



Hamilton

## COMMITTEE OF ADJUSTMENT

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5  
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202  
E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

# NOTICE OF PUBLIC HEARING

## Application for Consent/Land Severance

APPLICATION NUMBER: FL/B-21:118

SUBJECT PROPERTY: 59 Brian Boulevard, Flamborough

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You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
  - Applicant/agent on file, or
  - Person likely to be interested in this application
- 

**APPLICANT(S):** Agent T. John Consulting Group c/o K. Gillis  
Owner Northern Cardinal Developments Ltd. c/o  
Agro Developments Corp. c/o A. Roberts

**PURPOSE OF APPLICATION:** To permit the conveyance of a parcel of land and to retain a parcel of land for residential purposes.

**Severed lands:**  
15.07m<sup>±</sup> x 30.48m<sup>±</sup> and an area of 459.3m<sup>2±</sup>

**Retained lands:**  
15.33m<sup>±</sup> x 30.48m<sup>±</sup> and an area of 468.4m<sup>2±</sup>

**This application will be heard in conjunction with  
Minor Variance Application FL/A-21:445**

The Committee of Adjustment will hear this application on:

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**DATE:** Thursday, February 24th , 2022  
**TIME:** 3:10 p.m.  
**PLACE:** Via video link or call in (see attached sheet for details)

To be streamed at  
[www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)  
for viewing purposes only

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### PUBLIC INPUT

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

## MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

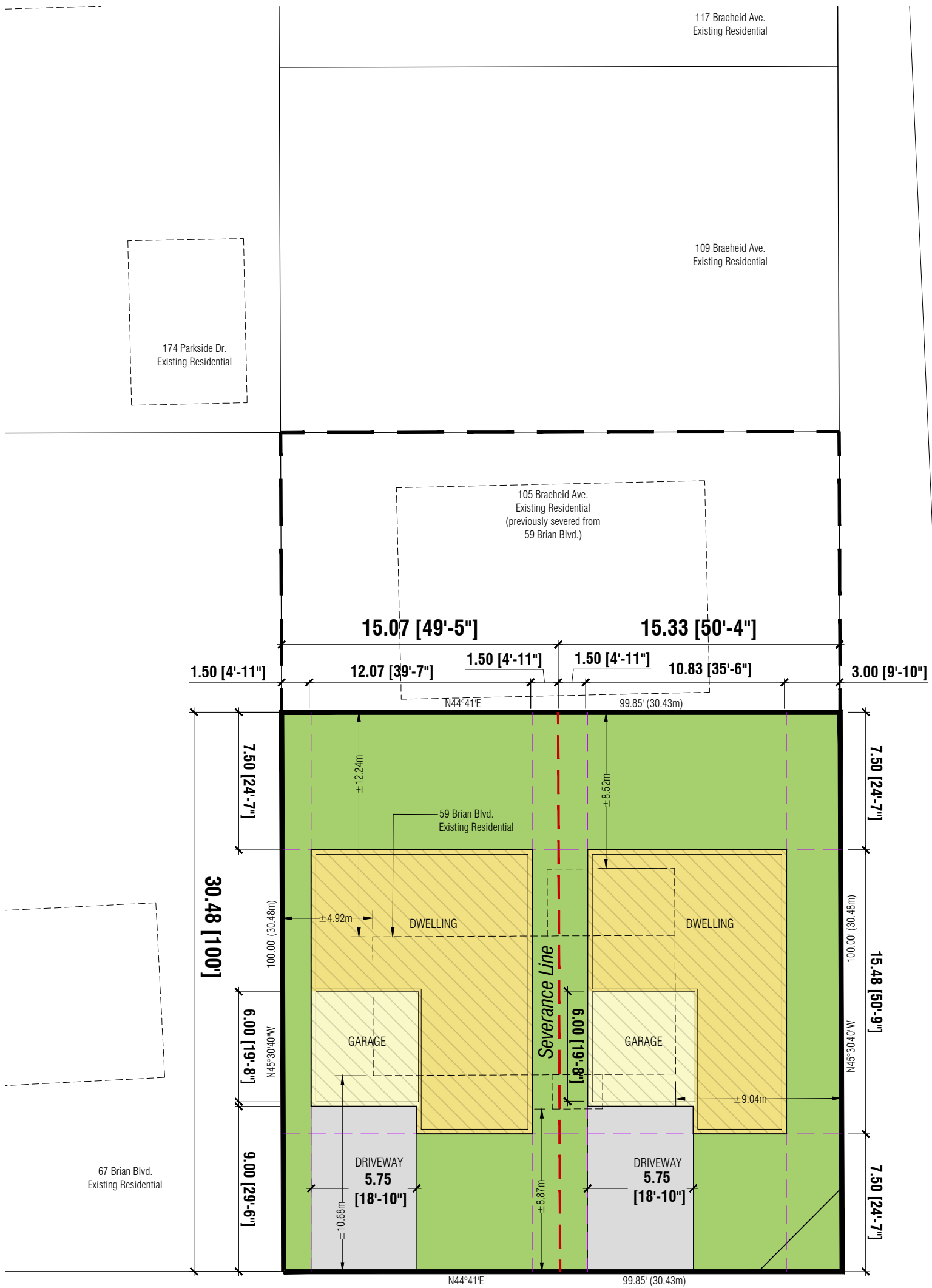
- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

DATED: February 8th, 2022

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

***Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.***



LOT AREA	459.3 m <sup>2</sup>	LOT AREA	468.4 m <sup>2</sup>
FOOTPRINT	178.2 sq.ft.	FOOTPRINT	159.0 sq.ft.
COVERAGE	38.8% (MAX 40%)	COVERAGE	34.0% (MAX 40%)

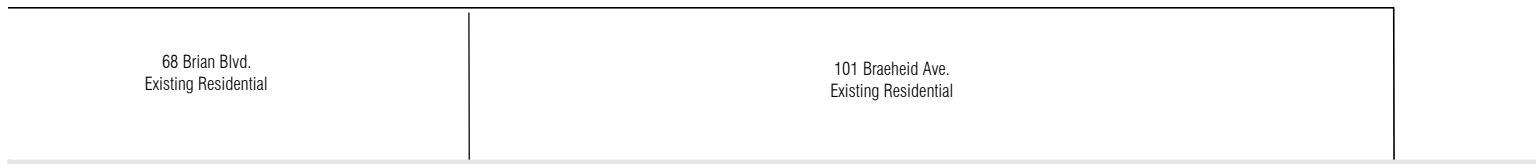
**BRIAN BOULEVARD**  
(20.0m Public Right-of-Way)

**GFA (2 STOREY WITH 2 CAR GARAGE)**

	m <sup>2</sup>	sq.ft.
GROUND FLOOR	141.66	1524.8
SECOND FLOOR	178.22	1918.3
<b>TOTAL GFA</b>	<b>319.87</b>	<b>3443.1</b>

**GFA (2 STOREY WITH 2 CAR GARAGE)**

	m <sup>2</sup>	sq.ft.
GROUND FLOOR	122.46	1318.2
SECOND FLOOR	159.02	1711.7
<b>TOTAL GFA</b>	<b>281.48</b>	<b>3029.9</b>



**DRAFT**

- All Units In Metric Unless Otherwise Noted.
- Base on Survey Prepared by L.G. Woods Surveying Inc. dated April 21, 2001.
- Schedule / Plan Information Is Conceptual And Requires Verification by Appropriate Agency.
- Edge of Pavement/Edge of Curb Location is Approximate.



**December 14<sup>th</sup>, 2021**

*Via Email*

City of Hamilton  
Committee of Adjustment  
71 Main Street West, 5<sup>th</sup> Floor  
Hamilton, ON L8P 4Y5

**ATTENTION:** Jamila Sheffield, Secretary-Treasurer

**RE: 59 Brian Boulevard, Waterdown  
Consent to Sever and Minor Variance Applications**

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Dear Ms. Sheffield,

**T. Johns Consulting Group Ltd.** (“**T. Johns Consulting**”) was retained by Argo Development Corporation on behalf of Northern Cardinal Developments, the landowner of 59 Brian Boulevard, Waterdown (“**subject lands**”). T. Johns Consulting respectfully submits the enclosed Consent to Sever and Minor Variance applications.

### **Site Description**

The subject lands are located in Waterdown on the north side of Brian Boulevard (**Refer to Figure 1 - Site Location**). The subject lands are a corner lot and are rectangular in shape with an approximate site area of 1,022.7 m<sup>2</sup> and 30.44 metres of frontage on Brian Boulevard and a depth of 31.91 metres. The site is an existing residential lot of record and occupied by one (1) detached dwelling (**Refer to the submitted Survey Plan**).

