



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: HM/A-22:39

APPLICANTS: Agent CTS Planning & Land Development – C. Stoyanovich

SUBJECT PROPERTY: Municipal address **799 Barton St. E., Hamilton**

ZONING BY-LAW: Zoning By-law Hamilton Zoning By-law 05-200 10.5; 4 & 5, as Amended

ZONING: C5,300 Mixed Use Medium Density district

PROPOSAL: To permit the construction of a new one storey commercial building containing a convenience store (associated with the existing motor vehicle gas bar) and a restaurant, in accordance with Site Plan Control Application SPA-21-055 notwithstanding that:

1. A maximum building setback of 30.1m shall be provided from Barton Street East instead of the maximum 4.5m building setback permitted from a street line.
2. A maximum building setback of 25.2m shall be provided from Chapple Street instead of the maximum 4.5m building setback permitted from a street line.
3. A façade height of 6.3m shall be provided instead of the minimum required façade height of 7.5m.
4. Parking spaces shall be provided between the building and a street line whereas the by-law prohibits any parking spaces to be located between the building façade and a street.
5. No principal building entrance shall be provided along the ground floor façade facing Chapple Street whereas the by-law requires a principal building entrance to be provided along the portion of the ground floor façade which is located nearest the street.
6. Two (2) motor vehicle stacking spaces within the drive-through stacking lane shall be located between the building and a street whereas the by-law prohibits any portion of a drive-through stacking lane to be provided between the building façade and a street line.
7. Eight (8) parking spaces shall be provided partially off-site and located within the Barton Street road allowance whereas the by-law requires all parking spaces to be located on the same lot as the principal use.

8. Landscaped areas and landscaped parking island(s) having a combined area of 428m² shall be provided whereas the by-law requires parking lots to provide landscaped areas and/or landscaped parking islands with a minimum combined area of 10% of the area of the parking lot.
9. A 5.9m aisle width shall be provided instead of the minimum required 6.0m aisle width.

NOTE:

- i. These variances are necessary to facilitate Site Plan Control Application No. SPA-21-055.
- ii. Please be advised that By-law 17-240 (create new commercial and mixed use and utility zones for the City of Hamilton) was passed November 8, 2017. At this time, certain provisions contained in the C5 zone remain under appeal and are therefore not yet final. At present, proposed developments are reviewed under both the proposed zoning by-law provision and the like provisions under the former zoning by-law (where applicable), with the more restrictive regulations of each being applied. The exemption to this is for building permits which are reviewed under the former regulations until such time that these appealed sections become final and binding. Variances 1, 2, 3, 4 and 5 all relate to zoning provisions which currently remain under appeal within the current C5 zone under Hamilton Zoning By-law 05-200.
- iii. The current zoning designation requires a minimum of one (1) principal building entrance to be provided along the ground floor façade that is setback closest to a street. As it relates to Variance #5, The ground floor façade nearest the street is the easterly façade facing Chapple Street whereas the principal building entrances of the proposed building each face Barton Street East.
- iv. The minimum required 10% landscaped area and landscaped parking island requirement referenced in Variance #8 is applicable to any parking lot which contains 50 or more parking spaces. The applicant should also be advised that the size of any individual landscaped parking island shall be at least 10.0m² in area. Insufficient information has been provided in order to determine zoning compliance.

This application will be heard by the Committee as shown below:

DATE: Thursday, March 17th, 2022
TIME: 2:20 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: March 1st, 2022.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

LLOYD STREET
 (BY BY-LAW 993, INST. No. 191 AND No. CD115241)
 (FORMERLY LITTLE CATHARINE STREET)
 (DEDICATED BY REGISTERED PLAN 1488)
 P.I.N. 17217-0394 (LT)

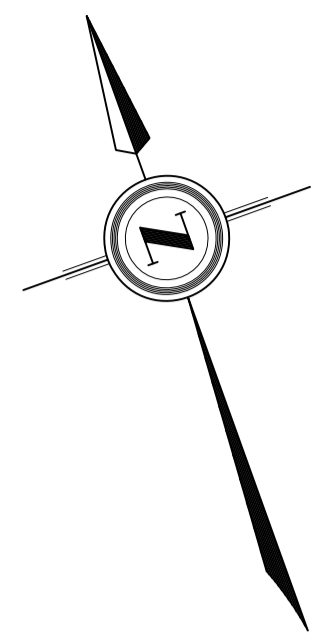
PLAN OF SURVEY WITH TOPOGRAPHY OF
LOTS 61, 62, 63 AND PART OF
LOTS 50, 51, 52 AND 60
REGISTERED PLAN 1488

