



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: HM/A-21:450

APPLICANTS: Agent David Carrothers & Associates
Owner F. Brown & K. Fairweather

SUBJECT PROPERTY: Municipal address **142 Barclay St, Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended by By-law No.96-109

ZONING: C/S-1361 district (Urban Protected Residential with Special Exceptions)

PROPOSAL: To construct a 229.1 square metre full two storey rear addition for a two storey single family dwelling having 138.4 square metres of gross floor area and a new 7.8 square metre rear deck, notwithstanding that:

1. The floor area ratio for a single family dwelling shall be 1.15 instead of the maximum floor area ratio of 0.45 for property that is zoned C/S-1361 District.
2. The minimum easterly side yard shall be 1.1 metres instead of the minimum required 1.2 metre side yard for a single family dwelling not over 2.5 storeys in height.
3. The minimum westerly side yard shall be 1.0 metre instead of the minimum required 1.2 metre side yard for a single family dwelling not over 2.5 storeys in height.
4. The minimum rear yard shall be 4.6 metres instead of the minimum required 7.5 metres rear yard for a single family dwelling in the C District.
5. No (0) parking space shall be provided for the expanded single family dwelling instead of the minimum required two parking spaces for a single family dwelling having not more than eight (8) habitable rooms.

NOTES:

1. The C/S-1361 Zoning that was created under By-law 96-109 (passed June 25, 1996) provides special zoning provisions for the Westdale South Neighbourhood to address floor area ratio, ceiling height with respect to gross floor area, the height above grade for an attached garage and the maximum height of a single family dwelling.

2. The variances were written as requested by the applicant. An additional variance was requested for the rear deck but is not required because the deck would maintain the required separation from the side and rear lot lines.

This application will be heard by the Committee as shown below:

DATE: Thursday, February 24th, 2022
TIME: 2:50 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

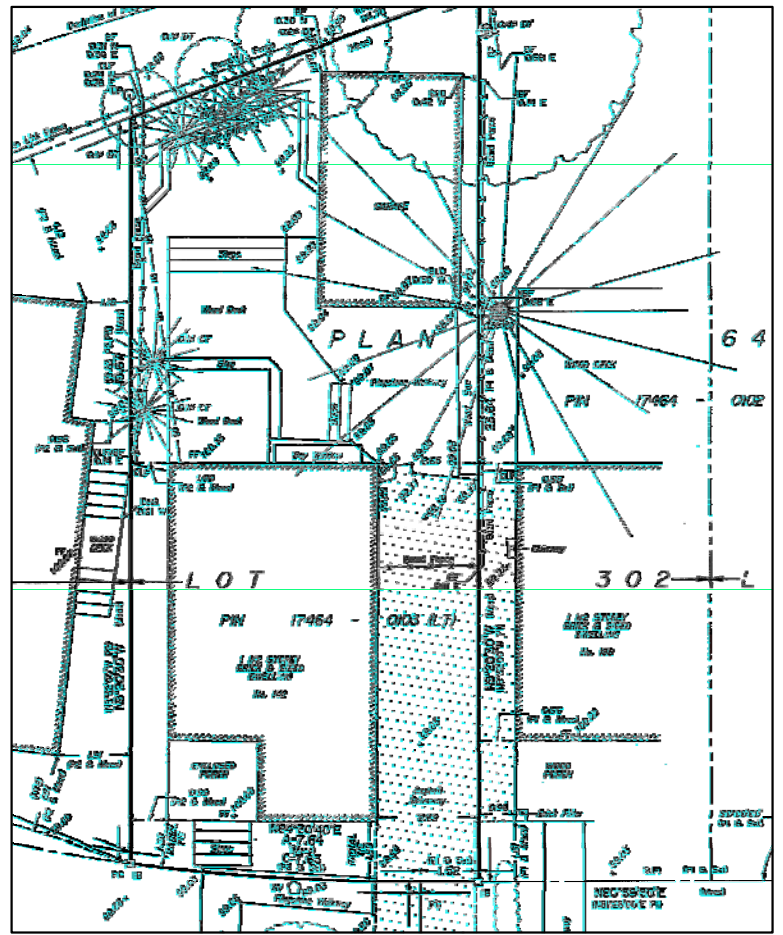
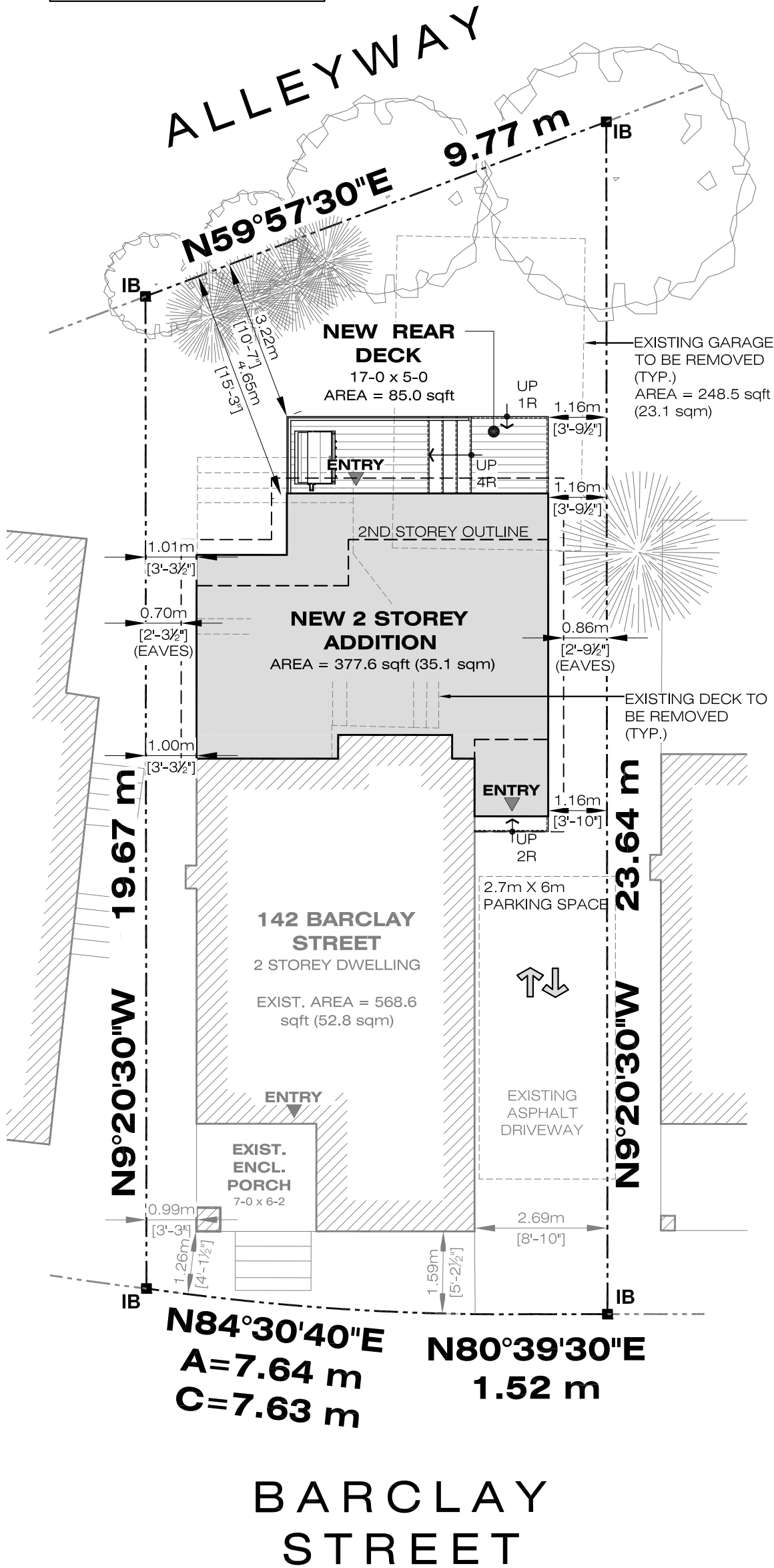
- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: February 8th, 2022

