

## **NOTICE OF PUBLIC HEARING** **Minor Variance**

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**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
  - Applicant/agent on file, or
  - Person likely to be interested in this application
- 

**APPLICATION NO.:** HM/A-22:50

**APPLICANTS:** Owner Todd Anderson

**SUBJECT PROPERTY:** Municipal address **61 Harmony Ave., Hamilton**

**ZONING BY-LAW:** Zoning By-law 6593, as Amended

**ZONING:** "C" (Urban Protected Residential, etc.) district

**PROPOSAL:** To permit alterations to the existing single family dwelling including covering and enclosing the existing front porch to form part of the dwelling, and the construction of a new unenclosed porch and associated stairs in the front yard, notwithstanding that;

1. A minimum front yard of 3.5 metres shall be permitted, instead of the minimum 6.0 metre front yard required.
2. A minimum southerly side yard of 0.30 metres shall be permitted, instead of the minimum 0.9 metre side yard required.

Note:

1. Please note that the height of the existing porch that is to be covered and enclosed to form part of the dwelling has not been indicated on the submitted elevation drawing as per the definition of Height provided in Hamilton Zoning By-law No. 6593. As per Section 9(2), no building shall exceed two and a half storeys, and no structure shall exceed 11.0 metres in height. Additional variances may be required if compliance with Section 9(2) cannot be achieved.
2. Please note that the submitted site plan indicates side yards of varying widths. This zoning compliance review is based on the minimum side yard widths indicated for the principle dwelling as indicated in the Site Statistics i.e. northerly side yard indicated as a minimum of 0.99 metres and the southerly side yard indicated as a minimum of 0.30 metres. Please note that with respect to Variance No.2, as per Section 9(3)(ii) and Section 18(3)(v), the minimum required side yard width is 0.9 metres as the subject lot is a Lot of Record as defined in Hamilton Zoning By-law No. 6593.
3. Please note the projection of the eaves/gutters of the existing porch that is to be covered and enclosed to form part of the dwelling has not been indicated. Should Variance No.1 be granted to permit a minimum front yard of 3.5 metres, and Variance No. 2 be granted to permit a minimum southerly side yard of 0.30 metres, as per Section 18(3)(vi)(b) eaves/gutters shall be permitted to project into the newly established minimum

front yard not more than 1.5 metres, and shall be permitted to project into the required side yard(s) not more than one half its width. Additional variances may be required if compliance with Section 18(3)(vi)(b) cannot be achieved.

This application will be heard by the Committee as shown below:

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<b>DATE:</b>	<b>Thursday, March 17th, 2022</b>
<b>TIME:</b>	<b>2:35 p.m.</b>
<b>PLACE:</b>	<b>Via video link or call in (see attached sheet for details)</b>
	<b>To be streamed at</b>
	<b><a href="http://www.hamilton.ca/committeeofadjustment">www.hamilton.ca/committeeofadjustment</a></b>
	<b>for viewing purposes only</b>

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## **PUBLIC INPUT**

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

## **MORE INFORMATION**

For more information on this matter, including access to drawings illustrating this request:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