CITY OF HAMILTON

SCALE 1 : 250

SPEIGHT, VAN NOSTRAND & GIBSON LIMITED
 ONTARIO LAND SURVEYORS
 2019

THE REPRODUCTION, ALTERATION OR USE OF THIS PLAN, IN WHOLE OR IN PART, WITHOUT THE EXPRESS PERMISSION OF SPEIGHT, VAN NOSTRAND & GIBSON LIMITED IS STRICTLY PROHIBITED.



ELEVATION NOTE

ELEVATIONS ARE GEODETIC AND ARE DERIVED FROM THE CITY OF HAMILTON BENCHMARK No. 65-U-116.

LOCATION :
 KING GEORGE SCHOOL (1911), WEST SIDE OF GAGE AVENUE, MIDWAY BETWEEN BEECHWOOD AVENUE AND CANNON STREET, OPPOSITE PRIMROSE AVENUE; TABLET IN NORTH CONCRETE FOUNDATION WALL, 2.5 M EAST OF SIDE ENTRANCE DOOR, 0.6 M WEST OF A WINDOW, 0.3 M BELOW BRICK.

ELEVATION:
 PUBLISHED ELEVATION = 85.511 metres.

BEARING NOTE

BEARINGS SHOWN HEREON ARE UTM GRID AND ARE REFERRED THE NORTHERLY LIMIT OF BARTON STREET EAST AS SHOWN ON PLAN 62R-20121, HAVING A BEARING OF N70°12'20"W.

METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

LEGEND

DENOTES	
■	SURVEY MONUMENT PLANTED
□	SURVEY MONUMENT FOUND
○	WITNESS MONUMENT
●	STANDARD IRON BAR
SSIB	SHORT STANDARD IRON BAR
IB	IRON BAR
CC	CUT CROSS
CP	CONCRETE PIN
N,S,E,W	NORTH, SOUTH, EAST, WEST
OU	ORIGIN UNKNOWN
SVNG	SPEIGHT, VAN NOSTRAND & GIBSON LIMITED
P12	A. J. CLARKE AND ASSOCIATES LIMITED
P1	PLAN OF SURVEY BY A. J. CLARKE AND ASSOCIATES LIMITED, O.L.S. - DATED SEPTEMBER 13, 1988
P2	PLAN 62R-20121
P3	PLAN OF SURVEY BY A. J. CLARKE AND ASSOCIATES LIMITED, O.L.S. - DATED NOVEMBER 9, 1984
P4	PLAN 62R-20121
A/C	AIR CONDITIONER
B	BOLLARD
BB	BELL BOX
BMH	BELL MANHOLE
BP	BELL POLE
BRP	BREATHING PIPE
CB	CATCH BASIN
FF	FINISHED FLOOR
FH	FIRE HYDRANT
GM	GAS METER
GUY	GUY WIRE
GV	GAS VALVE
HW	HAND WELL
MET	METER
MH	MANHOLE
MLS	METAL LIGHT STANDARD
MP	METAL POLE
MW	MONITORING WELL
OW	OVERHEAD WIRES
WHP	WOODEN HYDRO POLE
WMH	WATER MANHOLE
WV	WATER VALVE
○	DECIDUOUS TREE
⊗	CONIFEROUS TREE
■	CONCRETE