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

NO LOT GRADING CHANGES WILL BE AFFECTED DUE TO THIS ADDITION AND RENOVATION. ALL EXISTING LOT DRAINAGE TO REMAIN UNCOMPROMISED



EXISTING SURVEY: (FOR REF. ONLY)

TO BE USED IN CONJUNCTION WITH TOPOGRAPHIC PLAN PREPARED BY BARICH GRENKIE SURVEYING LTD. DATED SEPTEMBER 14, 2020



PLAN
SHOWING PART OF
LOT 302
REGISTERED PLAN 646
IN THE
CITY OF HAMILTON
REGIONAL MUNICIPALITY OF HAMILTON

ZONING AND PROPERTY STATISTICS

DESCRIPTION:	PART OF LOT 302, REGISTERED PLAN 646 IN THE REGIONAL MUNICIPALITY OF HAMILTON		
ADDRESS:	142 BARCLAY STREET, HAMILTON, ON.		
	REQUIRED:	PROPOSED:	
ZONING DESIGNATION:	C/S-1788. S-1361	C/S-1788. S-1361 (EXISTING)	
LOT AREA:	360.0 m2	199.0 m2 (EXISTING)	
LOT WIDTH:	12.0 m	9.14 m (EXISTING)	
GROSS FLOOR AREA:	45% MAX	66.3% (EXISTING)	**115.1% (PROPOSED)
COVERAGE:	N/A	44.2% (PROPOSED)	
FRONT YARD TO HOUSE:	6.0 m	1.26 m (EXISTING)	
REAR YARD TO ADDITION:	7.5 m	**4.65 m (PROPOSED)	
REAR YARD TO DECK:	7.5 m	**3.22 m (PROPOSED)	
RIGHT YARD TO HOUSE:	1.2 m	2.69 m (EXISTING)	
RIGHT YARD TO ADDITION:	1.2 m	**1.16 m (PROPOSED)	
RIGHT YARD TO DECK:	0.5 m	1.16 m (PROPOSED)	
LEFT YARD TO HOUSE:	1.2 m	0.99 m (EXISTING)	
LEFT YARD TO ADDITION:	1.2 m	**1.0 m (PROPOSED)	
BUILDING HEIGHT:	9.0 m	±7.38 m (EXISTING)	
BUILDING HEIGHT:	2 STOREYS	2 STOREYS (EXISTING)	
PARKING SPACES:	2	**0 (PROPOSED)	
** VARIANCE REQUIRED			

GFA CALCULATIONS:

EXISTING BASEMENT:	501.5 sqft (46.6 sqm)
EXISTING MAIN FLOOR:	514.0 sqft (47.8 sqm)
EXISTING SECOND FLOOR:	473.8 sqft (44.0 sqm)
NEW BASEMENT:	380.8 sqft (35.4 sqm)
NEW ADDITION MAIN FLOOR:	377.6 sqft (35.1 sqm)
NEW SECOND FLOOR:	288.0 sqft (26.8 sqm)
MECHANICAL NOT INCLUDED:	70.0 sqft (6.5 sqm)
TOTAL GFA AREA:	2465.7 sqft (229.1 sqm)

ISSUED FOR COMMITTEE OF ADJUSTMENT

Project Name:
PRIVATE RESIDENCE
REAR ADDITION & INTERIOR RENOVATIONS
142 BARCLAY STREET,
HAMILTON, ONTARIO. L8S 1P5

Sheet Title:
SITE PLAN & ZONING STATS.

No.	Date:	Issue/Revision	By:
2	DEC 16/21	ISSUED FOR COFA	
1	DEC 01/21	ISSUED FOR REVIEW	

Drawn By:
Checked By:
Scale: 1:100
Date: DEC 2021
Project No. 2020-101

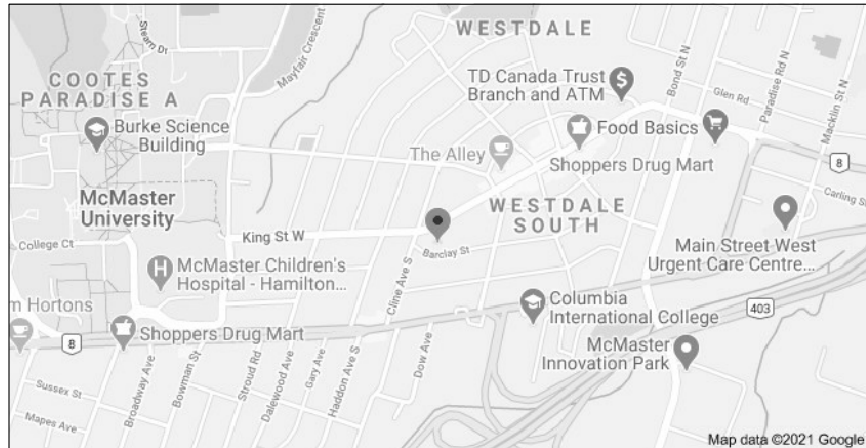
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PRIVATE RESIDENCE

REAR ADDITION & INTERIOR RENOVATIONS

142 BARCLAY STREET, HAMILTON, ONTARIO. L8S 1P5

ISSUED FOR COMMITTEE OF ADJUSTMENT



LOCATION MAP:



EXISTING REAR ELEVATION: (FOR REF. ONLY)

BUILDING STATISTICS:

BASEMENT PLAN	= 882.3 sq.ft (82.0 m2)
MAIN FLOOR PLAN	= 891.6 sq.ft (82.9 m2)
2ND FLOOR PLAN	= 761.8 sq.ft (70.8 m2)
TOTAL GFA	= 2465.7 sq.ft (229.1 m2)
FRONT PORCH	= 54.5 sq.ft. (5.1 m2)
REAR DECK	= 85.0 sq.ft. (7.9 m2)



REAR ELEVATION RENDERING: (FOR REF. ONLY)

ISSUED FOR COMMITTEE OF ADJUSTMENT

Project Name:
PRIVATE RESIDENCE
 REAR ADDITION &
 INTERIOR RENOVATIONS
 142 BARCLAY STREET,
 HAMILTON, ONTARIO. L8S 1P5

Sheet Title:
COVER PAGE AND ZONING

No.	Date:	Issue/Revision
2	DEC 16/21	ISSUED FOR COFA
1	DEC 01/21	ISSUED FOR REVIEW

Drawn By:	
Checked By:	
Scale:	N.T.S.
Date:	DEC 2021
Project No.:	2020-101

A1

TOPOGRAPHIC PLAN OF
PART OF LOT 302
REGISTERED PLAN 646
 IN THE
CITY OF HAMILTON

SCALE & NOTES
 Scale 1:100

BARICH GRENKIE SURVEYING LTD.
 A DIVISION OF GEOMAPLE
 © COPYRIGHT 2020

METRIC

DISTANCES AND ELEVATIONS SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

ELEVATION NOTE

ELEVATIONS ARE REFERRED TO THE CANADIAN GEODETIC VERTICAL DATUM (CGVD-1928:1978) AND ARE DERIVED FROM CITY OF HAMILTON BENCHMARK No. 0011965U022 HAVING AN ELEVATION OF 98.156 m.

BEARING NOTE

BEARINGS ARE UTM GRID, REFERRED TO THE CENTRAL MERIDIAN OF UTM ZONE 17 (81° 00' WEST LONGITUDE) NAD83 (CSRS) (2010.0).

HORIZONTAL DATUM NOTE

PROJECTION: UNIVERSAL TRANSVERSE MERCATOR
 (UTM, ZONE 17, CM 81°00'W)

DATUM: NAD83 (CSRS)(2010.0)

GRID SCALE CONVERSION

DISTANCES ON THIS PLAN MAY BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY A COMBINED SCALE FACTOR OF 0.999681.

NOTE

BEARING COMPARISONS SHOWN ARE WITH ASTRONOMIC BEARINGS ON UNDERLYING PLANS.

LEGEND

■	DENOTES	SURVEY MONUMENT FOUND
□	DENOTES	SURVEY MONUMENT PLANTED
IB	DENOTES	IRON BAR
SIB	DENOTES	STANDARD IRON BAR
CC	DENOTES	CUT CROSS
OU	DENOTES	ORIGIN UNKNOWN
824	DENOTES	A.T. McLAREN, O.L.S.
912	DENOTES	A.J. CLARKE, O.L.S.
655	DENOTES	J.T. PETERS, O.L.S.
MMP	DENOTES	MACKAY, MACKAY & PETERS, O.L.S.
871	DENOTES	D.A. HARRINGTON, O.L.S.
P1	DENOTES	PLAN BY A. T. McLAREN LTD. DATED NOVEMBER 22, 1991
P2	DENOTES	PLAN BY A. J. CLARKE & ASSOCIATES LTD. DATED JULY 20, 1976
P3	DENOTES	REGISTERED PLAN 646
P4	DENOTES	PLAN 62R-6551
CALC	DENOTES	CALCULATION DERIVED FROM P3 & P4
NTS	DENOTES	NOT TO SCALE
WIT	DENOTES	WITNESS
MH	DENOTES	MANHOLE
GUT	DENOTES	GUTTER ELEVATION
BC	DENOTES	BOTTOM OF CURB ELEVATION
OH	DENOTES	OVERHEAD UTILITY CABLES
DT	DENOTES	DECIDUOUS TREE
CT	DENOTES	CONIFEROUS TREE
UP	DENOTES	UTILITY POLE
FF	DENOTES	FINISHED FLOOR ELEVATION
GF	DENOTES	GARAGE FLOOR ELEVATION
TNFH	DENOTES	TOP NUT OF FIRE HYDRANT
BF	DENOTES	BOARD FENCE
CLF	DENOTES	CHAIN LINK FENCE
PC	DENOTES	POINT OF CURVE
WV	DENOTES	WATER VALVE
∅	DENOTES	DIAMETER

ASSOCIATION OF ONTARIO
 LAND SURVEYORS
 PLAN SUBMISSION FORM
2131750



THIS PLAN IS NOT VALID
 UNLESS IT IS AN EMBOSSED
 ORIGINAL COPY
 ISSUED BY THE SURVEYOR
 in accordance with
 Regulation 1926, Section 29(3)

THIS PLAN WAS PREPARED FOR KAREN FAIRWEATHER AND THE UNDERSIGNED ASSUMES NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.

