



Hamilton

**COMMITTEE OF ADJUSTMENT**

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5  
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202  
E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**NOTICE OF PUBLIC HEARING**  
**Minor Variance**

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**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
  - Applicant/agent on file, or
  - Person likely to be interested in this application
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**APPLICATION NO.:** FL/A-22:48

**APPLICANTS:** Agent Kevin Webster  
Owners J. & M. Steunenberg

**SUBJECT PROPERTY:** Municipal address **1796 Concession 5 West, Flamborough**

**ZONING BY-LAW:** Zoning By-law 05-200, as Amended

**ZONING:** "P7" (Conservation/Hazard Land Rural) district

**PROPOSAL:** To permit the construction of a new two (2) storey addition in the side yard of the existing single detached dwelling notwithstanding that:

1. An addition being 101% of the gross floor area of the existing dwelling shall be permitted instead of the maximum permitted expansion of 10% of the gross floor area of the existing building.

NOTE:

1. Variances have been written as requested by the applicant. Insufficient information has been provided to confirm the existing and proposed gross floor area.
2. Please be advised that the proposed deck in the rear yard is included in the increased gross floor area percentage.
3. These variances are based on the use of the building being maintained as a Single Detached Dwelling only.

This application will be heard by the Committee as shown below:

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**DATE:** Thursday, March 17th, 2022  
**TIME:** 3:30 p.m.  
**PLACE:** Via video link or call in (see attached sheet for details)  
To be streamed at  
[www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)  
for viewing purposes only

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**PUBLIC INPUT**

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

### **MORE INFORMATION**

For more information on this matter, including access to drawings illustrating this request:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

DATED: March 1st, 2022.