SURVEYOR'S CERTIFICATE

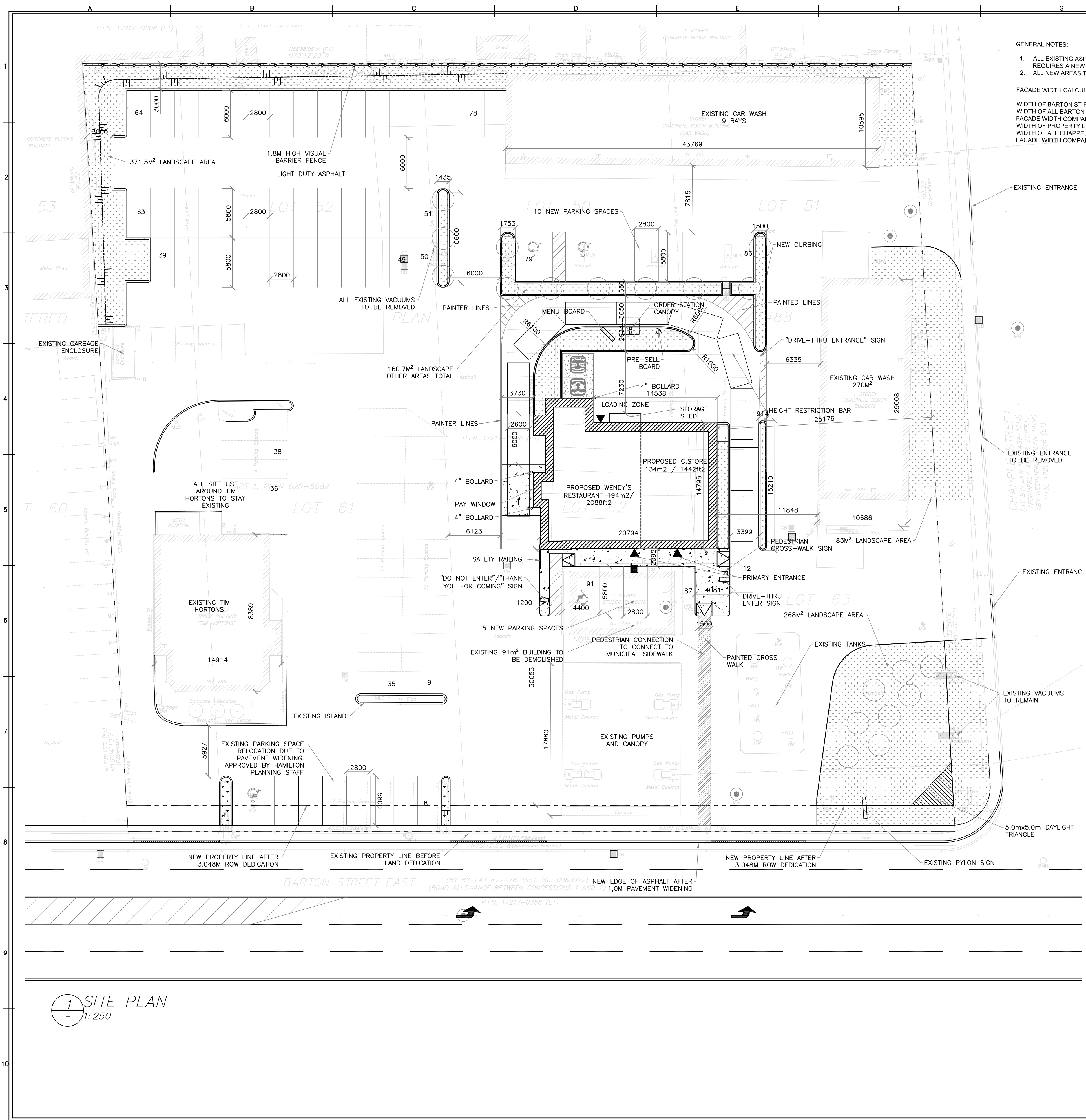
I CERTIFY THAT :
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON

DATE : _____
 D. A. WILTON
 ONTARIO LAND SURVEYOR

SPEIGHT, VAN NOSTRAND & GIBSON LIMITED
 ONTARIO LAND SURVEYORS
 750 OAKDALE ROAD, Units 65 & 66
 TORONTO, ONTARIO, M3N 2Z4
 TEL: 416 749-SVNG(7864) FAX 416 749-7866
 E-MAIL: toronto@svng.on.ca

DRAWN : M.D.	FILE NAME : A1900184.DWG
CHECKED : D.A.W.	PLOT SCALE : MET.1=0.25
JOB No. : 190-0184	PLOTTED :
REF. No. : 1-1488 HAMILTON	UPDATED :