2. THE SURVEY WAS COMPLETED ON AUGUST 21, 2020.

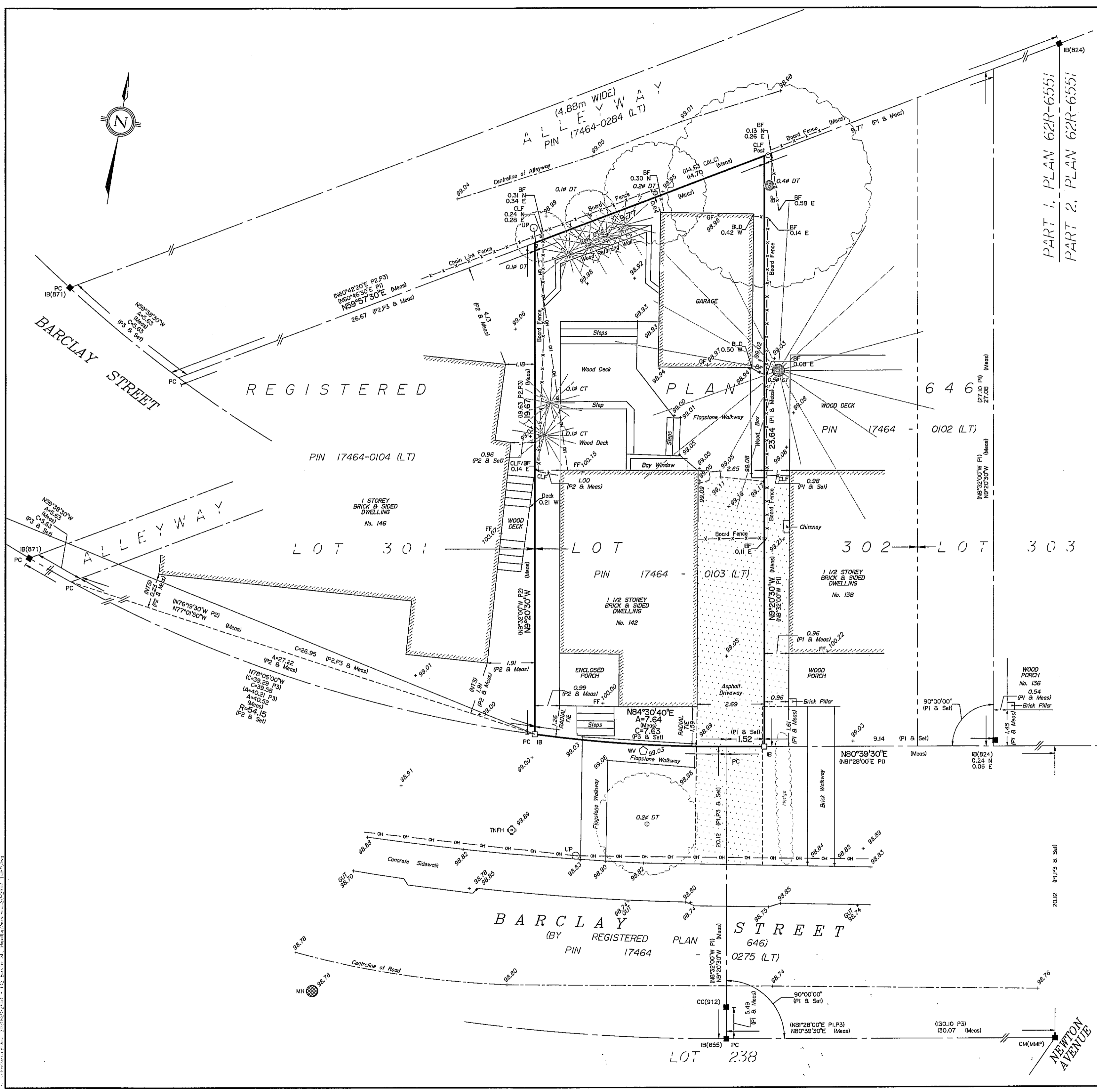
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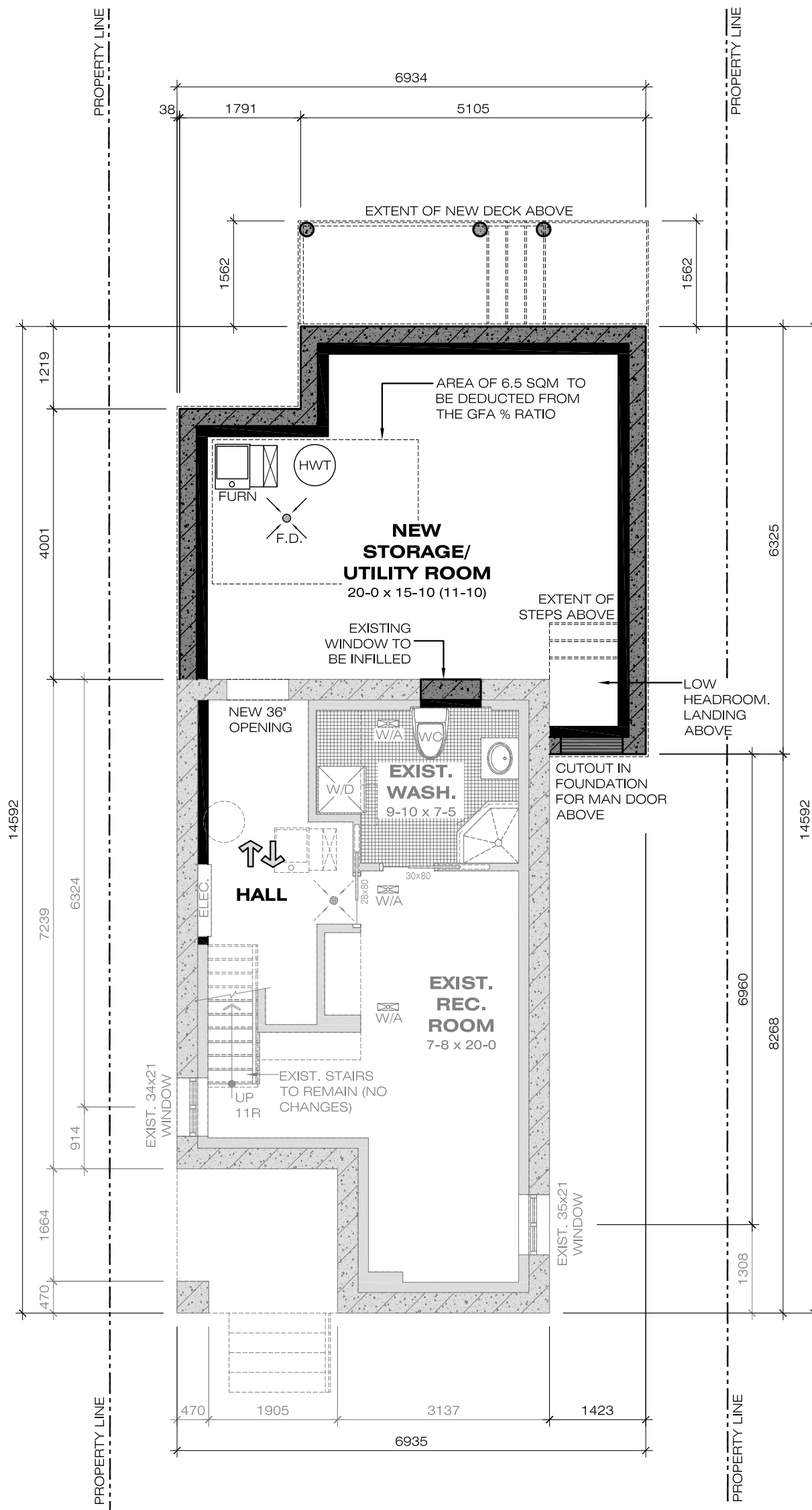
Matthew Di Cosmo
 MATTHEW DI COSMO
 ONTARIO LAND SURVEYOR

Barich Grenkie
 Surveying Ltd.
 297 HWY No. 8 (UNIT 10) - STONEY CREEK, ON
 L8G 1E5 (403) 662-6767

DWN BY: EWA
 CHK BY: MD
 JOB No. 20-2694

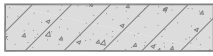
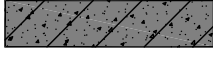