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

***Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.***



**SITE PLAN**  
SCALE: 1:200

Project:  
**Steuernberg Residence**  
 1796 Concession 5 West  
 Hamilton, Ont

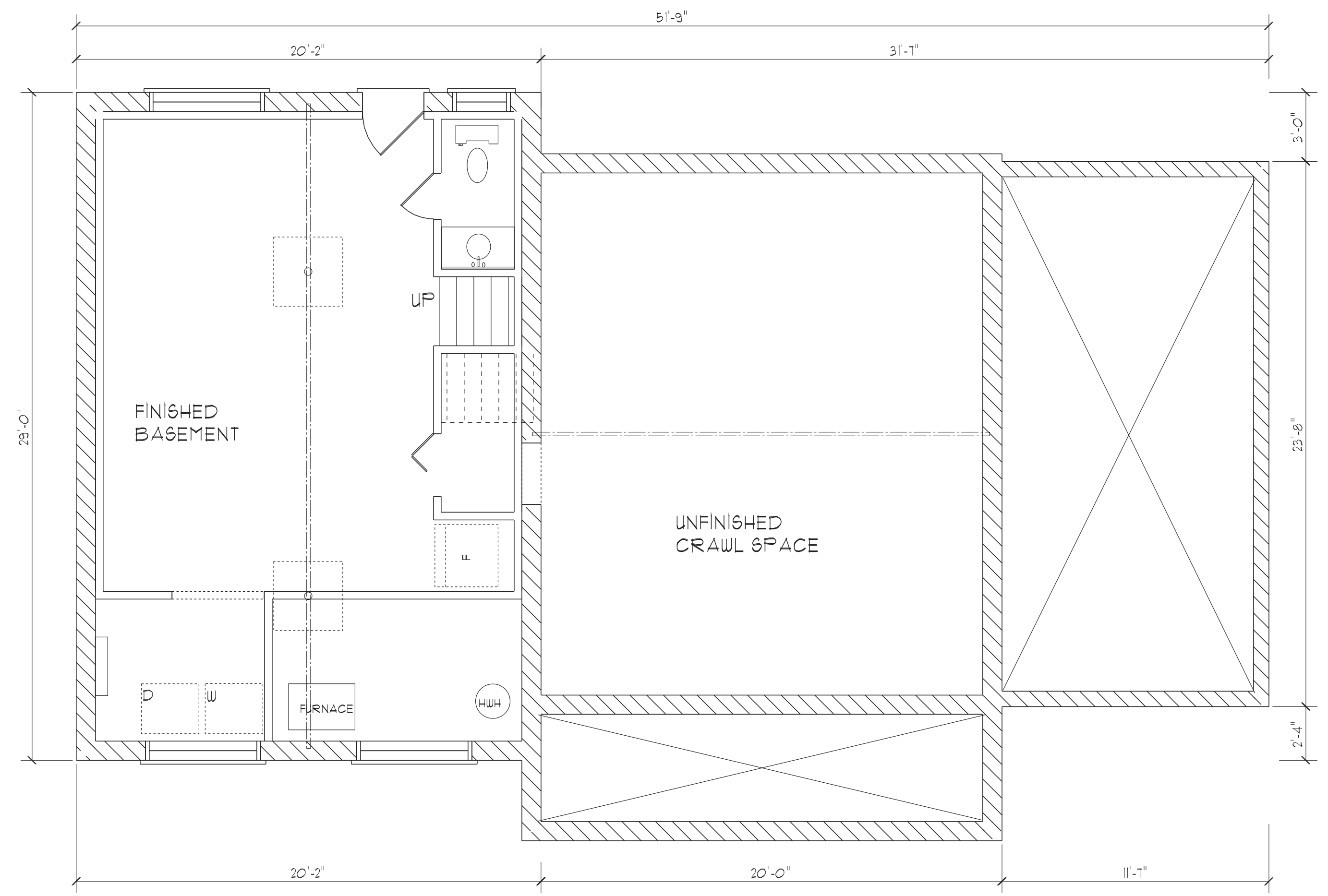
BCIN Stamp

**Kevin Webster Designs Inc.**  
 68 North Valley Dr.  
 Welland, Ont. L3C 7L6  
 kevin@kwdesigns.ca 905-639-2009

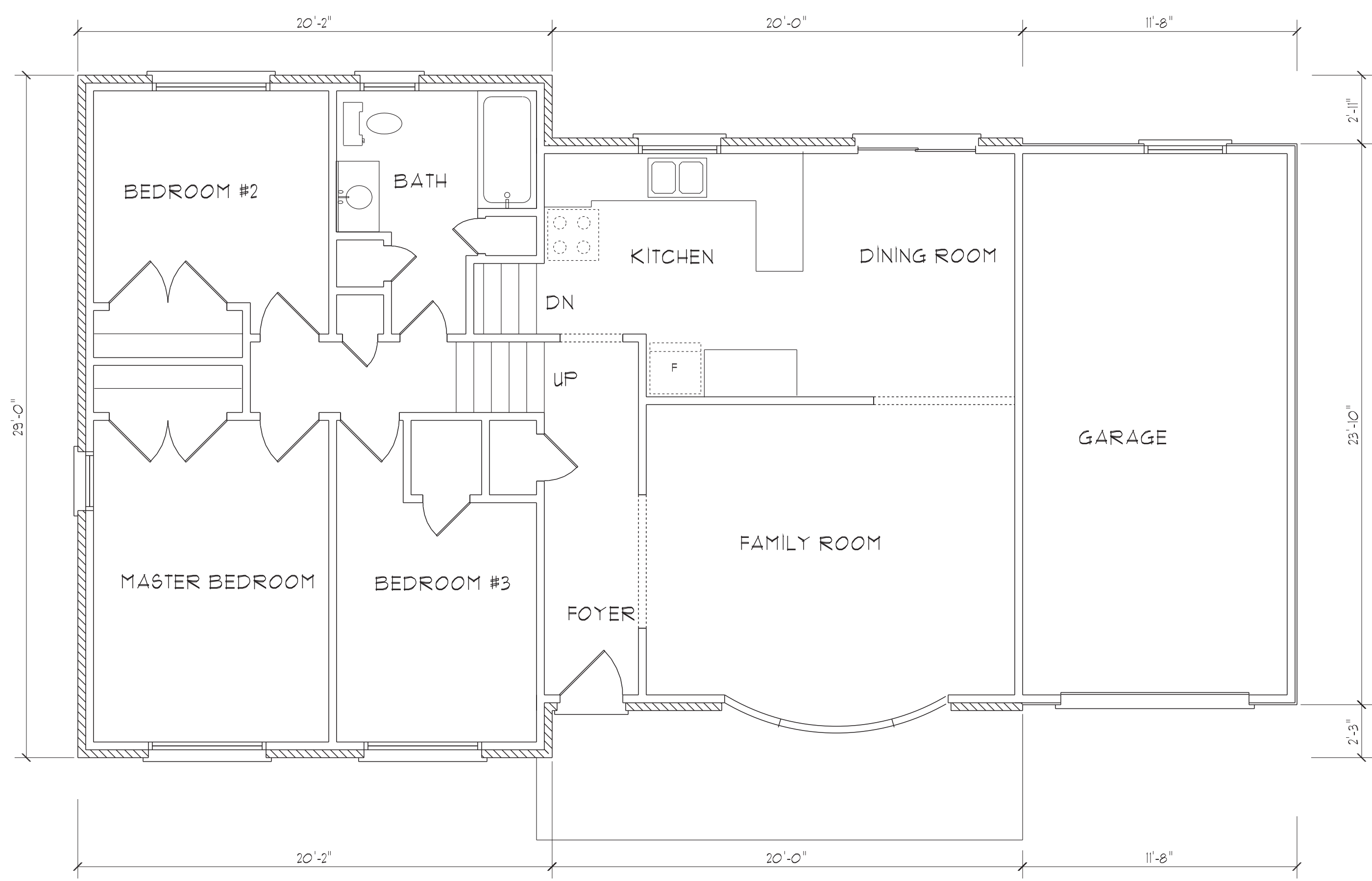
SCALE: 1:200  
 DRAWN BY:  
 DATE: February 1, 2022

