

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: HM/A-21:437

APPLICANTS: Agent Batory Planning & Development c/o C. Langley
Owners J. & J. Franczuz

SUBJECT PROPERTY: Municipal address **237 Broadway Ave., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended 95-02, 95-33 & 80-274

ZONING: "C/S-1335 and S-1335a & S-720" (Urban Protected Residential) district

PROPOSAL: To permit the construction of a 2nd full storey addition above the existing single-family dwelling and a proposed 2 storey addition to the rear and exterior side yard of the existing Single-family dwelling and to convert the proposed 2 storey addition into a secondary dwelling unit notwithstanding that;

1. A maximum height of 10.2 m shall be provided instead of the maximum permitted of 9.0 m as required per amending By-Law 95-02; and

2. A maximum Gross Floor Area of 379.0 m² shall be provided on site instead of the maximum permitted gross floor area of 233.05 m² permitted per amending By-Law 95-02; and

3. A minimum parking space size of 2.6 m in width x 5.5 m in length shall be provided instead of the minimum parking space size required of 2.7 m x 6.0 m; and

Notes: An eave or gutter may project into a required side yard not more than one-half of its width, or 1.0 metres, whichever is lesser. No details have been provided; therefore, further variances may be required.

An Encroachment Agreement with the Public Works Department may be required for existing frame shed and board fence shown to encroach on the Road Allowance (Willowcrest Avenue). For further information, please contact encroachment@hamilton.ca

This application will be heard by the Committee as shown below:

DATE: Thursday, February 3rd, 2022
TIME: 2:20 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: January 18th, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

DETACHED RENOVATION WITH NEW SECONDARY SUITE ADDITION

237 BROADWAY AVENUE HAMILTON, ONT. L8S 2H9



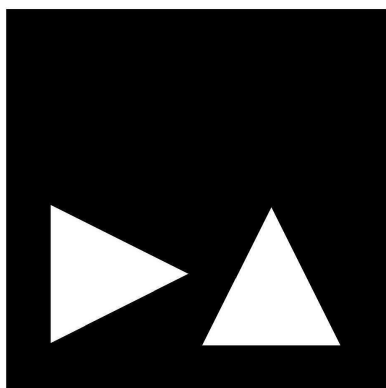
PROPOSED FRONT



PROPOSED LEFT SIDE



EXISTING FRONT



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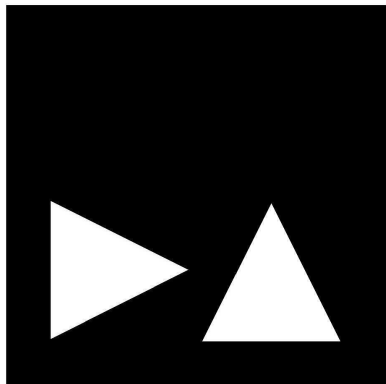
OWNER(S): JUSTIN & JOHN FRANCUZ
DECEMBER 2021



EXISTING REAR

DETACHED RENOVATION WITH NEW SECONDARY SUITE ADDITION

237 BROADWAY AVENUE HAMILTON, ONT. L8S 2H9





da | design inc

OWNER(S): JUSTIN & JOHN FRANCUZ
DECEMBER 2021

[illegible]

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3. THE CONTRACTOR MUST VERIFY THAT ALL CONSTRUCTION IS IN COMPLIANCE WITH THE NATIONAL BUILDING CODE, THE ONTARIO BUILDING CODE, LOCAL ZONING REQUIREMENTS, AND ANY OTHER GOVERNING AUTHORITIES.
4. DRAWINGS NOT TO BE SCALED.
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7. DOOR SIZES SHOWN ON DRAWINGS DENOTE OOR LEAF DIMENSIONS (FRAMES EXCLUDED) WHILE WINDOW SIZES DENOTE EXTERIOR FRAME DIMENSIONS UNLESS OTHERWISE NOTED.

<p>CONSULTANT'S STAMP:</p> 	<p>ENGINEER'S STAMP:</p> 
<p>HVAC CONSULTANT:</p>	<p>STRUCTURAL CONSULTANT: PIVOT ENGINEERING INC. FARAZ FARZAM</p> <p>201 MILLWAY AVE. - UNIT 10 CONCORD, ON L4K 5G9 TEL: 416-858-3648 EMAIL: FARAZ@PIVOTENGINEERING.CA</p>


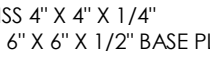
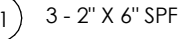
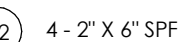

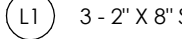
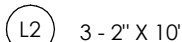



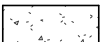
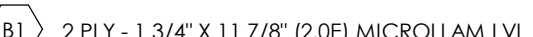
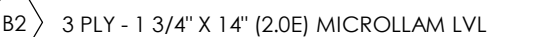

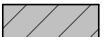













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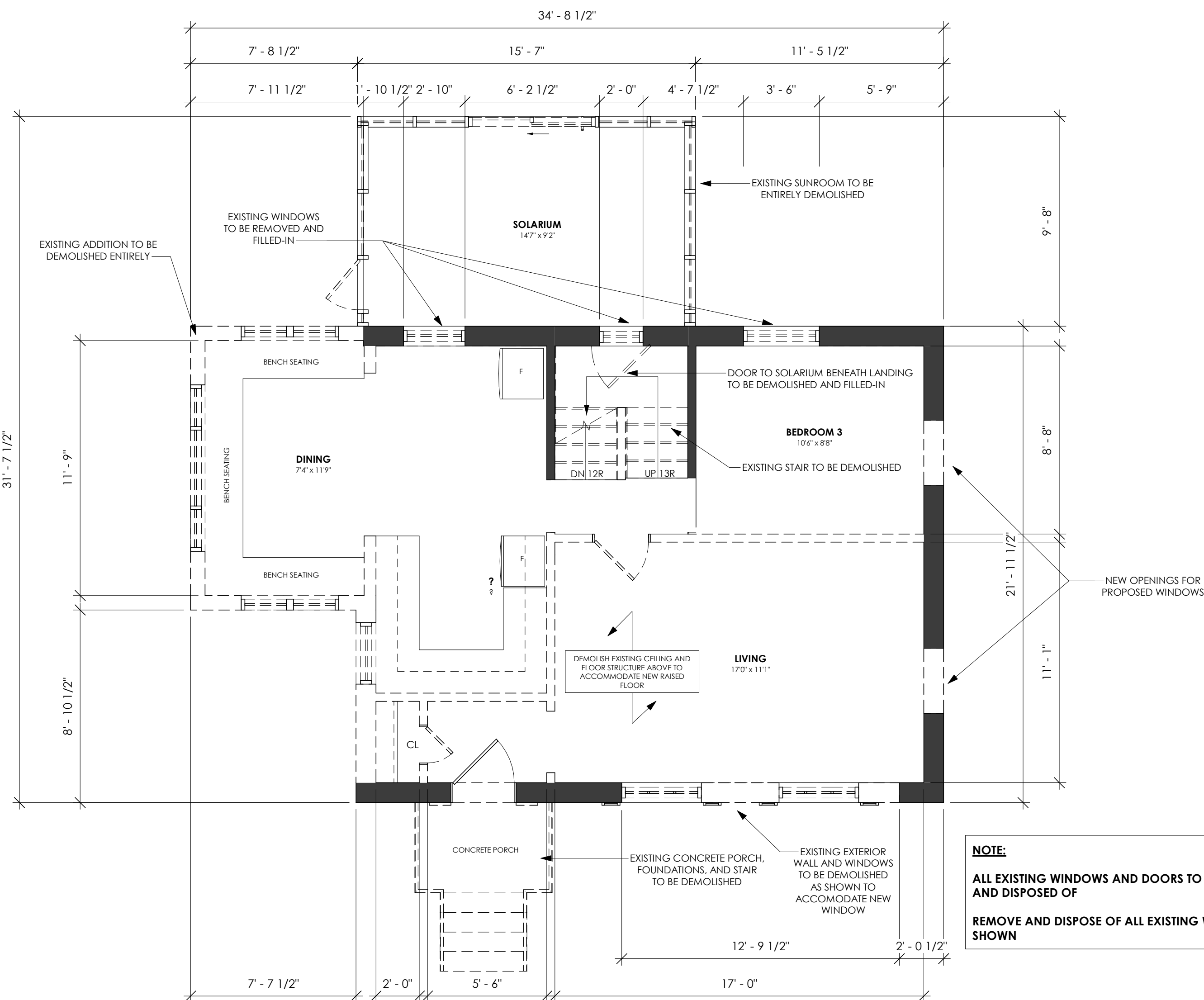
**REAR ADDITION FOR DUPLEX
CONVERSION**