1-1488 HAMILTON



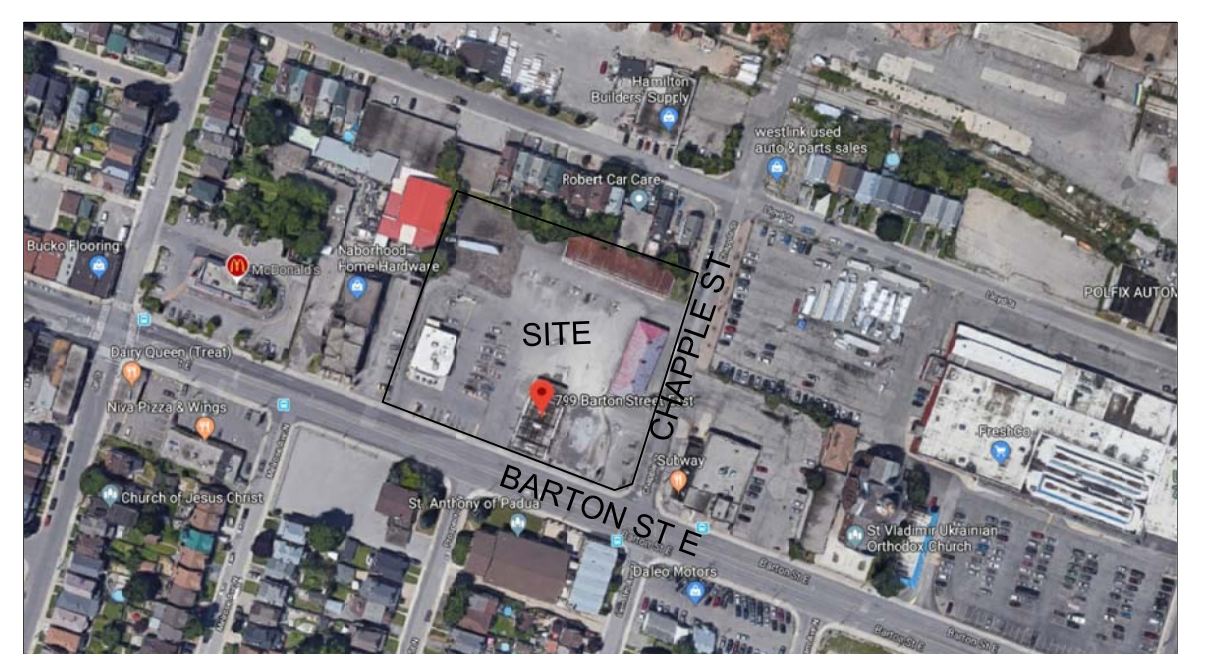
GENERAL NOTES:

1. ALL EXISTING ASPHALT TO BE KEPT, UNLESS THE EXTENT OF THE DAMAGE REQUIRES A NEW LAYER
2. ALL NEW AREAS THAT REQUIRE ASPHALT WILL BE OF LIGHT DUTY ASPHALT

FAÇADE WIDTH CALCULATION:

WIDTH OF BARTON ST PROPERTY LINE IS 97.05m
 WIDTH OF ALL BARTON ST FACING FAÇADE IS 58.15M
 FAÇADE WIDTH COMPARED TO LOT FRONTAGE = 59.9%
 WIDTH OF PROPERTY LINE ON CHAPPEL IS 87.01
 WIDTH OF ALL CHAPPEL ST FACING FAÇADE IS 57.1M
 FAÇADE WIDTH COMPARED TO LOT FRONTAGE = 59.9%

KEY PLAN



MUNICIPAL ADDRESS:
799 Barton St E
Hamilton, ON L8L 3B2

LEGAL DESCRIPTION:
LOTS 61, 62, 63 AND PART OF LOTS 50, 51, 52 AND 60
REGISTERED PLAN 1488, CITY OF HAMILTON

PROJECT NORTH and **TRUE NORTH** are indicated with arrows.

GENERAL NOTES:

1. ALL SITE FEATURES ARE TO BE CONSIDERED NEW UNLESS OTHERWISE NOTED.
2. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
3. CONTRACTOR TO ENSURE ALL SETBACKS ARE MAINTAINED DURING CONSTRUCTION OF SITE THAT ARE DISCOVERED.
4. OWNER OR OWNER REPRESENTATIVE ARE TO BE NOTIFIED OF ANY ERRORS OR OMISSIONS THAT ARE DISCOVERED.
5. OWNER OR OWNER REPRESENTATIVE ARE RESPONSIBLE FOR FINAL CONFIRMATION AND PLACEMENT OF ALL EQUIPMENT.
6. CONTRACTOR TO HAVE LOCATES DONE PRIOR TO ANY CONSTRUCTION ACTIVITIES.
7. ALL DIMENSIONS ARE APPROXIMATE AND NEED TO BE VERIFIED PRIOR TO CONSTRUCTION. DO NOT SCALE DRAWINGS.

