



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: HM/A-21:436

APPLICANTS: Agent Len Angelici Design
Owners M. Meade & S. Ferri

SUBJECT PROPERTY: Municipal address **183 Iona Ave., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended

ZONING: "C/S-1335 & C/S-1335a" (Urban Protected Residential) district

PROPOSAL: To permit the construction of a new second storey addition and a roofed-over unenclosed porch in the rear yard of the existing single family dwelling notwithstanding that:

1. A maximum floor area ratio of 0.64 shall be permitted instead of the maximum 0.45 floor area ratio permitted.

NOTES:

i. A variance was also been requested in order to permit the construction of a new roofed-over porch in the rear yard. However pursuant to Subsection 18(3)(vi)(d), a roofed-over unenclosed porch is permitted to project into a minimum required rear yard setback (7.5m) to a maximum of 3.0m. Therefore, a roofed-over unenclosed porch shall provide a rear yard setback of at least 4.5m. As such, the location of the proposed porch conforms and a variance is not required.

This application will be heard by the Committee as shown below:

DATE: Thursday, February 24th, 2022
TIME: 2:15 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

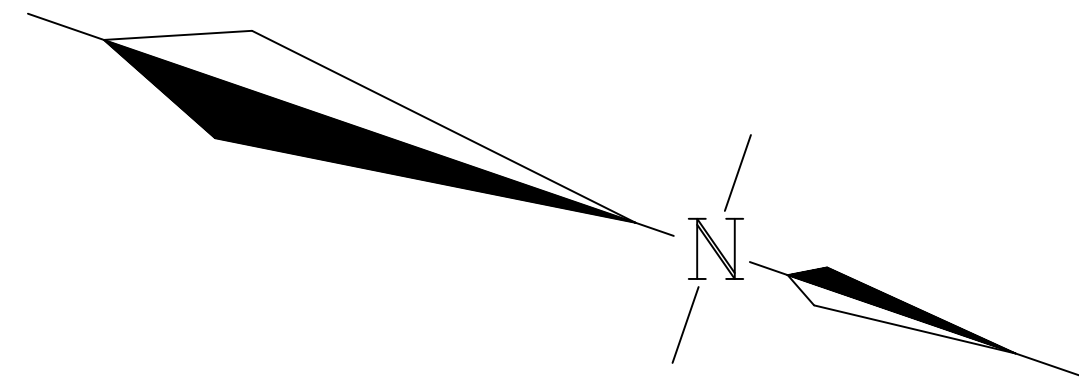
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

