



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: SC/A-22:66

APPLICANTS: Agent Svedas Architects Inc.
Owner HWCDSB – P. Ferrie

SUBJECT PROPERTY: Municipal address **29 John Murray St., Stoney Creek**

ZONING BY-LAW: Zoning By-law 05-200, as Amended

ZONING: "I1" (Neighbourhood Institutional) district

PROPOSAL: To permit the construction an Educational Establishment (Elementary School) which includes a Day Nursery in order to facilitate Site Plan File No. DA-21-095 notwithstanding that:

1. The existing hydro switching vault (located at the east side of the easterly driveway) within the front yard shall have a minimum setback of 0.7m from the John Murray Street street line and shall not be required to be screened from the street by an enclosure or landscaping instead of the requirement that mechanical and unitary equipment within a required front yard shall have a minimum setback of 3.0 metres from the street line and shall be screened from the street by an enclosure or landscaping.
2. No planting strip shall be provided between the John Murray Street street line and the parking spaces and aisles at the west side of the easterly driveway which provides access to the parking lot containing forty-nine (49) parking spaces instead of the requirement that a 3.0 metre wide planting strip shall be provided and permanently maintained between the street line and parking spaces and aisles, giving direct access to abutting parking spaces, excluding driveways extending directly from the street.

NOTE:

- i) The variances are necessary to facilitate Site Plan File No. DA-21-095.

This application will be heard by the Committee as shown below:

DATE: Thursday, April 7th, 2022
TIME: 1:50 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

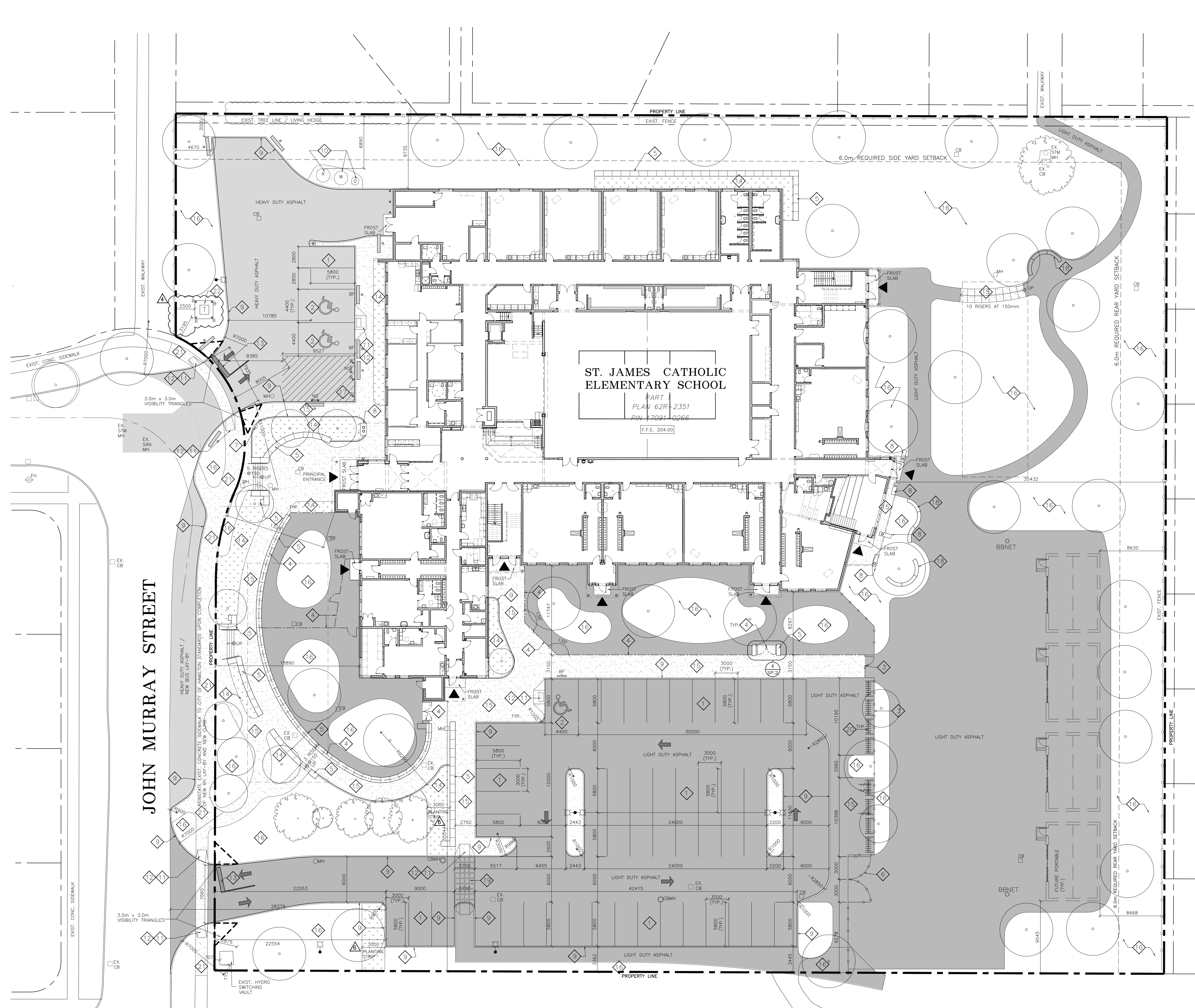
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: March 22nd, 2022.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