### **Planning Status**

The *Urban Hamilton Official Plan, Volume 1* designates the subject lands “Neighbourhoods” (Schedule E-1). The subject lands make up part of the City’s “Neighbourhoods” urban structure and are within proximity to a “Community Node” (Schedule E). The subject lands are within the boundaries of Volume 2, Chapter B-4, West Waterdown Secondary Plan which designates the subject lands “Low Density Residential 2e” (Map B.4.1-1). Single detached dwellings up to a maximum density of 26 units per net residential hectare are permitted.

The former Town of Flamborough Zoning By-law No, 90-145-Z zones the subject lands “R1-25” Urban Residential (Single Detached) Zone, Modified. Single family dwellings are a permitted use.

### **Proposed Development**

The landowner proposes to demolish the existing dwelling on the subject lands to facilitate the creation of one (1) new lot for a total of two (2) lots suitable for detached dwellings. The owner/applicant of the application will construct new two-storey single detached dwellings. A Preliminary Servicing Sketch prepared by MTE Consultants Inc. has been provided to demonstrate that the proposed lots are serviceable.

## Implementation

A Minor Variance and Consent to Sever applications are required to facilitate the proposed redevelopment of the subject lands.

### *Consent to Sever*

In summary, the Consent to Sever proposes the following:

- Sever Part 1 being  $\pm 459.3\text{m}^2$  with  $\pm 15.07\text{m}$  frontage (Interior Lot)
- Retain Part 2 being  $\pm 468\text{m}^2$  with  $\pm 15.33\text{m}$  frontage (Corner Lot)

Please refer to the submitted Concept Plan for further details.

### *Minor Variance*

- Refer to Appendix A: Planning Rationale for further detail.

T. Johns respectfully requests for the circulation of this letter along with the following enclosed documents in support of the related Consent to Sever and Minor Variance applications.

#### **Please find the enclosed electronic documents:**

- One (1) Consent to Sever application complete with signatures;
- One (1) Minor Variance application complete with signatures;
- One (1) Planning Rationale Report (Appendix "A");
- One (1) cheque in the total amount of \$6,180.00 to satisfy the Consent to Sever (\$2,860.00) and Minor Variance (\$3,320.00) application fees;
  - Note the cheque delivered to City Hall December 14<sup>th</sup>, 2021.
- One (1) Survey Plan;
- One (1) Servicing Strategy Sketch;
- One (1) Concept Plan.

Please do not hesitate to contact Katelyn Gillis at 905-574-1993 ext. 207 with any questions.

Respectfully submitted,

**T. Johns Consulting Group Ltd.**



**Katelyn Gillis, BA**  
Intermediate Planner



**Terri Johns, MCIP, RPP**  
President

Cc: Argo Developments c/o Mr. K. Singh



Hamilton

Committee of Adjustment

City Hall, 5<sup>th</sup> Floor,

71 Main St. W.,

Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

### APPLICATION FOR CONSENT TO SEVER LAND UNDER SECTION 53 OF THE PLANNING ACT

Office Use Only

Date Application Received:	Date Application Deemed Complete:	Submission No.:	File No.:
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#### 1 APPLICANT INFORMATION

1.1, 1.2			
Registered Owners(s)			
Applicant(s)*			
Agent or Solicitor			

\* Owner's authorisation required if the applicant is not the owner.

1.3 All correspondence should be sent to  Owner  Applicant  Agent/Solicitor

#### 2 LOCATION OF SUBJECT LAND Complete the applicable lines

2.1 Area Municipality	Lot	Concession	Former Township
Waterdown	25		Town of Flamborough
Registered Plan N°.	Lot(s)	Reference Plan N°.	Part(s)
1084 (Backdale Addition)			
Municipal Address			Assessment Roll N°.
59 Brian Boulevard, Hamilton			30339020600

2.2 Are there any easements or restrictive covenants affecting the subject land?  
 Yes  No  
If YES, describe the easement or covenant and its effect:

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#### 3 PURPOSE OF THE APPLICATION

3.1 Type and purpose of proposed transaction: (check appropriate box)

a) Urban Area Transfer (do not complete Section 10):

creation of a new lot

Other:  a charge

- addition to a lot  
 an easement

- a lease  
 a correction of title

b) **Rural Area / Rural Settlement Area Transfer (Section 10 must be completed):**

- creation of a new lot  
 creation of a new non-farm parcel  
 ( i.e. a lot containing a surplus farm dwelling  
 resulting from a farm consolidation)  
 addition to a lot

- Other:  a charge  
 a lease  
 a correction of title  
 an easement

3.2 Name of person(s), if known, to whom land or interest in land is to be transferred, leased or charged:

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3.3 If a lot addition, identify the lands to which the parcel will be added:

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**4 DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION**

4.1 Description of land intended to be **Severed**:

Frontage (m) ± 15.07 m	Depth (m) ± 30.48 m	Area (m <sup>2</sup> or ha) ± 459.3 m <sup>2</sup>
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Existing Use of Property to be severed:

- Residential  
 Agriculture (includes a farm dwelling)  
 Other (specify) \_\_\_\_\_
- Industrial  
 Agricultural-Related
- Commercial  
 Vacant

Proposed Use of Property to be severed:

- Residential  
 Agriculture (includes a farm dwelling)  
 Other (specify) \_\_\_\_\_
- Industrial  
 Agricultural-Related
- Commercial  
 Vacant

Building(s) or Structure(s):

Existing: One storey residential dwelling

Proposed: Two, two-storey dwellings on two new lots

Type of access: (check appropriate box)

- provincial highway  
 municipal road, seasonally maintained  
 municipal road, maintained all year
- right of way  
 other public road

Type of water supply proposed: (check appropriate box)

- publicly owned and operated piped water system  
 privately owned and operated individual well
- lake or other water body  
 other means (specify) \_\_\_\_\_

Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage system  
 privately owned and operated individual septic system  
 other means (specify) \_\_\_\_\_

4.2 Description of land intended to be **Retained**:

Frontage (m) ± 15.33m	Depth (m) ± 30.48 m	Area (m <sup>2</sup> or ha) ± 468.4 sq. m
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Existing Use of Property to be retained:

- Residential  
 Agriculture (includes a farm dwelling)  
 Other (specify) \_\_\_\_\_
- Industrial  
 Agricultural-Related
- Commercial  
 Vacant

Proposed Use of Property to be retained:

- Residential
  Industrial
  Commercial  
 Agriculture (includes a farm dwelling)
  Agricultural-Related
  Vacant  
 Other (specify) \_\_\_\_\_

Building(s) or Structure(s):

Existing: One storey residential dwelling

Proposed: Two new, two-storey dwellings on two new lots

Type of access: (check appropriate box)

- provincial highway
  right of way  
 municipal road, seasonally maintained
  other public road  
 municipal road, maintained all year

Type of water supply proposed: (check appropriate box)

- publicly owned and operated piped water system
  lake or other water body  
 privately owned and operated individual well
  other means (specify) \_\_\_\_\_

Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage system  
 privately owned and operated individual septic system  
 other means (specify) \_\_\_\_\_

4.3 Other Services: (check if the service is available)

- electricity
  telephone
  school bussing
  garbage collection

## 5 CURRENT LAND USE

5.1 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): \_\_\_\_\_

Urban Hamilton Official Plan designation (if applicable) Neighbourhoods

Please provide an explanation of how the application conforms with a City of Hamilton Official Plan.

The lands will remain residential and will stay in line with the Neighbourhood policies of the UHOP. The proposed consent and development of two new dwellings provides gentle intensification while maintains the form and function of the surrounding neighbourhood.

5.2 What is the existing zoning of the subject land? "R1-25" Urban Residential (Single Detached) Zone in Flamborough ZBL No. 90-145-Z  
 If the subject land is covered by a Minister's zoning order, what is the Ontario Regulation Number? \_\_\_\_\_

5.3 Are any of the following uses or features on the subject land or within 500 metres of the subject land, unless otherwise specified. Please check the appropriate boxes, if any apply.