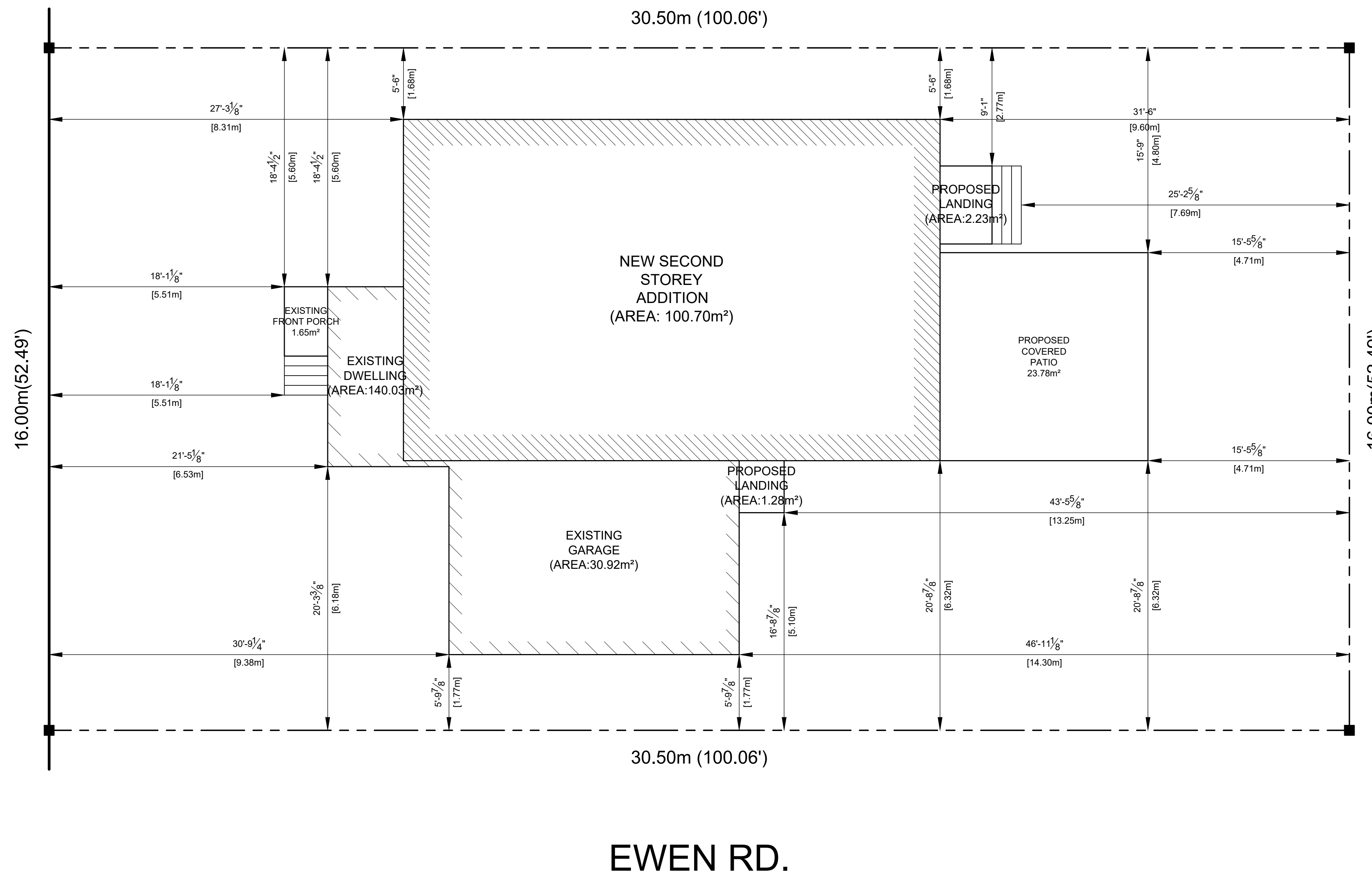
DATED: February 8th, 2022

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



IONA AVE.



SITE DATA	
ZONE:	C
LOT AREA:	487.94m ²
EXISTING DWELLING FOOTPRINT:	140.03m ²
EXISTING GARAGE:	30.92m ²
EXISTING FRONT PORCH:	1.65m ²
PROPOSED ADDITION:	100.70m ²
PROPOSED COVERED PATIO:	23.78m ²
TOTAL:	164.74m ²
LOT COVERAGE:	33.76%
BUILDING HEIGHT	
No. of STOREYS:	2
SETBACKS (ADDITION)	
FRONT:	8.31m
REAR:	9.60m
LEFT SIDE:	1.68m
RIGHT SIDE:	6.32m
SETBACKS (PATIO)	
REAR:	4.71m
LEFT SIDE:	4.80m
RIGHT SIDE:	6.32m