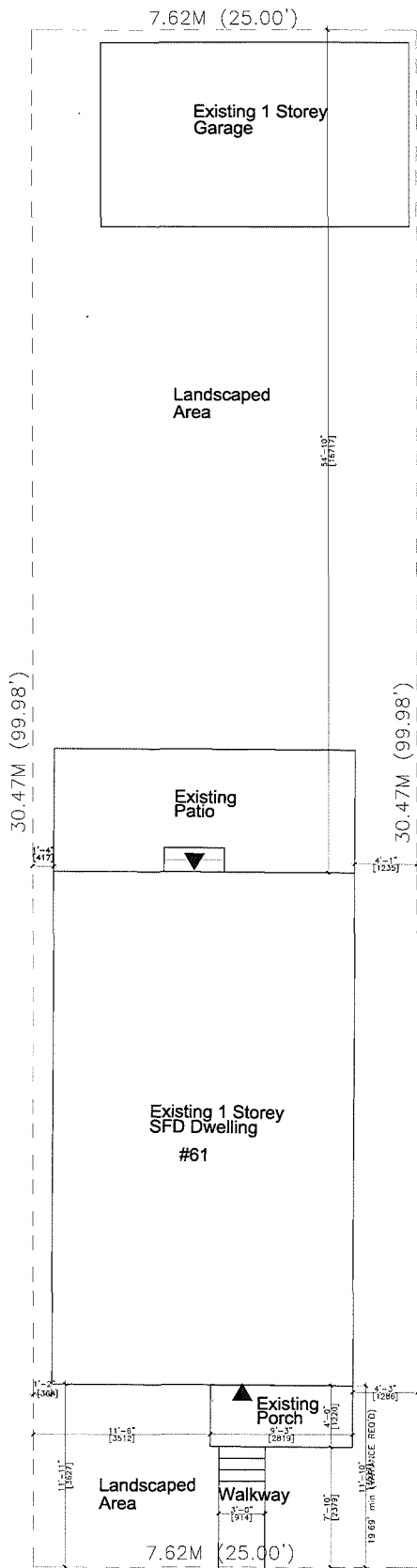
DATED: March 1st, 2022.

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

***Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.***

DO NOT SCALE DRAWINGS



### SITE STATISTICS

MUNICIPAL ADDRESS  
61 HARMONY AVE  
HAMILTON, ONT.

BUILDING CLASSIFICATION  
RESIDENTIAL

ZONING  
RESIDENTIAL - C DISTRICT

REQUIREMENTS  
MIN. SIDE YARDS 1.2 M (3.94')  
MIN. FRONT YARD 6.0 M (19.69')  
MIN. REAR YARD 7.5 M (24.61')

EXISTING YARDS AT DWELLING  
SIDE YARD (LEFT) 0.30 M (1.2' / 1.48') -EXISTING  
SIDE YARD (RIGHT) 0.99 M (4.08' / 4.25') -EXISTING  
FRONT YARD 3.63 M (11.97') -EXISTING  
REAR YARD 16.63 M (54.83') -EXISTING

LOT AREA  
232.21 M<sup>2</sup> (2499.5 SQ. FT.)

NOTE:  
THIS PLOT PLAN IS NOT A SURVEY. UNIQUE DESIGNS INC. DOES NOT GUARANTEE THE ACCURACY OF THIS DOCUMENT NOR DOES UNIQUE DESIGNS INC. CLAIM TO HAVE THE QUALIFICATIONS TO PRODUCE A SURVEY. INTENDED FOR THE USE AS A SURVEY, THE DRAWING PRODUCED IS INTENDED TO BE USED ONLY AS A DIAGRAM TO COMPLEMENT THE PROVIDED ARCHITECTURAL DRAWINGS. SPECIFICALLY, FOR THE PURPOSES OF ORIENTATION, ZONING, LIMITING DISTANCES AND BUILDING HEIGHT AND THEIR RELATIONSHIP WITH THE INTENDED USE OF THE BUILDING, TRUE SITE SETBACKS MAY NEED TO BE PROVIDED BY A QUALIFIED ONTARIO LAND SURVEYOR.

NOTE:  
ALL PROPOSED RAIN WATER LEADERS TO DISCHARGE ANY RAIN WATER ON PROPERTY OR EXISTING SWALES. NO WATER IS TO BE DRAINED ON TO ADJACENT PROPERTIES OR WALKWAYS OR DRIVEWAYS.

## 61 HARMONY AVE. PLOT PLAN

UNIQUE DESIGNS INC.  
082121

DATE  
11.08.21

SCALE  
1/4"=1'-0"

PROJECT INFORMATION  
61 HARMONY AVE.  
HAMILTON, ONT.



### RENOVATION TO EXISTING SFD

61 HARMONY AVE.  
HAMILTON, ONT.



### UNIQUE DESIGNS INC.

INTERIOR RENO  
TO EXISTING SFD

PLOT PLAN

No.	DATE	DESCRIPTION
1.	01.11.22	ISSUED FOR PERMIT
2.		
3.		
4.		
5.		
6.		
7.		
8.		