237 BROADWAY
AVENUE
HAMILTON, ONT.
L8S 2H9

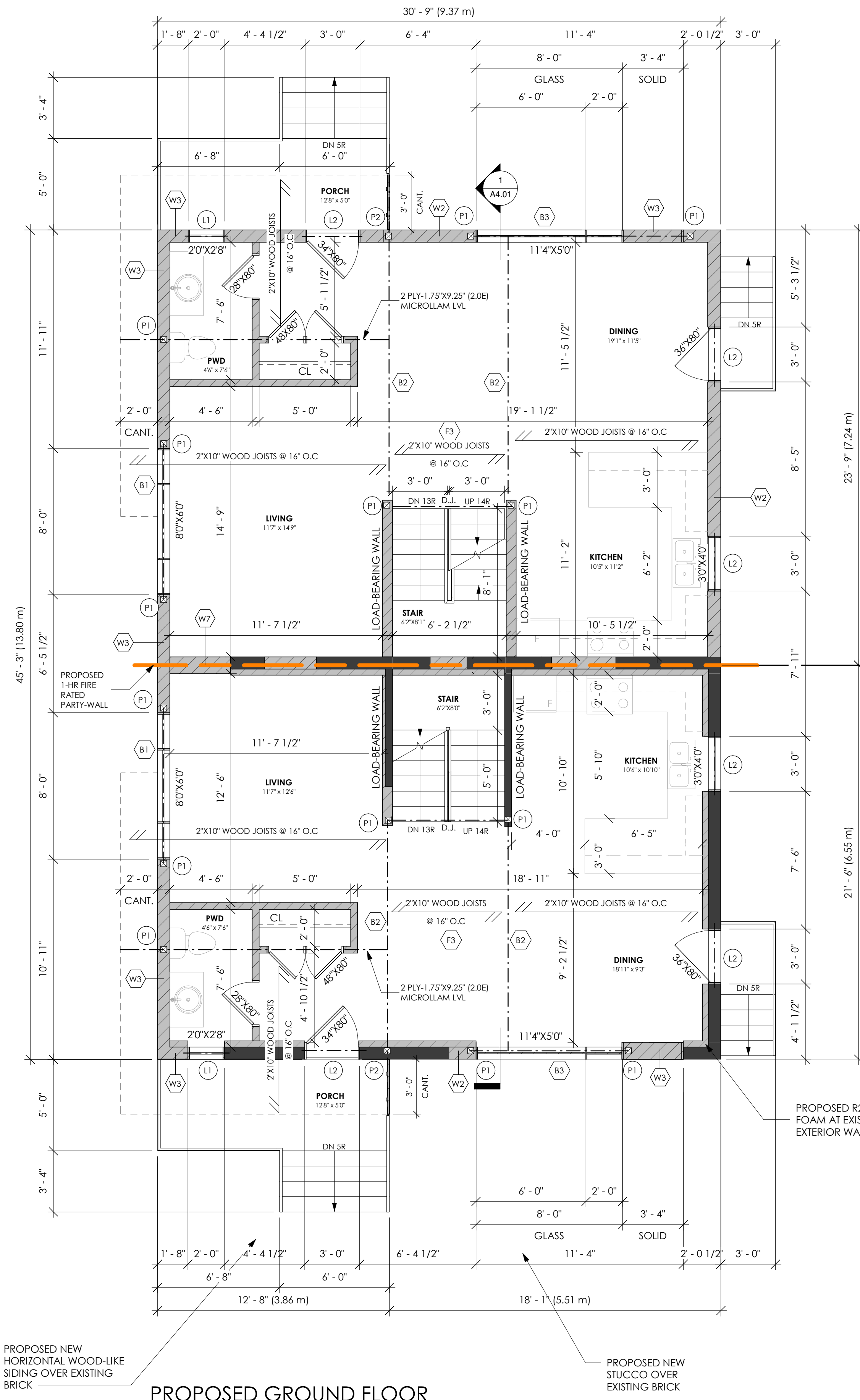
BASEMENT FLOOR

A1.01

LEGEND	NOTES	DESIGN LOADS	STEEL COLUMN	WOOD COLUMN	LINTEL SCHEDULE	
 EXISTING WALLS TO REMAIN (GC TO PROVIDE SHORING & TEMPORARY SUPPORT AS REQUIRED)	1. ALL INTERIOR PARTITION WALL TO BE TYPE "W4" UNLESS OTHERWISE NOTED.	FLOOR ROOF DL: 15 PSF DL: 21 PSF LL: 40 PSF SL: 21 PSF AS PER PART 9 OBC 2012	 HSS 4" X 4" X 1/4" + 6" X 6" X 1/2" BASE PLATE + 2 - 1/2" Ø A/B X 12" LONG + 1/2" THK. CAP PLATE + HILTI HIT HY-200 ADHESIVE	 P1 3 - 2" X 6" SPF  P2 4 - 2" X 6" SPF  P3 RESERVED	 L1 3 - 2" X 8" SPF  L2 3 - 2" X 10" SPF  L3 3 - 2" X 12" SPF  L4 (2) - 14" X 3 1/2" X 1/4" BACK-TO-BACK  L5 RESERVED	
 NEW FOUNDATION WALLS	2. WALL TYPE "W7" TYPICAL ON THE INTERIOR SIDE OF ALL EXTERIOR FOUNDATION WALLS.					BEAM SCHEDULE  B1 2 PLY - 1 3/4" X 11 7/8" (2.0E) MICROLAM LVL  B2 3 PLY - 1 3/4" X 14" (2.0E) MICROLAM LVL  B3 3 PLY - 1 3/4" X 11 7/8" (2.0E) MICROLAM LVL
 NEW CONSTRUCTION (WALLS OR ROOF)	3. ALL INTERIOR CLOSET DOORS TO BE CENTERED UNLESS OTHERWISE NOTED.					
 NEW SMOKE, STROBE & CARBON DETECTOR	4. ALL INTERIOR DOORS TO BE 6" FROM ADJACENT WALL UNLESS OTHERWISE NOTED.					
 WOOD COLUMN	CONCRETE PAD  48"X48"X16" R/W 4-15M B.E.W.  30"X30"X16" R/W 3-15M B.E.W.					
 STEEL COLUMN						
 POST ABOVE						
ROOFS	FOUNDATION WALL & STRIP FOOTING	EXTERIOR WALLS				
 SLOPED ROOF CONSTRUCTION (IN COMPLIANCE WITH O.B.C. SECTION 9.26.) - ASPHALT SHINGLES NO. 210 (10.25 KG/M²) - ICE AND WATER PROTECTION MEMBRANE @ 24" OF ROOF ENDS. REFER TO ROOF PLAN. - PLYWOOD SHEATHING 3/8" (9.5MM) WITH "H" CLIPS. - APPROVED WOOD TRUSSES - PREFIN. ALUM. EAVESTROUGH, FASCIA, R.W.L. & VENTED SOFFIT - R31 BATT INSULATION FOR ROOFS W/O ATTIC SPACE - W/ APPROVED CONT. 6 MIL. POLY. VAPOUR BARRIER - 1/2" (12.7mm) GYPSUM WALL BOARD INT. FINISH - ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH 50% AT EAVES	 8" CONCRETE FOUNDATION WALL (IN COMPLIANCE WITH O.B.C. SECTION 9.15.4.) - 8" THICK CONCRETE (25 MPa) AT MAX OF 6'-11" BACKFILL HEIGHT LATERALLY SUPPORTED AT TOP - REINFORCED W/ 15M @ 12" O/C VERTICAL & HORIZONTAL INSIDE FACE - ON 20" X 12" FOOTING REINFORCED W/ 3-15M - 2 LAYERS OF BITUMEN-SATURATED MEMBRANE WITH EACH LAYER CEMENTED IN PLACE WITH BITUMEN & COATED OVER ALL WITH HEAVY COATING OF BITUMEN. - DRAINAGE LAYER - 4" (100MM) DIA. WEeping TILE, 6" (150MM) CRUSHED STONE OVER AND AROUND WEeping TILE.	 STUCCO WALL CONST. (2" X 6") (IN COMPLIANCE WITH O.B.C. SECTION 9.27.) - STUCCO CLADDING CONFORMING TO O.B.C. & PER MANUFACTURERS SPECIFICATION. - MIN. COAT OF STUCCO TO CONFORM TO SENTENCE 9.28.6.(2). - CONTIN. AIR BARRIER (O.B.C. SUBSECTIONS 9.25.3) - 1/2" (12.7MM) EXT. TYPE SHEATHING - 2" X 6" (38 X 140MM) SPRUCE STUDS @ 16" (400MM) O.C. (ASPHENITE @ BUILDING CORNERS FOR SHEAR) - W/ R22 MIN. BATT INSULATION. - W/ APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER (O.B.C. SUBSECTIONS 9.25.3 / 9.25.4) - 1/2" (12.7mm) GYPSUM WALL BOARD INT. FINISH - ATTACHMENT SHALL CONFORM TO O.B.C. SENTENCE 9.23.16.3(1)				
		 SIDING WALL CONSTRUCTION (2" X 6") (IN COMPLIANCE WITH O.B.C. SECTION 9.27.) - SIDING AS PER ELEVATION - ON 1/2" VERTICAL SPRACING (1/2" AIR SPACE) - CONTIN. AIR BARRIER (O.B.C. SUBSECTIONS 9.25.3) - 1/2" (12.7MM) EXT. TYPE SHEATHING - 2" X 6" (38 X 140MM) SPRUCE STUDS @ 16" (400MM) O.C. (ASPHENITE @ BUILDING CORNERS FOR SHEAR) - W/ R22 MIN. BATT INSULATION. - WITH APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER (O.B.C. SUBSECTIONS 9.25.3 / 9.25.4). - 1/2" (12.7MM) GYPSUM WALL BOARD INT. FINISH. - ATTACHMENT SHALL CONFORM TO O.B.C. SENTENCE 9.23.16.3(1)				
FLOORS						
 BASEMENT (SLAB ON GRADE) (IN COMPLIANCE WITH O.B.C. SUBSECTION 9.16.4.) - 4" (75MM) CONCRETE SLAB - 6 MIL. POLYETHYLENE VAOUR BARRIER - 2" (50MM) RIGID INSULATION TO MIN R10 (RSI 1.76) - 4" (100MM) OF COURSE GRANULAR MATERIAL (COMPACTED) - PROVIDED BOND BREAKING MATERIAL BETWEEN SLAB AND FOOTING. - WHERE SLAB IS REQUIRED TO BE WATERPROOFED, IT SHALL CONFORM TO O.B.C. ARTICLE 9.13.3.6. - SOIL GAS CONTROL. THE SLAB CONSTRUCTION SHALL CONFORM TO O.B.C. ARTICLE 9.13.4.2.	 CONCRETE PORCH SLAB - 6" THICK 32 MPA CLASS C2 CONCRETE SLAB - R/W 10M @ 12" O/C BOTTOM EACH WAY	 WOOD FLOOR ASSEMBLY (IN COMPLIANCE WITH O.B.C. SECTION 9.23.14.) - MIN. 3/4" (19MM) T & G OSB (0-1 GRADE) AND/OR WATERBOARD (R1 GRADE) GLUED & SCREWED - REFER TO FLOOR PLANS FOR FLOOR JOIST SIZES. - FOR CERAMIC TILE FLOOR, JOISTS TO BE INSTALLED @ 12" (300MM) O.C. WITH PANEL - TYPE UNDERLAY SHALL CONFORM TO (O.B.C. ARTICLES 9.30.2.1, 9.30.2.3 & 9.30.2.4) - CERAMIC TILES APPLIED TO MORTAR BED REFER TO O.B.C. SUBSECTION 9.30.6. - 5/8" (15.9MM) TYPE "X" GYPSUM BOARD				



EXISTING GROUND FLOOR
1/4" = 1'-0" 70 SM



PROPOSED GROUND FLOOR
1/4" = 1'-0" 117 SM (55.5 SM SIDE A, 62 SM SIDE B)

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NOV/21	01	COA SUBMISSION
DATE	NO.	DESCRIPTION
DATE	ISSUED	
CONSULTANT: da design inc. 1470 Hurontario Street Lower Suite Mississauga, Ontario L5G 3H4 647 242 0164 dan@dadesigninc.ca		
CONSULTANT'S STAMP: 		
ENGINEER'S STAMP: 		
HVAC CONSULTANT: STRUCTURAL CONSULTANT: PIVOT ENGINEERING INC. FARAZ FARAZ 201 MILLWAY AVE. - UNIT 10 CONCORD, ON L4K 5K8 TEL.: 416-858-3648 EMAIL: FARAZ@PIVOTENGINEERING.CA		

OWNER CONTACT INFORMATION:
JUSTIN FRANCAZ & JOHN FRANCAZ
E: jdfrancuz@gmail.com & john.francuz@gmail.com

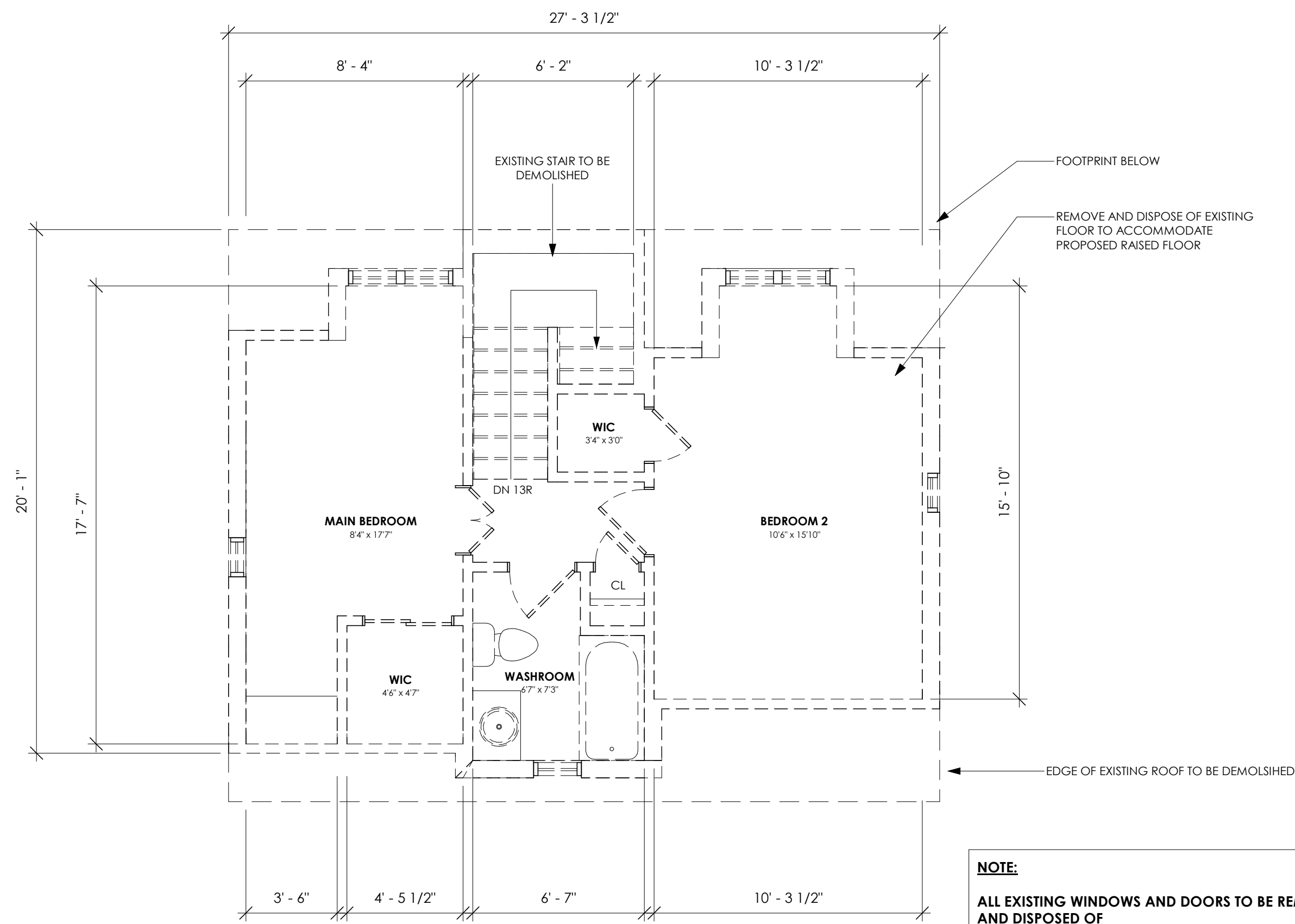
PROJECT:
REAR ADDITION FOR DUPLEX CONVERSION
237 BROADWAY
AVENUE
HAMILTON, ONT.
L8S 2H9

PROJECT NO. 2021-04-21
DRAWN BY CB/GC
TITLE
SCALE As indicated
REVIEWED BY DA
DRAWING NO.