Use or Feature	On the Subject Land	Within 500 Metres of Subject Land, unless otherwise specified (indicate approximate distance)
An agricultural operation, including livestock facility or stockyard	<input type="checkbox"/>	
A land fill	<input type="checkbox"/>	
A sewage treatment plant or waste stabilization plant	<input type="checkbox"/>	
A provincially significant wetland	<input type="checkbox"/>	



<b>A provincially significant wetland within 120 metres</b>	<input type="checkbox"/>	
<b>A flood plain</b>	<input type="checkbox"/>	
<b>An industrial or commercial use, and specify the use(s)</b>	<input type="checkbox"/>	
<b>An active railway line</b>	<input type="checkbox"/>	
<b>A municipal or federal airport</b>	<input type="checkbox"/>	

**6 PREVIOUS USE OF PROPERTY**

- Residential                       Industrial                       Commercial  
 Agriculture                               Vacant                               Other (specify)

- 6.1 If Industrial or Commercial, specify use \_\_\_\_\_
- 6.2 Has the grading of the subject land been changed by adding earth or other material, i.e., has filling occurred?  
 Yes             No    Unknown
- 6.3 Has a gas station been located on the subject land or adjacent lands at any time?  
 Yes             No    Unknown
- 6.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?  
 Yes             No    Unknown
- 6.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?  
 Yes             No    Unknown
- 6.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or biosolids was applied to the lands?  
 Yes             No    Unknown
- 6.7 Have the lands or adjacent lands ever been used as a weapons firing range?  
 Yes             No    Unknown
- 6.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?  
 Yes             No    Unknown
- 6.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (e.g., asbestos, PCB's)?  
 Yes             No    Unknown
- 6.10 Is there reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?  
 Yes             No    Unknown
- 6.11 What information did you use to determine the answers to 6.1 to 6.10 above?  
Owner's knowledge & history of the area
- 6.12 If previous use of property is industrial or commercial or if YES to any of 6.2 to 6.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.  
Is the previous use inventory attached?  
 Yes             No

**7 PROVINCIAL POLICY**

7.1 a) Is this application consistent with the Policy Statements issued under subsection of the *Planning Act*? (Provide explanation)

- Yes                       No

Provides residential infill development that is compatible with the surrounding neighbourhood and will be serviced by existing municipal infrastructure.

- b) Is this application consistent with the Provincial Policy Statement (PPS)?  
 Yes       No      (Provide explanation)

Provides residential infill development that is compatible with the surrounding neighbourhood and will be serviced by existing municipal infrastructure.

- c) Does this application conform to the Growth Plan for the Greater Golden Horseshoe?  
 Yes       No      (Provide explanation)

Provides residential infill development within the delineated built-up area of Hamilton that is compatible with the surrounding neighbourhood and will be serviced by existing municipal infrastructure.

- d) Are the subject lands within an area of land designated under any provincial plan or plans? (If YES, provide explanation on whether the application conforms or does not conflict with the provincial plan or plans.)  
 Yes       No

- e) Are the subject lands subject to the Niagara Escarpment Plan?  
 Yes       No

If yes, is the proposal in conformity with the Niagara Escarpment Plan?

- Yes       No  
(Provide Explanation)

- f) Are the subject lands subject to the Parkway Belt West Plan?  
 Yes       No

If yes, is the proposal in conformity with the Parkway Belt West Plan?

- Yes       No      (Provide Explanation)

- g) Are the subject lands subject to the Greenbelt Plan?  
 Yes       No

If yes, does this application conform with the Greenbelt Plan?

- Yes       No      (Provide Explanation)

## 8 HISTORY OF THE SUBJECT LAND

- 8.1 Has the subject land ever been the subject of an application for approval of a plan of subdivision or a consent under sections 51 or 53 of the *Planning Act*?  
 Yes       No       Unknown

If YES, and known, indicate the appropriate application file number and the decision made on the application.

Application file unknown; By-law No. 2000-115-Z Approved.

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- 8.2 If this application is a re-submission of a previous consent application, describe how it has been changed from the original application.

- 8.3 Has any land been severed or subdivided from the parcel originally acquired by the owner of the subject land?  Yes       No

If YES, and if known, provide for each parcel severed, the date of transfer, the name of

the transferee and the land use.

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8.4 How long has the applicant owned the subject land?  
August 23<sup>rd</sup>, 2021

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8.5 Does the applicant own any other land in the City?  Yes  No  
If YES, describe the lands in "11 - Other Information" or attach a separate page.

**9 OTHER APPLICATIONS**

9.1 Is the subject land currently the subject of a proposed official plan amendment that has been submitted for approval?  Yes  No  Unknown

If YES, and if known, specify file number and status of the application.

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9.2 Is the subject land the subject of any other application for a Minister's zoning order, zoning by-law amendment, minor variance, consent or approval of a plan of subdivision?  Yes  No  Unknown

If YES, and if known, specify file number and status of the application(s).

File number \_\_\_\_\_ Status \_\_\_\_\_

**10 RURAL APPLICATIONS**

10.1 **Rural Hamilton Official Plan Designation(s)**

- |  |                                     |   |
|--|-------------------------------------|---|
| <input type="checkbox"/> Agricultural                          | <input type="checkbox"/> Rural      | <input type="checkbox"/> Specialty Crop |
| <input type="checkbox"/> Mineral Aggregate Resource Extraction | <input type="checkbox"/> Open Space | <input type="checkbox"/> Utilities      |
| <input type="checkbox"/> Rural Settlement Area (specify) _____ | _____                               | _____                                   |
|  | Settlement Area                     | Designation                             |

If proposal is for the creation of a non-farm parcel resulting from a farm consolidation, indicate the existing land use designation of the abutting or non-abutting farm operation.

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10.2 **Type of Application** (select type and complete appropriate sections)

- |   |   |                         |
|---|---|-------------------------|
| <input type="checkbox"/> Agricultural Severance or Lot Addition                                 | } | (Complete Section 10.3) |
| <input type="checkbox"/> Agricultural Related Severance or Lot Addition                         |   |                         |
| <input type="checkbox"/> Rural Resource-based Commercial Severance or Lot Addition              |   |                         |
| <input type="checkbox"/> Rural Institutional Severance or Lot Addition                          |   |                         |
| <input type="checkbox"/> Rural Settlement Area Severance or Lot Addition                        |   |                         |
| <input type="checkbox"/> Surplus Farm Dwelling Severance from an Abutting Farm Consolidation    |   | (Complete Section 10.4) |
| <input type="checkbox"/> Surplus Farm Dwelling Severance from a Non-Abutting Farm Consolidation |   | (Complete Section 10.5) |

10.3 **Description of Lands**

a) Lands to be Severed:

Frontage (m): (from Section 4.1)	Area (m <sup>2</sup> or ha): (from in Section 4.1)
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Existing Land Use: \_\_\_\_\_ Proposed Land Use: \_\_\_\_\_

b) Lands to be Retained:

Frontage (m): (from Section 4.2)	Area (m <sup>2</sup> or ha): (from Section 4.2)
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Existing Land Use: \_\_\_\_\_ Proposed Land Use: \_\_\_\_\_

#### 10.4 Description of Lands (Abutting Farm Consolidation)

a) Location of abutting farm:

\_\_\_\_\_  
(Street) (Municipality) (Postal Code)

b) Description abutting farm:

Frontage (m):	Area (m <sup>2</sup> or ha):
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Existing Land Use(s): \_\_\_\_\_ Proposed Land Use(s): \_\_\_\_\_

c) Description of consolidated farm (excluding lands intended to be severed for the surplus dwelling):

Frontage (m):	Area (m <sup>2</sup> or ha):
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Existing Land Use: \_\_\_\_\_ Proposed Land Use: \_\_\_\_\_

d) Description of surplus dwelling lands proposed to be severed:

Frontage (m): (from Section 4.1)	Area (m <sup>2</sup> or ha): (from Section 4.1)
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Front yard set back: \_\_\_\_\_

e) Surplus farm dwelling date of construction:

Prior to December 16, 2004  After December 16, 2004

f) Condition of surplus farm dwelling:

Habitable  Non-Habitable

g) Description of farm from which the surplus dwelling is intended to be severed (retained parcel):

Frontage (m): (from Section 4.2)	Area (m <sup>2</sup> or ha): (from Section 4.2)
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Existing Land Use: \_\_\_\_\_ Proposed Land Use: \_\_\_\_\_

#### 10.5 Description of Lands (Non-Abutting Farm Consolidation)

a) Location of non-abutting farm

\_\_\_\_\_  
(Street) (Municipality) (Postal Code)

b) Description of non-abutting farm

Frontage (m):	Area (m <sup>2</sup> or ha):
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Existing Land Use(s): \_\_\_\_\_ Proposed Land Use(s): \_\_\_\_\_

c) Description of surplus dwelling lands intended to be severed:

Frontage (m): (from Section 4.1)	Area (m <sup>2</sup> or ha): (from Section 4.1)
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Front yard set back: \_\_\_\_\_

d) Surplus farm dwelling date of construction:

Prior to December 16, 2004  After December 16, 2004

e) Condition of surplus farm dwelling:

Habitable

Non-Habitable

f) Description of farm from which the surplus dwelling is intended to be severed (retained parcel):

Frontage (m): (from Section 4.2)	Area (m <sup>2</sup> or ha): (from Section 4.2)
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Existing Land Use: \_\_\_\_\_ Proposed Land Use: \_\_\_\_\_

## 11 OTHER INFORMATION

Is there any other information that you think may be useful to the Committee of Adjustment or other agencies in reviewing this application? If so, explain below or attach on a separate page.