SITE PLAN BUILDING STATISTICS			
DEVELOPMENT PROPOSAL USAGE	SCOPE-	REQUIRED	PROVIDED
	EXISTING CONVENIENCE STORE RENOVATION		
	NEW WENDY'S RESTAURANT		
	NEW RETAIL PARKING		
	PROPOSED PARKING		
SITE PLAN BUILDING STATISTICS			
SITE ADDRESS	799 BARTON ST E, HAMILTON, ONTARIO, L8L 3B2		
LEGAL DESCRIPTION	LOTS 61, 62, 63 AND PART OF LOTS 50, 51, 52 AND 60 REGISTERED PLAN 1488, CITY OF HAMILTON		
SURVEYOR	SPEIGHT, VAN NOSTRAND & GIBSON LIMITED		
OWNER			
AGENT REPRESENTATIVE	JOE FLEMMING & SIMON JONES (blueprint2build)		
ZONING & ZONING BY-LAW	CS- MIXED USE MEDIUM DENSITY		
NO.	CATEGORY	REQUIRED	PROVIDED
	Lot Area		8753m2
	Lot Frontage		97m
	Building Area		EXISTING
	Gas Canopy Area		EXISTING
	Gas Canopy Dimensions		EXISTING
	Car Wash Area		
	Front Yard Setback	CONVENIENCE STORE	6.0m / 23.0m
	Front Yard Setback	WENDY'S RES	6.0m / 23.0m
	Front Yard Setback		
	Side Interior Yard Setback	CONVENIENCE STORE	7.5m / 49.5m
	Side Interior Yard Setback	WENDY'S RES	7.5m / 49.5m
	Side Interior Yard Setback		
	Side Exterior Yard Setback	CONVENIENCE STORE	7.5m / 31.0m
	Side Exterior Yard Setback	WENDY'S RES	7.5m / 26.0m
	Side Exterior Yard Setback		
	Rear Yard Setback	CONVENIENCE STORE	7.5m / 57.8m
	Rear Yard Setback	WENDY'S RES	7.5m / 40.6m
	Rear Yard Setback		
	Landscaped Area	10%	883.2M2 10.1%
	Building Height	MAX 22.0m MIN 7.5M	APPROX. 6.3M PARAPET APPROX. 7.5M TO BLADE
	Canopy Height		EXISTING
	Parking Spaces Calculation	PARKING SPACES REQUIREMENTS: 90 TOTAL WENDY'S: 1 PER 8M2 = 196/8 = 25 SPACES C-STORE: 1 PER 25M2 = 134/25 = 6 SPACES TIM'S: 1 PER 8M2 = 70/8 = 9 SPACES CAR WASH(LEFT): 2 PER BAY = 2x2 = 4 SPACES CAR WASH(DRIVE): 1 PER 30M2 = 30/30 = 1 SPACES	91 PROVIDED 39 EXISTING + 52 NEW
	Parking Spaces Barrier Free	4 TOTAL	4
	Width of Accessible Parking Space Type A		
	Length of Accessible Parking Space Type A		
	Width of Parking Spaces	3.0m	3.0m
	Length of Parking Spaces	5.8M	5.8M
	Loading Space	1	1
	Snow Storage		SPACE PROVIDED ON LANDSCAPE AREAS
	Landscape Buffer (min)		EXISTING
	Drive Thru Stacking Lane (Food Partner)	12	12 PROVIDED
	Drive Thru Stacking Lane (Car Wash)		N/A
	Entrance Width (Combined)		EXISTING-11.6m, 11.0m 4.9m, 5.2m, 3.7m, 8.9m