GROUND FLOOR

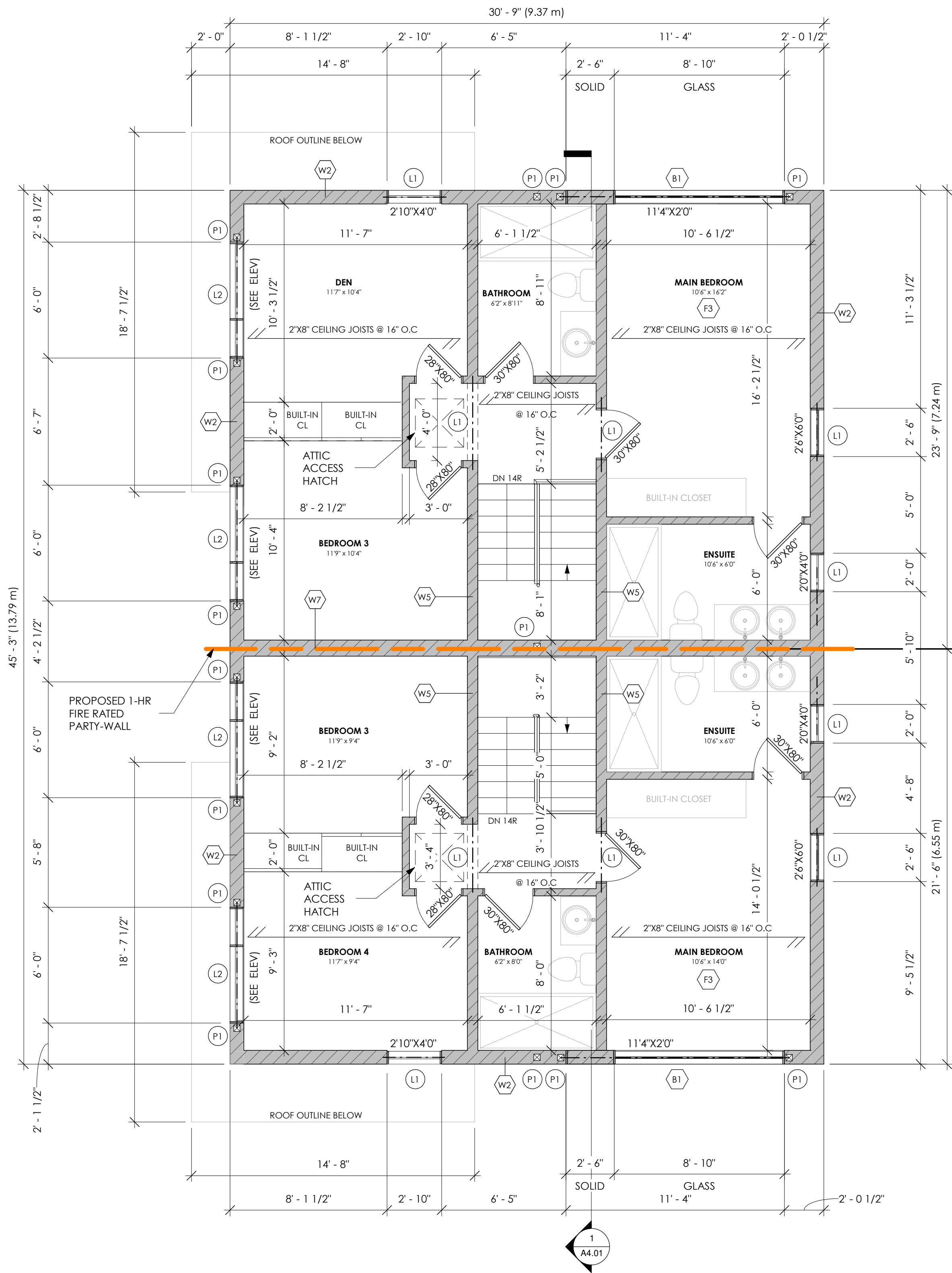
A1.02

LEGEND	NOTES	DESIGN LOADS	STEEL COLUMN	WOOD COLUMN	LINTEL SCHEDULE
<p>EXISTING WALLS TO REMAIN (GC TO PROVIDE SHORING & TEMPORARY SUPPORT AS REQUIRED)</p> <p>NEW FOUNDATION WALLS</p> <p>NEW CONSTRUCTION (WALLS OR ROOF)</p> <p>NEW SMOKE, STROBE & CARBON DETECTOR</p> <p>WOOD COLUMN</p> <p>STEEL COLUMN</p> <p>POST ABOVE</p>	<p>1. ALL INTERIOR PARTITION WALL TO BE TYPE "W4" UNLESS OTHERWISE NOTED.</p> <p>2. WALL TYPE "W7" TYPICAL ON THE INTERIOR SIDE OF ALL EXTERIOR FOUNDATION WALLS.</p> <p>3. ALL INTERIOR CLOSET DOORS TO BE CENTERED UNLESS OTHERWISE NOTED.</p> <p>4. ALL INTERIOR DOORS TO BE 6" FROM ADJACENT WALL UNLESS OTHERWISE NOTED.</p>	<p>FLOOR ROOF</p> <p>DL: 15 PSF DL: 21 PSF LL: 40 PSF SL: 21 PSF</p>	<p>HSS 4" X 4" X 1/4" + 6" X 6" X 1/2" BASE PLATE + 2 - 1/2" Ø A/B X 12" LONG + 1/2" THK. CAP PLATE + HILTI HIT HY-200 ADHESIVE</p>	<p>(P1) 3 - 2" X 6" SPF</p> <p>(P2) 4 - 2" X 6" SPF</p> <p>(P3) RESERVED</p>	<p>(L1) 3 - 2" X 8" SPF</p> <p>(L2) 3 - 2" X 10" SPF</p> <p>(L3) 3 - 2" X 12" SPF</p> <p>(L4) (2) - 1/4" X 3 1/2" X 1/4" BACK-TO-BACK</p> <p>(L5) RESERVED</p>
	CONCRETE PAD	BEAM SCHEDULE		INTERIOR WALLS	
	<p>(F1) 48"X48"X16" R/W 4-15M B.E.W.</p> <p>(F2) 30"X30"X16" R/W 3-15M B.E.W.</p>	<p>(B1) 2 PLY - 1 3/4" X 11 7/8" (2.0E) MICROLAM LVL</p> <p>(B2) 3 PLY - 1 3/4" X 14" (2.0E) MICROLAM LVL</p> <p>(B3) 3 PLY - 1 3/4" X 11 7/8" (2.0E) MICROLAM LVL</p>		<p>(W4) INTERIOR STUD PARTITION (2"X4") (IN COMPLIANCE WITH O.B.C. SECTION 9.23.10.)</p> <p>- 2" X 4" (38 X 89MM) WOOD STUDS @ 16" (400MM) O.C. - DOUBLE 2" X 4" (38 X 89MM) TOP PLATES AND SINGLE BOTTOM PLATE. - 1/2" (12.7MM) GYPSUM BOARD ON BOTH SIDES</p> <p>**NOTE: ALL INTERIOR WALLS TO BE TYPE "W6" UNLESS OTHERWISE NOTED</p> <p>(W5) LOAD-BEARING PARTITION (2"X6") (IN COMPLIANCE WITH O.B.C. SECTION 9.23.10.)</p> <p>- 2" X 6" (38 X 140MM) WOOD STUDS @ 16" (400MM) O.C. - DOUBLE 2" X 4" (38 X 89MM) TOP PLATES AND SINGLE BOTTOM PLATE. - 1/2" (12.7MM) GYPSUM BOARD ON BOTH SIDES</p> <p>(W6) INSULATED INTERIOR STUD PARTITION (2"X4") - 2" X 4" (38 X 89MM) WOOD STUDS @ 16" (400MM) O.C. - DOUBLE 2" X 4" (38 X 89MM) TOP PLATES AND SINGLE BOTTOM PLATE. - MIN R22 (RSI 3.52) SPRAY-FOAM INSULATION - WITH APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER ON THE WARM SIDE (O.B.C. SUBSECTIONS 9.25.3 / 9.25.4) - 1/2" (12.7MM) GYPSUM BOARD ON INTERIOR SIDE</p> <p>**NOTE: TYPICAL IN EXISTING EXTERIOR WALLS (BASEMENT & GROUND)</p> <p>(W7) 1-HR FIRE RATED PARTY WALL CONST. (IN COMPLIANCE WITH O.B.C. SECTION 9.27.)</p> <p>- 5/8" TYPE 'X' GYPSUM BOARD - 2X4 WOOD STUDS @24" O.C. - R12 BATT INSULATION - 1" AIR SPACE W/ DOUBLE LAYER OF 1/2" GYP TO RESTRAIN INSULATION FROM FALLING OUT (REFER TO DETAIL)</p>	
ROOFS	FOUNDATION WALL & STRIP FOOTING	EXTERIOR WALLS			
<p>(P1) SLOPED ROOF CONSTRUCTION (IN COMPLIANCE WITH O.B.C. SECTION 9.26.)</p> <p>- ASPHALT SHINGLES NO. 210 (10.25 KG/M²) - ICE AND WATER PROTECTION MEMBRANE @ 24" OF ROOF ENDS. REFER TO ROOF PLAN. - PLYWOOD SHEATHING 3/8" (9.5MM) WITH "H" CLIPS. - APPROVED WOOD TRUSSES - PREFIN. ALUM. EAVESTROUGH, FASCIA, R.W.L. & VENTED SOFFIT - R31 BATT INSULATION FOR ROOFS W/O ATTIC SPACE - W/ APPROVED CONT. 6 MIL. POLY. VAPOUR BARRIER - 1/2" (12.7mm) GYPSUM WALL BOARD INT. FINISH - ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH 50% AT EAVES</p>	<p>(W1) 8" CONCRETE FOUNDATION WALL (IN COMPLIANCE WITH O.B.C. SECTION 9.15.4.)</p> <p>- 8" THICK CONCRETE (25 MPa) AT MAX OF 6'-11" BACKFILL HEIGHT Laterally supported at TOP - REINFORCED W/ 15M @ 12" O/C VERTICAL & HORIZONTAL INSIDE FACE - ON 20" X 12" FOOTING REINFORCED W/ 3-15M - 2 LAYERS OF BITUMEN-SATURATED MEMBRANE WITH EACH LAYER CEMENTED IN PLACE WITH BITUMEN & COATED OVER ALL WITH HEAVY COATING OF BITUMEN. - DRAINAGE LAYER - 1/2" (100MM) DIA. WEEPING TILE, 4" (150MM) CRUSHED STONE OVER AND AROUND WEEPING TILE.</p>	<p>(W2) STUCCO WALL CONST. (2" X 6") (IN COMPLIANCE WITH O.B.C. SECTION 9.27.)</p> <p>- STUCCO CLADDING CONFORMING TO O.B.C. & PER MANUFACTURERS SPECIFICATION. - MIN. COAT OF STUCCO TO CONFORM TO SENTENCE 9.28.6(2). - CONTIN. AIR BARRIER (O.B.C. SUBSECTIONS 9.25.3) - 1/2" (12.7MM) EXT. TYPE SHEATHING - 2" X 4" (38 X 140MM) SPRUCE STUDS @ 16" (400MM) O.C. (ASPERITE @ BUILDING CORNERS FOR SHEAR) - W/ R22 MIN. BATT INSULATION. - W/ APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER (O.B.C. SUBSECTIONS 9.25.3 / 9.25.4) - 1/2" (12.7mm) GYPSUM WALL BOARD INT. FINISH - ATTACHMENT SHALL CONFORM TO O.B.C. SENTENCE 9.23.16.3(1)</p> <p>(W3) SIDING WALL CONSTRUCTION (2" X 6") (IN COMPLIANCE WITH O.B.C. SECTION 9.27.)</p> <p>- SIDING AS PER ELEVATION - ON 1/2" VERTICAL STRAPPING (1/2" AIR SPACE) - CONTIN. AIR BARRIER (O.B.C. SUBSECTIONS 9.25.3) - 1/2" (12.7MM) EXT. TYPE SHEATHING - 2" X 4" (38 X 140MM) SPRUCE STUDS @ 16" (400MM) O.C. (ASPERITE @ BUILDING CORNERS FOR SHEAR) - WITH R22 MIN. BATT INSULATION. - WITH APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER (O.B.C. SUBSECTIONS 9.25.3 / 9.25.4) - 1/2" (12.7MM) GYPSUM WALL BOARD INT. FINISH - ATTACHMENT SHALL CONFORM TO O.B.C. SENTENCE 9.23.16.3(1)</p>			
FLOORS					
<p>(F1) BASEMENT (SLAB ON GRADE) (IN COMPLIANCE WITH O.B.C. SUBSECTION 9.16.4.)</p> <p>- 4" (75MM) CONCRETE SLAB - 6 MIL. POLYETHYLENE VAPOUR BARRIER - 2" (50MM) RIGID INSULATION TO MIN R10 (RSI 1.76) - 4" (100MM) OF COURSE GRANULAR MATERIAL (COMPACTED) - PROVIDED BOND BREAKING MATERIAL BETWEEN SLAB AND FOOTING. - WHERE SLAB IS REQUIRED TO BE WATERPROOFED, IT SHALL CONFORM TO O.B.C. ARTICLE 9.13.3.6. - SOIL GAS CONTROL, THE SLAB CONSTRUCTION SHALL CONFORM TO O.B.C. ARTICLE 9.13.4.2.</p>	<p>(F2) CONCRETE PORCH SLAB - 6" THICK 32 MPa CLASS C2 CONCRETE SLAB - R/W 10M @ 12" O/C BOTTOM EACH WAY</p> <p>(F3) WOOD FLOOR ASSEMBLY (IN COMPLIANCE WITH O.B.C. SUBSECTION 9.23.14.)</p> <p>- MIN. 3/4" (19MM) T & G OSB (0-1 GRADE) AND/OR WATERBOARD (R1 GRADE) GLUED & SCREWED - REFER TO FLOOR PLANS FOR FLOOR JOIST SIZES. - FOR CERAMIC TILE FLOOR, JOISTS TO BE INSTALLED @ 12" (300MM) O.C. WITH PANEL - TYPE UNDERLAY SHALL CONFORM TO O.B.C. ARTICLES 9.30.2.1., 9.30.2.3. & 9.30.2.4.) - CERAMIC TILES APPLIED TO MORTAR BED REFER TO O.B.C. SUBSECTION 9.30.6. - 5/8" (15.9MM) TYPE 'X' GYPSUM BOARD</p>				



EXISTING SECOND FLOOR

1/4" = 1'-0" 36 SM



PROPOSED SECOND FLOOR

1/4" = 1'-0" 107 SM (51 SM SIDE A, 56 SM SIDE B)

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- DOOR SIZES SHOWN ON DRAWINGS DENOTE DOOR LEAF DIMENSIONS (NOT INCLUDING DOOR FRAME). WINDOW SIZES DENOTE EXTERIOR FRAME DIMENSIONS UNLESS OTHERWISE NOTED.