CONSTRUCTION NOTES:

- 1. ALL PARKING STALLS TO BE DELINEATED WITH 100mm WIDE PAINTED YELLOW LINES.
- 2. ACCESSIBLE PARKING SYMBOL MARKING IN YELLOW PAINT ON PAVEMENT.
- 3. 1.8M HIGH HEAVY DUTY GALVANIZED CHAIN LINK FENCE c/w LOCKABLE SWING GATE. REFER TO LPI FOR DETAILS.
- 4. 1.5M HIGH DECORATIVE STEEL FENCE c/w 1.5M HIGH x 1.5M SINGLE DOUBLE WIDE LOCKABLE METAL SWING GATES. POWDER COATED COLOUR FINISH. REFER TO LANDSCAPE PLAN LPI FOR DETAILS.
- 5. SEGMENTED RETAINING WALL. REFER TO LANDSCAPE DRAWING LPI.
- 6. 1.8M HIGH x 3.0M WIDE HEAVY DUTY GALVANIZED SECURITY GATE. CHAIN LINK SYSTEM. LOCKABLE. (SEE 3) SWING VEHICULAR UNIT C/W ROLLING GATE WHEELS AND/OR ASSOCIATED ENGINEERED HARDWARE @ 2.0M WIDE ea. (Refer to Detail Drawing LP-3)
- 7. 7620mm FLAGPOLE. SEE DETAIL THIS PAGE.
- 8. EXPOSED ARCHITECTURAL FINISHED CONCRETE (AFC) COLLAR PER c/w CHAMFERED EDGES. REFER TO WALL SECTIONS.
- 9. VERTICAL CONCRETE CURB. REFER TO DETAIL THIS PAGE.
- 10. MOLYBDEUM DEEP-COLLECTION WASTE MANAGEMENT SYSTEM. REFER TO DETAIL ON DRAWING LP-1.
- 11. CONCRETE CURBING - RAMM/CURB DEPRESSION. REFER TO LANDSCAPE PLAN LPI FOR DETAIL.
- 12. INSTALL CAST-IN-PLACE ACCESS TACTILE SYSTEM.
- 13. STOP LINE DELINEATED WITH 400mm WIDE PAINTED YELLOW LINE WITH 100mm WORK LINE MARKINGS.
- 14. LANDSCAPE PLANTING AREA. REFER TO LANDSCAPE DRAWINGS.
- 15. CONCRETE WALKWAY. REFER TO LANDSCAPE DRAWINGS.
- 16. 300. REFER TO LANDSCAPE DRAWINGS.
- 17. 100mm DIAGONAL PAINTED LINES.
- 18. PRECAST SEATING BENCH.
- 19. CROSSWALK. REFER TO LANDSCAPE DRAWINGS.
- 20. BICYCLE RACKS. REFER TO LANDSCAPE DRAWINGS.
- 21. CONCRETE SIDEWALK TO CITY OF HAMILTON STANDARDS. NOTE: ALL EXISTING MUNICIPAL SIDEWALK JN/S/BS CURB DAMAGED DURING CONSTRUCTION TO BE REPLACED TO CITY OF HAMILTON STANDARDS.
- 22. NEW TRANSFORMER c/w CONCRETE PAD AND BOLLARDS. REFER TO ELECTRICAL DRAWINGS.