## 12 SKETCH (Use the attached Sketch Sheet as a guide)

12.1 The application shall be accompanied by a sketch showing the following in metric units:

- (a) the boundaries and dimensions of any land abutting the subject land that is owned by the owner of the subject land;
- (b) the approximate distance between the subject land and the nearest township lot line or landmark such as a bridge or railway crossing;
- (c) the boundaries and dimensions of the subject land, the part that is intended to be severed and the part that is intended to be retained;
- (d) the location of all land previously severed from the parcel originally acquired by the current owner of the subject land;
- (e) the approximate location of all natural and artificial features (for example, buildings, barns, railways, roads, watercourses, drainage ditches, banks of rivers or streams, wetlands, wooded areas, wells and septic tanks) that,
  - i) are located on the subject land and on land that is adjacent to it, and
  - ii) in the applicant's opinion, may affect the application;
- (f) the current uses of land that is adjacent to the subject land (for example, residential, agricultural or commercial);
- (g) the location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private road or a right of way;
- (h) the location and nature of any easement affecting the subject land.

## 13 ACKNOWLEDGEMENT CLAUSE

I acknowledge that The City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

2021/11/30

Date

*Amy Roberts*

Signature of Owner

**PLAN OF SURVEY AND TOPOGRAPHY**  
 OF PART OF  
**LOT 25**  
**REGISTERED PLAN NO. 1084**  
**CITY OF HAMILTON**  
 SCALE 1:150  
 METRIC  
**MTE OLS LTD.**  
**ONTARIO LAND SURVEYORS**

**METRIC:**  
 DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES  
 AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

**LEGEND**

- DENOTES PLANTED MONUMENT
- DENOTES FOUND MONUMENT
- SIB DENOTES STANDARD IRON BAR
- SSIB DENOTES SHORT STANDARD IRON BAR
- IB DENOTES IRON BAR
- IB# DENOTES ROUND IRON BAR
- CC DENOTES CUT CROSS
- CM DENOTES CONCRETE MONUMENT
- OU DENOTES ORIGIN UNKNOWN
- NTS DENOTES NOT TO SCALE
- WIT DENOTES WITNESS
- M, MEAS DENOTES MEASURED
- P.I.N. DENOTES PROPERTY IDENTIFICATION NUMBER
- (LT) DENOTES LAND TITLES
- MTE DENOTES MTE OLS LTD.
- P1 DENOTES REGISTERED PLAN NO. 1029
- P2 DENOTES REGISTERED PLAN NO. 1084
- P3 DENOTES REGISTERED PLAN NO. 1163
- P4 DENOTES PLAN 62R-19932
- P5 DENOTES PLAN 62R-15836
- EC DENOTES EDGE OF CONCRETE
- EP DENOTES EDGE OF PAVEMENT
- CSW DENOTES CONCRETE SIDEWALK
- GM DENOTES GAS METER
- DSP DENOTES DOWNSPOUT
- TB DENOTES TOP OF EMBANKMENT
- BB DENOTES BOTTOM OF EMBANKMENT
- RS DENOTES ROAD SIGN
- FH DENOTES FIRE HYDRANT
- GM DENOTES GAS METER
- CB DENOTES CATCHBASIN
- HM DENOTES HYDRO METER
- SAN DENOTES SANITARY
- STM DENOTES STORM
- LS DENOTES LIGHT STANDARD
- HP DENOTES HYDRO POLE
- HR DENOTES HAND RAIL
- SC DENOTES SHRUB CONIFEROUS
- MH DENOTES MANHOLE
- T/G DENOTES TOP OF GRATE
- ▷ DENOTES FENCE GATE
- ⊙ DENOTES CONIFEROUS TREE
- ⊙ DENOTES DECIDUOUS TREE
- ⊙ DENOTES EXISTING ELEVATION

**BENCH MARK:**

CITY OF HAMILTON BENCHMARK No. 07720020057  
 ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE REFERRED TO A BRASS  
 RIB WITH CAP AT THE ROYAL CANADIAN LEGION No. 551, 79 HAMILTON STREET  
 NORTH WATERDOWN.

ELEVATION = 234.008

⊙ SITE BENCHMARKS IS SHOWN ON THE FACE OF THIS PLAN.

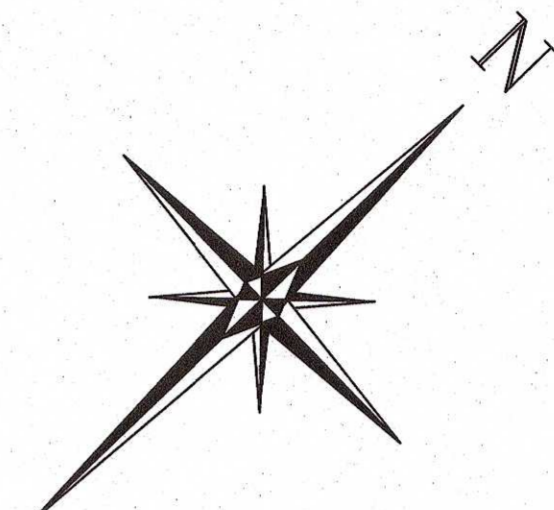
**NOTES:**

BEARINGS ARE UTM GRID, DERIVED FROM GPS OBSERVATIONS USING THE  
 CAN-NET NETWORK AND ARE REFERRED TO UTM ZONE 17, NAD83 (CSRS v6)  
 EPOCH 2010.00.  
 DISTANCES ON THIS PLAN ARE GROUND DISTANCES AND CAN BE CONVERTED TO  
 GRID DISTANCES BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF  
 0.99966447.

FOR BEARING COMPARISON, A ROTATION OF 0°0'0" HAS BEEN  
 APPLIED TO PLAN 01R-12345 (P1) TO CONVERT TO GRID BEARINGS

**SURVEYOR'S CERTIFICATE:**

I CERTIFY THAT:  
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS  
 ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS  
 MADE UNDER THEM.  
 2. THE SURVEY WAS COMPLETED ON THE 27TH DAY OF OCTOBER, 2021.