THESE DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT, AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.

THE USE OF THIS DRAWING OR PART THEREOF IS FORBIDDEN WITHOUT THE WRITTEN APPROVAL OF THE DESIGNER.



## ROOF JOISTS

(WHERE COUNCIL IS INSTALLED)

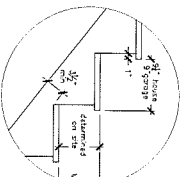
		WINDWALL CLEAR SPAN			
		ROOF SLOW LOAD 21 PSF		ROOF SLOW LOAD 31 PSF	
		JOIST SPACING		JOIST SPACING	
JOIST SIZE		12" O.C.	16" O.C.	12" O.C.	16" O.C.
2x4	8'-1"	7'-4"	24' 0"	7'-1"	24' 0"
2x6	12'-9"	11'-6"	6'-5"	11'-1"	5'-7"
2x6	16'-9"	15'-2"	10'-3"	14'-7"	8'-9"
					11'-7"

HERE NO CEILING IS INSTALLED)

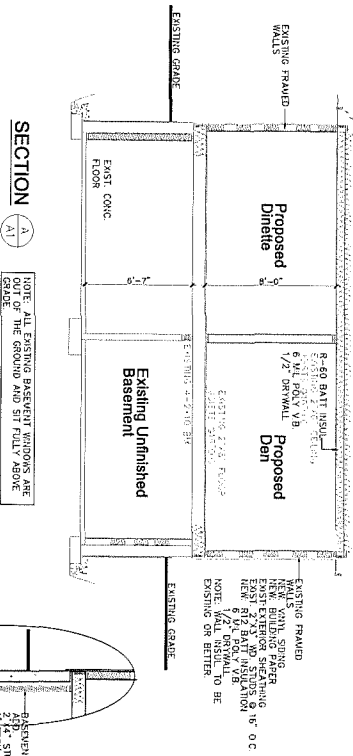
MANUALLY CLEAR SPAN						
PATTERN SIDE	ROOF SLOPE LOAD 21 PSF			ROOF SLOPE LOAD 31 PSF		
	12' O.C.	16' O.C.	24' O.C.	12' O.C.	16' O.C.	24' O.C.
2x4	10'-2"	9'-5"	8'-11"	8'-11"	8'-1"	7'-7"
2x6	16'-0"	14'-7"	12'-5"	14'-0"	12'-5"	11'-1"
2x8	21'-1"	19'-2"	16'-9"	16'-9"	14'-5"	14'-5"

ROOF FRAMING	ROOF SHEATHING UNISUPPORTED EDGES	ROOF SHEATHING TONGUE & GROOVE, "H"-CLIPS OR OTHER EDGE SUPPORT
12" O.C.	3/8" PLANKWOOD, WATER BD. OR 11/16" LUGGERS	5/16" PLANKWOOD, 3/8" WATER BD. OR 11/16" LUGGERS
16" O.C.	28" 11/16" LUGGERS OR 3/4" LUMBER	5/8" PLANKWOOD, 7/8" WATER BD. OR 1 1/8" LUGGERS
24" O.C.	1/2" PLANKWOOD OR 3/4" LUMBER	3/4" PLANKWOOD, 7/16" WATER BD. OR 3/4" LUMBER

JOIST	CEILING JOISTS		SUBFLOORING	
	JOIST SPACING	FLOOR UP TO	PLYWOOD	LUMBER
0/5T	12" o.c.	16" o.c.	2 1/4" o.c.	
2/4	10"-2"	9-5"	8-1"	
2/4	16" o.c.	14-7"	12-9"	
16" o.c.	21-1"	19-2"	16-9"	
210	26"-11"	24-6"	21-4"	
		24" o.c.	5/8"	
		3/4"	5/8"	
		5/8"	3/4"	
		3/4"	3/4"	