DATE	NO.	DESCRIPTION
NOV/21	01	COA SUBMISSION
DATE	ISSUED	

CONSULTANT: da design inc. 1470 Hurontario Street Lower Suite Mississauga, Ontario L5G 3H4 647 242 0164 dan@dadesigninc.ca	ENGINEER'S STAMP:
CONSULTANT'S STAMP: 	STRUCTURAL CONSULTANT: PIVOT ENGINEERING INC. FARAZ FARZAM 201 MILLWAY AVE. - UNIT 10 CONCORD, ON L4K 5K8 TEL.: 416-858-3648 EMAIL: FARAZ@PIVOTENGINEERING.CA








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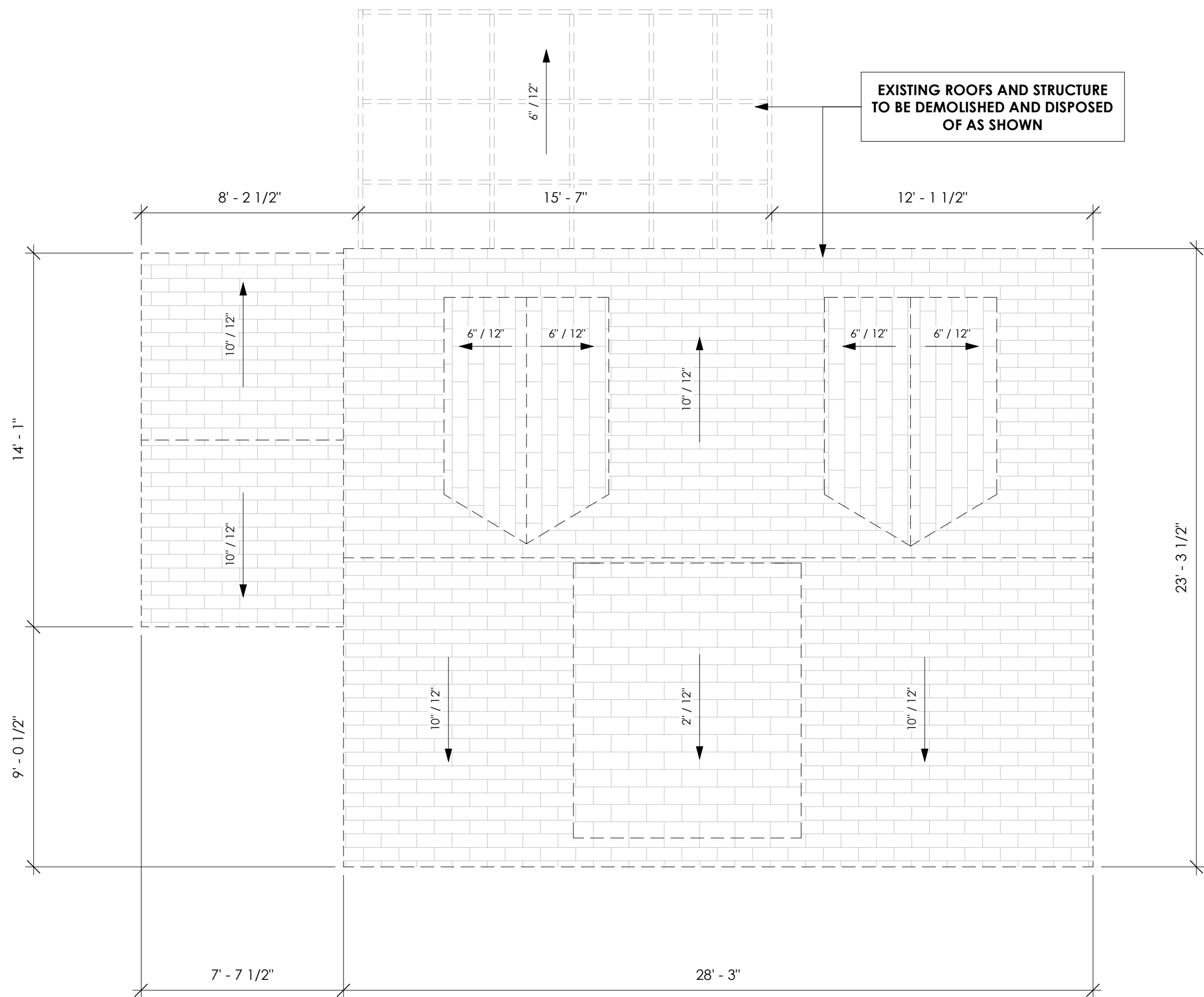
PROJECT:
REAR ADDITION FOR DUPLEX CONVERSION
237 BROADWAY
AVENUE
HAMILTON, ONT.
L8S 2H9

