIGHT STANDARD
	EXISTING BELL PEDESTAL
	EXISTING TEMPORARY BENCHMARK
	EXISTING POST
	EXISTING HYDRO POLE
	EXISTING WATER VALVE
	EXISTING FIRE HYDRANT
	EXISTING DECIDUOUS TREES TO BE REMOVED
	PROPOSED TRAFFIC DIRECTION
	PROPOSED EMERGENCY OVERLAND ROUTE

3'-0"

PROVIDE RAILING AT TOP OF WALL AS PER O.B.C. LOADS CL. 4.1.5.15 AND DIMENSIONS CL. 5.3.1.17. SUBMIT SHOP DWGS. TO ENGINEER FOR APPROVAL PRIOR TO FABRICATION

CONTRACTOR TO ENSURE EXTERIOR GRADE SLOVES AWAY FROM WALL AT BOTH GRADE LEVELS

FIN. GRADE

FIN. FLOOR

LOADING DOCK

15#1 BARS AT 12"  $\phi$ /C VERT.

15#1 BARS AT 12"  $\phi$ /C HORIZ.

15#1 1" BARS @ 12"  $\phi$ /C

3"  $\phi$  40# TIE. CONT. STRIP FOOTING REINFT. AS SHOWN

2'-3"

3'-6"

10" THK. POURED CONC. REIN. HALL

2"  $\phi$  KEY

15#1 BARS AT 12"  $\phi$ /C

6'-0" FIN. COVER

6'-0" FIN. COVER

KEEF HOLES AT 6'-0"  $\phi$ /C MIN. FILTER FABRIC

FIN. GRADE


RETAINING WALL DETAIL (LOADING DOCK) TYP.

SCALE: 1/8" = 1'-0"

T.B.M. No. 3 ELEV. = 229.09m (GEO)  
TOP NUT OF FIRE HYDRANT ON THE WEST SIDE OF TRADEWIND DRIVE  
AS SHOWN

T.B.M. No. 4 ELEV. = 231.70m (GEO)  
TOP PUT OF FIRE HYDRANT ON THE SOUTH SIDE OF HWY. No. 2  
AS SHOWN

4	TRANSFORMER RELOCATION	09/15/21	S.J.S.
3	ROAD WIDENING	08/10/21	S.J.S.
2	AS PER CITY COMMENTS	06/08/21	S.J.S.
1	AS PER CITY COMMENTS	05/18/21	K.P.B.
NO.	REVISION	DATE (MM/DD/YY)	BY



**J.H. COHOON  
ENGINEERING  
LIMITED**

CONSULTING ENGINEERS

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440 HARDY ROAD, UNIT #1, BRANTFORD — ONTARIO, N3T 5L8  
TEL. (519) 753-2856 FAX. (519) 753-4263 [www.cohooneng.com](http://www.cohooneng.com)

PROJECT:

**PROPOSED  
INDUSTRIAL  
DEVELOPMENT**

**1492 WILSON STREET WEST  
& 586 TRADEWIND DRIVE  
CITY OF HAMILTON**

CLIENT: LANCA CONTRACTING

GRADING PLAN  
(DA-18-156)

DESIGN:	R.W.P.	SCALE:	1:400
DRAWN:	K.P.B.	JOB No:	12921
CHECKED:	R.W.P.		
SHEET:	2 of 5	DWG. No:	12921-2
DATE:	JAN. 25/21		

LIGHT DUTY  
ASPHALT DESIGN  
N.T.S.

## HEAVY DUTY ASPHALT DESIGN

CONCRETE  
BARRIER CURB  
O.P.S.D. - 600.110  
N.T.S.

229

228

227

226

PROP. GUARD RAIL AS PER OBC

228.05 T/C

227.90 B/C

227.80 S

227.20 B/W

227.15 EX.

P/L

FIN. GRADE

EX. GRND

0.45 MIN.

PROP. RETAINING WALL

**SECTION 'A'**

SCALE: 1:50

SOUTH ABUTTING PROPERTY

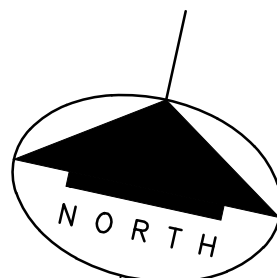
[illegible]

Diagram of a rectangular building footprint. The dimensions are 15' (width) and 10' (depth). The text "EX. BUILDING" and "F.F. ~226.30" is centered within the rectangle.