PROJECT NORTH	TRUE NORTH

No.	REVISION	DATE
01.	DRAWINGS FOR VARIANCE	12/06/2021

1. ALL CONTRACTORS AND/OR TRADES SHALL VERIFY ALL DIMENSIONS, NOTES, SITE AND REPORT ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OF WORK.
2. THIS DRAWING IS NOT TO BE SCALED. ALL DRAWINGS, PRINTS AND RELATED DOCUMENTS ARE THE PROPERTY OF LEN ANGELICI DESIGN AND MUST BE RETURNED UPON REQUEST.
3. REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS IN PART OR IN WHOLE IS STRICTLY PROHIBITED WITHOUT WRITTEN CONSENT OF LEN ANGELICI DESIGN.
4. CONTRACTOR SHALL REVIEW ALL DRAWINGS PRIOR TO COMMENCING CONSTRUCTION FOR ANY ERRORS OR OMISSIONS.
5. LEN ANGELICI DESIGN IS NOT RESPONSIBLE FOR THE DESIGN OR PRE-ENGINEERED TRUSSES OR ANY PRE-ENGINEERED PRODUCTS.
6. LEN ANGELICI DESIGN IS NOT RESPONSIBLE FOR HEATING, PLUMBING, OR ELECTRICAL DRAWINGS.
7. DRAWING MAY NOT BE CHANGED, ALTERED OR COPIED WITHOUT WRITTEN CONSENT OF LEN ANGELICI DESIGN. FAILURE TO COMPLY WITH THIS STATEMENT IS NOT THE RESPONSIBILITY OF LEN ANGELICI DESIGN.
8. LEN ANGELICI DESIGN IS NOT RESPONSIBLE FOR POOR CONSTRUCTION PRACTICES.

SEAL

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
 LEONARD ANGELICI 42391
 NAME BCIN

REGISTRATION INFORMATION
 LEN ANGELICI DESIGN 43162
 NAME BCIN

12/06/2021
 DATE SIGNATURE

Len Angelici Design

270 SHERMAN AVE N. UNIT MILL-125
 HAMILTON, ON L8L 6N4
 (905) 393-8868
 info@lenangelicidesign.ca

PROJECT
 PROPOSED RESIDENCE
 183 IONA AVE,
 HAMILTON, ON.