RISER HEIGHTS FOR STEPS/STAIRS:  
MAY VARY THROUGHOUT DEPENDING  
ON FLOOR THICKNESSES (TO BE  
DETERMINED BY CONTRACTOR)

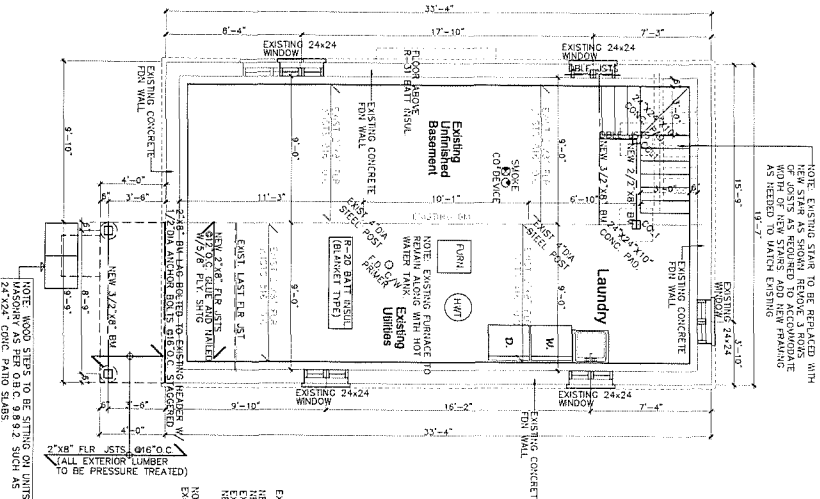


## SECTION

NOTE: ALL EXISTING BASEMENT WINDOWS ARE OUT OF THE GROUND AND SIT FULLY ABOVE GRADE.

BASEMENT INSULATION:  
AED  
2'x4" STUDS @16" O.C.

## TYPICAL BASEMENT INSUL



## FOUNDATION PLAN

NOTE: ALL EXISTING BASEMENT WINDOWS ARE OUT OF THE GROUND AND SIT FULLY ABOVE GRADE.

NOTE: VERIFY ALL ELECTRICAL LIGHTING FIXTURES, OUTLET PLUGS ETC. WITH OWNER PRIOR TO INSTALLATION.