**LOT 12**  
 P.I.N. 17561-0212(LT)

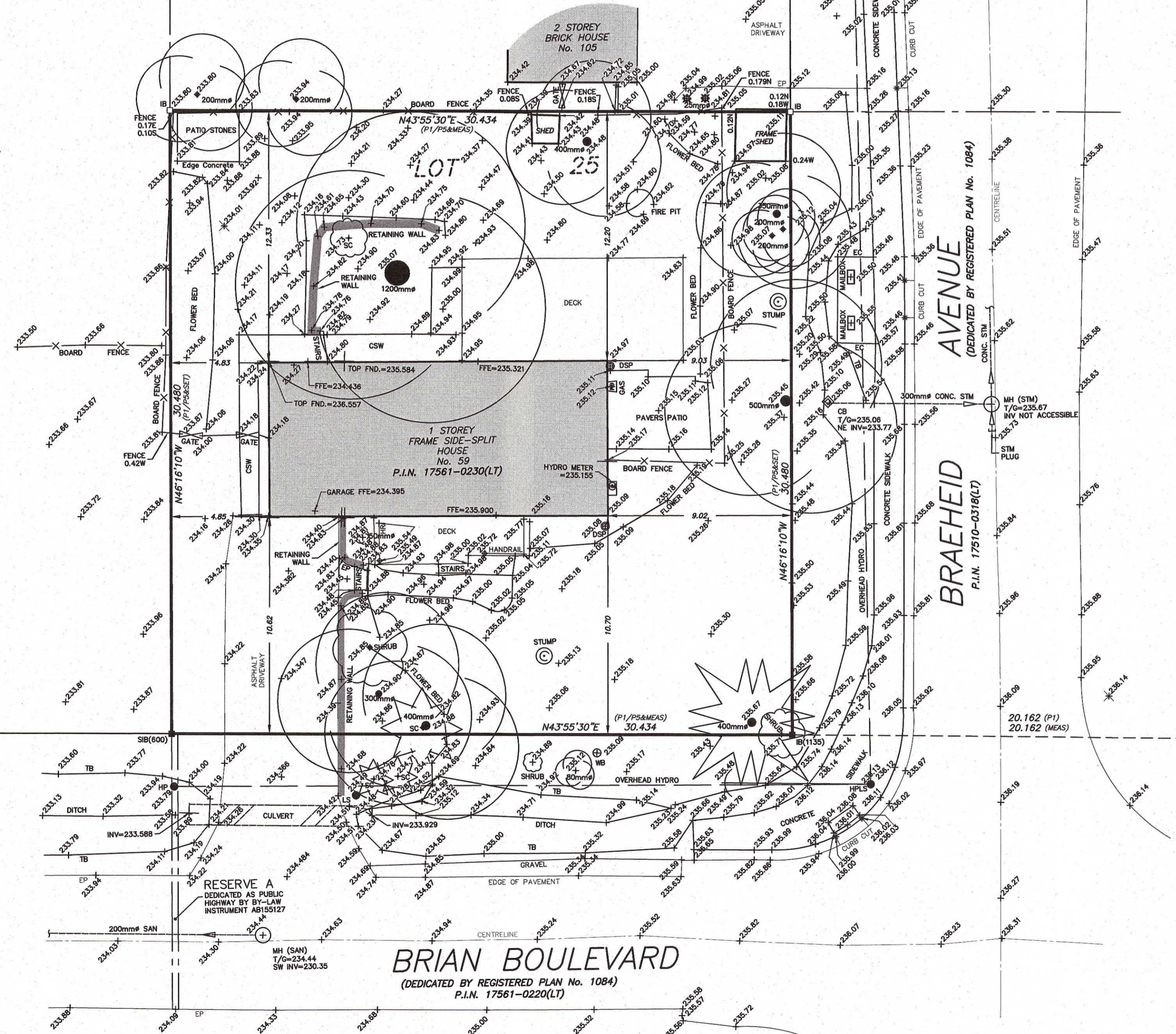
**LOT 13**  
 PART 1, PLAN 62R-19932

**REGISTERED PLAN NO. 1029**

**REGISTERED PLAN NO. 1084**  
 PART 1, PLAN 62R-15836  
 P.I.N. 17561-0229(LT)

**REGISTERED PLAN NO. 1163**  
**LOT 36**  
 P.I.N.17561-0215(LT)

**LOT 26**



**BRIAR BOULEVARD**  
 (DEDICATED BY REGISTERED PLAN No. 1163)  
 P.I.N. 17561-0220(LT)

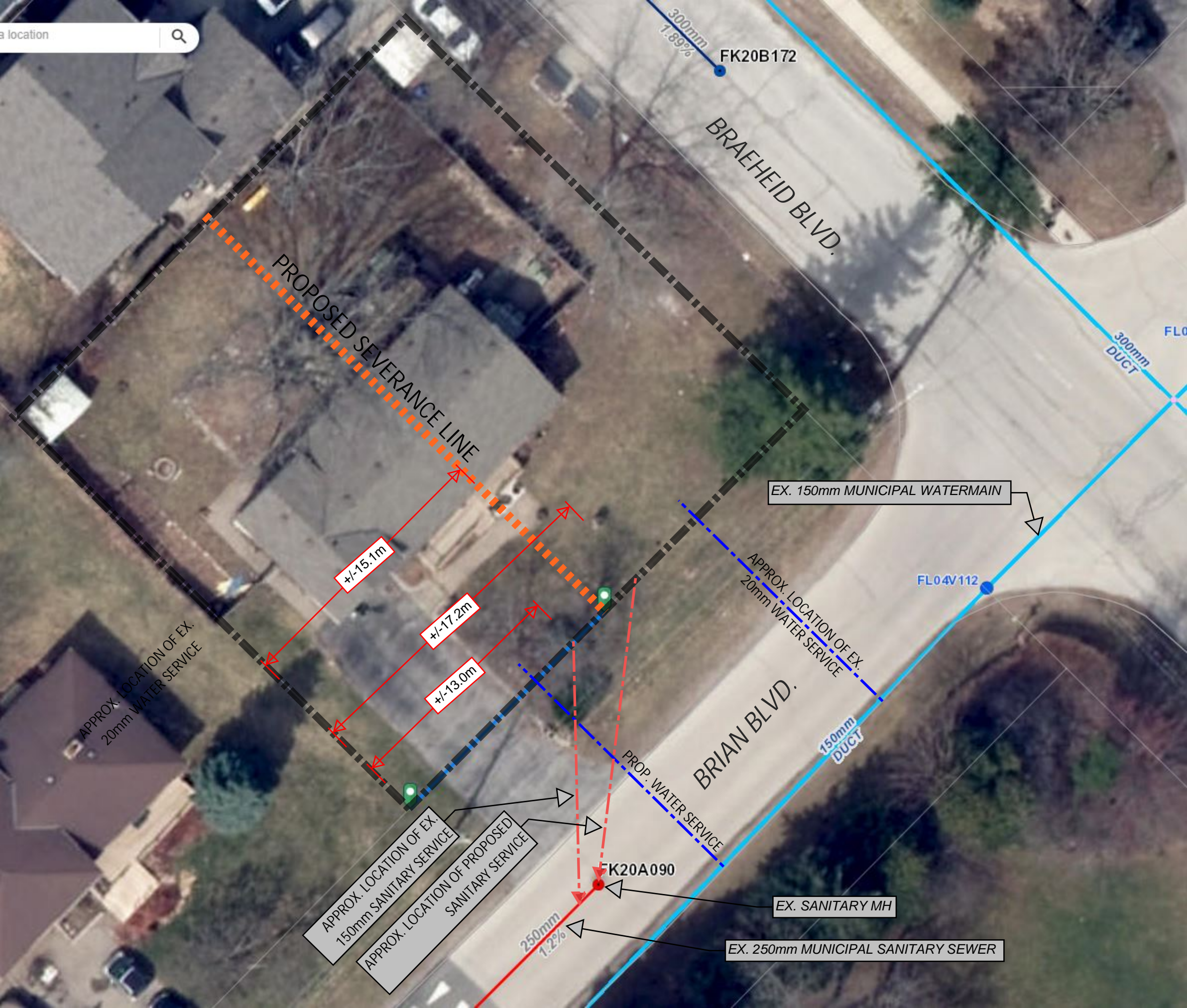
**BRIAR BOULEVARD**  
 (DEDICATED BY REGISTERED PLAN No. 1084)  
 P.I.N. 17561-0220(LT)

ASSOCIATION OF ONTARIO  
 LAND SURVEYORS  
 PLAN SUBMISSION FORM  
 2147476

November 3, 2021  
 DATE  
 Patrick Woolley  
 PATRICK WOOLLEY  
 ONTARIO LAND SURVEYOR

THIS PLAN IS NOT VALID  
 UNLESS IT IS AN EMBOSSED  
 ORIGINAL COPY  
 ISSUED BY THE SURVEYOR  
 In accordance with  
 Regulation 1028, Section 29(3)

**MTE** MTE ONTARIO LAND SURVEYORS LTD.  
 1015 SUTTON DRIVE, UNIT A  
 BURLINGTON, ONTARIO, L7L 6S8  
 TEL: (905) 639-2552



BRAEHEID BLVD.

PROPOSED SEVERANCE LINE

APPROX. LOCATION OF EX.  
20mm WATER SERVICE

EX. 150mm MUNICIPAL WATERMAIN

FL04V112

APPROX. LOCATION OF EX.  
20mm WATER SERVICE

BRIAN BLVD.

APPROX. LOCATION OF EX.  
150mm SANITARY SERVICE

APPROX. LOCATION OF PROPOSED  
SANITARY SERVICE

PROP. WATER SERVICE

150mm  
DUCT

250mm  
1.2%

EX. SANITARY MH

EX. 250mm MUNICIPAL SANITARY SEWER

FK20A090

FK20B172

300mm  
DUCT

FL0

THE REGIONAL MUNICIPALITY OF HAMILTON WENTWORTH  
DEPARTMENT OF ENGINEERING

FLAMBOROUGH

Construction Section

Private Drain Inspector's Report

F2000635

Street and Number 59 BRIAN BLVD.

Sketch

Between OFF BRAHEID

Side of Street NORTH Lot Number

Permit Number RSD 05930

Owner BERT TOLDI

Site 150mm SAND Length 11.3m

Contractor OWNER

Minimum Grade -1/8" - 1'

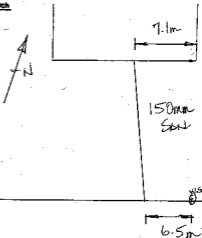
Back Traps PVC SDR-28

Depth and Nature of Ground CLAY

Date APRIL 7 19 95

Sewer Inspector J. W. L.

Remarks





Hamilton DEC 1, 1990

Contractor BOND CONSTRUCTION

Street BRIAN BLVD. (FLAMBOROUGH)

From FENTON DR. To BRAEHEID BLVD.