SITE PLAN STATISTICS

ITEM		REQUIREMENT	PROVIDED
NET LOT AREA	4,000 SM (square metres) (0.4ha)		
BUILDING COVERAGE (MAXIMUM)	2,384 SM = 12.38%		
BUILDING HEIGHT (MAXIMUM PERMITTED)	10.5 M (MAX. PROPOSED)	8.9 M (top of gpm roof)	
STORIES (MAXIMUM)	2		
GROUND FLOOR AREA	3,405 SM		
SECOND FLOOR AREA	2,432 SM		
CROSS FLOOR AREA	5,842 SM		
SETBACKS:			
FRONT YARD (CONSTRUCTION WEST)	0.0 M	13.2 M	
SIDE YARD (CONSTRUCTION NORTH)	6.0 M	9.7 M	
REAR (CONSTRUCTION SOUTH)	0.0 M	35.5 M	
REAR (CONSTRUCTION EAST)	6.0 M	35.4 M	

PARKING SPACES REQUIRED FOR SCHOOL: 1.25 PER CLASSROOM (28 CLASSROOMS INCL. FUTURE PATRONS) = 35

PARKING SPACES PROVIDED: 53

BARRIER FREE PARKING SPACES PROVIDED: 1

BARRIER FREE PARKING SPACES REQUIRED: 3 (1.4M x 5.8M)

LOADING SPACE REQUIRED AND PROVIDED: 0

BICYCLE PARKING PROVIDED: 2 x 28 = 56

BICYCLE PARKING REQUIRED: 64

UNPERTAINING FILE No. DA-21-095
 RE: 29 JOHN MURRAY ST., HAMILTON

1. (We) Hamilton-Wentworth Catholic District School Board, the owner(s) of the land, hereby undertake and agree without reservation,

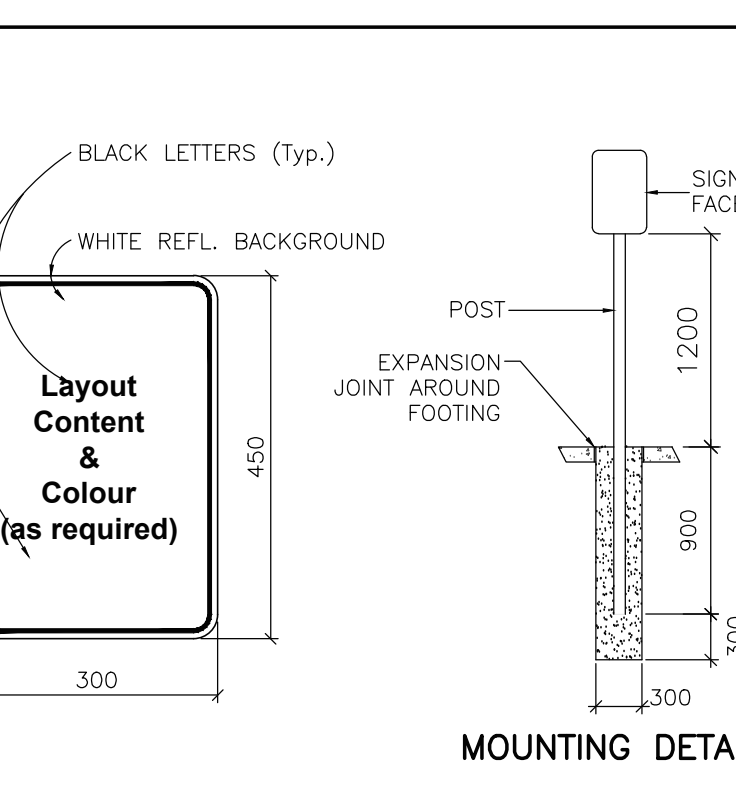
(a) to comply with all the content of this plan and drawing and not to vary therefrom;