SHEET TITLE
 SITE PLAN

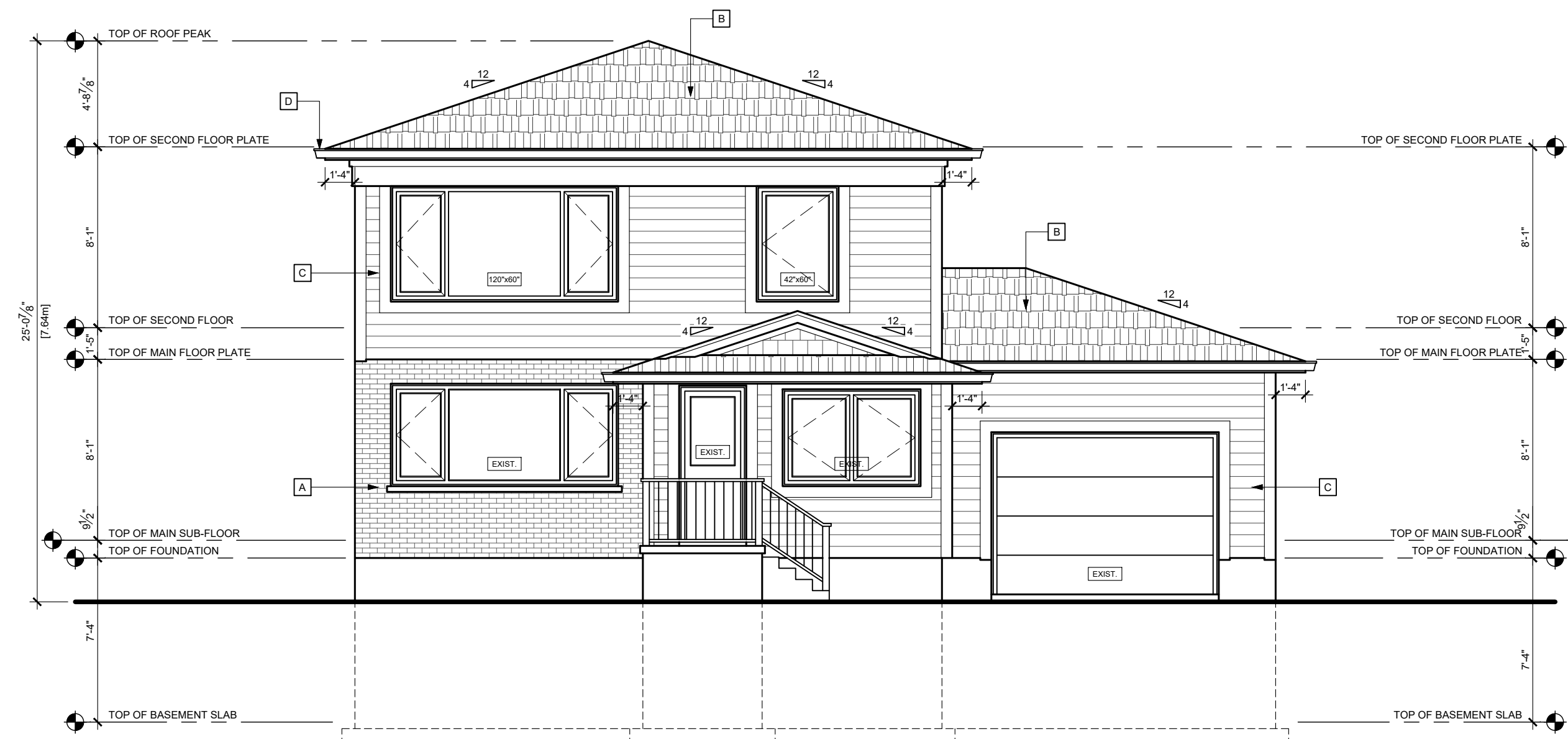
DRAWN BY
 L. ANGELICI

DATE