PROJECT NO.	SCALE
2021-04-21	As indicated
DRAWN BY	REVIEWED BY
CB/GC	DA

TITLE: **SECOND FLOOR**

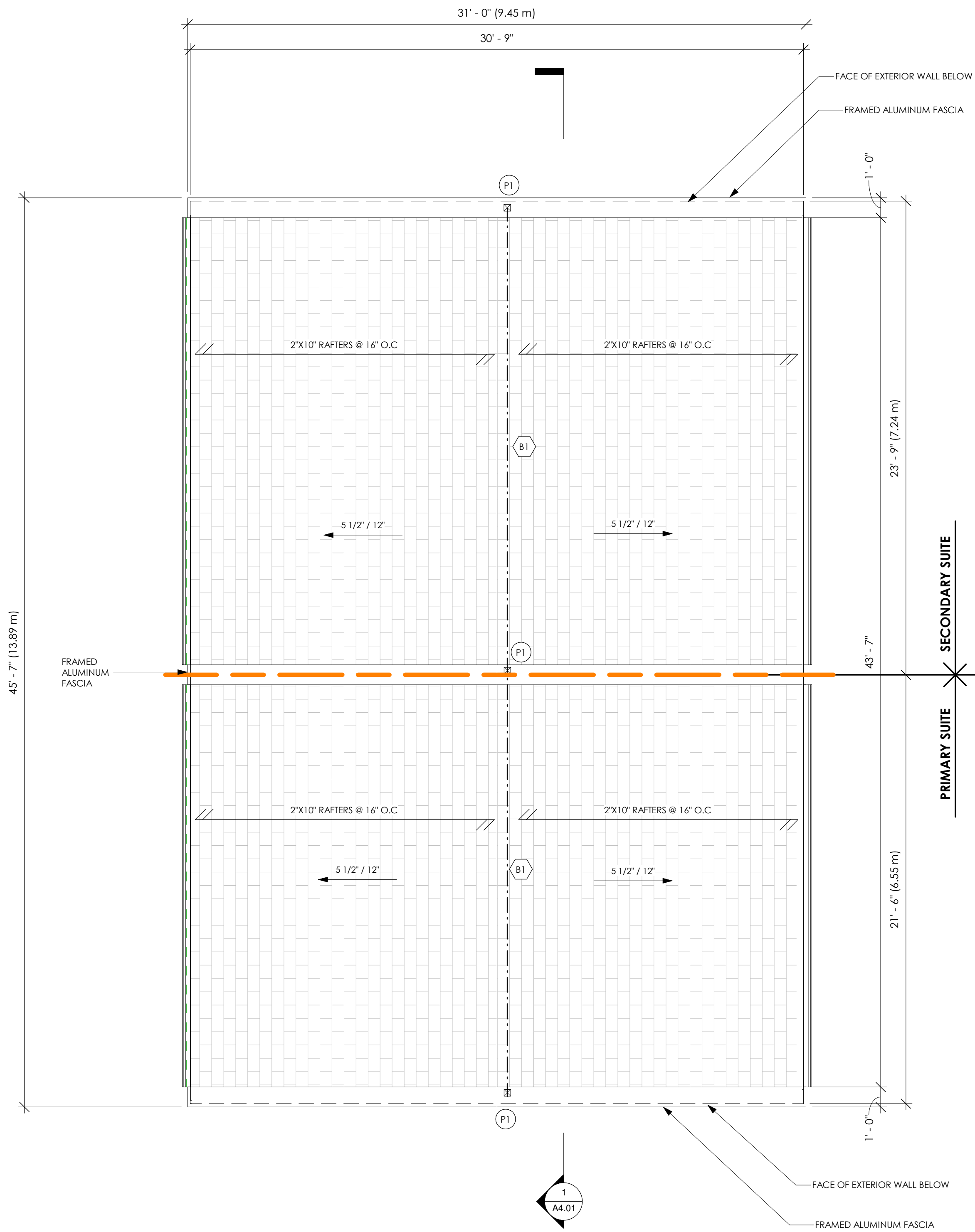
A1.03

LEGEND	NOTES	DESIGN LOADS	STEEL COLUMN	WOOD COLUMN	LINTEL SCHEDULE
<div><div> EXISTING WALLS TO REMAIN (GC TO PROVIDE SHORING & TEMPORARY SUPPORT AS REQUIRED)</div><div> NEW FOUNDATION WALLS</div><div> NEW CONSTRUCTION (WALLS OR ROOF)</div><div> NEW SMOKE, STROBE & CARBON DETECTOR</div><div> WOOD COLUMN</div><div> STEEL COLUMN</div><div> POST ABOVE</div></div>	<div>1. ALL INTERIOR PARTITION WALL TO BE TYPE "W4" UNLESS OTHERWISE NOTED.</div> <div>2. WALL TYPE "W7" TYPICAL ON THE INTERIOR SIDE OF ALL EXTERIOR FOUNDATION WALLS.</div> <div>3. ALL INTERIOR CLOSET DOORS TO BE CENTERED UNLESS OTHERWISE NOTED.</div> <div>4. ALL INTERIOR DOORS TO BE 6" FROM ADJACENT WALL UNLESS OTHERWISE NOTED.</div>	<div><div>FLOOR</div><div>ROOF</div></div> <div>DL: 15 PSF DL: 21 PSF</div> <div>LL: 40 PSF SL: 21 PSF</div> <div>AS PER PART 9</div> <div>OBC 2012</div>	<div>HSS 4" X 4" X 1/4"</div> <div>+ 6" X 6" X 1/2" BASE PLATE</div> <div>+ 2 - 1/2" Ø A/B X 12" LONG</div> <div>+ 1/2" THK. CAP PLATE</div> <div>+ HILTI HIT-HY-200 ADHESIVE</div>	<div><div>P1</div>3 - 2" X 6" SPF</div> <div><div>P2</div>4 - 2" X 6" SPF</div> <div><div>P3</div>RESERVED</div>	<div><div>L1</div>3 - 2" X 8" SPF</div> <div><div>L2</div>3 - 2" X 10" SPF</div> <div><div>L3</div>3 - 2" X 12" SPF</div> <div><div>L4</div>(2) - 14" X 3 1/2" X 1/4" BACK-TO-BACK</div> <div><div>L5</div>RESERVED</div>
	<div>CONCRETE PAD</div> <div><div>F1</div>48"X48"X16" R/W 4-15M B.E.W.</div> <div><div>F2</div>30"X30"X16" R/W 3-15M B.E.W.</div>	<div>BEAM SCHEDULE</div> <div><div>B1</div>2 PLY - 1 3/4" X 11 7/8" (2.0E) MICROLAM LVL</div> <div><div>B2</div>3 PLY - 1 3/4" X 14" (2.0E) MICROLAM LVL</div> <div><div>B3</div>3 PLY - 1 3/4" X 11 7/8" (2.0E) MICROLAM LVL</div>		<div>INTERIOR WALLS</div> <div><div>W4</div>INTERIOR STUD PARTITION (2"X4") (IN COMPLIANCE WITH O.B.C. SECTION 9.23.10.)</div> <div><div>W5</div>LOAD-BEARING PARTITION (2"X6") (IN COMPLIANCE WITH O.B.C. SECTION 9.23.10.)</div> <div><div>W6</div>INSULATED INTERIOR STUD PARTITION (2"X4") (IN COMPLIANCE WITH O.B.C. SECTION 9.27.)</div> <div><div>W7</div>1-R FIRE RATED PARTY WALL CONST. (IN COMPLIANCE WITH O.B.C. SECTION 9.27.)</div>	
<div>ROOFS</div> <div><div>P1</div>SLOPED ROOF CONSTRUCTION (IN COMPLIANCE WITH O.B.C. SECTION 9.26.)</div> <div>- ASPHALT SHINGLES NO. 210 (10.25 KG/M²)</div> <div>- ICE AND WATER PROTECTION MEMBRANE @ 24" OF ROOF ENDS. REFER TO ROOF PLAN.</div> <div>- PLYWOOD SHEATHING 3/8" (9.5MM) WITH "H" CLIPS.</div> <div>- APPROVED WOOD TRUSSES</div> <div>- PREFIN. ALUM. EAVESTROUGH, FASCIA, R.W.L. & VENTED SOFFIT</div> <div>- R31 BATT INSULATION FOR ROOFS W/O ATTIC SPACE</div> <div>- W/ APPROVED CONT. 6 MIL. POLY. VAPOUR BARRIER</div> <div>- 1/2" (12.7mm) GYPSUM WALL BOARD INT. FINISH</div> <div>- ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH 50% AT EAVES</div>	<div>FOUNDATION WALL & STRIP FOOTING</div> <div><div>W1</div>8" CONCRETE FOUNDATION WALL (IN COMPLIANCE WITH O.B.C. SECTION 9.15.4.)</div> <div>- 8" THICK CONCRETE [25 MPA] AT MAX OF 6-11" BACKFILL HEIGHT LATERALLY SUPPORTED AT TOP</div> <div>- REINFORCED W/ 15M @ 12" O/C VERTICAL & HORIZONTAL INSIDE FACE</div> <div>- ON 20" X 12" FOOTING REINFORCED W/ 3-15M</div> <div>- 2 LAYERS OF BITUMEN SATURATED MEMBRANE WITH EACH LAYER CEMENTED IN PLACE WITH BITUMEN & COATED OVER ALL WITH HEAVY COATING OF BITUMEN.</div> <div>- DRAINAGE LAYER</div> <div>- 4" (100MM) DIA. WEEPING TILE, 6" (150MM) CRUSHED STONE OVER AND AROUND WEEPING TILE.</div>	<div>EXTERIOR WALLS</div> <div><div>W2</div>STUCCO WALL CONST. (2" X 6") (IN COMPLIANCE WITH O.B.C. SECTION 9.27.)</div> <div>- STUCCO CLADDING CONFORMING TO O.B.C. & PER MANUFACTURERS SPECIFICATION.</div> <div>- MIN. COAT OF STUCCO TO CONFORM TO SPECIFICATION 9.28.6.(2).</div> <div>- CONTIN. AIR BARRIER (O.B.C. SUBSECTIONS 9.25.3)</div> <div>- 1/2" (12.7mm) EXT. TYPE SHEATHING</div> <div>- 2" X 6" (38 X 140MM) SPRUCE STUDS @ 16" (400MM) O.C. (ASPERITE @ BUILDING CORNERS FOR SHEAR)</div> <div>- W/ R22 MIN. BATT INSULATION.</div> <div>- W/ APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER (O.B.C. SUBSECTIONS 9.25.3 / 9.25.4)</div> <div>- 1/2" (12.7mm) GYPSUM WALL BOARD INT. FINISH</div> <div>- ATTACHMENT SHALL CONFORM TO O.B.C. SENTENCE 9.23.16.3(1)</div> <div><div>W3</div>SIDING WALL CONSTRUCTION (2" X 6") (IN COMPLIANCE WITH O.B.C. SECTION 9.27.)</div> <div>- SIDING AS PER ELEVATION</div> <div>- ON 1/2" VERTICAL STRAPPING (1/2" AIR SPACE)</div> <div>- CONTIN. AIR BARRIER (O.B.C. SUBSECTIONS 9.25.3)</div> <div>- 1/2" (12.7mm) EXT. TYPE SHEATHING</div> <div>- 2" X 6" (38 X 140MM) SPRUCE STUDS @ 16" (400MM) O.C. (ASPERITE @ BUILDING CORNERS FOR SHEAR)</div> <div>- WITH R22 MIN. BATT INSULATION.</div> <div>- WITH APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER (O.B.C. SUBSECTIONS 9.25.3 / 9.25.4)</div> <div>- 1/2" (12.7mm) GYPSUM WALL BOARD INT. FINISH</div> <div>- ATTACHMENT SHALL CONFORM TO O.B.C. SENTENCE 9.23.16.3(1)</div>			
<div>FLOORS</div> <div><div>F1</div>BASEMENT (SLAB ON GRADE) (IN COMPLIANCE WITH O.B.C. SUBSECTION 9.16.4.)</div> <div>- 4" (75MM) CONCRETE SLAB</div> <div>- 6 MIL. POLYETHYLENE VAPOUR BARRIER</div> <div>- 2" (50MM) RIGID INSULATION TO MIN R10 (RSI 1.76)</div> <div>- 4" (100MM) OF COARSE GRANULAR MATERIAL (COMPACTED)</div> <div>- PROVIDED BOND BREAKING MATERIAL BETWEEN SLAB AND FOOTING.</div> <div>- WHERE SLAB IS REQUIRED TO BE WATERPROOFED, IT SHALL CONFORM TO O.B.C. ARTICLE 9.13.3.6.</div> <div>- SOIL GAS CONTROL, THE SLAB CONSTRUCTION SHALL CONFORM TO O.B.C. ARTICLE 9.13.4.2.</div>	<div><div>F2</div>CONCRETE PORCH SLAB</div> <div>- 6" THICK 32 MPA CLASS C2 CONCRETE SLAB</div> <div>- R/W 10M @ 12" O/C BOTTOM EACH WAY</div> <div><div>F3</div>WOOD FLOOR ASSEMBLY (IN COMPLIANCE WITH O.B.C. SUBSECTION 9.23.14.)</div> <div>- MIN. 3/4" (19MM) T & G OSB (0-1 GRADE) AND/OR WATERBOARD (R1 GRADE) GLUED & SCREWED</div> <div>- REFER TO FLOOR PLAN FOR FLOOR JOIST SIZES</div> <div>- FOR CERAMIC TILE FLOOR, JOISTS TO BE INSTALLED @ 12" (300MM) O.C. WITH PANEL - TYPE UNDERLAY SHALL CONFORM TO [O.B.C. ARTICLES 9.30.2.1, 9.30.2.3, & 9.30.2.4]</div> <div>- CERAMIC TILES APPLIED TO MORTAR BED REFER TO O.B.C. SUBSECTION 9.30.6.</div> <div>- 5/8" (15.9MM) TYPE "X" GYPSUM BOARD</div>				



EXISTING ROOF PLAN

1/4" = 1'-0"



PROPOSED ROOF PLAN

1/4" = 1'-0"

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NOV/21	01	COA SUBMISSION
DATE	NO.	DESCRIPTION
DATE	ISSUED	
CONSULTANT:	da design inc. 1470 Hurontario Street Lower Suite Mississauga, Ontario L5G 3H4 647 242 0164 dan@dadesigninc.ca	
CONSULTANT'S STAMP:		
ENGINEER'S STAMP:		
HVAC CONSULTANT:	STRUCTURAL CONSULTANT: PIVOT ENGINEERING INC. FARAZ FARIAZ 201 MILLWAY AVE. - UNIT 10 CONCORD, ON L4K 5K8 TEL.: 416-858-3648 EMAIL: FARAZ@PIVOTENGINEERING.CA	

OWNER CONTACT INFORMATION:
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john.francuz@gmail.com

PROJECT:
REAR ADDITION FOR DUPLEX CONVERSION
237 BROADWAY
AVENUE
HAMILTON, ONT.
L8S 2H9

PROJECT NO.
2021-04-21

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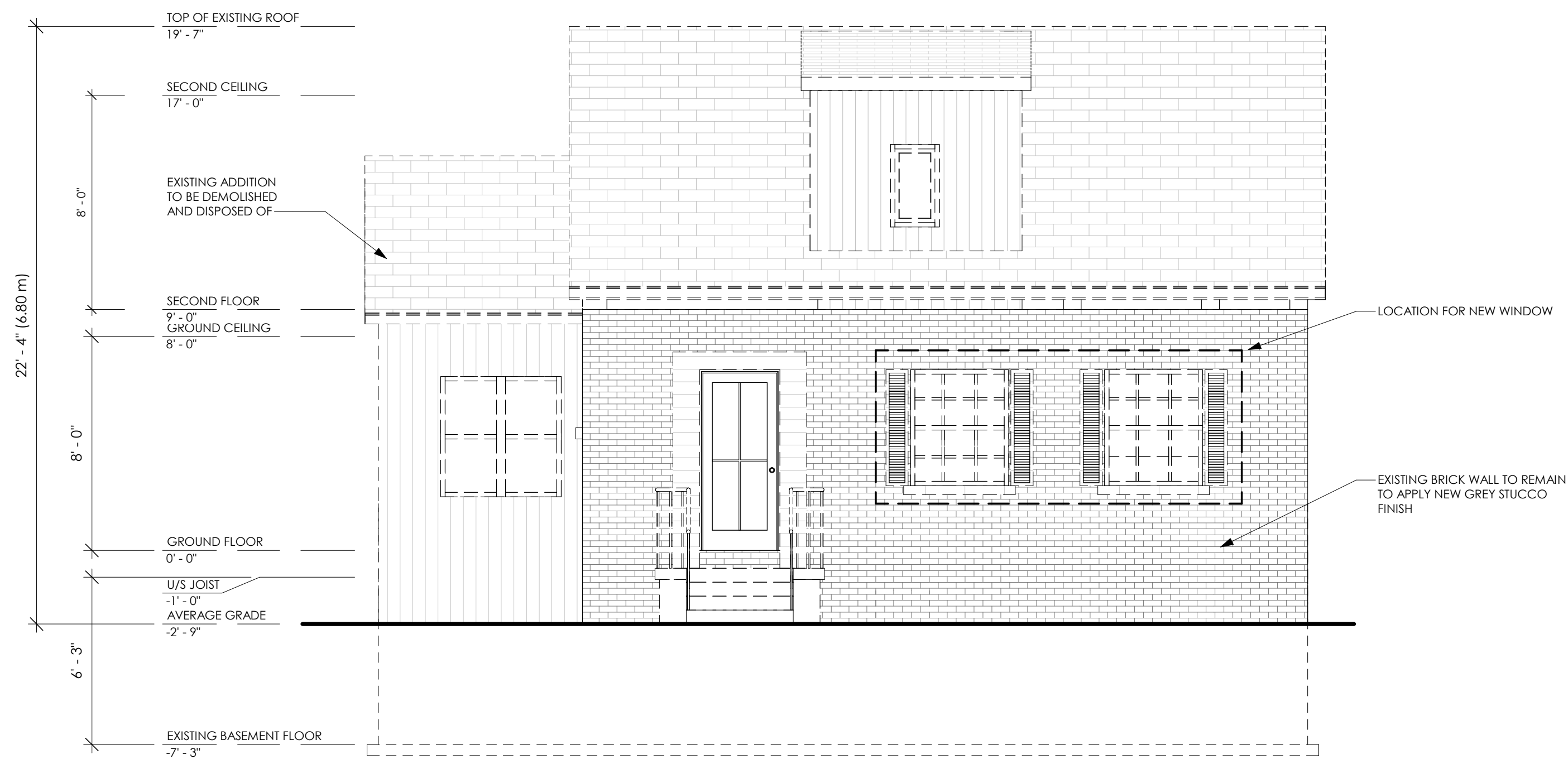
TITLE
ROOF PLAN