Size of Main 150 mm Ø D.I. (CL-52)

Type of Joint RUBBER GASKET

Cement Lined YES

Date Work Commenced: Main OCT. 12, 1990  
Services NOV. 7, 1990

Date Work Completed: Main NOV. 19, 1990  
Services NOV. 13, 1990

Date of Final Hydrostatic Test NOV. 6, 1990

Date of Surplus Material Delivered to Yard N/A

Length of Hydrant Connections STANDARD

Guarantee Period Expires \_\_\_\_\_

Remarks: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Entered in Route Book

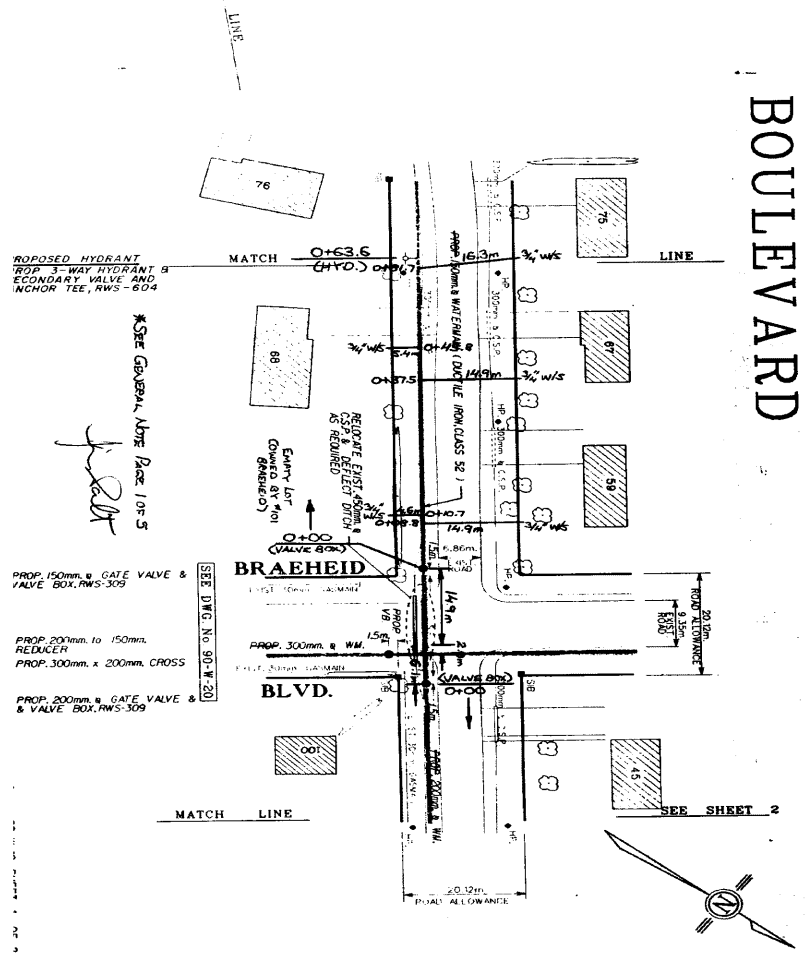
Date \_\_\_\_\_ By \_\_\_\_\_

Plotted on Original Plan By \_\_\_\_\_

Date \_\_\_\_\_

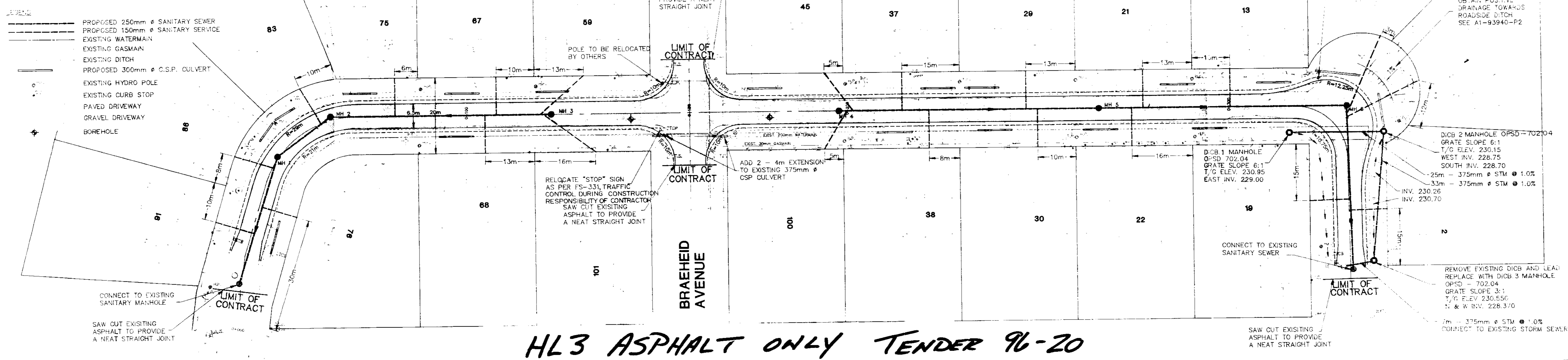
R.E. BEVERIDGE  
Construction Engineer

JIM SALT  
Construction Engineer

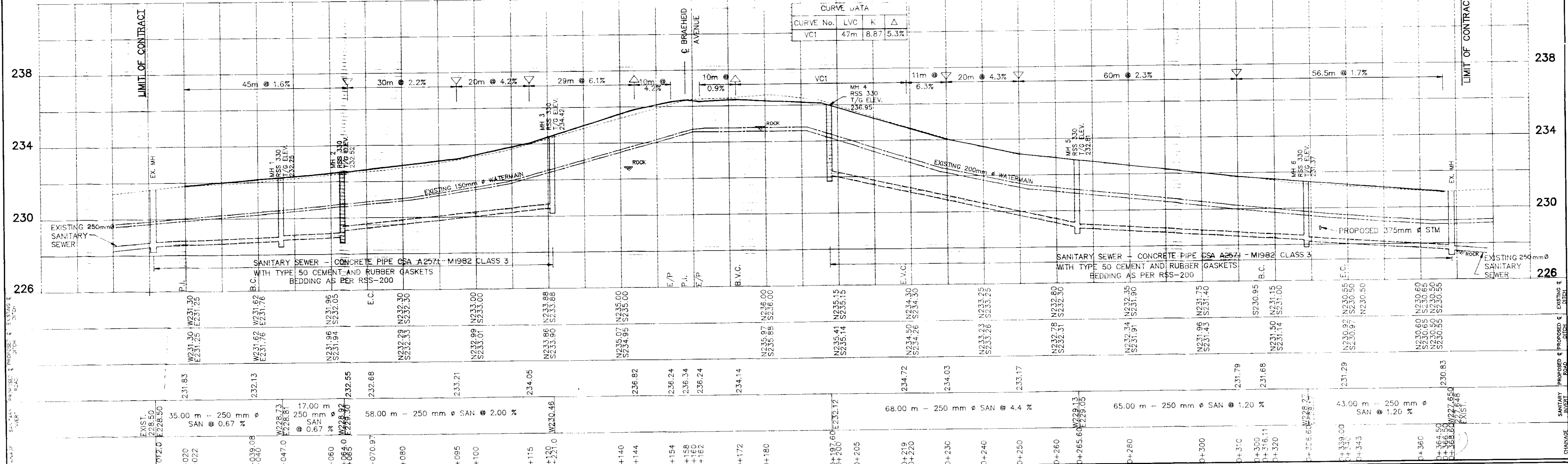


1. SANITARY CONNECTORS - 150mm  $\phi$  - CONCRETE 45M  $\phi$  4.5. WITH TYPE 50 CEMENT AND RUBBER GASKET JOINTS. SEE REF 201 FOR INSTALLATION DETAILS. MINIMUM COVER AT STREETLINE 2.2m RELATIVE TO CENTER LINE ROAD ELEVATION.
2. SANITARY SERVICE IN-ENT AND LOCATION AT PROPERTY LINE TO BE VERIFIED BY ENGINEER IF PROPOSED LOCATION VARIES FROM LOCATION ON PLAN.
3. SANITARY CONNECTION TO BE MINIMUM 15m OFFSET FROM EXISTING WATER SERVICE.
4. INSTALL 150mm  $\phi$  SANITARY SERVICE TO PROPERTY LINE.
5. DRIVEWAY APPROACH SHALL BE 50mm #3 ASPHALT 150mm GRANULAR "A".

# BRIAN BOULEVARD

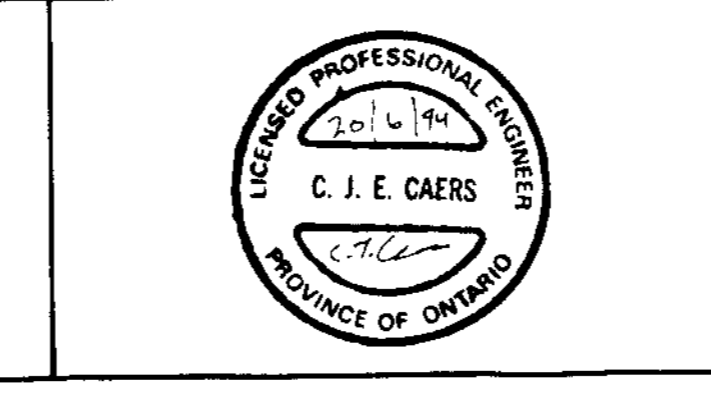


**HL3 ASPHALT ONLY TENDER 96-20**



1. FOR DETAIL SOILS INFORMATION REFER TO GEOTECHNICAL REPORT PREPARED BY SOIL-MAT ENG. AND CONSULTANTS.
2. THE POSITION OF POLE LINES, CONDUITS, WATERMANS, SEWERS AND OTHER UNDERGROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE STARTING WORK, THE CONTRACTOR SHALL INFORM HIMSELF OF THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND SHALL ASSUME ALL LIABILITY FOR DAMAGE TO THEM.
3.  $\phi$  20mm HEXAGON STAINLESS STEEL BOLT LOCATED ON NORTH EAST GUIDRILL WALL ON BRIDGE STRUCTURE ON LONGYEAR DR. BOLT LOCATED ON WEST SIDE OF CONG. WALL APPROX. 150mm ABOVE SIDEWALK. ELEV. 230.00m

No.	Revision	Date	Initial
1	ISSUED FOR CONSTRUCTION	JUNE 1994	R.M.
0	ISSUED FOR ENGINEERING REVIEW	MARCH, '94	F.F.