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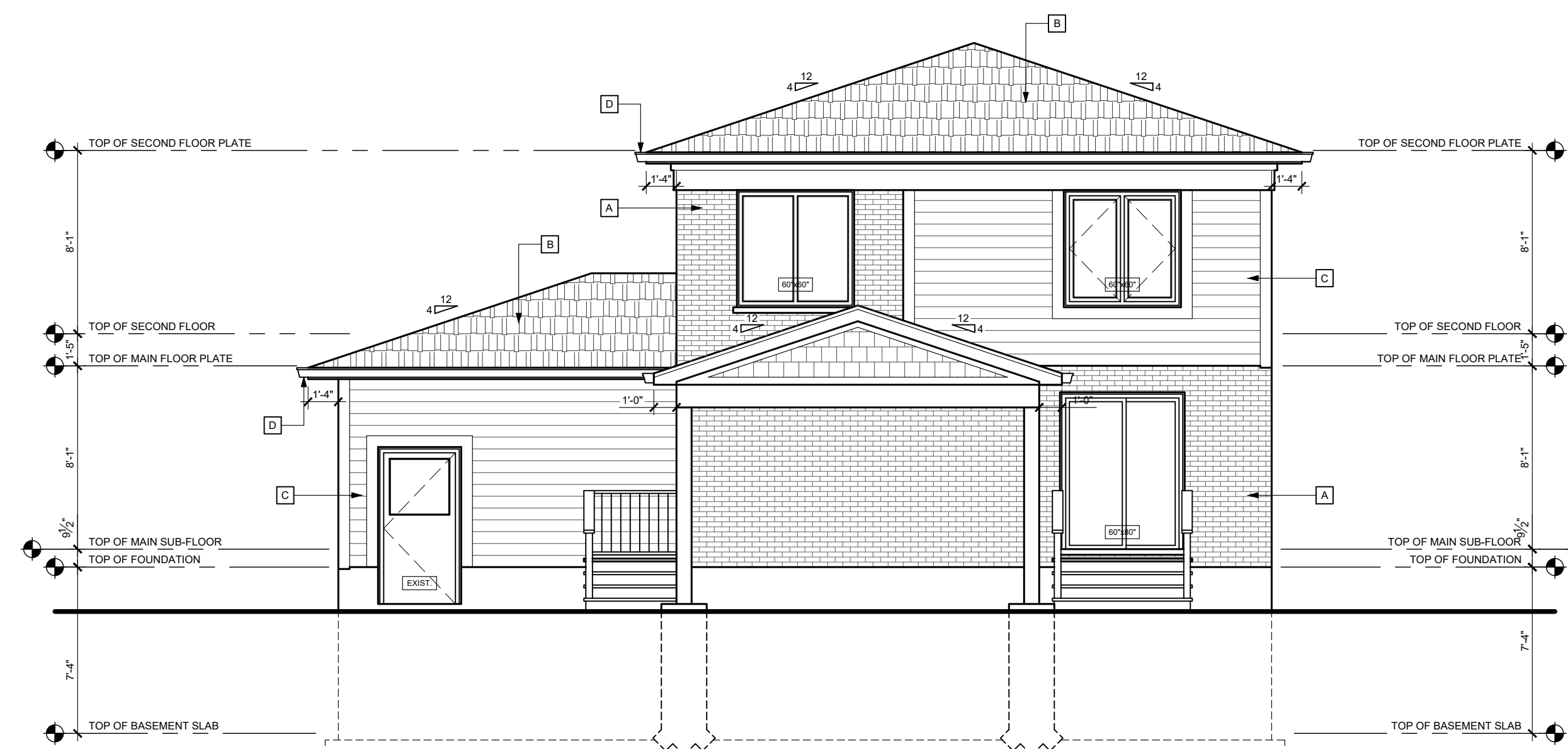
SCALE
 3/8"=1'-0"