(b) to perform the facilities, works or matters mentioned in Section 41(7)(a) of the Planning Act shown on this plan and drawing(s) in accordance with the conditions of approval as set out in the Letter of Approval dated _____;

(c) to maintain to the satisfaction of the City and at my (our) sole risk and expense, all of the facilities, works or matters mentioned in Section 41(7)(b) of the said Act, shown in this plan and drawing, including removal of snow from access ramps and driveways, parking and loading areas and walkways; and

(d) Growth Planning: that the owner agrees to physically affix the municipal number (29) or Freya address (29 John Murray Street) to the building or on a sign in accordance with the city's sign by-law, in a manner that is visible from the street.

(e) Cultural Acknowledgement Note: "acknowledgement note: the subject property has been determined to be an area of archaeological potential. It is responsible to expect that archaeological resources may be encountered during any demolition, grading, construction activities, landscaping, staging, stockpiling or other soil disturbances. If archaeological resources are encountered, the proponent may be required to conduct an archaeological assessment prior to further impact in order to address these concerns and mitigate, through preservation or resource removal and documentation, adverse impacts to any significant archaeological resources found. Mitigation, by an Ontario-licensed archaeologist, may include the monitoring of any mechanical excavation originating from this project. If archaeological resources are identified on-site, further steps 3 site-specific assessment and steps 4 mitigation of development impacts may be required as determined by the Ontario Ministry of Heritage, Sport, Tourism and Culture Industries (MHI). All archaeological reports shall be submitted to the City of Hamilton for approval concurrent with their submission to the MHI. Should deeply buried archaeological materials be found on the property during any of the above development activities the MHI should be notified immediately (416-212-8886). In the event that human remains are encountered during construction, the proponent should immediately contact both MHI and the registrar or deputy registrar of the cemetery's registration unit of the Ministry of Government and Consumer Services (416-212-7499)."



TRAFFIC SIGNAGE
 SCALE: 1/12

1. TO A 75mm GALV. STL. POST W/12mm GALV. HEX HEAD BOLTS AND NUTS WITH WASHERS BOTH SIDES.

Dated this _____ day of _____ 20____

Witness (signature) _____ Owner(s) (signature) _____ (seal)