**Town of Flamborough**  
**BRIAN BOULEVARD**  
 ROAD RECONSTRUCTION

PLAN AND PROFILE

**PROCTOR & REDFERN LIMITED**  
 Consulting Engineers & Planners  
 Hamilton

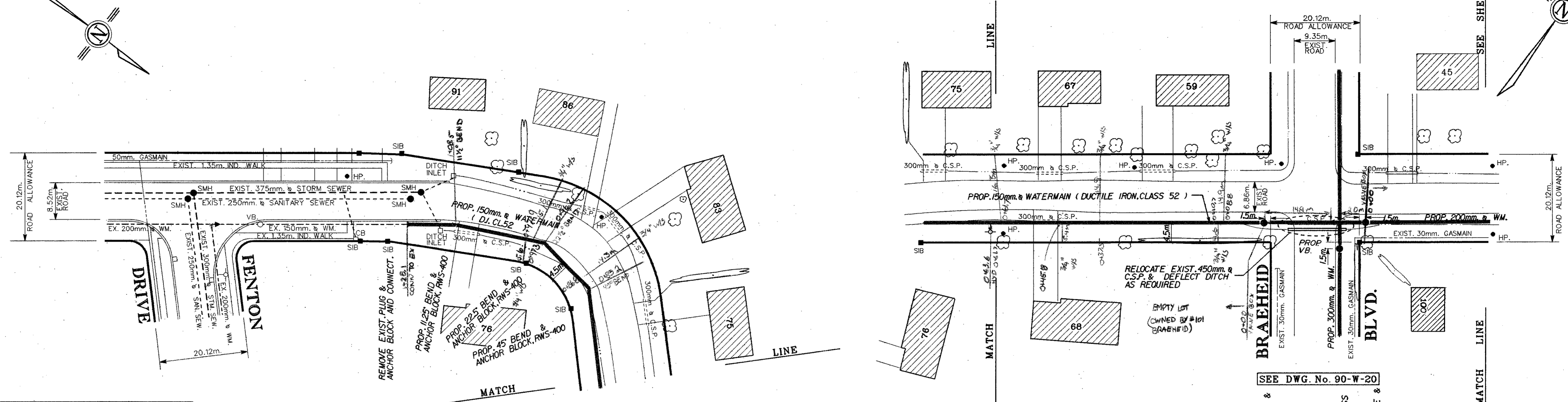
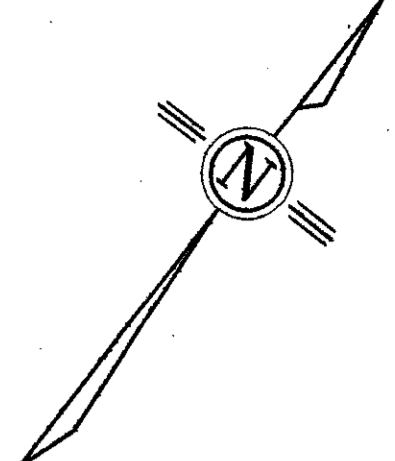
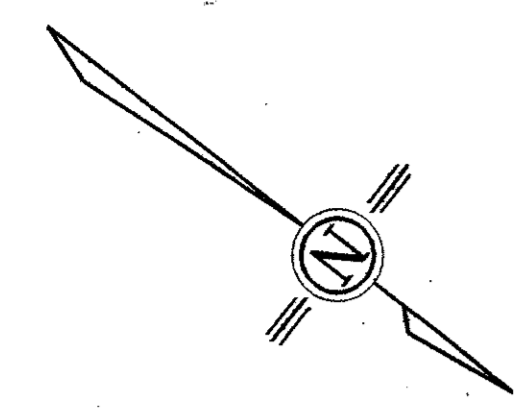
Scale: HORIZ. 1:500  
 VERT. 1:100

Drawn by: C.J.C.  
 Ckd. by: F.A.F.  
 Date: Feb, 1994

Project No. A1-93940-P1

BRIAN BLVD.

# BRIAN BOULEVARD

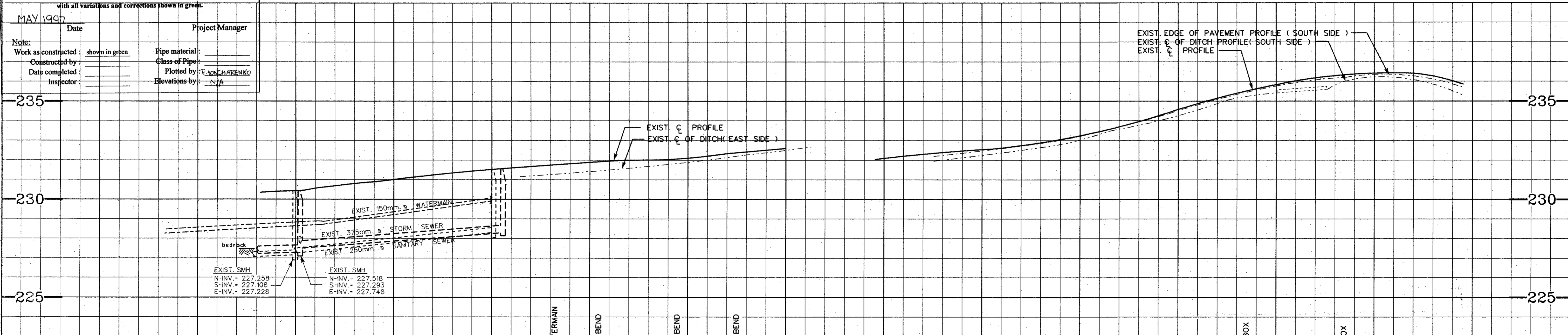


**NOTE:** WATERMAIN TO BE TESTED PRIOR TO CONNECTION TO EXISTING WATERMANS USING TEMPORARY CAPS OR PLUGS. PIPE CLOSURES WHERE REQUIRED TO BE SUPPLIED BY CONTRACTOR. CONTRACTOR TO SUPPLY & INSTALL ALL ADAPTOR PIECES IF REQUIRED IN-ORDER TO CONNECT TO EXISTING WATERMANS.

SEE DWG. No. 90-W-20

DRAWING No. 90-W-19, SHEET 1 OF 2

CERTIFICATE OF COMPLETION		
This certifies that the work shown on this drawing has been completed as indicated with all variations and corrections shown in green.		
Date	Project Manager	
MAY 1997	P. VONCHARENKO	
Note:	Pipe material:	
Work as constructed shown in green	Class of Pipe:	
Constructed by:	Plotted by:	
Date completed:	Elevations by:	
Inspector:	N/A	



STATIONING	EXISTING C. OF ROAD PROFILE ELEVATIONS	WATERMAIN CHAINAGE	EXISTING C. OF ROAD PROFILE ELEVATIONS
230.338	0+00	230.338	
230.566	0+11	0+11	
230.876	0+32	0+32	
231.199	0+47	0+47	
231.510	0+66	0+66	
231.734	1+28	1+28	
231.942	1+43	1+43	
232.011	1+45	1+45	
232.320	1+53	1+53	
232.578	236.288	236.288	
232.979	236.438	236.438	
233.575	235.865	235.865	
234.428			EXISTING C. OF ROAD PROFILE ELEVATIONS
235.296			
236.098			
236.288			
236.438			
235.865			

No.	REVISIONS	DATE	INITIAL	CHECKED BY	DRAWN BY	<p style="text-align: center;">SCALES</p>	<p style="text-align: center;">APPROVED</p> <p style="text-align: center;">DIRECTOR</p>	<p style="text-align: center;">APPROVED</p> <p style="text-align: center;">COMMISSIONER OF ENGINEERING</p>	<p style="text-align: center;">THE REGIONAL MUNICIPALITY OF HAMILTON-WENTWORTH</p> <p style="text-align: center;">DEPARTMENT OF ENGINEERING</p>	<p style="text-align: center;">BRIAN BOULEVARD</p> <p style="text-align: center;">PROP. 150mm. &amp; 200mm. &amp; WATERMAIN</p> <p style="text-align: center;">FROM : 40m. NORTH OF FENTON DR.</p> <p style="text-align: center;">TO : 170m. EAST OF BRAHEID BLVD.</p>		
					J. PIDSADNY					DATE : JULY 27, 1990	PROJECT No. 802-98	DRAWING No. 90-W-19



**Measurement** [Close]

[Line] [Polyline] [Area]