FOR LATERALLY SUPPORTED / UNSUPPORTED FOUNDATION WALLS  
AT 108 - SEE TABLE 9.15.4.2 A FOR MAX. WT. PERMITTED

**NOTE: ADJUST DIMENSIONS AS NEEDED ON SITE MEASURE ALL CUTS TWICE PRIOR TO CUTTING.**

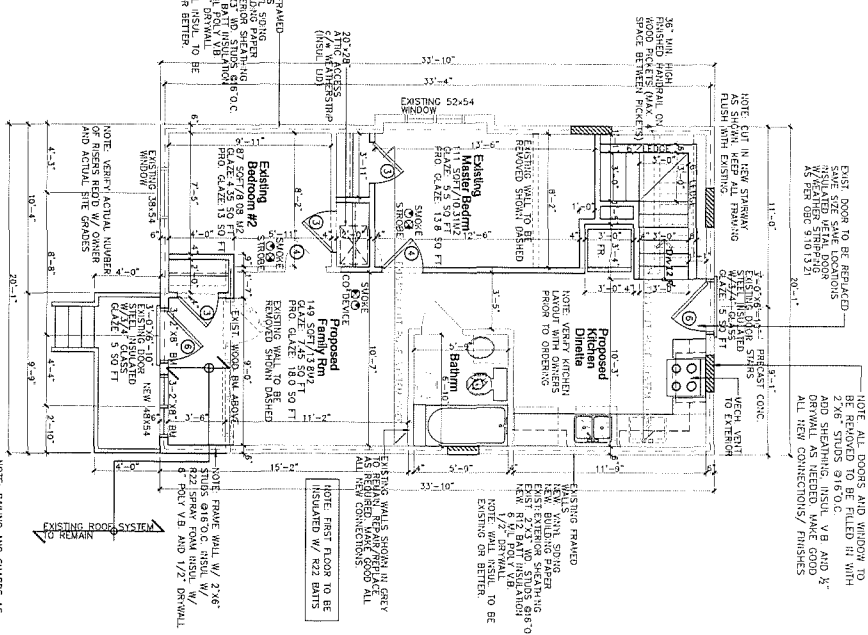
GRADE.	1970-1971	1971-1972	1972-1973	1973-1974	1974-1975	1975-1976	1976-1977	1977-1978	1978-1979	1979-1980	1980-1981	1981-1982	1982-1983	1983-1984	1984-1985	1985-1986	1986-1987	1987-1988	1988-1989	1989-1990	1990-1991	1991-1992	1992-1993	1993-1994	1994-1995	1995-1996	1996-1997	1997-1998	1998-1999	1999-2000	2000-2001	2001-2002	2002-2003	2003-2004	2004-2005	2005-2006	2006-2007	2007-2008	2008-2009	2009-2010	2010-2011	2011-2012	2012-2013	2013-2014	2014-2015	2015-2016	2016-2017	2017-2018	2018-2019	2019-2020	2020-2021	2021-2022	2022-2023	2023-2024	2024-2025	2025-2026	2026-2027	2027-2028	2028-2029	2029-2030	2030-2031	2031-2032	2032-2033	2033-2034	2034-2035	2035-2036	2036-2037	2037-2038	2038-2039	2039-2040	2040-2041	2041-2042	2042-2043	2043-2044	2044-2045	2045-2046	2046-2047	2047-2048	2048-2049	2049-2050	2050-2051	2051-2052	2052-2053	2053-2054	2054-2055	2055-2056	2056-2057	2057-2058	2058-2059	2059-2060	2060-2061	2061-2062	2062-2063	2063-2064	2064-2065	2065-2066	2066-2067	2067-2068	2068-2069	2069-2070	2070-2071	2071-2072	2072-2073	2073-2074	2074-2075	2075-2076	2076-2077	2077-2078	2078-2079	2079-2080	2080-2081	2081-2082	2082-2083	2083-2084	2084-2085	2085-2086	2086-2087	2087-2088	2088-2089	2089-2090	2090-2091	2091-2092	2092-2093	2093-2094	2094-2095	2095-2096	2096-2097	2097-2098	2098-2099	2099-2100	2100-2101	2101-2102	2102-2103	2103-2104	2104-2105	2105-2106	2106-2107	2107-2108	2108-2109	2109-2110	2110-2111	2111-2112	2112-2113	2113-2114	2114-2115	2115-2116	2116-2117	2117-2118	2118-2119	2119-2120	2120-2121	2121-2122	2122-2123	2123-2124	2124-2125	2125-2126	2126-2127	2127-2128	2128-2129	2129-2130	2130-2131	2131-2132	2132-2133	2133-2134	2134-2135	2135-2136	2136-2137	2137-2138	2138-2139	2139-2140	2140-2141	2141-2142	2142-2143	2143-2144	2144-2145	2145-2146	2146-2147	2147-2148	2148-2149	2149-2150	2150-2151	2151-2152	2152-2153	2153-2154	2154-2155	2155-2156	2156-2157	2157-2158	2158-2159	2159-2160	2160-2161	2161-2162	2162-2163	2163-2164	2164-2165	2165-2166	2166-2167	2167-2168	2168-2169	2169-2170	2170-2171	2171-2172	2172-2173	2173-2174	2174-2175	2175-2176	2176-2177	2177-2178	2178-2179	2179-2180	2180-2181	2181-2182	2182-2183	2183-2184	2184-2185	2185-2186	2186-2187	2187-2188	2188-2189	2189-2190	2190-2191	2191-2192	2192-2193	2193-2194	2194-2195	2195-2196	2196-2197	2197-2198	2198-2199	2199-2200	2200-2201	2201-2202	2202-2203	2203-2204	2204-2205	2205-2206	2206-2207	2207-2208	2208-2209	2209-2210	2210-2211	2211-2212	2212-2213	2213-2214	2214-2215	2215-2216	2216-2217	2217-2218	2218-2219	2219-2220	2220-2221	2221-2222	2222-2223	2223-2224	2224-2225	2225-2226	2226-2227	2227-2228	2228-2229	2229-2230	2230-2231	2231-2232	2232-2233	2233-2234	2234-2235	2235-2236	2236-2237	2237-2238	2238-2239	2239-2240	2240-2241	2241-2242</
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ALL EXISTING ROOM SIZES, DIVISIONS TO BE VERIFIED BY THE OWNER/CONTRACTOR BEFORE ORDERING ANY MATERIALS.