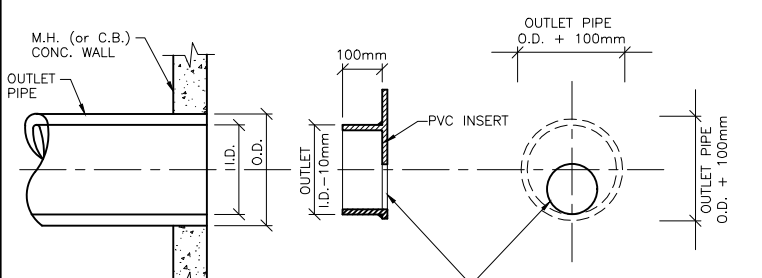
# WILSON STREET

NOTE: APPROVAL OF THIS DRAWING IS FOR MATERIAL ACCEPTABILITY AND COMPLIANCE WITH MUNICIPAL AND PROVINCIAL SPECIFICATIONS AND STANDARDS ONLY. APPROVAL AND INSPECTION BY THE CITY OF THE WORKS DOES NOT CERTIFY THE LINE AND GRADE OF THE WORKS AND IT IS THE OWNER'S RESPONSIBILITY TO HAVE THEIR ENGINEER CERTIFY THIS ACCORDINGLY.



STORM SYSTEM				
MH No.	DESCRIPTION	T/G	INVERTS	
ST1	1.5m <sup>2</sup> P/C CB/MH	229.60	E	227.63
ST2	1.5m <sup>2</sup> P/C CB/MH	229.60	W	227.42
			E	227.40
			S	227.50
ST3	1.5m <sup>2</sup> P/C CB/MH	229.60	W	227.20
			E	227.18
			S	227.28
ST4	1.5m <sup>2</sup> P/C CB/MH	229.70	W	227.08
			S	227.00
ST5	1.5m <sup>2</sup> P/C CB/MH	229.60	N	226.88
	C/W ORIFICE #1		S	226.86
ST6	1.2m <sup>2</sup> P/C CB/MH	229.60	S	227.63
ST7	0.6x0.6x1.52m P/C CB	229.40	N	227.41
			E	227.39
ST8	0.6x0.6x1.52m P/C CB	228.95	S	227.58
ST9	1.2m <sup>2</sup> P/C CB/MH	229.00	W	226.79
			E	226.77
			N	226.67
ST10	0.6x0.6x1.52m P/C CB	228.95	S	227.58
ST11	1.2m <sup>2</sup> P/C CB/MH	228.70	W	226.55
			E	226.53
ST12	0.6x0.6x1.52m P/C CB	228.95	S	227.58
ST13	0.6x0.6x1.52m P/C CB	227.90	NW	226.53
ST14	1.2m <sup>2</sup> P/C CB/MH	226.30	SE	226.43
			E	226.41
ST15	1.2m <sup>2</sup> P/C CB/MH	228.90	W	225.62
	C/W ORIFICE #2		E	225.60
			S	225.68
ST16	1.2m <sup>2</sup> P/C CB/MH	228.20	W	225.41
			S	225.35
			N	225.49
ST17	1.2m <sup>2</sup> P/C CB/MH	228.40	N	225.06
			S	225.04
ST18	1.2m <sup>2</sup> P/C CB/MH	227.00	N	224.53
	C/W ORIFICE #3		E	224.40
ST15A	1.2m <sup>2</sup> P/C CB/MH	228.70	W	225.69
			E	225.67
ST18A	JELLYFISH FILTER	227.10	W	224.23
	JF10-11-3		E	224.21

LEGEND:	
---	EXISTING SANITARY SEWER
---	EXISTING STORM SEWER
---	EXISTING WATERMAIN
□ CB	EXISTING CATCHBASIN
LS	EXISTING LIGHT STANDARD
BPED	EXISTING BELL PEDESTAL
TBM	EXISTING TEMPORARY BENCHMARK
POST	EXISTING POST
HP	EXISTING HYDRO POLE
WV	EXISTING WATER VALVE
FH	EXISTING FIRE HYDRANT