Witness (print) _____ Owner (print) _____

Address of Witness _____

SITE PLAN NOTES

- ALL WORK INVOLVED IN THE CONSTRUCTION, REPAIR OR MUNICIPAL SERVICES FOR THE PROJECTS SHALL BE TO THE SATISFACTION OF THE DIRECTOR OF PLANNING AND CHIEF PLANNING, PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT.
- FIRE ROUTE SIGNS AND 3-WAY FIRE HYDRANTS SHALL BE ESTABLISHED TO THE SATISFACTION OF THE CITY FIRE DEPARTMENT AND AT THE EXPENSE OF THE OWNER.
- MAIN DRIVEWAY DIMENSIONS AT THE PROPERTY LINE BOUNDARIES ARE PLUS OR MINUS 7.5m UNLESS OTHERWISE STATED.
- ALL DRIVEWAYS FROM PROPERTY LINES FOR THE FIRST 7.5m SHALL BE WITHIN 5% MAXIMUM GRADE. THEREAFTER, ALL DRIVEWAYS SHALL BE WITHIN 10% MAXIMUM GRADES.
- THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:
 - BUILDING PERMIT
 - SEWER AND WATER PERMITS
 - ROAD CUT PERMITS
 - RELOCATION OF SERVICES
 - APPROACH APPROVAL PERMITS
 - ENCROACHMENT AGREEMENTS (IF REQUIRED)
 - COMMITTEE OF ADJUSTMENT
- ABANDONED ACCESSES MUST BE REMOVED AND THE CURB AND BOULEVARD RESTORED WITH 500 AT THE OWNER'S EXPENSE TO THE SATISFACTION OF THE TRAFFIC ENGINEERING SECTION, PUBLIC WORKS DEPARTMENT.
- FOR VISIBILITY TRIANGLES AT THE VEHICULAR ACCESS POINTS, THE FOLLOWING NOTE TO BE PROVIDED: "3M BY 3M VISIBILITY TRIANGLES IN WHICH THE MAXIMUM HEIGHT OF ANY OBJECTS OR MATURE VEGETATION IS NOT TO EXCEED A HEIGHT OF 0.70 METERS ABOVE THE CORRESPONDING PERPENDICULAR CENTRELINE ELEVATION OF THE ADJACENT STREET"
- PROPOSED STORAGE SHALL CONFORM TO THE CITY'S SIGN AND OTHER DEVICES BY-LAW No. 10-197.
- LIGHTING MUST BE DIRECTED ON SITE AND MUST NOT SPILL OVER TO ADJACENT PROPERTIES OR STREETS.

GENERAL NOTES:

- REFER TO S. LLEWELLYN & ASSOCIATES LIMITED CONSULTING ENGINEERS SITE SERVING PLAN FOR STORM/SANITARY MANHOLES, CATCH BASINS, CATCH BASIN MANHOLES & DOUBLE CATCH BASIN MANHOLE.
- REFER TO LANDSCAPE DRAWINGS FOR ASPHALT PAVING, CONCRETE PAVING, CONCRETE CURBING, BOLLARDS, SOODING PLANT MATERIAL AND ALL RELATED DETAILS.
- ALL WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNICIPAL SERVICES FOR THE PROJECT SHALL BE TO THE SATISFACTION OF THE DIRECTOR OF PLANNING, PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT.
- FIRE ROUTE SIGNS AND 3-WAY FIRE HYDRANTS SHALL BE ESTABLISHED TO THE SATISFACTION OF THE CITY FIRE DEPARTMENT AND AT THE EXPENSE OF THE OWNER.
- MAIN DRIVEWAY DIMENSIONS AT THE PROPERTY LINE BOUNDARIES ARE PLUS OR MINUS 7.5m UNLESS OTHERWISE STATED.
- ALL DRIVEWAYS FROM PROPERTY LINES FOR THE FIRST 7.5m SHALL BE WITHIN 5% MAXIMUM GRADE. THEREAFTER, ALL DRIVEWAYS SHALL BE WITHIN 10% MAXIMUM GRADES.
- THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:
 - BUILDING PERMIT
 - SEWER AND WATER PERMITS
 - ROAD CUT PERMITS
 - RELOCATION OF SERVICES
 - APPROACH APPROVAL PERMITS
 - ENCROACHMENT AGREEMENTS (IF REQUIRED)
 - COMMITTEE OF ADJUSTMENT
- FOR VISIBILITY TRIANGLES AT THE VEHICULAR ACCESS POINTS, THE FOLLOWING NOTE TO BE PROVIDED: "3 METER BY 3 METER VISIBILITY TRIANGLES IN WHICH THE MAXIMUM HEIGHT OF ANY OBJECTS OR MATURE VEGETATION IS NOT TO EXCEED A HEIGHT OF 0.70 METERS ABOVE THE CORRESPONDING PERPENDICULAR CENTRELINE ELEVATION OF THE ADJACENT STREET"
- THE SUBJECT PROPERTY IS ELIGIBLE FOR MUNICIPAL COLLECTION OF RECYCLABLE MATERIAL THROUGH THE CITY OF HAMILTON, PROVIDED THAT A RECYCLING SERVICE AGREEMENT IS IN PLACE AND SUBJECT TO COMPLIANCE WITH SPECIFICATIONS INDICATED BY THE OPERATIONS AND WASTE MANAGEMENT DIVISION. THE SUBJECT PROPERTY IS ELIGIBLE FOR MUNICIPAL COLLECTION OF GARBAGE, ORGANICS AND LEAF AND YARD WASTE THROUGH THE CITY OF HAMILTON. WASTE COLLECTION SERVICES MUST BE ARRANGED WITH A PRIVATE WASTE HAULER(S).
- ALL SIGNAGE SHALL CONFORM TO HAMILTON SIGN BY-LAW 10-197.