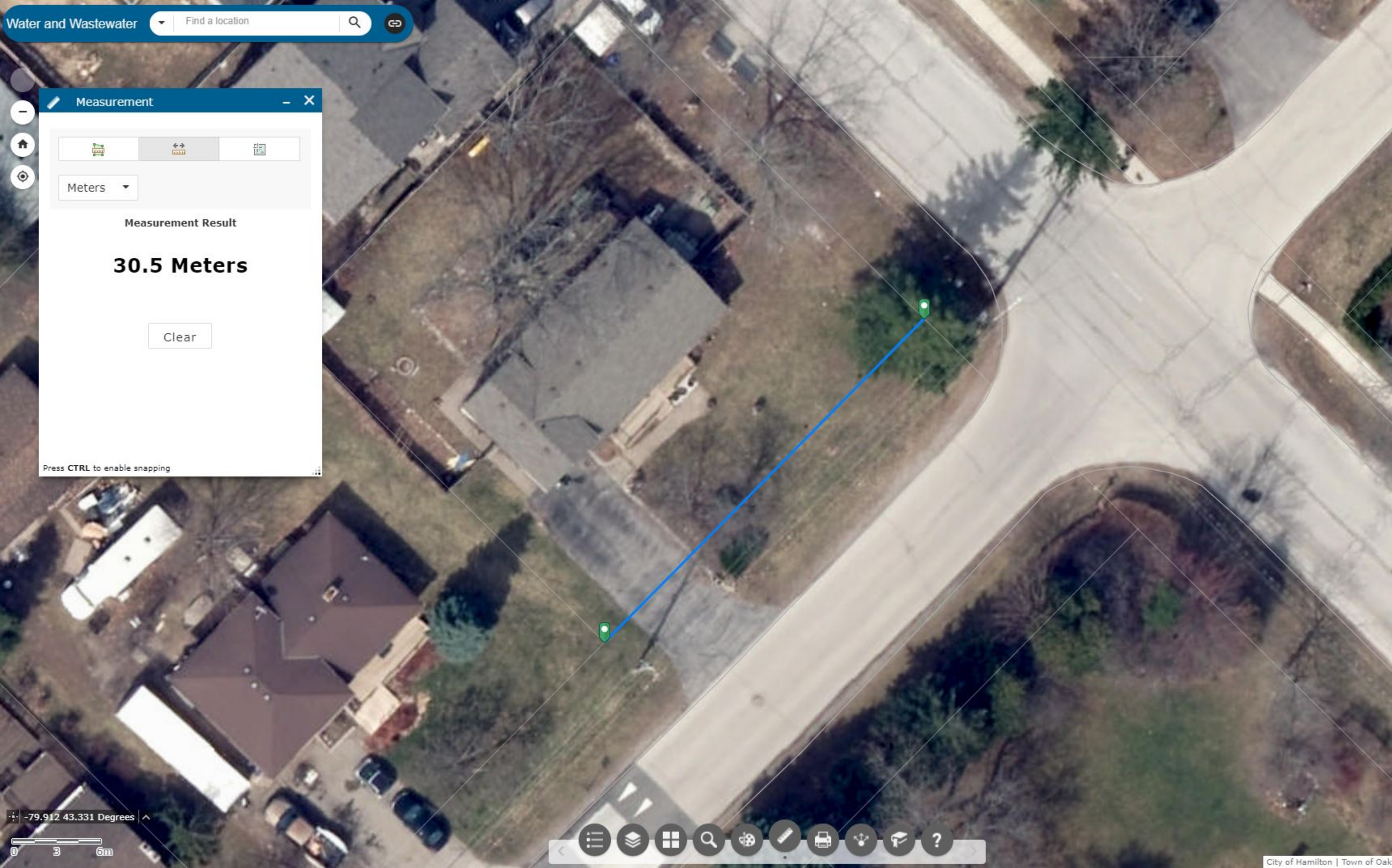
Meters

**Measurement Result**

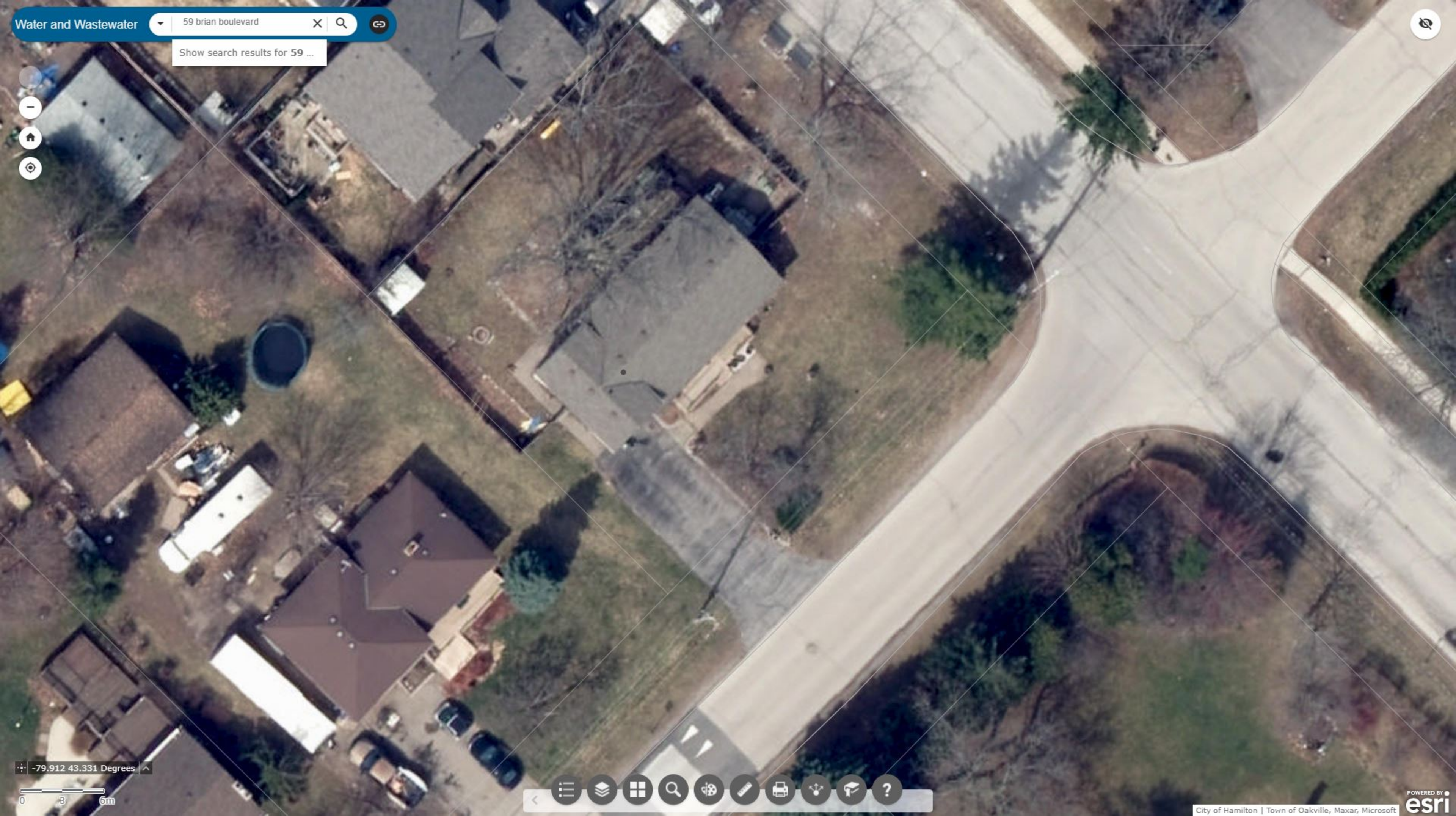
**30.5 Meters**

Clear

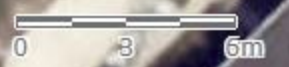
Press CTRL to enable snapping



Show search results for 59 ...



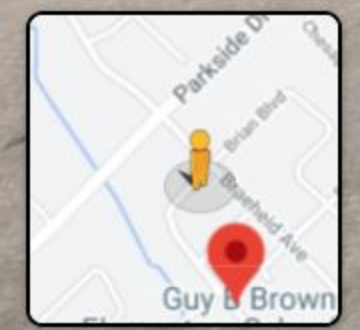
-79.912 43.331 Degrees



**59 Brian Blvd**  
Hamilton, Ontario

Google

Street View - May 2015

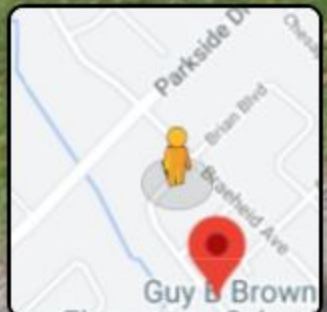


Google

**68 Brian Blvd**  
 Hamilton, Ontario

Google

Street View - May 2015



Google