A DIVISION OF GEOMAPLE





FOUNDATION/ BASEMENT PLAN
 EXISTING FLOOR AREA = 501.5 sqft (46.6 sqm)
ADDITION FLOOR AREA = 380.8 sqft (35.4 sqm)
 CEILING HEIGHT = 6'-6" U.N.O.
 HABITABLE ROOMS = 1

WALL LEGEND

-  EXISTING FOUNDATION WALLS TO REMAIN
-  NEW FOUNDATION WALLS
-  EXISTING INTERIOR / EXTERIOR WALLS TO REMAIN
-  NEW INTERIOR / EXTERIOR WALLS

ISSUED FOR COMMITTEE OF ADJUSTMENT

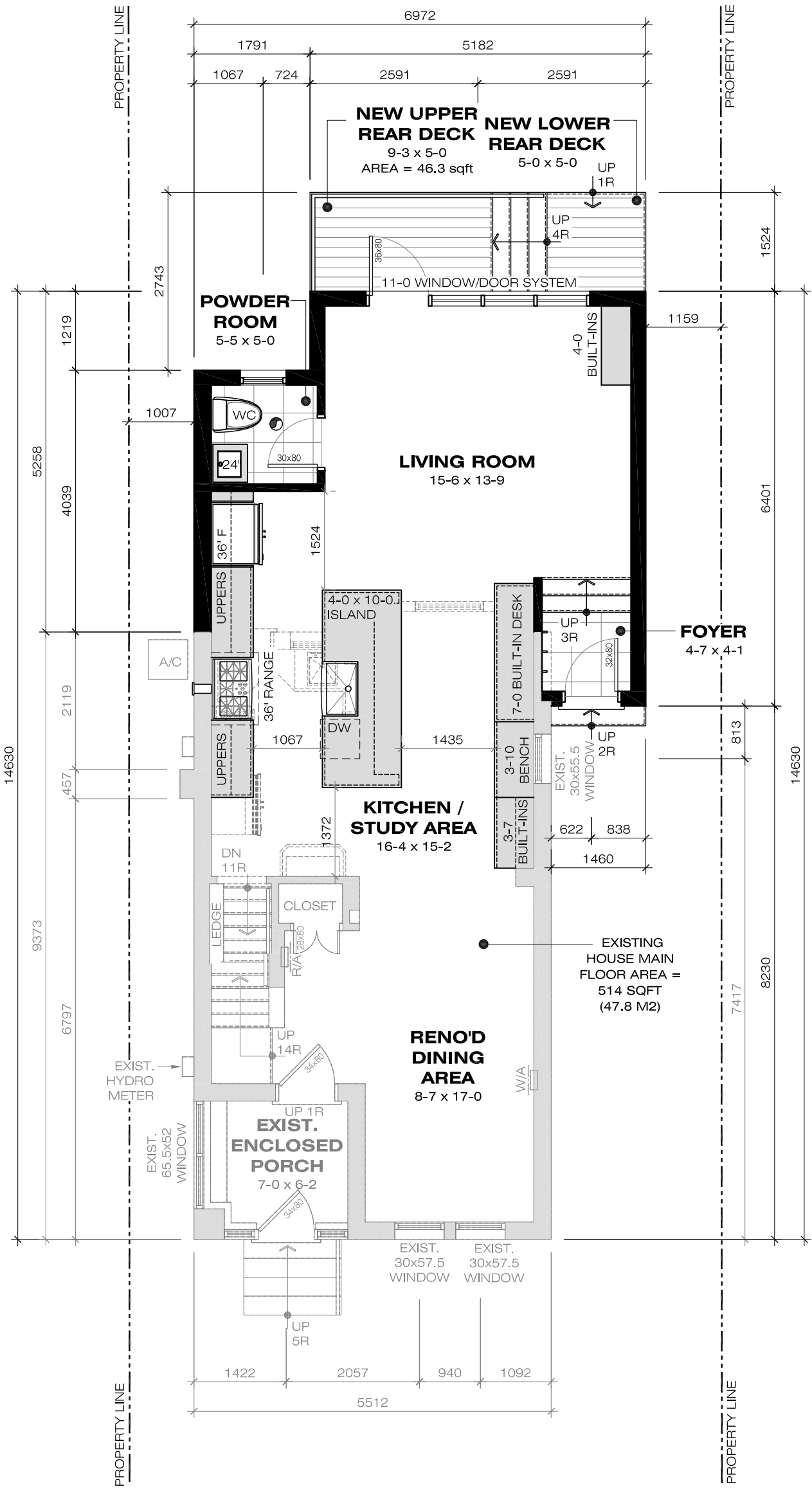
Project Name:
PRIVATE RESIDENCE
 REAR ADDITION &
 INTERIOR RENOVATIONS
 142 BARCLAY STREET,
 HAMILTON, ONTARIO. L8S 1P5

Sheet Title:
BASEMENT FLOOR PLAN

No.	Date:	Issue/Revision
2	DEC 16/21	ISSUED FOR COFA
1	DEC 01/21	ISSUED FOR REVIEW

Checked By:	
Scale:	1:75
Date:	DEC 2021
Project No.:	2020-101

A2



MAIN FLOOR PLAN

EXISTING FLOOR AREA = 514.0 sqft (47.8 sqm)
ADDITION AREA = 377.6 sqft (35.1 sqm)
 CEILING HEIGHT = 7'-11"
HABITABLE ROOMS = 3

WALL LEGEND	
	EXISTING INTERIOR / EXTERIOR WALLS TO REMAIN
	NEW INTERIOR / EXTERIOR WALLS
	EXISTING INTERIOR / EXTERIOR WALLS TO BE REMOVED