SCALE
As indicated

REVIEWED BY
DA

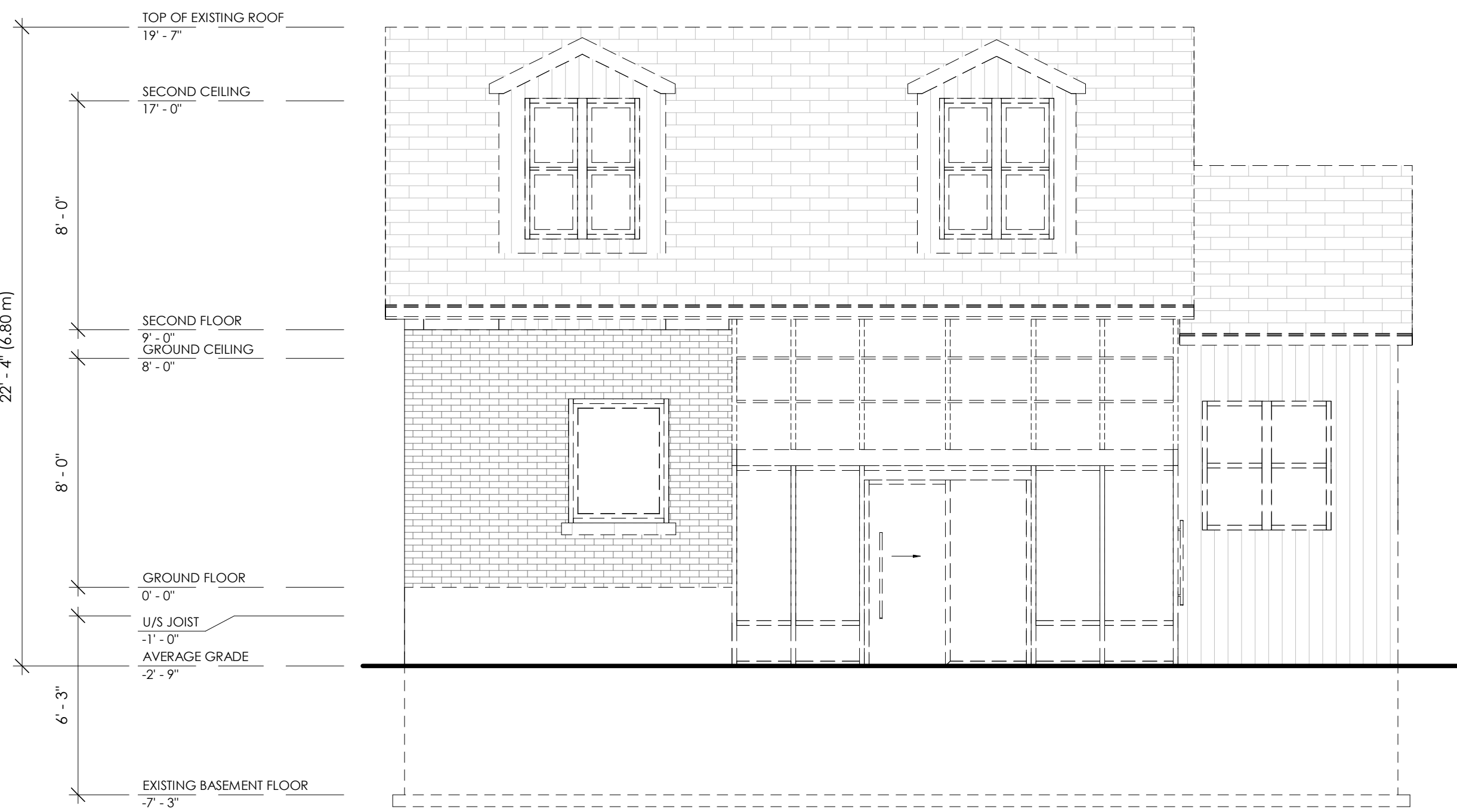
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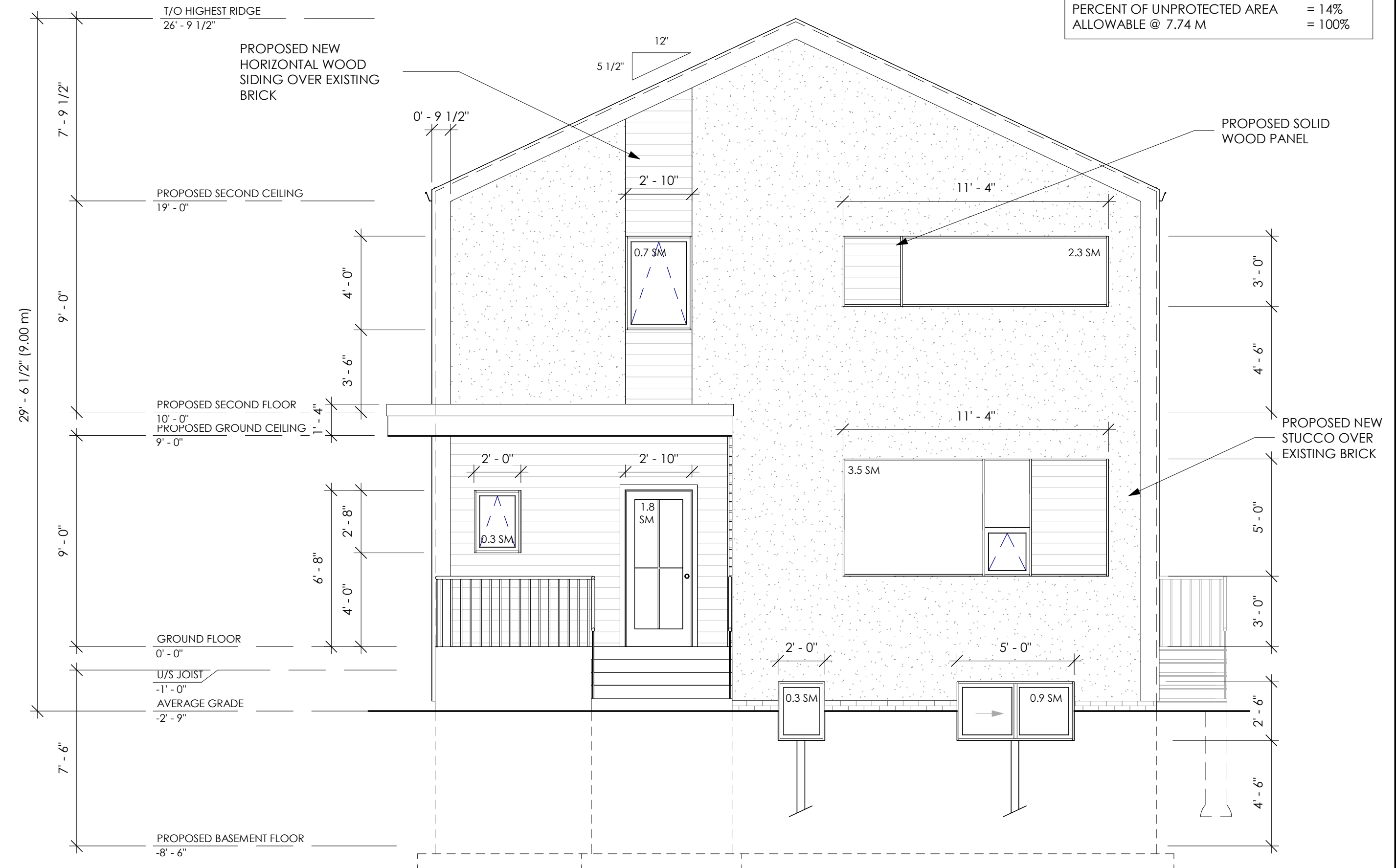
EXISTING FRONT ELEVATION

1/4" = 1'-0"



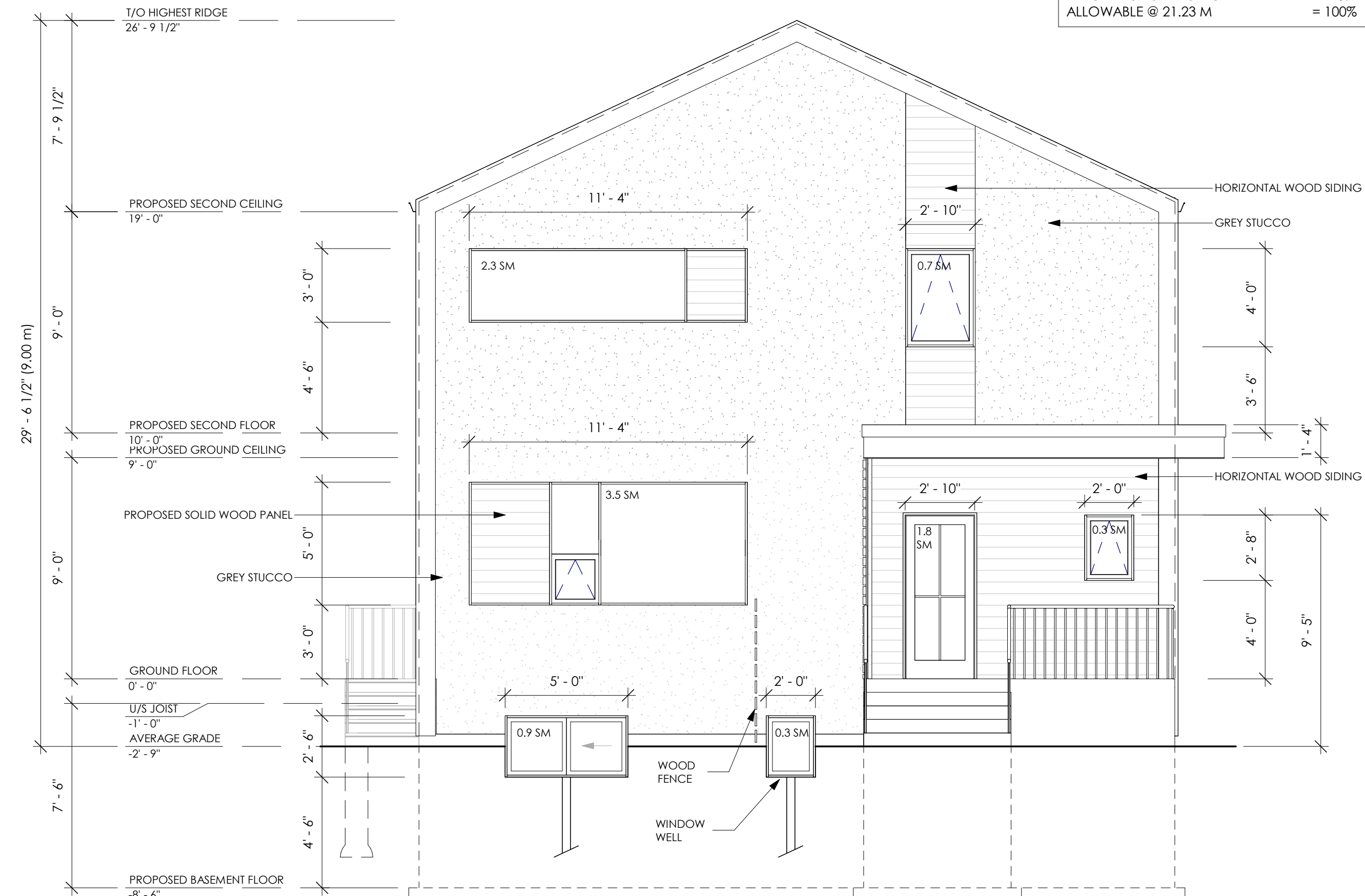
EXISTING REAR ELEVATION

1/4" = 1'-0"



PROPOSED FRONT ELEVATION

1/4" = 1'-0"



PROPOSED REAR ELEVATION

1/4" = 1'-0"

UNPROTECTED OPENINGS	
TOTAL AREA OF EXPOSING FACE	= 79.7 SM
TOTAL UNPROTECTED AREA	= 9.8 SM
PERCENT OF UNPROTECTED AREA	= 14%
ALLOWABLE @ 7.74 M	= 100%

UNPROTECTED OPENINGS	
TOTAL AREA OF EXPOSING FACE	= 79.7 SM
TOTAL UNPROTECTED AREA	= 11.1 SM
PERCENT OF UNPROTECTED AREA	= 14%
ALLOWABLE @ 21.23 M	= 100%

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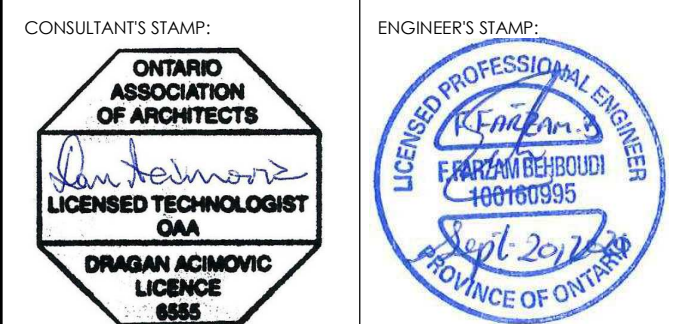
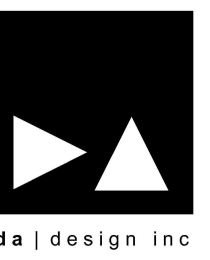
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NOV/21 01 COA SUBMISSION

DATE NO. DESCRIPTION

DATE ISSUED

CONSULTANT:
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1470 Hurontario Street
Lower Suite
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647 242 0164
dan@dadesigninc.ca



STRUCTURAL CONSULTANT:
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TEL: 416-858-3648
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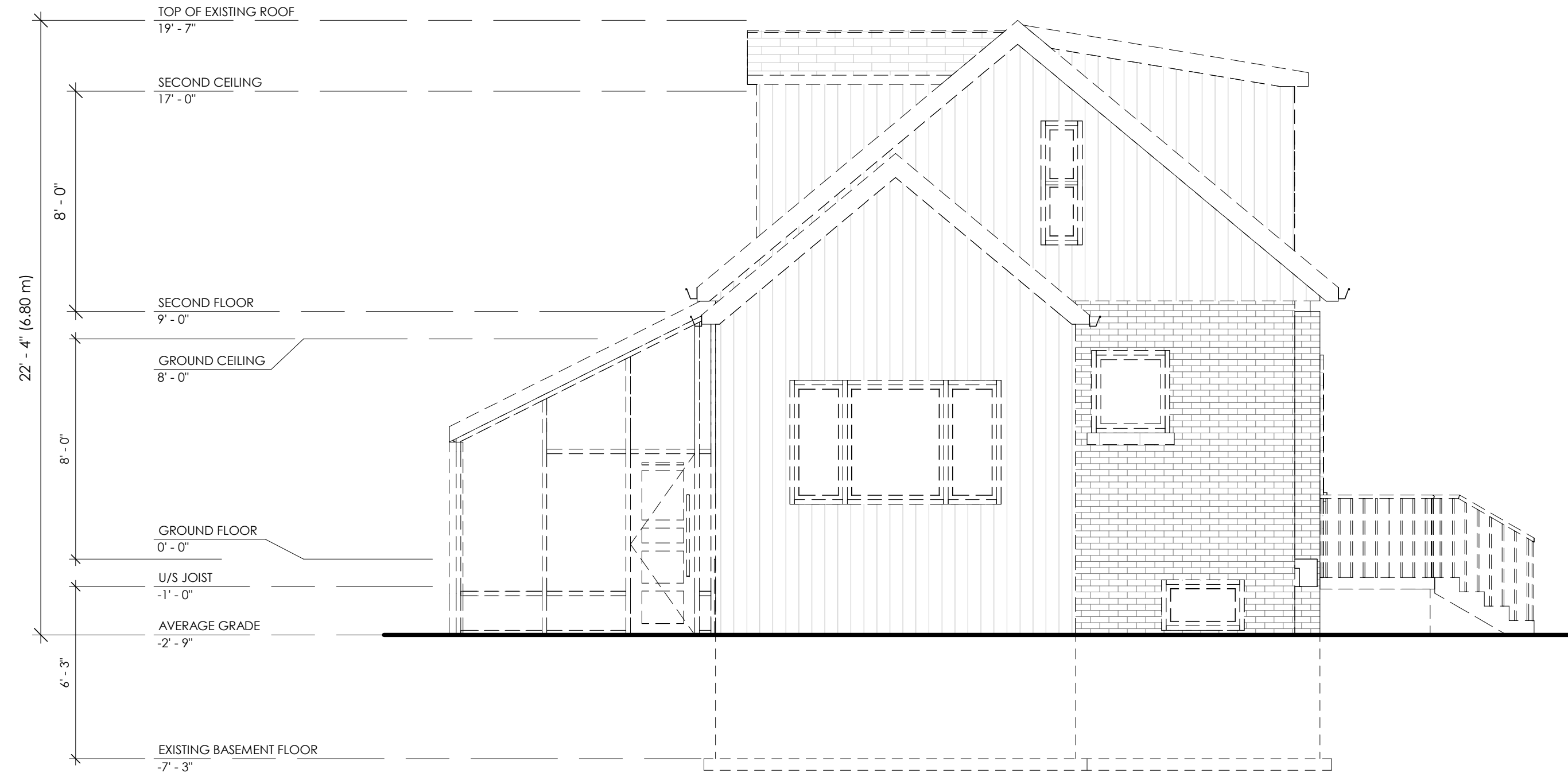
PROJECT:
**REAR ADDITION FOR DUPLEX
CONVERSION**
237 BROADWAY
AVENUE
HAMILTON, ONT.
L8S 2H9