KEY PLAN

REFER TO SITE GRADING & SERVING PLAN AS PREPARED BY S. LLEWELLYN & ASSOCIATED LTD.

REFER TO SURVEY AS PREPARED BY MacKAY, MacKAY & PETERS LTD., PROJECT NO. 21-050.

THIS PLAN TO READ IN CONJUNCTION WITH ALL OTHER RELATED ARCHITECTURAL, ENGINEERING AND LANDSCAPE ARCHITECTURAL PLANS, DETAILS AND SPECIFICATIONS.

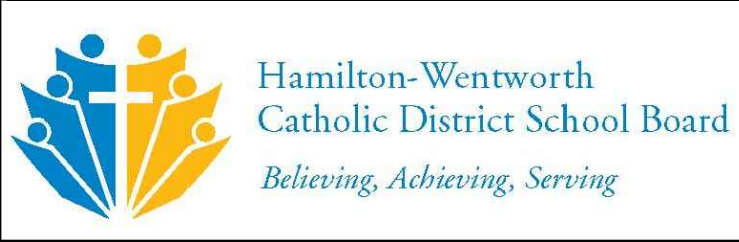
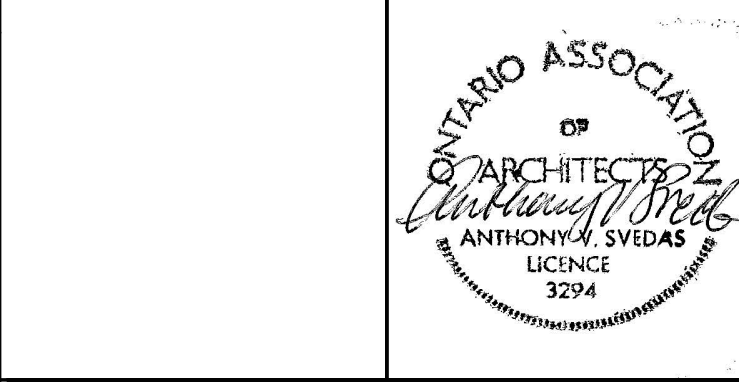
LEGEND

- PROPERTY LINE
- EXIST. CHAIN LINK FENCE LINE
- PROPOSED CHAIN LINK FENCE LINE
- DECORATIVE ARCHITECTURAL WIRE FENCE
- ▲ BUILDING ENTRANCE LOCATION
- ▲ PAINTED ENTRANCE TRAFFIC ARROW IN YELLOW
- TRUCK TURNING RADIUS
- PAINTED BARRIER FREE SYMBOL IN YELLOW
- BOLLARD TYPE 1. SEE DETAIL THIS PAGE.
- CB REFER TO SITE SERVING PLAN
- CBMH FOR CATCH BASIN, CATCH BASIN MANHOLE & DOUBLE CATCH
- CBMH BASIN MANHOLE INFORMATION.
- PROPOSED STANDPIPE
- EXISTING FIRE HYDRANT
- EXISTING TREE (REFER TO TREE MANAGEMENT REPORT FOR DETAILS)
- EXISTING TREE
- PROPOSED TREE
- PROPOSED LIGHT STANDPIPE
- CONCRETE
- LANDSCAPE PLANTING
- LIGHT DUTY ASPHALT
- HEAVY DUTY ASPHALT