1 SITE PLAN
1:250

Date: 2018-12-06
Date: 2019-05-15

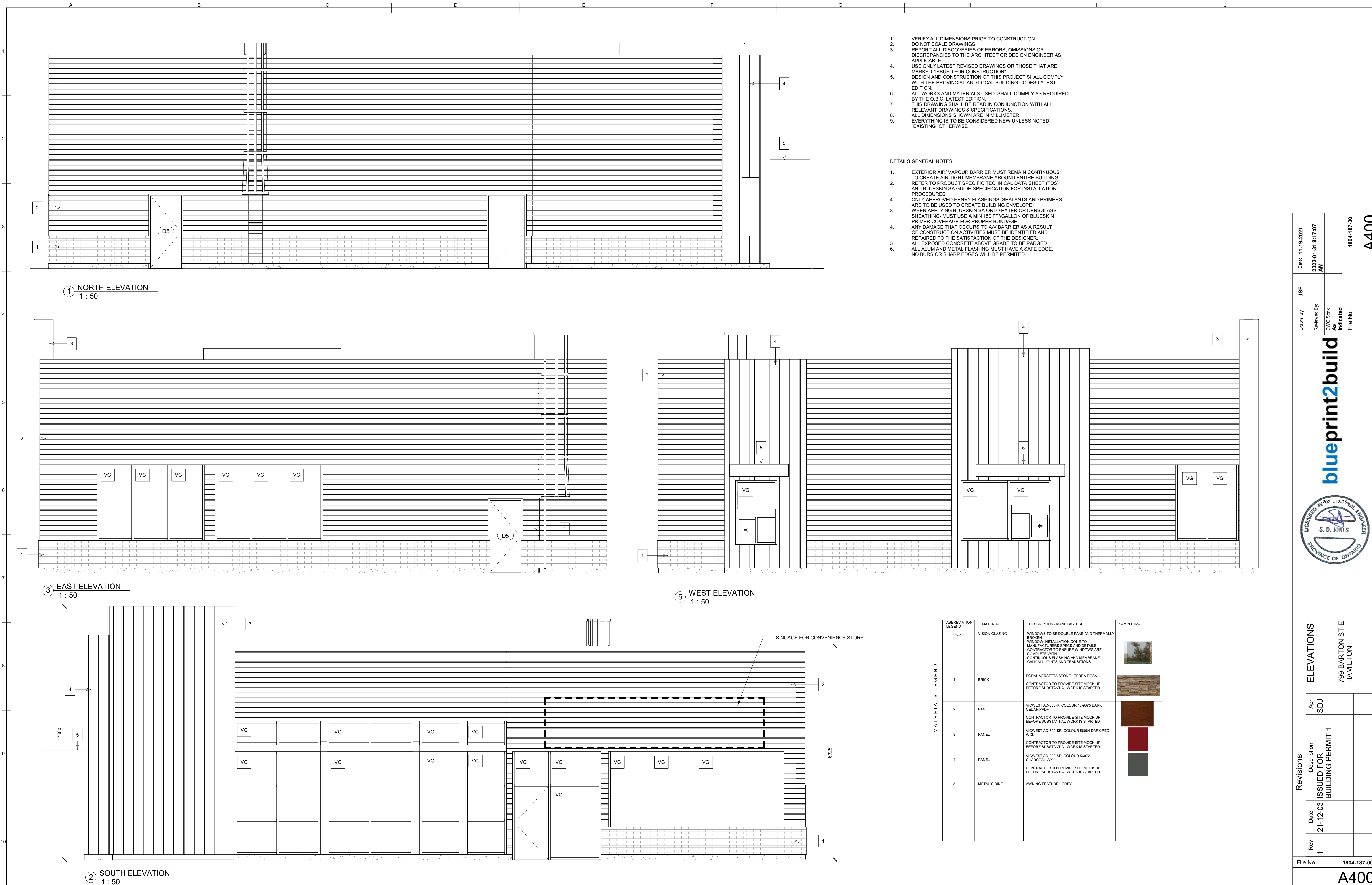
Drawn By: JSF
Reviewed By: SDJ
DWG Scale: 1:250
SP01

blueprint2build

SITE PLAN
799 Barton St E
Hamilton, ON L8L 3B2

REV	Date	Description	APRVD
1	19.06.24	ISSUED FOR CLIENT REVIEW	SDJ
2	19.11.21	ISSUED FORMAL CONSULTATION	SDJ
3	21.01.29	ISSUED FOR SPA 1	SDJ
4	21.10.18	ISSUED FOR SPA 3	SDJ

File No. 1905-187-00
Sheet 1 of 1



1. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
2. DO NOT SCALE DRAWINGS.
3. REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE ARCHITECT OR DESIGN ENGINEER AS APPLICABLE.
4. USE ONLY LATEST REVISED DRAWINGS OR THOSE THAT ARE MARKED "ISSUED FOR CONSTRUCTION".
5. DESIGN AND CONSTRUCTION OF THIS PROJECT SHALL COMPLY WITH THE PROVINCIAL AND LOCAL BUILDING CODES LATEST EDITION.
6. ALL WORKS AND MATERIALS USED SHALL COMPLY AS REQUIRED BY THE O.B.C. LATEST EDITION.
7. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT DRAWINGS & SPECIFICATIONS.
8. ALL DIMENSIONS SHOWN ARE IN MILLIMETER.
9. EVERYTHING IS TO BE CONSIDERED NEW UNLESS NOTED "EXISTING" OTHERWISE.