## FLOW CONTROL DEVICE ORIFICE PLATE w/ SNOOT

SANITARY SYSTEM			
MH No.	DESCRIPTION	T/G	INVERTS
S1	1.2m <sup>2</sup> P/C MH	228.97	W 224.74 SW 224.24 E 224.14

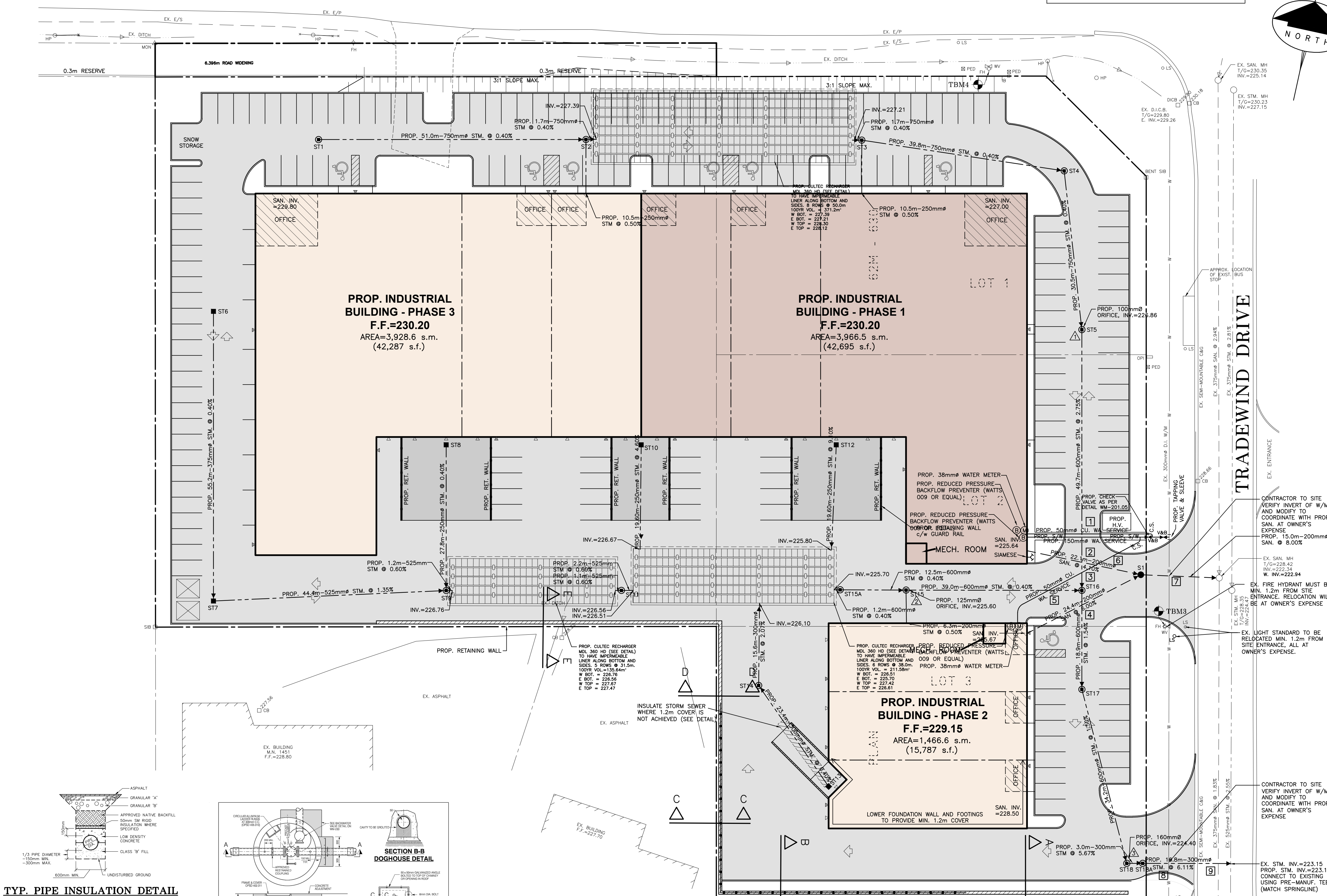
C.B. ORIFICE PLATE SIZING	
ORIFICE PLATE CONFIGURATION NUMBER	DIAMETER OF ORIFICE PLATE OPENING
1	100mm
2	125mm
3	150mm