PROJECT NO. SCALE
2021-04-21 1/4" = 1'-0"

DRAWN BY REVIEWED BY
CB DA

TITLE DRAWING NO.
ELEVATIONS

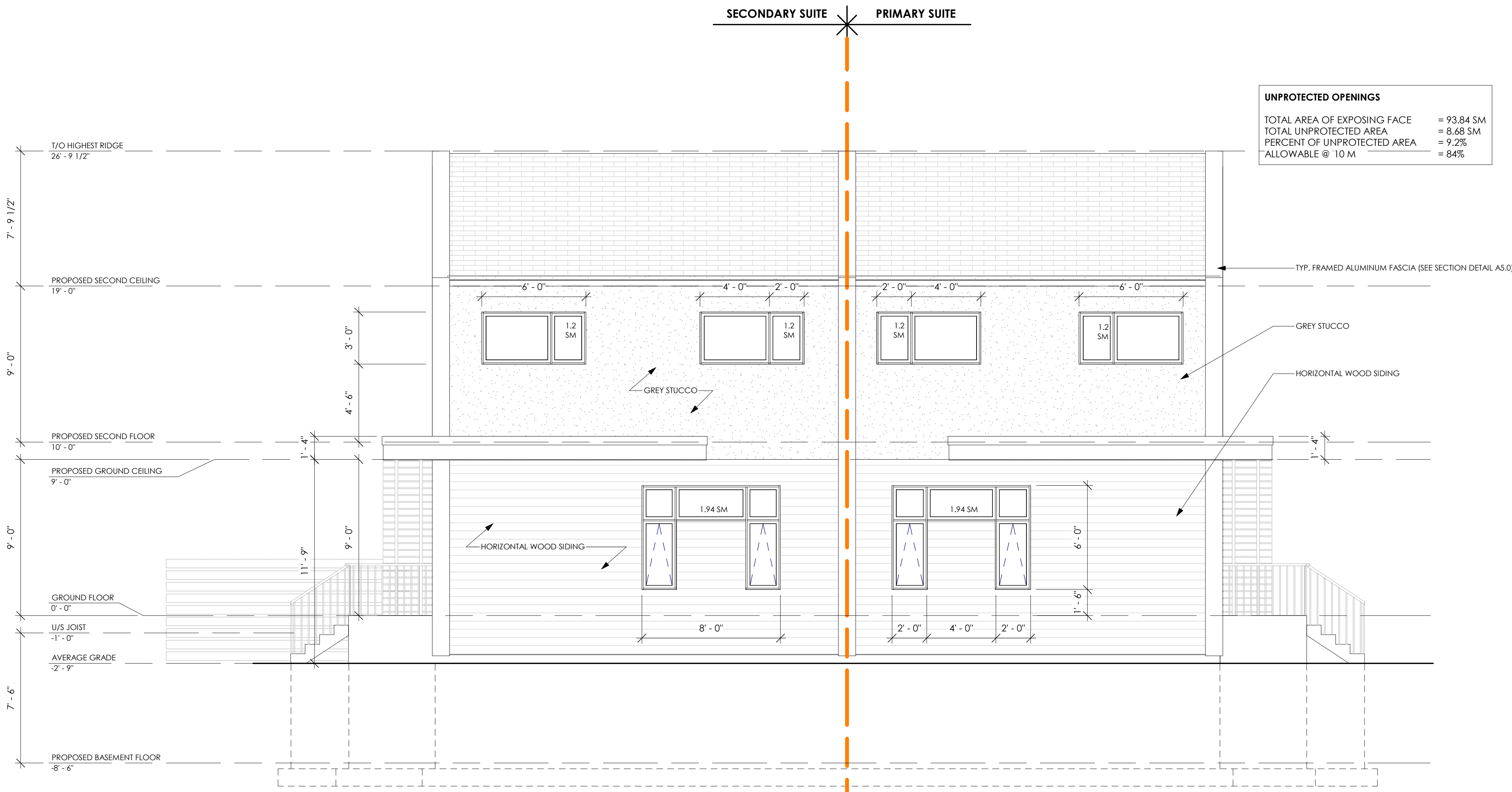
A2.01



DEMOLISH AND DISPOSE OF
ALL WALLS, WINDOWS,
DOORS, AND ROOFS AS
SHOWN

EXISTING LEFT ELEVATION

1/4" = 1'-0"



PROPOSED LEFT ELEVATION

1/4" = 1'-0"

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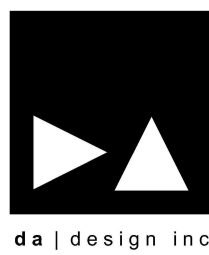
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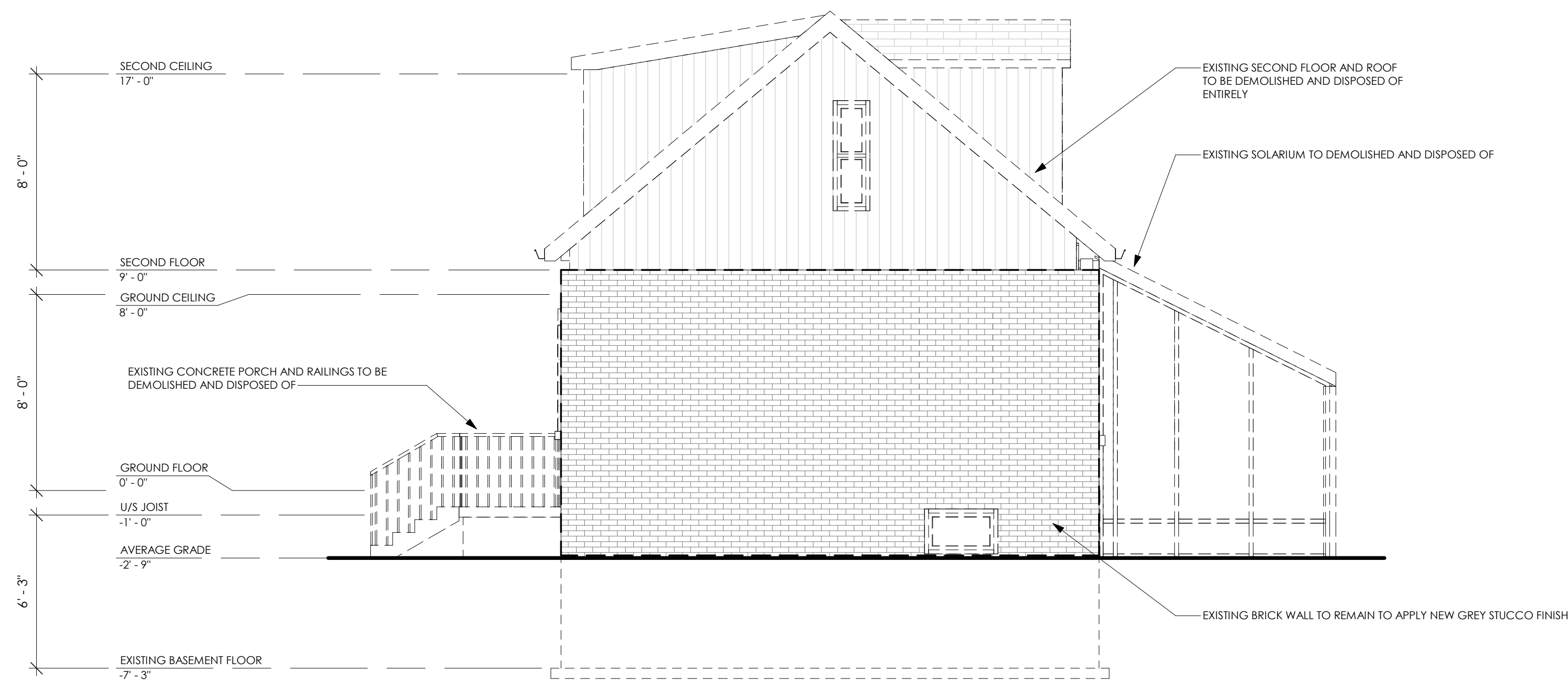
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PROJECT NO.	SCALE
2021-04-21	1/4" = 1'-0"
DRAWN BY	REVIEWED BY
CB/GC	DA

TITLE	DRAWING NO.
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ELEVATIONS

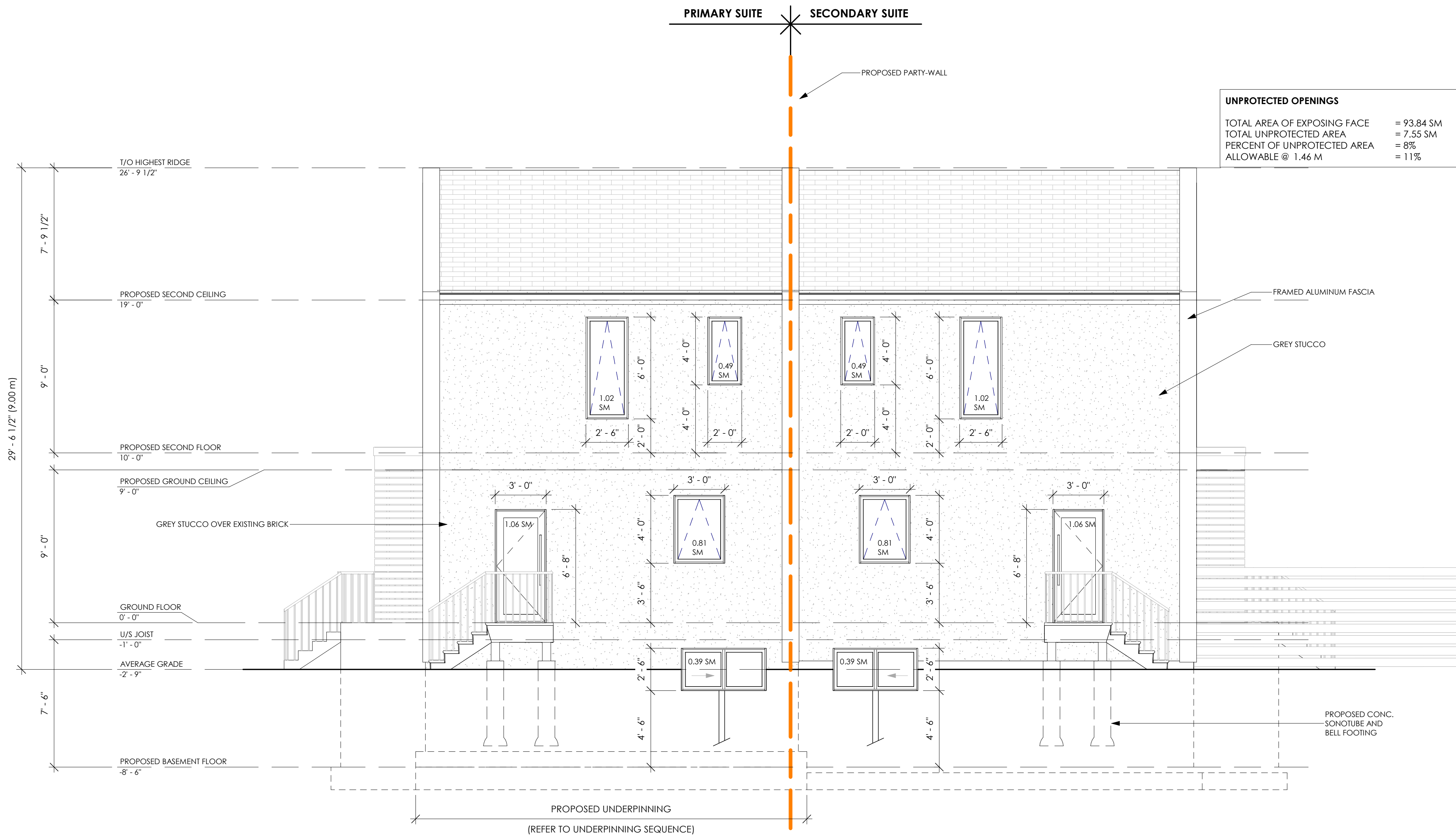
A2.02



DEMOLISH AND DISPOSE OF ALL WALLS, WINDOWS, DOORS, AND ROOFS AS SHOWN

EXISTING RIGHT ELEVATION

1/4" = 1'-0"



PROPOSED RIGHT ELEVATION

1/4" = 1'-0"