- DETAILS GENERAL NOTES:
1. EXTERIOR AIR/ VAPOUR BARRIER MUST REMAIN CONTINUOUS TO CREATE AIR TIGHT MEMBRANE AROUND ENTIRE BUILDING.
 2. REFER TO PRODUCT SPECIFIC TECHNICAL DATA SHEET (TDS) AND BLUESKIN SA GUIDE SPECIFICATION FOR INSTALLATION PROCEDURES.
 3. ONLY APPROVED HENRY FLASHINGS, SEALANTS AND PRIMERS ARE TO BE USED TO CREATE BUILDING ENVELOPE.
 4. WHEN APPLYING BLUESKIN SA ONTO EXTERIOR DENSGLASS SHEATHING- MUST USE A MIN 150 FT³/GALLON OF BLUESKIN PRIMER COVERAGE FOR PROPER BONDAGE.
 5. ANY DAMAGE THAT OCCURS TO AV BARRIER AS A RESULT OF CONSTRUCTION ACTIVITIES MUST BE IDENTIFIED AND REPAIRED TO THE SATISFACTION OF THE DESIGNER.
 6. ALL EXPOSED CONCRETE ABOVE GRADE TO BE PARGED.
 7. ALL ALUM AND METAL FLASHING MUST HAVE A SAFE EDGE. NO BURS OR SHARP EDGES WILL BE PERMITTED.

Date: 11-19-2021
 Drawn By: JSF
 Reviewed By: AM
 DWG Scale: As Indicated
 File No: 1804-187-00

blueprint2build

LICENSED PROFESSIONAL ENGINEER
 S. D. JONES
 PROVINCE OF ONTARIO

ELEVATIONS
 799 BARTON ST E
 HAMILTON

Revisions
 Description: ISSUED FOR BUILDING PERMIT 1
 Date: 21-12-03
 Rev: 1

Apr SDJ
 1804-187-00
A400



Hamilton

Committee of Adjustment

City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS
Registered Owners(s)		
Applicant(s)*		
Agent or Solicitor		

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

None.

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

Six ^{Five} minor variances required. See attached cover letter for list of minor variances

Secondary Dwelling Unit Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

See attached cover letter for full planning justification.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

799 Barton Street East, Hamilton Lot 61,62,63 Registered Plan No. 1488

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial
Agricultural Vacant Other

Other _____

8.1 If Industrial or Commercial, specify use Commercial

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

Site history information and existing site information

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

JAN-31-2022
Date


Signature Property Owner(s)

JIAN MAO
Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage	<u>97 m</u>
Depth	<u>87.01 m</u>
Area	<u>8,753 sm</u>
Width of street	<u></u>

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _

Commercial Plaza See attached site plan

Proposed

Commercial Plaza See attached site plan

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing: Existing convenience store to be demolished and a new convenience store with an attached fast food restaurant to be constructed in this place. Existing Tim Hortons to remain on the subject lands.

Proposed:

To permit a maximum setback of 30.1 m from the Barton St East street line and 25.1 m from the Chapple Street street line.

See attached site plan which illustrates the various proposed minor variances

13. Date of acquisition of subject lands:
2015
14. Date of construction of all buildings and structures on subject lands:
Various different dates 20 years - 35 years
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
 Commercial Plaza
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
 Commercial
17. Length of time the existing uses of the subject property have continued:
 Approximately 35 years
18. Municipal services available: (check the appropriate space or spaces)
- | | | | |
|----------------|-------------------------------------|-----------|-------------------------------------|
| Water | <input checked="" type="checkbox"/> | Connected | <input checked="" type="checkbox"/> |
| Sanitary Sewer | <input checked="" type="checkbox"/> | Connected | <input checked="" type="checkbox"/> |
| Storm Sewers | <input checked="" type="checkbox"/> | | |
19. Present Official Plan/Secondary Plan provisions applying to the land:
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
 C5 Mixed Use medium density
21. Has the owner previously applied for relief in respect of the subject property?
 Yes No
 If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No
23. Additional Information
 Site Plan Application 21-055 has conditional site plan approval as issued by City Planning Department in letter dated September 30, 2021
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

 Please see attached Site Plan Drawing and Plan of Survey