PROJECT No.
 2021-001

SP1



PROPOSED FRONT ELEVATION
SCALE $\frac{3}{16}'' = 1'-0''$



PROPOSED REAR ELEVATION
SCALE $\frac{3}{16}'' = 1'-0''$

EXTERIOR FINISH INDEX

- [A] BRICK VENEER
- [B] ASPHALT SHINGLES
- [C] PRE-FIN. VINYL SIDING
- [D] 5" PRE-FIN. ALUM. EAVETROUGH ON 6" WITH PRE-FIN. ALUM. FASCIA CW PRE-FIN. ALUM. DOWNSPOUT

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NAME BCIN

REGISTRATION INFORMATION

LEN ANGELICI DESIGN 43162
NAME BCIN

12/06/2021

DATE SIGNATURE

Len Angelici Design

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(905) 393-8868
info@lenangelicidesign.ca

PROJECT

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183 IONA AVE,
HAMILTON, ON.

SHEET TITLE

PROPOSED FRONT &
REAR ELEVATIONS

DRAWN BY

L. ANGELICI

DATE

12/06/2021

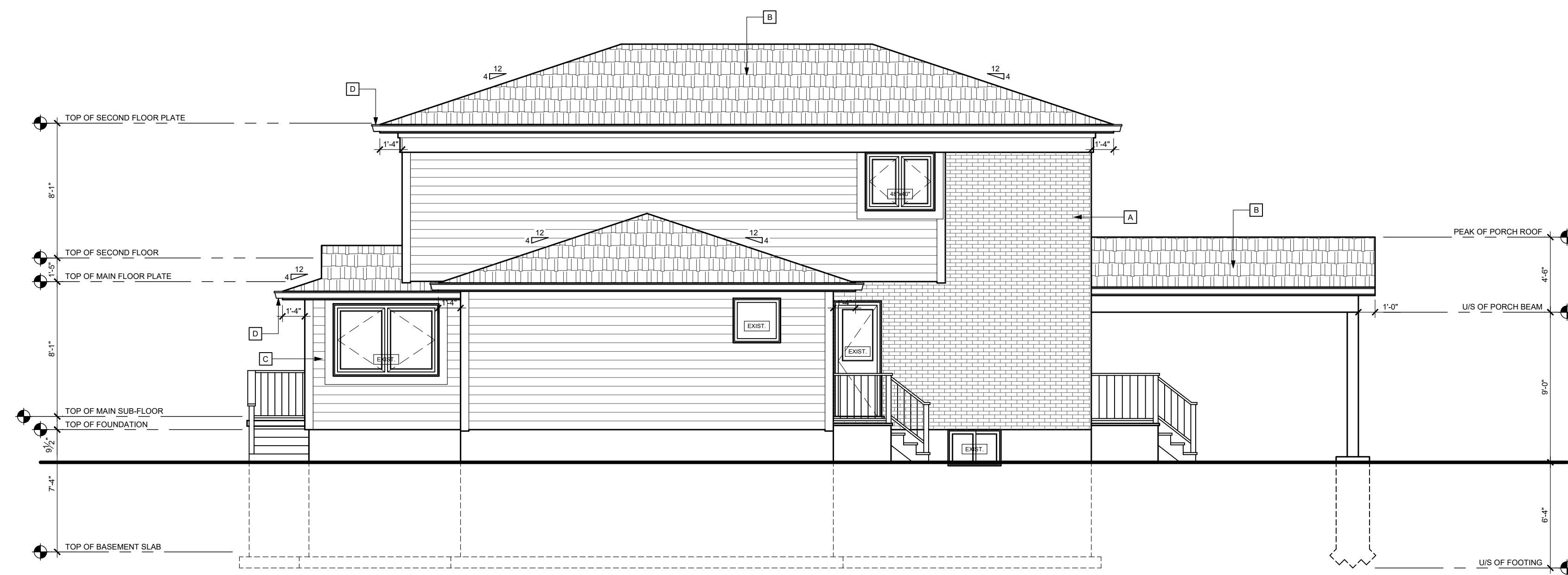
SCALE

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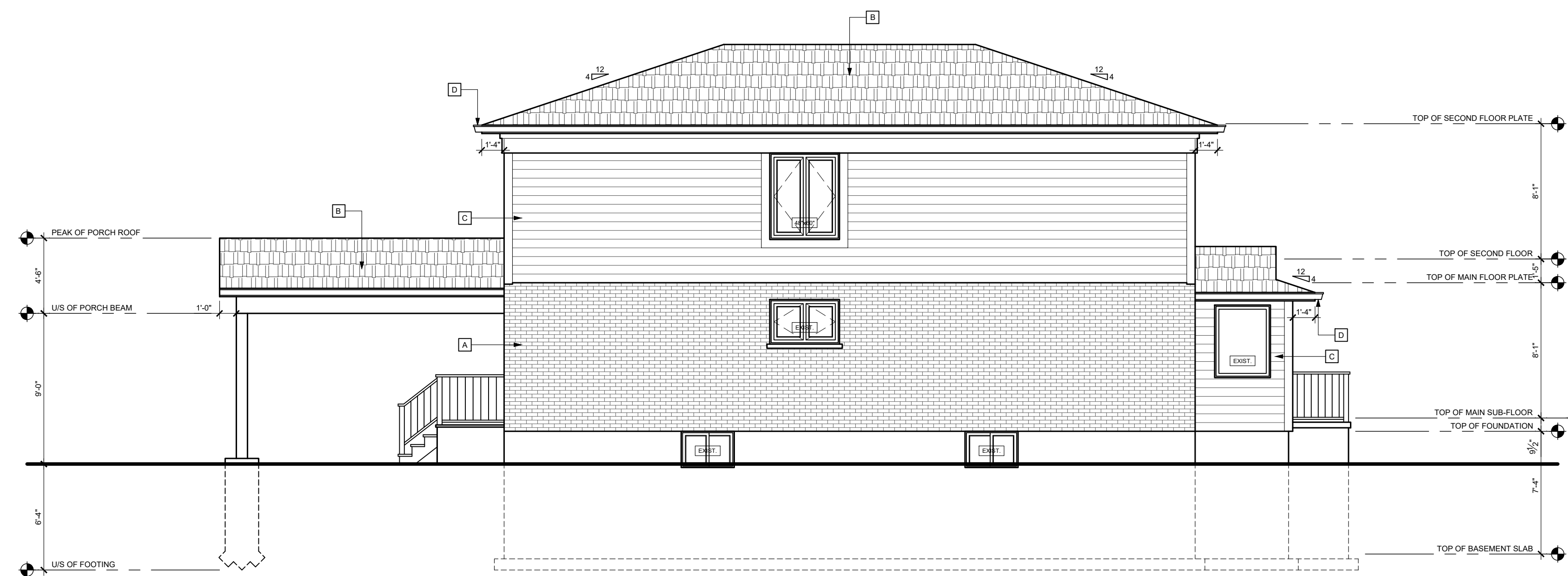
PROJECT No.