WATERMAIN SUMMARY - JOINT RESTRAINTS	
LOCATION / DESCRIPTION	LENGTH TO BE RESTRAINED (L <sub>r</sub> )
300x300x150mm PVC - TEE	L <sub>r</sub> = MAIN LINE - 1.5m L = BRANCH LINE - 3.4m

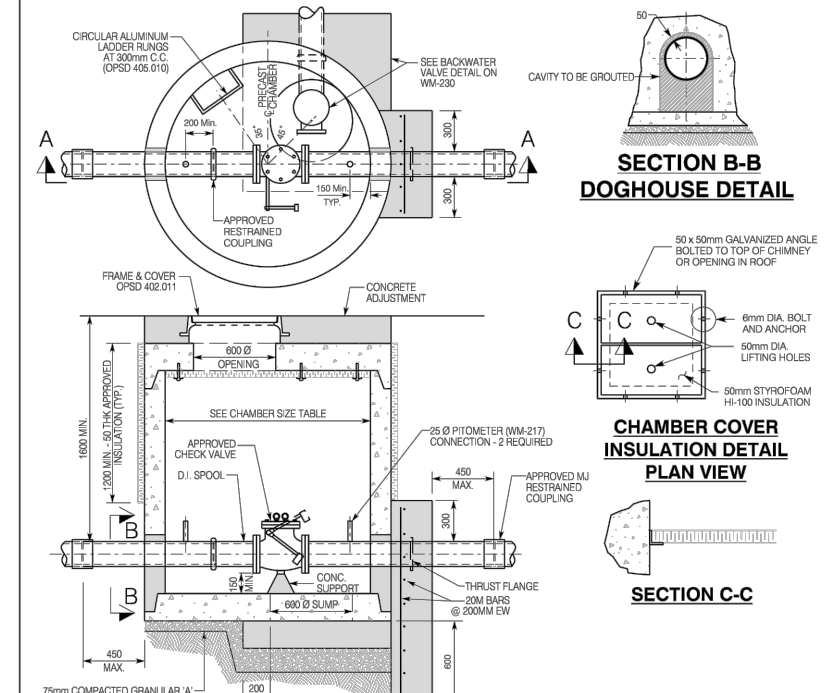
## SERVICING NOTES:

- ALL WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNICIPAL SERVICES FOR THE PROJECT SHALL BE TO THE SATISFACTION OF THE SENIOR DIRECTOR, GROWTH MANAGEMENT, PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT.
- ALL SERVICES TO BE INSTALLED AS PER CITY OF HAMILTON CONSTRUCTION AND MATERIALS STANDARDS AND SPECIFICATIONS MANUAL (LATEST EDITION) AND THE MINISTRY OF ENVIRONMENT GUIDELINES (LATEST EDITION).
- MINIMUM HORIZONTAL SEPARATION BETWEEN WATER SERVICES AND SEWER DRAINS AND/OR MUNICIPAL SEWER MAINS SHALL BE 2.5m MEASURED FROM THE CLOSEST PIPE EDGE TO CLOSEST PIPE EDGE. VERTICAL SEPARATION WHERE A WATER SERVICE PASSES OVER A SEWER DRAIN AND/OR MUNICIPAL SEWER MAINS MUST BE A MINIMUM OF 0.15m UNLESS GREATER SEPARATION IS REQUIRED TO PROVIDE FOR PROPER BEDDING AND STRUCTURAL SUPPORT. WATER SERVICES PASSING UNDER SEWER DRAINS AND/OR MUNICIPAL SEWER MAINS MUST HAVE A SEPARATION OF 0.50m BETWEEN THE INVERT OF THE SEWER DRAIN AND/OR MUNICIPAL SEWER MAIN AND THE CROWN OF WATERMAIN.
- PROPOSED STORM SEWER SHALL BE PVC SDR35 (RIBBED OR PROFILE PIPE) MAY NOT BE USED FOR PRIVATE DRIVE OR CATCH BASIN INSTALLATIONS).
- ANY CHANGES IN GRADES AND CATCHBASINS REQUIRE THE APPROVAL OF THE SENIOR DIRECTOR, GROWTH MANAGEMENT, PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT.
- CATCHBASINS SHALL BE AS PER OPSD 705.010 AND MUST BE MODIFIED WITH A GROSS TRAP AS PER SEW-304. ALL PRIVATE PROPERTY CATCHBASINS ARE TO INCLUDE A SLUMP. PROVIDE SILT SACK IN CATCHBASINS DURING CONSTRUCTION AND UNTIL GROUND COVER IS ESTABLISHED.
- SEWERS TO BE INSTALLED WITH A MIN. COVER OF 2.20m AT THE PROPERTY LINE BELOW FINAL ROAD GRADE OR AT SUCH HIGHER ELEVATION ONLY AS MAY BE NECESSARY BY THE ELEVATION OF THE MAIN SEWER. ON PRIVATE PROPERTY THE MINIMUM COVER IS TO BE NO LESS THAN 1.2m.
- PROPOSED SANITARY SEWER SHALL BE PVC SDR28 FOR 150mm<sup>2</sup> AND SDR35 FOR 200mm<sup>2</sup> AND SDR35 FOR 300mm<sup>2</sup>.
- PROPOSED SANITARY SEWER MANHOLE TO BE IN ACCORDANCE WITH O.P.S.D. 701.010 (NO SUMPS).
- SEWER BEDDING AND COVER TO BE AS PER O.P.S.D. 802.010 WITH GRANULAR 'A' FOR BOTH BEDDING AND COVER.
- ALL MANHOLES TO CONFORM TO OPSD 701.01 & 701.03.
- MINIMUM SIZE OR STORM AND SANITARY DRAINS LOCATED WITHIN THE ROAD ALLOWANCE TO BE 150mm IN THE ORIGINAL CITY OF HAMILTON AND 125mm IN THE OTHER AREA MUNICIPALITIES NOW COMPRISING THE NEW CITY.
- RESTORATION OF ROAD OVER UTILITY CUTS IN HAMILTON TO BE AS PER STANDARD DRAWINGS RD-100.01 AND RD-100.02, WITH GRANULAR 'A' BEDDING.
- MAINTENANCE HOLES ARE REQUIRED AT ALL CHANGES IN PIPE SIZE, CHANGES IN PIPE DIRECTION AND AT ALL CLEANOUTS.
- ANCHOR OR THRUST BLOCKS ARE TO BE INSTALLED AT ALL WATER SERVICE ELBOWS, TEES, PLUGS ETC. FOR 300mm DIAMETER WATER SERVICES AND SMALLER, ANCHOR BLOCKS ARE TO BE AS PER WM-204.01.