TRAFFIC CIRCULATION & FIRE ROUTE SIGNAGE

- STOP (R9-1) REGULATORY SIGN 60cm x 60cm
- BARRIER FREE DESIGNATED PARKING SPACE SIGN CITY OF HAMILTON BY-LAW No. 01-220
- FIRE ROUTE 'NO PARKING' C/W DIRECTIONAL ARROW(S) SIGN CITY OF HAMILTON BY-LAW No. 01-217
- FIRE ROUTE 'NO STOPPING' C/W DIRECTIONAL ARROW(S) SIGN CITY OF HAMILTON BY-LAW No. 01-217
- BUSES ONLY SIGN

NO.	DATE	DESCRIPTION
6	22/02/02	ISSUED FOR SITE PLAN COMMENTS
5	22/01/05	ISSUED FOR SITE PLAN COMMENTS
4	21/12/08	ISSUED FOR SITE PLAN COMMENTS
3	21/02/28	ISSUED FOR TENDER
2	21/02/21	SITE PLAN COMMENTS
1	21/04/29	ISSUED FOR SITE PLAN



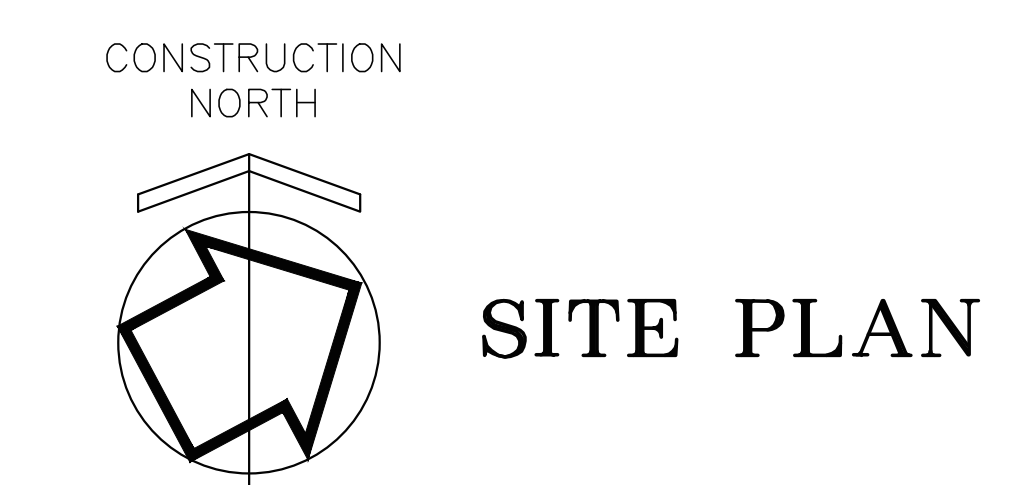
1084 BROMFIELD DRIVE, BRANTFORD, ONTARIO L7Y 1V2 TEL: (905) 398-7771

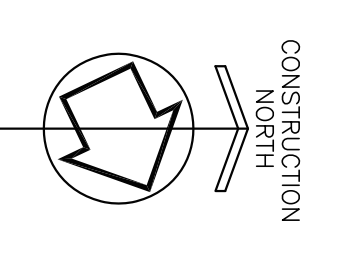
ST. JAMES CATHOLIC ELEMENTARY SCHOOL
 29 JOHN MURRAY STREET STONEY CREEK ONTARIO