APPROVED:

PAGE: 1  
 CHECKED BY:



BASEMENT PLAN

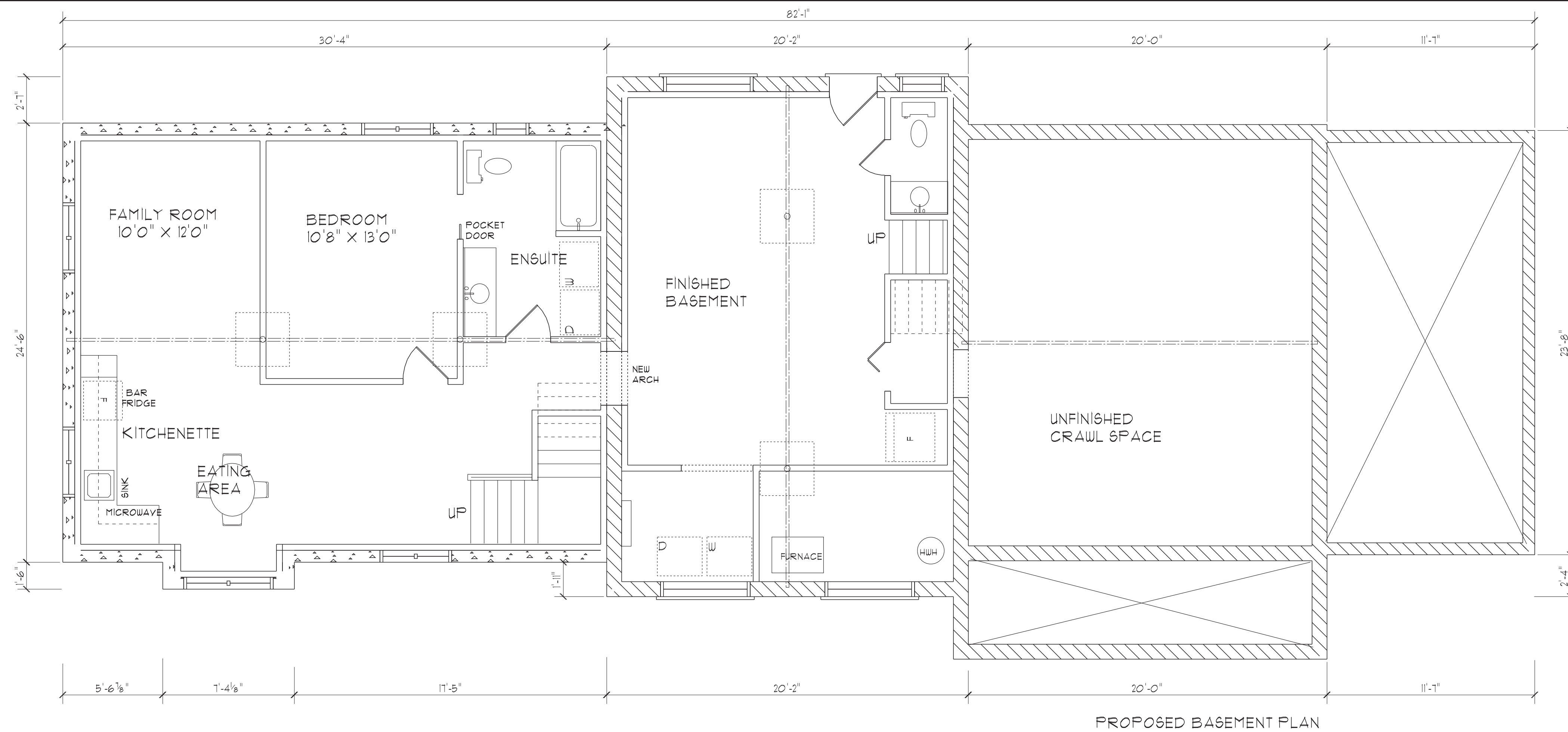


GROUND FLOOR PLAN