- WATERMAIN BEDDING AND COVER MATERIAL TO BE INSTALLED AS PER WM-200.01 (CONCRETE AND PVC WATERMAINS AND SERVICES) AND WM-200.02 (DUCTILE IRON WATERMAINS AND SERVICES) WITH GRANULAR 'A' FOR BEDDING AND COVER. BEDDING AND COVER FOR SMALL DIAMETER SERVICES (i.e. 50mm AND UNDER) TO BE AS PER WM-200.01 WITH GRANULAR 'D' FOR BOTH BEDDING AND COVER. WATER SERVICES TO BE INSTALLED WITH A MINIMUM COVER OF 1.6m.
- ALL BACKFLOW PREVENTION DEVICES MUST BE SELECTED, INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CITY OF HAMILTON'S BACKFLOW PREVENTION BY-LAW #10-103, INCLUDING THE MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION ETC., AND THE GUIDELINES SET OUT IN THE MOST RECENT VERSIONS OF THE 'AWWA CANADIAN CROSS CONNECTION CONTROL MANUAL' AND THE CSA B64.10/07/B64.10-1-07 STANDARDS. IN SELECTING A BACKFLOW DEVICE FOR A PROPERTY, CONSIDERATION MUST BE GIVEN TO FUTURE POSSIBLE USES OF THE SITE WHICH COULD RESULT IN A HIGHER RISK TO THE MUNICIPAL DRINKING WATER SYSTEM, THIS MAKING THE DEVICE INITIALLY CHOSEN INADEQUATE FOR THE NEW PURPOSE AND REQUIRING FUTURE CHANGE OUT AT THE OWNER'S EXPENSE.
- DOWNSPOUTS TO OUTLET AT GRADE LEVEL AWAY FROM BUILDINGS.
- PROVIDE A WATER BACKFLOW PREVENTOR FOR FIRE SERVICES, REQUIRED IN ACCORDANCE WITH THE ONTARIO BUILDING CODE, SHALL BE LOCATED AT THE SERVICE POINT OF ENTRY TO EACH BUILDING.
- IF A SERVICE IS TO BE RE-USED THE APPLICANT/OWNER MUST ASSURE THEMSELVES THAT THE EXISTING SERVICE IS ADEQUATE TO MEET THEIR PROPOSED USES AND ARE IN GOOD WORKING CONDITION.
- INTERNAL WATER METER INSTALLATIONS TO BE AS PER WM-210 AND THE METER IS TO BE INSTALLED AT FLOOR LEVEL.
- ALL EXISTING UNUSED WATER SERVICES TO THE SITE MUST BE ABANDONED. SERVICES GREATER THAN 50mm MUST BE COMPLETELY REMOVED FROM THE ROAD ALLOWANCE WITH AN APPROPRIATE REPAIR TO THE MUNICIPAL MAIN.
- CURB STOPS (VALVES) LESS THAN 300mm TO BE INSTALLED WITH A BOX AS PER WM-202.
- SHUTDOWNS OF A CITY WATERMAIN WILL BE AT THE DISCRETION OF THE CITY AND IS SUBJECT TO THE FOLLOWING REQUIREMENTS, WHICH SHOULD BE NOTED ON THE PLAN.
  - (a) MAXIMUM 4 HOUR SHUTDOWN OF EXISTING MAIN AT A TIME CONVENIENT TO THE CITY OF HAMILTON AND ADJUTING USERS.
  - (b) CONTRACTOR TO GIVE 48 HOUR PRIOR NOTIFICATION USING THE "CITY OF HAMILTON NOTICE OF SHUTDOWN" FOR ALL AFFECTED AREAS.
  - (c) IN THE EVENT OF A SCHEDULED SHUTDOWN CANCELLED BY THE CITY OF HAMILTON, THE CONTRACTOR SHALL HAVE CLAIMS AGAINST THE CITY.
- ANY CHANGES IN GRADES AND CATCH BASINS REQUIRE THE APPROVAL OF THE CITY'S MANAGER OF DEVELOPMENT ENGINEERING.
- ALL EXISTING UNUSED WATER SERVICES MUST BE REMOVED FROM THE ROAD ALLOWANCE WITH APPROPRIATE REPAIR TO THE AND MUNICIPAL WATERMAIN AS PER CITY OF HAMILTON STANDARD REQUIREMENTS.
- PVC WATER SERVICE/MAIN MATERIAL, CATHODIC PROTECTION, TRACER WIRE ETC. MUST BE AS PER FORM 400.