2021-001

A3



PROPOSED RIGHT ELEVATION
SCALE 3/16" = 1'-0"



PROPOSED LEFT ELEVATION
SCALE 3/16" = 1'-0"

EXTERIOR FINISH INDEX

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PROJECT

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HAMILTON, ON.

SHEET TITLE

PROPOSED RIGHT & LEFT ELEVATIONS

DRAWN BY

L. ANGELICI

DATE

12/06/2021

SCALE

3/16"=1'-0"

PROJECT No.

2021-001

A4



Hamilton

Committee of Adjustment

City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2

	NAME	ADDRESS
Registered Owners(s)		
Applicant(s)*		
Agent or Solicitor		

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

PROPOSED RELIEF OF REAR YARD SETBACK OF 7.5m TO 4.71m TO FACILITATE A COVERED PATIO AREA

PROPOSED RELIEF FROM SITE SPECIFIC BY-LAW S-1335/S1225a OF FLOOR AREA RATIO OF 45% TO 62.11%

5. Why it is not possible to comply with the provisions of the By-law?

SIZE OF BACKYARD DOES NOT ALLOW FOR A DECENT SIZED COVERED PATIO AREA

SIZE OF LOT DOES NOT ALLOW FOR A SECOND STOREY ADDITION TO COMPLY WITH REQUIRED FLOOR AREA RATIO OF 45%

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

183 IONA AVE
HAMILTON, ON
L8S 2M1

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial

Agricultural Vacant

Other _____

8.1 If Industrial or Commercial, specify use _____

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 9.1 to 9.10 above?

AREA HAS BEEN RESIDENTIAL SINCE CONSTRUCTION OF SUBJECT PROPERTY

8.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

Nov 26 2021
Date

X Sarah Ferni Mark Meade
Signature Property Owner

X [Signature]
Print Name of Owner

10. Dimensions of lands affected:

Frontage 16.00m
Depth 30.50m
Area 487.94m²
Width of street _____

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:
GROUND FLOOR AREA: 108.36m²
STORIES: 1
WIDTH: 12.55m
LENGTH: 15.38m

Proposed
GROSS FLOOR AREA: 303.05m²
STORIES: 2

PATIO WIDTH: 4.88m
PATIO LENGTH: 4.88m
PATIO AREA: 23.78m²

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:
LEFT SIDE: 1.68m
RIGHT SIDE: 1.77m
FRONT: 6.53m
REAR: 9.60m

Proposed:
PATIO:
LEFT SIDE: 4.80m
RIGHT SIDE: 6.32m
REAR: 4.71m

13. Date of acquisition of subject lands:
N/A
-
14. Date of construction of all buildings and structures on subject lands:
N/A
-
15. Existing uses of the subject property:
SINGLE FAMILY DWELLING
16. Existing uses of abutting properties:
SINGLE FAMILY DWELLINGS
17. Length of time the existing uses of the subject property have continued:
SUBJECT PROPERTY HAS BEEN RESIDENTIAL SINCE CONSTRUCTION
18. Municipal services available: (check the appropriate space or spaces)
- | | | | |
|----------------|---|-----------|---|
| Water | ✓ | Connected | ✓ |
| Sanitary Sewer | ✓ | Connected | ✓ |
| Storm Sewers | ✓ | | |
19. Present Official Plan/Secondary Plan provisions applying to the land:
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
C C/S-1335 C/S-1335a Urban Protected Residential, Etc.
6593 Former Hamilton
21. Has the owner previously applied for relief in respect of the subject property?
 Yes No
 If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.