NOTE: ALL EXISTING ROOM SIZES, DIVISIONS TO BE VERIFIED BY THE OWNER/CONTRACTOR PRIOR TO AND DURING CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO FIELD VERIFY ALL EXISTING DIVISIONS BEFORE ORDERING ANY MATERIALS.

BE FORWARDED BY THE OWNER/CONTRACTOR, BUILDER PRIOR TO AND DURING CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR, BUILDER TO FIELD VERIFY ALL EXISTING DIMENSIONS BEFORE ORDERING ANY MATERIALS.

NOTE: CONTRACTOR, BUILDERS, OWNER TO MAKE ALL NECESSARY PRECAUTIONS WHILE REMOVING EXISTING WALLS AND ADDING NEW BEAM SUPPORTS. MAKE SURE CEILING OR BOTH SIDES ARE SHORED UP PRIOR TO REMOVING ANY LOAD BEARING WALLS.



## GROUND FLOOR PLAN

567 50 F1

NOTE: ALL EXISTING WINDOWS AND DOORS TO BE REMOVED AND REPLACED WITH NEW SIZE WINDOWS IN SAME LOCATION

1	16" x 68"	FLOOR PLATE DIVISIONS:
2	20" x 68"	ALL DIVISIONS ON FLOOR PLANS
3	20" x 68"	WITH-IN A SINGLE DWELING UNIT
4	20" x 68"	SHALL BE NON-FIRE RATED AND
5	28" x 68"	NEED NOT BE INTERCONNECTED
6	30" x 68"	EXTERIOR PUSH MANHOLE

USE ONLY WHERE L.A.S. ARE NOT SPECIFIED  
WOOD UNTEL LEGEND

FOR WOOD OPENINGS :
44" OR LESS USE 2/2"x8"
66" OR LESS USE 2/2"x10"
88" OR LESS USE 2/2"x12"
PROVIDE NAIL BETWEEN MEMBERS IF POSSIBLE

NOTE: 9.5.7.1(i) - EXCEPT AS PROVIDED IN ARTICLES 9.5.7.2. AND 9.5.7.3, BEDROOM BUILDING UNITS SHALL HAVE AN AREA NOT LESS THAN 7m2 WHERE BUILT-IN CABINETS ARE NOT PROVIDED AND NOT LESS THAN 6m2 WHERE BUILT-IN CABINETS ARE PROVIDED

NOTE: RAILING AND GUARDS AS PER O.B.C. STYLE. TYPE AS PER OWNERS. PROVIDE ALL MANUFACTURER'S CONNECTION DETAILS TO LOCAL MUNICIPALITY FOR PERMIT APPLICATION / REVIEW



DO NOT SCALE DRAWINGS

No	DATE	DESCRIPTION
1.	01.11.22	ISSUED FOR PERMIT
2.		
3.		
4.		THESE DRAWINGS ARE NOT TO BE
5.		SCALED. CONTRACTOR MUST CHECK
6.		AND VERIFY ALL DIMENSIONS AND
7.		CONDITIONS ON THE PROJECT, AND
8.		MUST REPORT ANY DISCREPANCIES
9.		TO THE DESIGNER BEFORE PROCEEDING
10.		WITH THE WORK.
11.		THE USE OF THIS DRAWING OR PART
12.		HEREOF IS FORBIDDEN WITHOUT THE
13.		WRITTEN APPROVAL OF THE DESIGNER

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THE USE OF THIS DRAWING OR PART THEREOF IS FORBIDDEN WITHOUT THE WRITTEN APPROVAL OF THE DESIGNER.