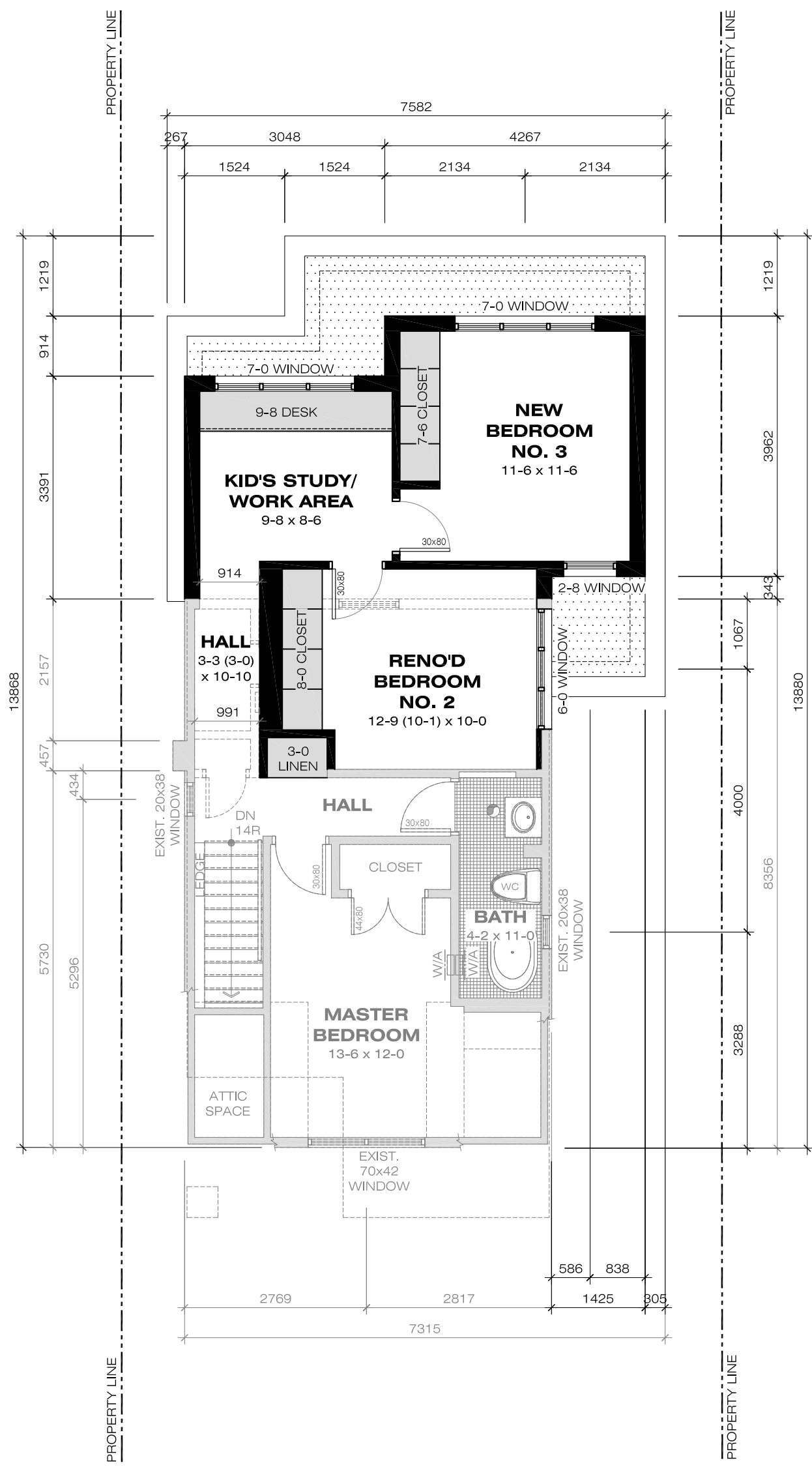
ISSUED FOR COMMITTEE OF ADJUSTMENT

Project Name:
PRIVATE RESIDENCE REAR ADDITION & INTERIOR RENOVATIONS
 142 BARCLAY STREET,
 HAMILTON, ONTARIO. L8S 1P5

Sheet Title:
MAIN FLOOR PLAN

No.	Date:	Issue/Revision
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1	DEC 01/21	ISSUED FOR REVIEW




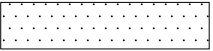
Drawn By:	
Checked By:	
Scale:	1:75
Date:	DEC 2021
Project No.:	2020-101
A3	



SECOND FLOOR PLAN

EXISTING FLOOR AREA = 473.8 sqft (47.7 sqm)
ADDITION AREA = 288.0 sqft (26.8 sqm)
 CEILING HEIGHT = 7'-8" U.N.O.
HABITABLE ROOMS = 4

WALL LEGEND

-  EXISTING INTERIOR / EXTERIOR WALLS TO REMAIN
-  NEW INTERIOR / EXTERIOR WALLS
-  EXISTING INTERIOR / EXTERIOR WALLS TO BE REMOVED
-  NEW LOW SLOPED ROOF BELOW

ISSUED FOR COMMITTEE OF ADJUSTMENT

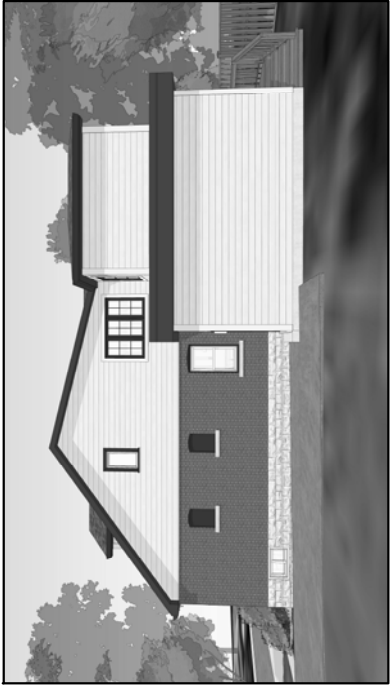
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 142 BARCLAY STREET,
 HAMILTON, ONTARIO. L8S 1P5

Sheet Title:
SECOND FLOOR PLAN

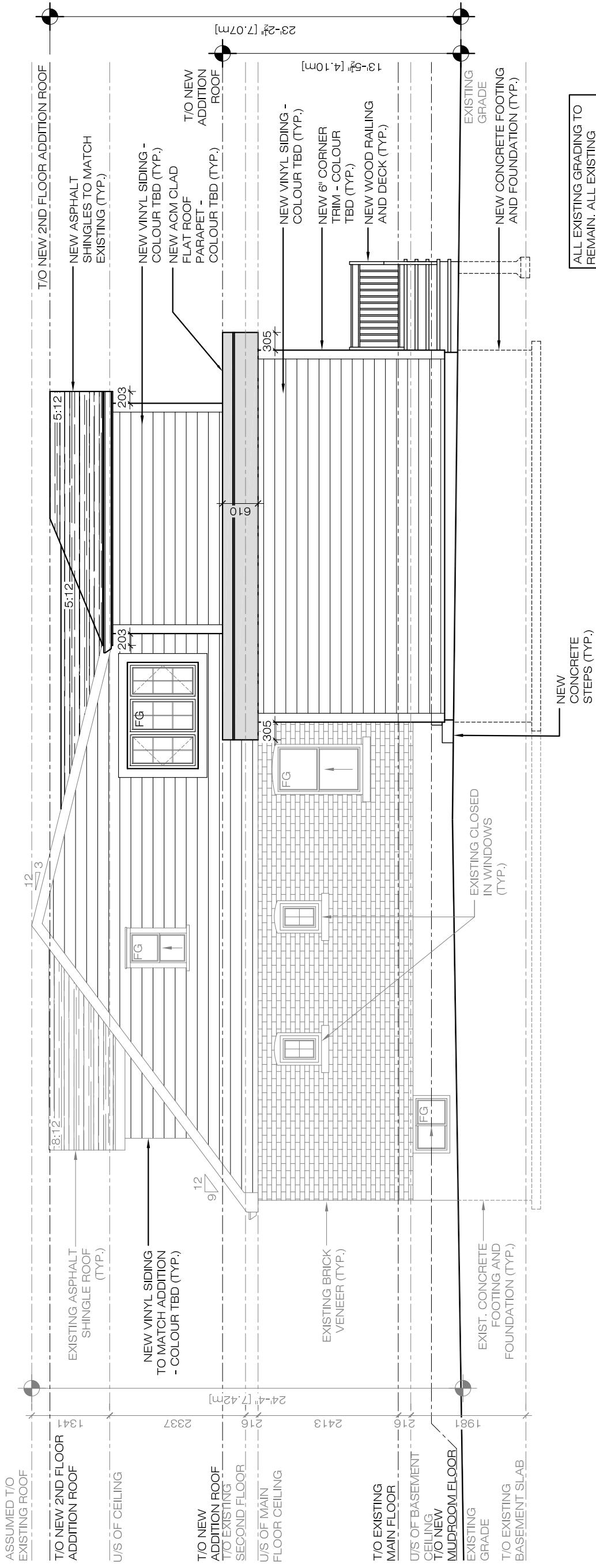
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Checked By:	
Scale:	1:75
Date:	DEC 2021
Project No.:	2020-101