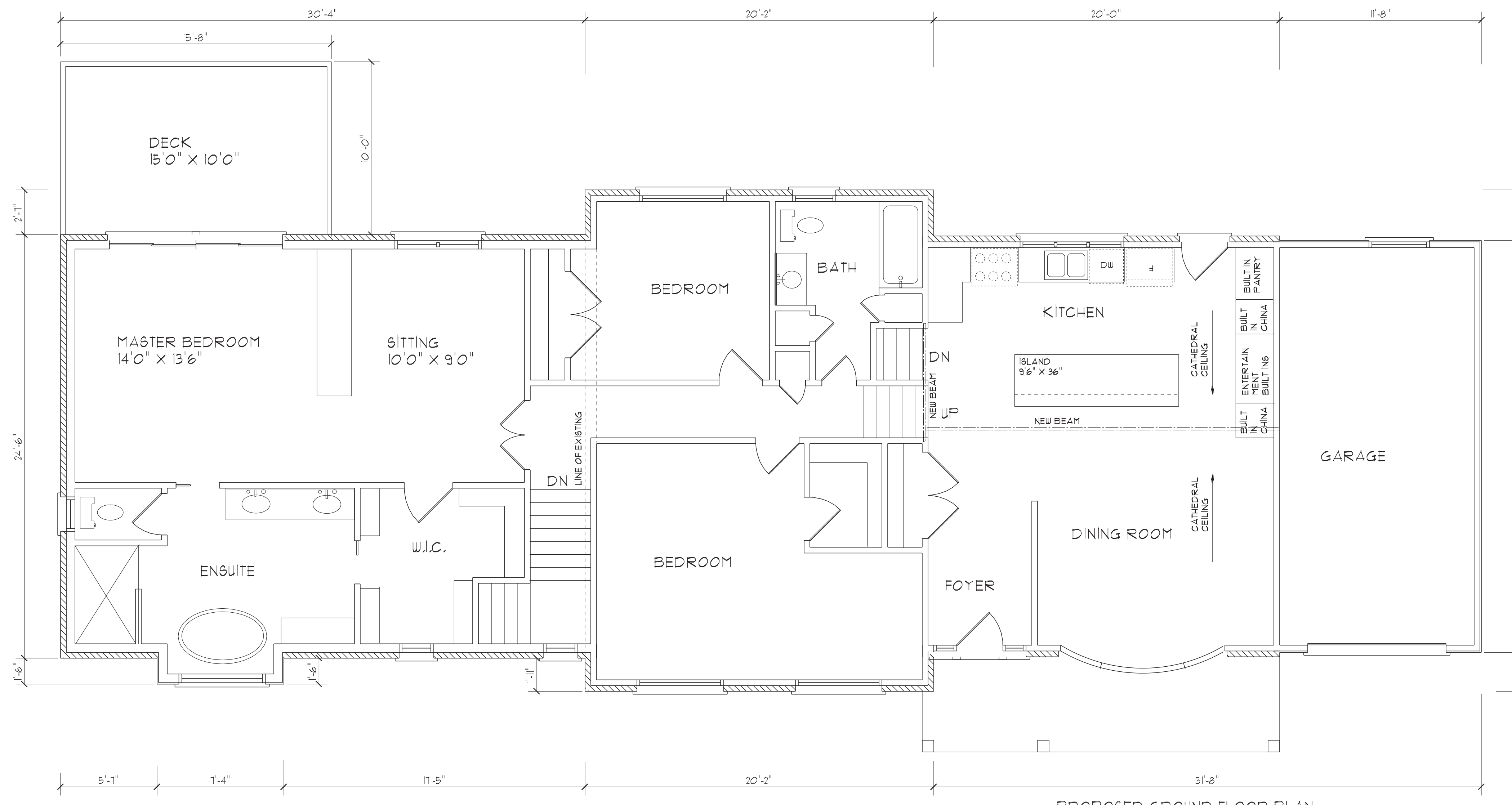
NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR REVIEW	11/25/21	K.W.