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# UNIQUE DESIGNS INC.

INTERIOR RENO  
TO EXISTING SFD

## FLOOR PLANS

### SECTION NOTES

## RENOVATION TO EXISTING SFD

61 HARMONY AVE.  
HAMILTON, ONT

Drawn By	Scale
Date	1/4"=1'-0"
Job Number	<b>A2</b>
092121	

## A2



Hamilton

Committee of Adjustment

City Hall, 5<sup>th</sup> Floor,

71 Main St. W.,

Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. \_\_\_\_\_ DATE APPLICATION RECEIVED \_\_\_\_\_

PAID \_\_\_\_\_ DATE APPLICATION DEEMED COMPLETE \_\_\_\_\_

SECRETARY'S  
SIGNATURE \_\_\_\_\_

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS
Registered Owners(s)		
Applicant(s)*		
Agent or Solicitor		

**Note:** Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

MEADOW CREEK HOLDINGS  
28 MEADOW CREEK LANE  
CAMBRIDGE, ONT N3Y 4R8  
KATHY GLASSER 519 654 7721

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

TO ENCLOSE EXISTING 3' 6" x 9' FRONT  
OVER PORCH & CREATE NEW FRONT 4' x 9'  
OPEN DECK WITH 3 STEPS

☐ Second Dwelling Unit ☐ Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

EXISTING TO BE MADE AS PART OF  
LIVING SPACE

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

LOT 44 BLK X REG PLAN 395

7. PREVIOUS USE OF PROPERTY

Residential ☒ Industrial ☐ Commercial ☐

Agricultural ☐ Vacant ☐

Other \_\_\_\_\_

8.1 If Industrial or Commercial, specify use \_\_\_\_\_

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐ No ☒ Unknown ☐

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐ No ☒ Unknown ☐

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐ No ☒ Unknown ☐

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐ No ☒ Unknown ☐

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐ No ☒ Unknown ☐

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes ☐ No ☒ Unknown ☐

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ☐ No ☒ Unknown ☐

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

From Previous owner

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ☐ No ☒

## 9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

FEB 2 / 22  
Date

[Signature]  
Signature Property Owner(s)

Todd Anderson  
Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage 25'  
Depth 98.9'  
Area 2499.5' / 232 m<sup>2</sup>  
Width of street approx 90'

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: \_

531 sq ft / 49.33 m<sup>2</sup>

Proposed

567 sq ft / 52.67 m<sup>2</sup>  
1 STOREY (20' x 33' 10") 19' 1" HEIGHT TO PEAK

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

Same / PROPOSED SEE PLANS

Proposed:

SEE PLANS



13. Date of acquisition of subject lands:  
AUG 20 2021
14. Date of construction of all buildings and structures on subject lands:  
SEPT 1 / 2021
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):  
SFD
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):  
SFD 3
17. Length of time the existing uses of the subject property have continued:  
APPROX 1940S
18. Municipal services available: (check the appropriate space or spaces)
- |                |                                     |           |                                     |
|----------------|-------------------------------------|-----------|-------------------------------------|
| Water          | <input checked="" type="checkbox"/> | Connected | <input checked="" type="checkbox"/> |
| Sanitary Sewer | <input checked="" type="checkbox"/> | Connected | <input checked="" type="checkbox"/> |
| Storm Sewers   | <input checked="" type="checkbox"/> |           |                                     |
19. Present Official Plan/Secondary Plan provisions applying to the land:  
RESIDENTIAL
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:  
"C" ZONE
21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)
- ☐ Yes ☒ No
- If yes, please provide the file number:
- 21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?
- ☐ Yes ☒ No
- 21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
- ☒ Yes ☐ No
23. Additional Information (please include separate sheet if needed)
- PERMIT TO MODIFY BUILDING DEPT
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

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