A4



RIGHT SIDE RENDERING: (FOR REF. ONLY)



ALL EXISTING GRADING TO REMAIN. ALL EXISTING DRAINAGE CONDITIONS TO REMAIN BETWEEN HOUSE AND PROPERTY LINE

RIGHT SIDE ELEVATION

ISSUED FOR COMMITTEE OF ADJUSTMENT

Project Name:
PRIVATE RESIDENCE
 REAR ADDITION &
 INTERIOR RENOVATIONS
 142 BARCLAY STREET,
 HAMILTON, ONTARIO. L8S 1P5

Sheet Title:
RIGHT SIDE ELEVATION

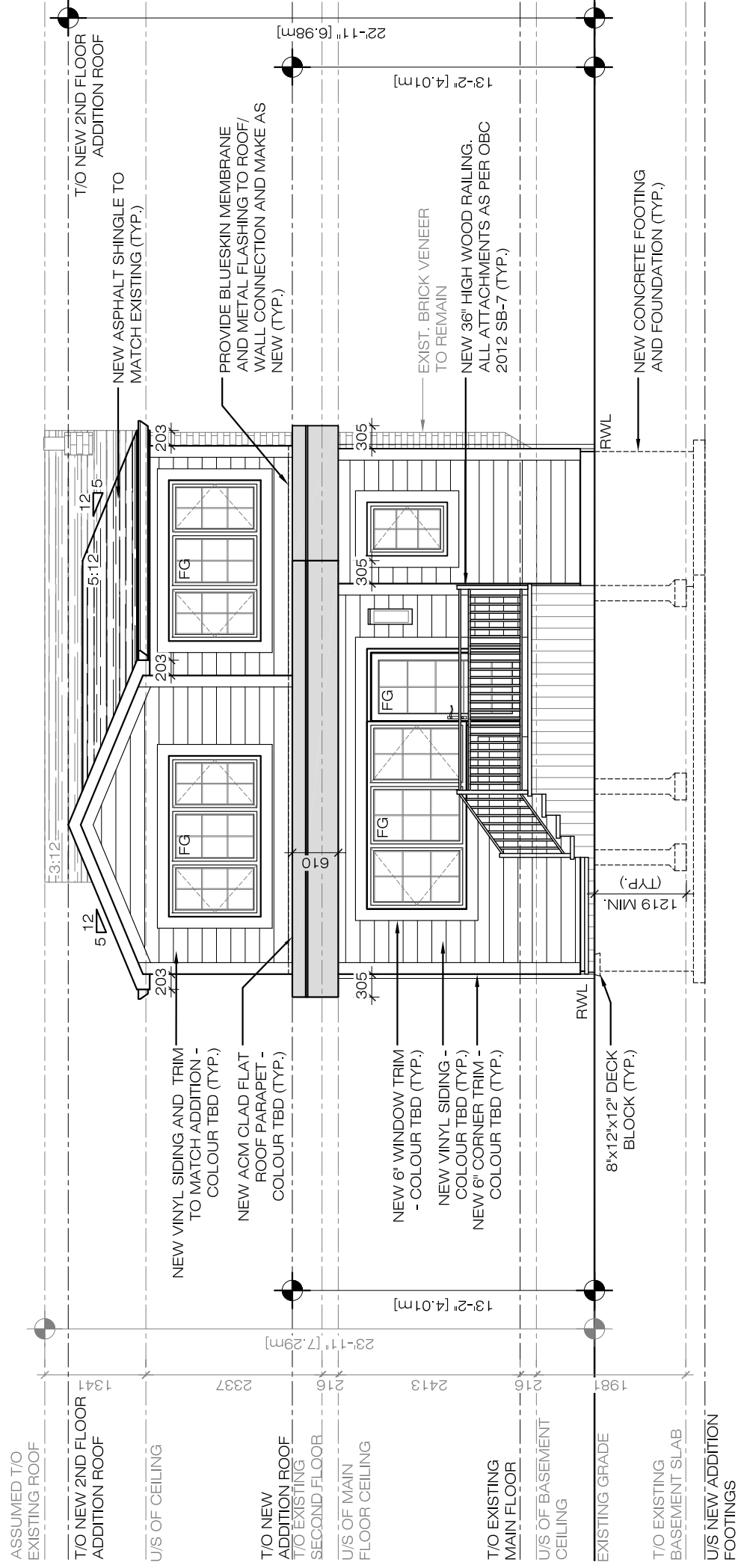
No.	Date:	Issue/Revision
2	DEC 16/21	ISSUED FOR COFA
1	DEC 01/21	ISSUED FOR REVIEW

Drawn By:
 Checked By:
 Scale: 1:75
 Date: DEC 2021
 Project No. 2020-101

A5



REAR RENDERING: (FOR REF. ONLY)