<b>Kevin Webster Designs Inc.</b> RESIDENTIAL & COMMERCIAL DESIGN, DRAFTING & CONSULTING 68 North Valley Dr. Wolland, Ontario L3C 7L6 (905)639-2009	
PROJECT NO.:	DATE:
202211	FEB 2022
PROJECT NAME:	
STEUNENBERG RESIDENCE 1796 CONCESSION 5 WEST HAMILTON, ONT.	
DRAWING:	
<b>EXISTING PLANS</b>	
DRAWN BY:	CHECKED BY:
K.W.	K.W.
SCALE:	PAGE:
1/4"=1'-0"	1

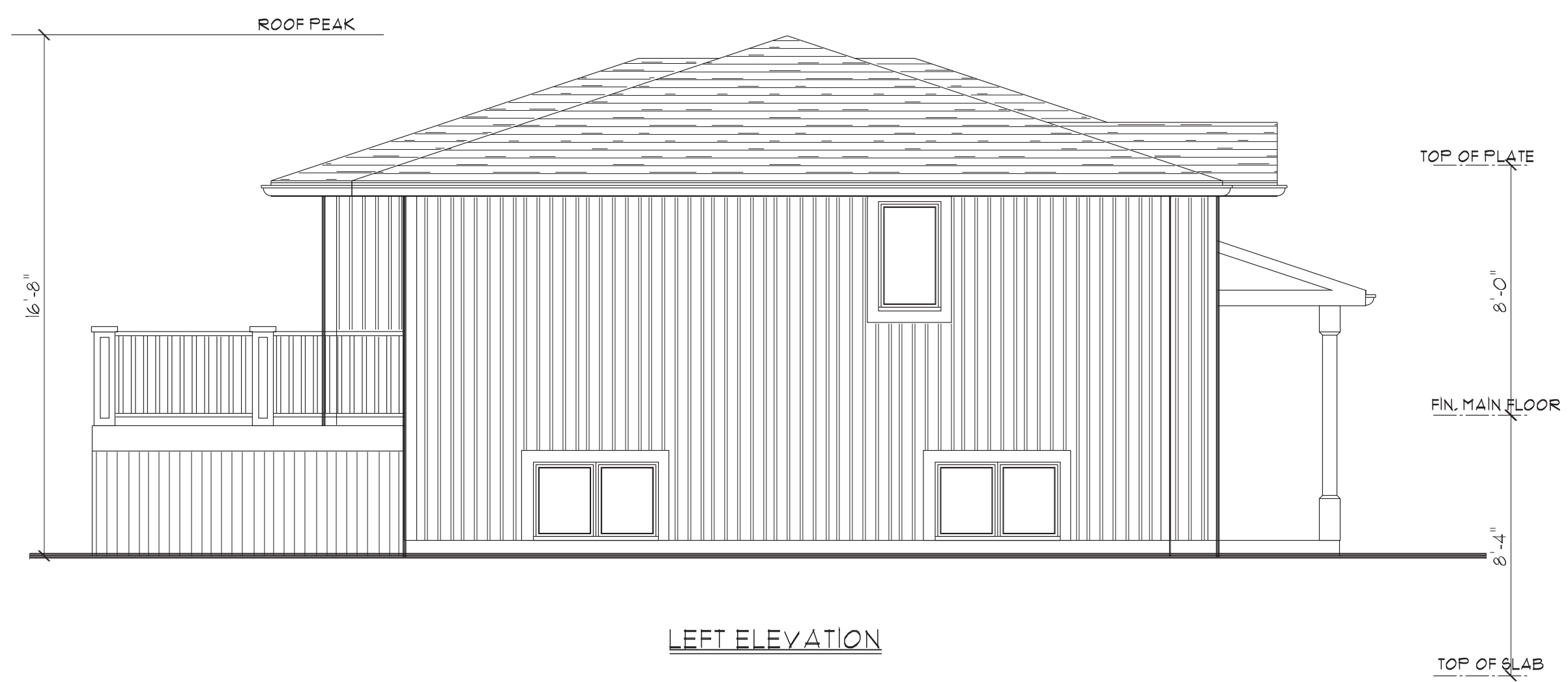


PROPOSED BASEMENT PLAN



PROPOSED GROUND FLOOR PLAN

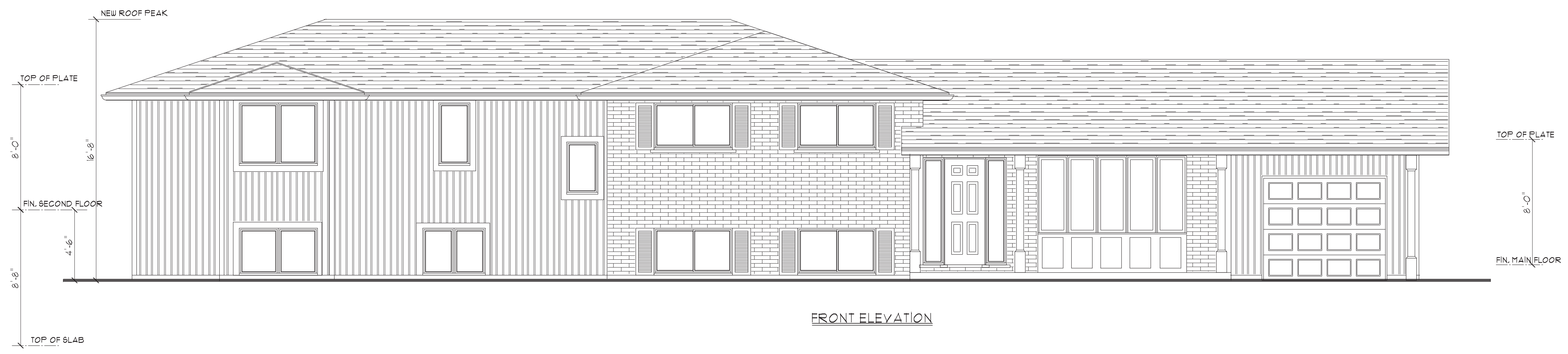
NO.	DESCRIPTION	DATE	BY
I	ISSUED FOR REVIEW	11/25/21	K.W.
REVISIONS			
<b>Kevin Webster Designs Inc.</b> RESIDENTIAL & COMMERCIAL DESIGN, DRAFTING & CONSULTING 68 North Valley Dr. Wolland, Ontario L3C 7L6 (905)639-2009			
PROJECT NO.	202211	DATE:	FEB 2022
BUILDER:			
PROJECT NAME:	STEUNENBERG RESIDENCE 1796 CONCESSION 5 WEST HAMILTON, ONT.		
MODEL:			
DRAWING:	<b>PROPOSED PLANS</b>		
DRAWN BY:	K.W.	CHECKED BY:	K.W.
SCALE:	1/4"=1'-0"	PAGE:	2



LEFT ELEVATION



REAR ELEVATION



FRONT ELEVATION

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR REVIEW	11/25/21	K.W.

REVISIONS

**Kevin Webster Designs Inc.**  
 RESIDENTIAL & COMMERCIAL  
 DESIGN, DRAFTING & CONSULTING  
 68 North Valley Dr. Welling, Ontario L3C 7L6  
 (905)639-2009

PROJECT NO. 202211	DATE FEB 2022
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BUILDER:  
 PROJECT NAME:  
 STEUNBERG RESIDENCE  
 1796 CONCESSION 5 WEST  
 HAMILTON, ONT.