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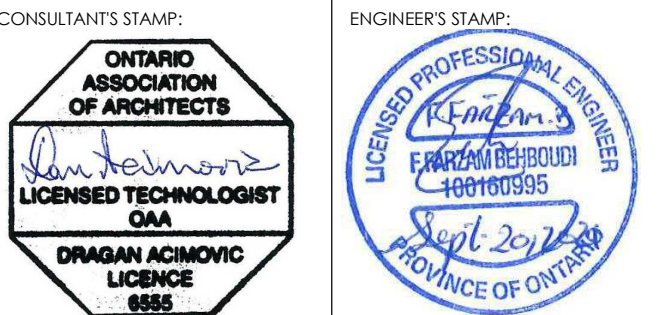
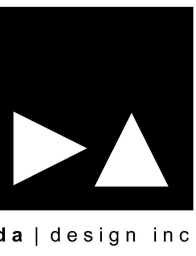
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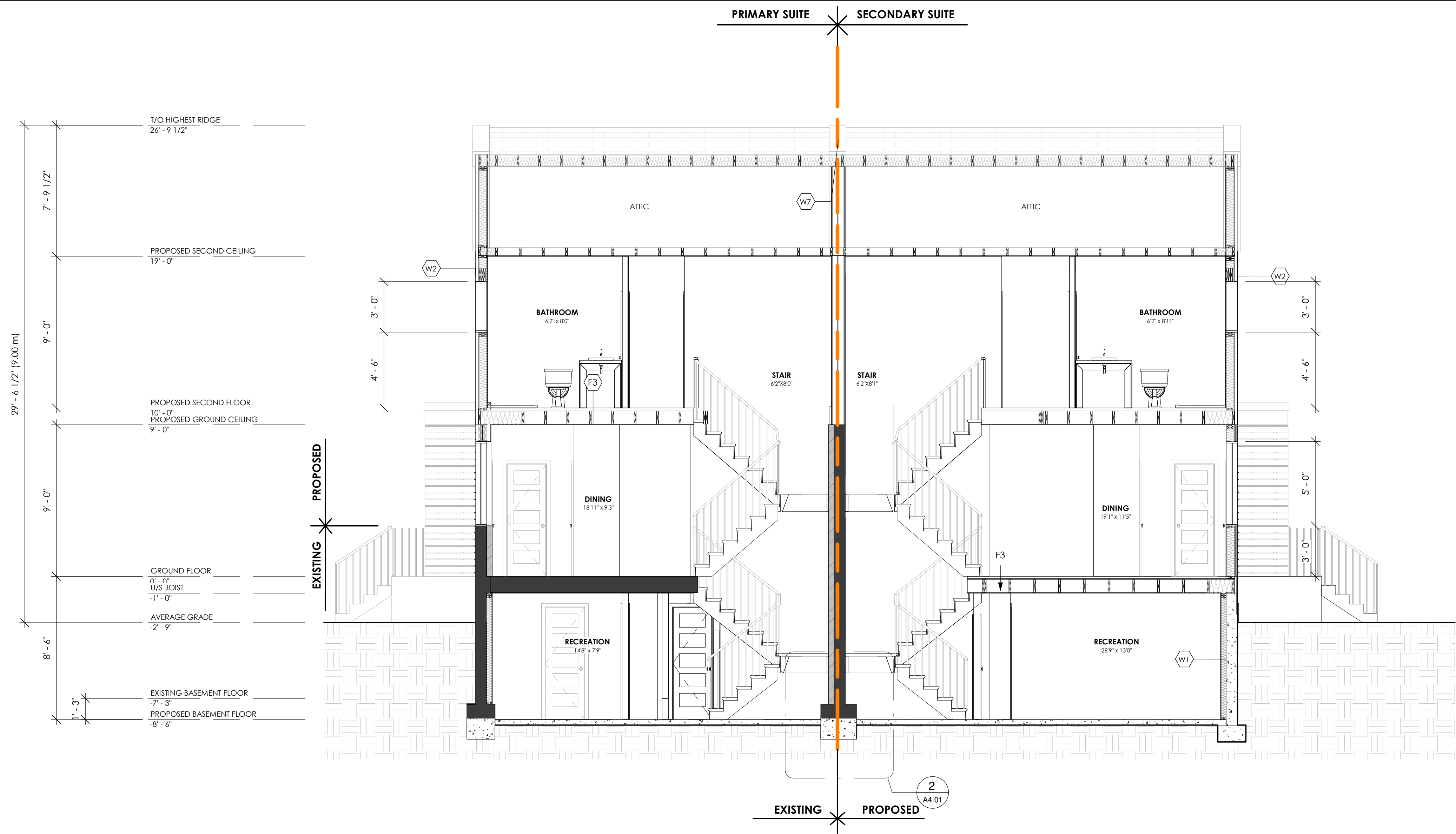
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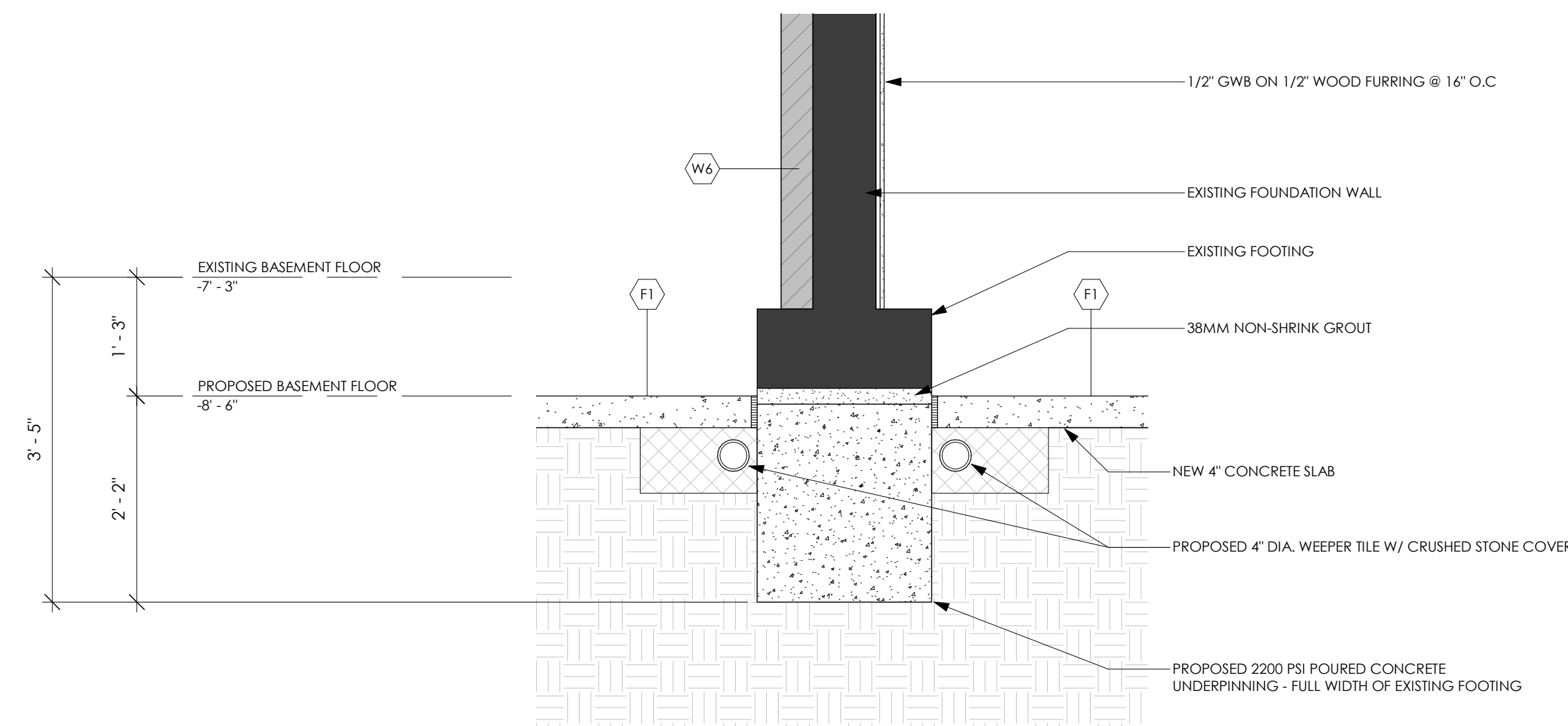
PROJECT NO.	SCALE
2021-04-21	1/4" = 1'-0"
DRAWN BY	REVIEWED BY
CB/GC	DA

TITLE	DRAWING NO.
ELEVATIONS	

A2.03



PROPOSED LONGITUDINAL SECTION
1/4" = 1'-0"





UNDERPINNING @ PARTY WALL
3/4" = 1'-0"

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DATE	ISSUED	
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AVENUE
HAMILTON, ONT.
L8S 2H9

PROJECT NO. 2021-04-21	SCALE As indicated
DRAWN BY CB/GC	REVIEWED BY DA
TITLE SECTIONS	DRAWING NO.

A4.01



LANDSCAPED SOFT AREA		
	AREA	PERCENTAGE
FRONT YARD AREA:	96.54 SM	
FRONT PORCH	6.79 SM	
CONC. STEPS	5.52 SM	
CONC. WALKWAY	8.64 SM	
WINDOW WELLS	1.48 SM	
TOTAL SOFT LANDSCAPE AREA:	74.11 SM	76.77 %

- # SP1.02

Complete reports available upon request

Arborist Report and Tree Protection Plan

for

237 Broadway Avenue

Prepared for:

Dan Acimovic

Dan@dadesigninc.ca

Prepared by:

KENT NIELSEN

ISA CERTIFIED ON-0210A

FOREST TECHNICIAN, HORTICULTURAL JOURNEYMAN, TRAQ



NEW WORLD ARBORIST

P.O. Box 119

Acton, ON L7J 2M2

newworldarborist@gmail.com

416-540-5753

November 4, 2021

PLANNING RATIONALE

November 2021

Subject Address:

237 Broadway Ave
Hamilton, ON



Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	<table><tr><td></td><td>MAILING ADDRESS</td><td></td></tr></table>		MAILING ADDRESS	
	MAILING ADDRESS			
Registered Owners(s)				
Applicant(s)*				
Agent or Solicitor				

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:
N/A

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4.

Nature and extent of relief applied for:

To permit a maximum Gross Floor Area, of 377.02 sq.m. whereas Hamilton Zoning By-Law 6593 and Section 1(b) & 1(c) of amending By-Law 95-02 permit a maximum Gross Floor Area of 233.05 sq.m.

☒ Secondary Dwelling Unit

☐ Reconstruction of Existing Dwelling
5.

Why it is not possible to comply with the provisions of the By-law?

The current development built form requires a gross floor area as defined in amending By-law 95-02 Section 1(b) & 1(c) of 377.02 sq.m. Please see the Planning Justification Rationale included with this application for additional details.
6.

Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

Part 1, Plan of Lot 208, Registered Plan 420 now in the City of Hamilton
237 Broadway Avenue, Hamilton, ON.
7.

PREVIOUS USE OF PROPERTY

Residential ☒

Industrial ☐

Commercial ☐

Agricultural ☐

Vacant ☐

Other ☐

Other _____

8.1

If Industrial or Commercial, specify use _____

8.2

Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐

No ☒

Unknown ☐

8.3

Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐

No ☒

Unknown ☐

8.4

Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐

No ☒

Unknown ☐

8.5

Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐

No ☒

Unknown ☐

8.6

Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐

No ☒

Unknown ☐

8.7

Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐

No ☒

Unknown ☐

8.8

Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐

No ☒

Unknown ☐

8.9

If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes ☐

No ☒

Unknown ☐
- APPLICATION FOR A MINOR VARIANCE (May 2021)

Page 2 of 6

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ☐ No ☒ Unknown ☐

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

Site observation.



8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ☐ No ☐

9. **ACKNOWLEDGEMENT CLAUSE**

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

December 1, 2021
Date

 Justin Franzuz  John Franczuz
Signature Property Owner(s)
Justin Franczuz, John Franczuz
Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage	<u>12.16 m.</u>
Depth	<u>42.59 m.</u>
Area	<u>517.90</u>
Width of street	<u>approx. 8 m.</u>

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:
A two-storey detached dwelling, approximately 100 sq.m. in size. The dwelling is 10 m. x 9.44 m which includes a solarium in the rear yard, and an addition in the exterior side yard. The current dwelling currently has 3 bedrooms, 2 bathrooms, a kitchen, living room, and dining room.

Proposed
To partially demolish the existing two-storey residential dwelling and to construct a two-storey residential dwelling with a two-storey secondary suite attached to the main structure. The primary suite is proposed to be 179.57 sq.m. and the secondary suite 198.89 sq.m. for a total of 378.46 sq.m.

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:
Existing Dwelling Setbacks:
Front: 7.63 m., Rear: 28.27, Exterior SY: 0.00 m. Interior SY: 1.53m.

Proposed:
Proposed Dwelling Setbacks:
Front: 7.63 m., Rear: 21.08 m. Exterior SY: 1.2. Interior SY: 1.46 m.

13. Date of acquisition of subject lands:
March 30, 2021

14. Date of construction of all buildings and structures on subject lands:
< 1940

15. Existing uses of the subject property (single family, duplex, retail, factory etc.):

Single family detached dwelling
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):

Single family detached dwelling (south and east).
17. Length of time the existing uses of the subject property have continued:

Since initial construction.
18. Municipal services available: (check the appropriate space or spaces)
Water ☒ Connected ☒
Sanitary Sewer ☒ Connected ☒
Storm Sewers ☒
19. Present Official Plan/Secondary Plan provisions applying to the land:

OP: Neighbourhoods. Ainslie Wood Westdale SP: Low Density Residential 2
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:

Hamilton Zoning By-Law 6593, Standards "C"/s-1335, s-1335a & S-720 Zoning
21. Has the owner previously applied for relief in respect of the subject property?
Yes ☐ No ☒
If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
Yes ☐ No ☒
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.