REAR ELEVATION

ISSUED FOR COMMITTEE OF ADJUSTMENT

Project Name:
PRIVATE RESIDENCE
 REAR ADDITION &
 INTERIOR RENOVATIONS
 142 BARCLAY STREET,
 HAMILTON, ONTARIO. L8S 1P5

Sheet Title:
REAR ELEVATION

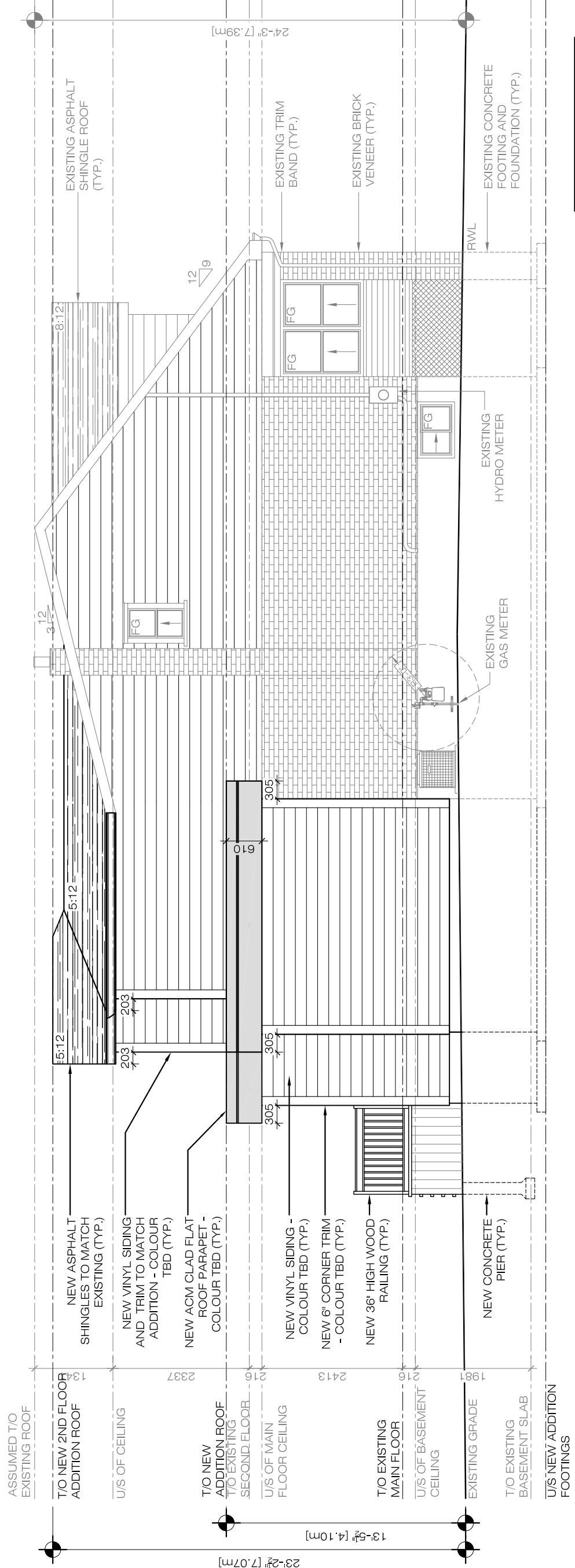
No.	Date:	Issue/Revision
2	DEC 16/21	ISSUED FOR COFA
1	DEC 01/21	ISSUED FOR REVIEW

Drawn By:	
Checked By:	
Scale:	1:75
Date:	DEC 2021
Project No.	2020-101

A6



LEFT SIDE RENDERING: (FOR REF. ONLY)



ALL EXISTING GRADING TO REMAIN. ALL EXISTING DRAINAGE CONDITIONS TO REMAIN BETWEEN HOUSE AND PROPERTY LINE

LEFT SIDE ELEVATION

ISSUED FOR COMMITTEE OF ADJUSTMENT

Project Name:
PRIVATE RESIDENCE
 REAR ADDITION &
 INTERIOR RENOVATIONS
 142 BARCLAY STREET,
 HAMILTON, ONTARIO. L8S 1P5

Sheet Title:
LEFT SIDE ELVATION

No.	Date:	Issue/Revision
2	DEC 16/21	ISSUED FOR COFA
1	DEC 01/21	ISSUED FOR REVIEW

Drawn By:	
Checked By:	
Scale:	1:75
Date:	DEC 2021
Project No.	2020-101

A7



Hamilton

Committee of Adjustment

City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2

Registered Owners(s)	
Applicant(s)*	
Agent or Solicitor	

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

Proposed 115.1% GFA where max. 45% is permitted. Proposed 4.65m rear yard to house where 7.5m is allowed. Proposed 3.22m rear yard to deck where 7.5m is allowed. Proposed 1.16m right yard to house where 1.2m is allowed. Proposed 1.0m left yard to house where 1.2m is allowed. Proposed 0 parking spaces where min. 2 are required.

5. Why it is not possible to comply with the provisions of the By-law?

This design is required to accommodate a growing single family dwelling. The addition will allow them to stay in Westdale, as their roots are in the community. The design will allow them to have the required space to raise their family here, as the existing house size exceeds max GFA ratio. Any addition size will trigger a variance. With the design requirements for the addition we are not able to meet the required setbacks. ❑

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

Lot 302, Registered Plan 646
142 Barclay Street, Hamilton, ON. L8S 1P5

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial

Agricultural Vacant

Other _____

8.1 If Industrial or Commercial, specify use _____

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 9.1 to 9.10 above?

Homeowner

8.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

Dec 7, 2021

Date



Signature Property Owner

Fraser Brown & Kari Fairweather

Print Name of Owner

10. Dimensions of lands affected.

Frontage	<u>9.14 m</u>
Depth	<u>21.85 m</u>
Area	<u>199.0 m²</u>
Width of street	<u>N/A</u>

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _

Existing SFD: Ground floor area 47.8 m², Gross floor area 134.6 m², 2 Storeys, Width 5.51m, Length 9.37m, Height 7.38 m

Existing Detached Garage: Ground and Gross floor area 23.1 m², 1 Storey, Width 3.73m, Length 6.19m

Proposed

Rear yard addition: Ground floor area 35.1m², Second floor area: 47.7m², 2 Storey, Width 6.97m, Length 6.40m, Height 7.07m

Rear yard deck: Total area 7.9m², Width 5.18m, Length 1.52m

12. Location of all buildings and structures on or proposed for the subject lands: (Specify distance from side, rear and front lot lines)

Existing:

Existing SFD: Front yard 1.26m, Right yard 2.69m, Left yard 0.99m

Existing Detached Garage: Right yard 0.42m, Rear yard 0.64m

Proposed:

Rear yard addition: Right yard 1.16m, Left yard 1.00m, Rear yard 4.65m

Rear yard deck: Right yard 1.16m, Rear yard 3.22m

13. Date of acquisition of subject lands:

14. Date of construction of all buildings and structures on subject lands:

15. Existing uses of the subject property:
Residential
16. Existing uses of abutting properties:
Residential
17. Length of time the existing uses of the subject property have continued:
18. Municipal services available: (check the appropriate space or spaces)
Water _____ Connected _____
Sanitary Sewer _____ Connected _____
Storm Sewers _____
19. Present Official Plan/Secondary Plan provisions applying to the land:
N/A
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
C/S-1788, S-1361
21. Has the owner previously applied for relief in respect of the subject property?
 Yes No
If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.