## "WATERMAIN SHUTDOWN"



## TYP. PIPE INSULATION DETAIL



SEWER CROSSINGS					
LOCATION	STM. INV.	STM. OBV.	W/M INV.	W/M OBV.	
1	225.76	226.06	224.96	225.11	
3	225.57	225.87	224.87	224.92	
5	225.44	225.74	224.74	224.79	
8	223.94	224.24	UNKNOWN	UNKNOWN	

SEWER CROSSINGS					
LOCATION	STM. INV.	STM. OBV.	SAN. INV.	SAN. OBV.	
2	225.68	225.98	225.20	225.40	
4	225.30	225.60	224.96	225.16	
9	223.34	223.64	221.34	221.72	

SEWER CROSSINGS					
LOCATION	SAN. INV.	SAN. OBV.	W/M INV.	W/M OBV.	
6	225.09	225.29	224.87	224.92	
7	223.66	223.86	UNKNOWN	UNKNOWN	



440 HARDY ROAD, UNIT #1, BRANTFORD - ONTARIO, N3T 5L8  
TEL. (519) 753-2656 FAX. (519) 753-4263 www.cohooneering.com

PROPOSED INDUSTRIAL DEVELOPMENT  
1492 WILSON STREET WEST & 586 TRADEWIND DRIVE  
CITY OF HAMILTON

CLIENT: LANCA CONTRACTING

SERVICING PLAN (DA-18-156)

DESIGN: R.W.P.	SCALE: 1:400
DRAWN: K.P.B.	JOB No: 12921
CHECKED: R.W.P.	12921-3
SHEET: 3 of 5	DWG. No:
DATE: JAN. 25/21	

## APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. \_\_\_\_\_ DATE APPLICATION RECEIVED \_\_\_\_\_

PAID \_\_\_\_\_ DATE APPLICATION DEEMED COMPLETE \_\_\_\_\_

SECRETARY'S  
SIGNATURE \_\_\_\_\_

### The Planning Act

### Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS
Registered Owners(s)		
Applicant(s)*		
Agent or Solicitor		

**Note:** Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:  
n/a

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:  
Relief for zoning requirements on size of landscaping buffers.

☐ Secondary Dwelling Unit      ☐ Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?  
The site has an irregular property line that would not yield an economical footprint for an industrial facility as currently zoned and designated.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):  
62R-1976 Instrument No 283476 AB/482027CD Part 1  
62M-630 Lots 1, 2, and 3

7. PREVIOUS USE OF PROPERTY

Residential ☐      Industrial ☐      Commercial ☐  
Agricultural ☐      Vacant ☒      Other ☐

Other \_\_\_\_\_

8.1 If Industrial or Commercial, specify use \_\_\_\_\_

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?  
Yes \_\_\_\_\_ No ☒ Unknown \_\_\_\_\_

8.3 Has a gas station been located on the subject land or adjacent lands at any time?  
Yes \_\_\_\_\_ No ☒ Unknown \_\_\_\_\_

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?  
Yes \_\_\_\_\_ No ☒ Unknown \_\_\_\_\_

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?  
Yes \_\_\_\_\_ No ☒ Unknown \_\_\_\_\_

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?  
Yes \_\_\_\_\_ No ☒ Unknown \_\_\_\_\_

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?  
Yes \_\_\_\_\_ No ☒ Unknown \_\_\_\_\_

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?  
Yes \_\_\_\_\_ No ☒ Unknown \_\_\_\_\_

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?  
Yes \_\_\_\_\_ No ☒ Unknown \_\_\_\_\_

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes \_\_\_\_\_ No ☒ Unknown \_\_\_\_\_

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

Geotechnical, Archaeological, and Environmental reporting conducted by third parties

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ☐ No ☒

## 9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

2021-11-11

Date



Signature Property Owner(s)

Sanjay Modi

Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage	137.294m
Depth	Irregular
Area	24,507 square meters
Width of street	unknown

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: \_

none

Proposed

9,361.7 square meter ground floor single storey. Multiple buildings, see attached.

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

Proposed:

22.70m setback from Tradewind, 22.35m setback from Wilson, 11.58m setback from rear property line (at narrowest point, site is irregular)

13. Date of acquisition of subject lands:  
2018
- 
14. Date of construction of all buildings and structures on subject lands:  
n/a
- 
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):  
vacant land
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):  
industrial
17. Length of time the existing uses of the subject property have continued:
18. Municipal services available: (check the appropriate space or spaces)
- |                |                                     |           |                          |
|----------------|-------------------------------------|-----------|--------------------------|
| Water          | <input checked="" type="checkbox"/> | Connected | <input type="checkbox"/> |
| Sanitary Sewer | <input checked="" type="checkbox"/> | Connected | <input type="checkbox"/> |
| Storm Sewers   | <input checked="" type="checkbox"/> |           |                          |
19. Present Official Plan/Secondary Plan provisions applying to the land:  
"Industrial Land"
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:  
M3 - Prestige Business Park - Exceptions 377, 678
21. Has the owner previously applied for relief in respect of the subject property?  
Yes ☐ No ☒  
If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?  
Yes No ☒
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.