MODEL:  
 DRAWING:

**PROPOSED ELEVATIONS**

DRAWN BY: K.W.	CHECKED BY: K.W.
SCALE: 1/4"=1'-0"	PAGE: 3





Hamilton

**Committee of Adjustment**

City Hall, 5<sup>th</sup> Floor,  
71 Main St. W.,  
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221  
Email: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**APPLICATION FOR A MINOR VARIANCE**

<b>FOR OFFICE USE ONLY.</b>	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

**The Planning Act**

**Application for Minor Variance or for Permission**

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS
Registered Owners(s)		
Applicant(s)*		
Agent or Solicitor		

**Note:** Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

N/A
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**Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled**

4. Nature and extent of relief applied for:

Require ~~91%~~ gross floor area for an expansion to an existing dwelling, where only 10% is allowed.

- Second Dwelling Unit       Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

Existing zoning P7 regulations prevent proposed addition to be built

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

Part of Lot 19 Concession 4, Township of Beverly, City of Hamilton, 1796 Concession 5 West, Hamilton, Ont.  
L9H 5E1

7. PREVIOUS USE OF PROPERTY

Residential       Industrial       Commercial

Agricultural       Vacant

Other \_\_\_\_\_

8.1 If Industrial or Commercial, specify use \_\_\_\_\_

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes       No       Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes       No       Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes       No       Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes       No       Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes       No       Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes       No       Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes       No       Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes       No       Unknown



8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?  
 Yes  No  Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?  
 Common knowledge

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes  No

**9. ACKNOWLEDGEMENT CLAUSE**

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

Jan 31, 2022  
 Date

  
 Signature Property Owner(s)

M. ROSE STEUNENBERG / JAMES STEUNENBERG  
 Print Name of Owner(s)

10. Dimensions of lands affected:  
 Frontage 36.58 m  
 Depth 53.29  
 Area 1949.35 sq. m  
 Width of street 20 m

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:  
 1 storey dwelling, Ground floor area: 99.5 sq. m, Gross floor area: 153.84 sq. m, 15.82 m wide, 8.84 m deep, 4.88 m high

Proposed  
 1 Storey dwelling, Ground floor area: 169.55 sq. m, Gross floor area: 294.04 sq. m, 25.02 m wide, 8.84 m deep, 5.08 m high

12. Location of all buildings and structures on or proposed for the subject lands: (Specify distance from side, rear and front lot lines)

Existing:  
 Dwelling: Front 20.85m, Rear 23.58 m, Right: 7.21m, Left: 14.86m  
 Front shed: Front: 15.24m, Left: 2.15m, Right: 33.40m, Rear: 34.36m, 3.6m high  
 Alum. Shed: Front: 49.09m, Left: 11.9m, Right: 23.48m, Rear: 2.30m, Height: 3.05m  
 Rear wood shed: Front: 42.9m, Left: 33.4m, Right: 0.86m, Rear: 6.52m, Height: 3.1m  
 Rear lean-to: Front: 47.5m, Left: 34.34m, Right: 0.42m, Rear: 1.74m, Height: 3.0m

Proposed:  
 Dwelling: Front 20.85m, Rear 23.58 m, Right: 7.21m, Left: 5.61m  
 Front shed: Front: 15.24m, Left: 2.15m, Right: 33.40m, Rear: 34.36m, 3.6m high  
 Alum. Shed: Front: 49.09m, Left: 11.9m, Right: 23.48m, Rear: 2.30m, Height: 3.05m  
 Rear wood shed: Front: 42.9m, Left: 33.4m, Right: 0.86m, Rear: 6.52m, Height: 3.1m  
 Rear lean-to: Front: 47.5m, Left: 34.34m, Right: 0.42m, Rear: 1.74m, Height: 3.0m

13. Date of acquisition of subject lands:  
2000
14. Date of construction of all buildings and structures on subject lands:  
1970
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):  
Single Family Residential
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):  
Single Family Residential, Agricultural
17. Length of time the existing uses of the subject property have continued:  
Since built
18. Municipal services available: (check the appropriate space or spaces)  
Water no Connected \_\_\_\_\_  
Sanitary Sewer no Connected \_\_\_\_\_  
Storm Sewers no
19. Present Official Plan/Secondary Plan provisions applying to the land:  
Rural
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:  
P7
21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)  
 Yes  No  
If yes, please provide the file number:  
\_\_\_\_\_
- 21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?  
 Yes  No
- 21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?  
 Yes  No
23. Additional Information (please include separate sheet if needed)  
\_\_\_\_\_
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.