SITE PLAN
 DA-21-095

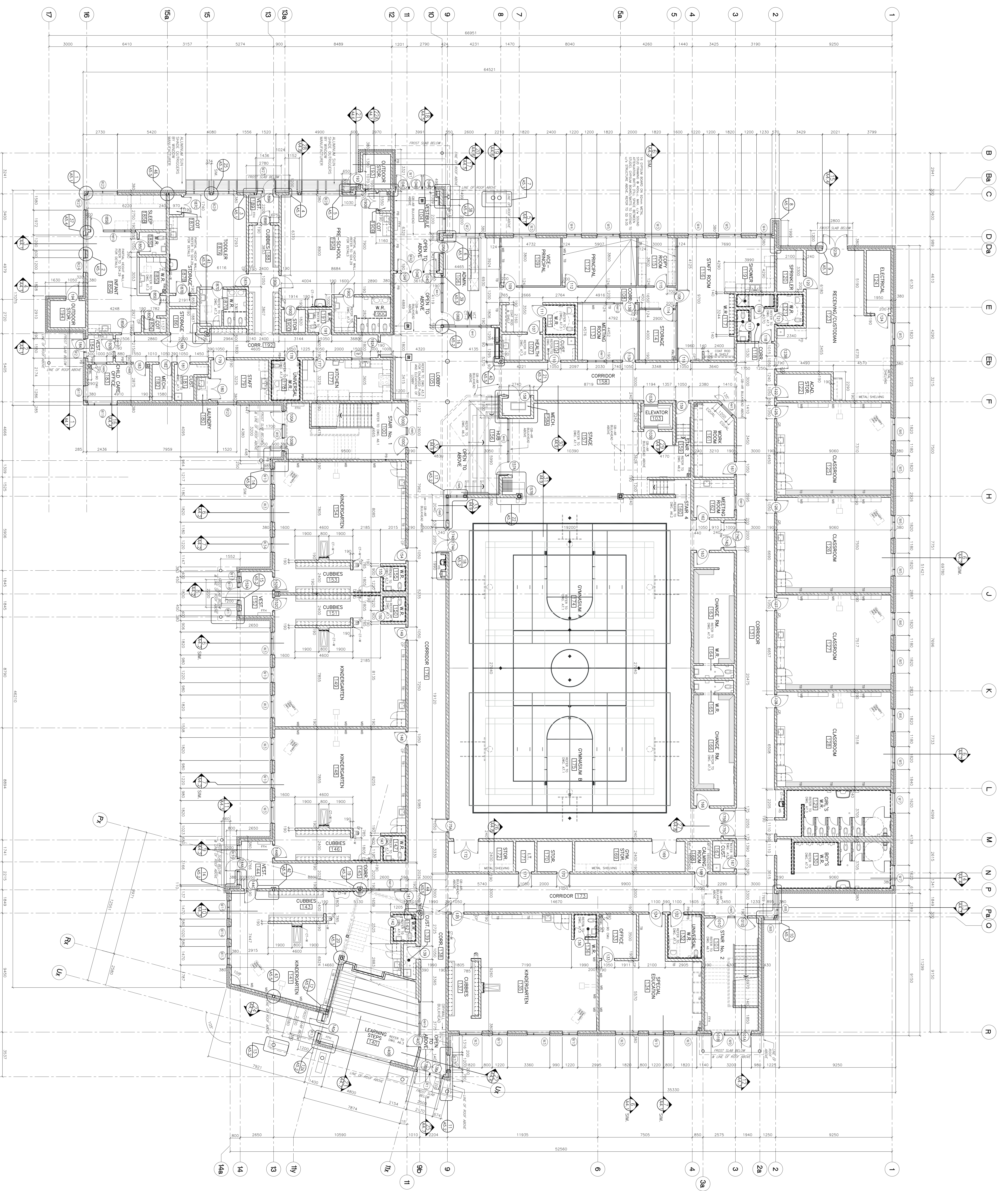
SCALE	DRAWN	PROJECT No.
1:200	MM	120811
DATE	CHECKED	DRAWING No.
SEPT. 21, 2021	AVS	SP1

YORKDALE CRESCENT

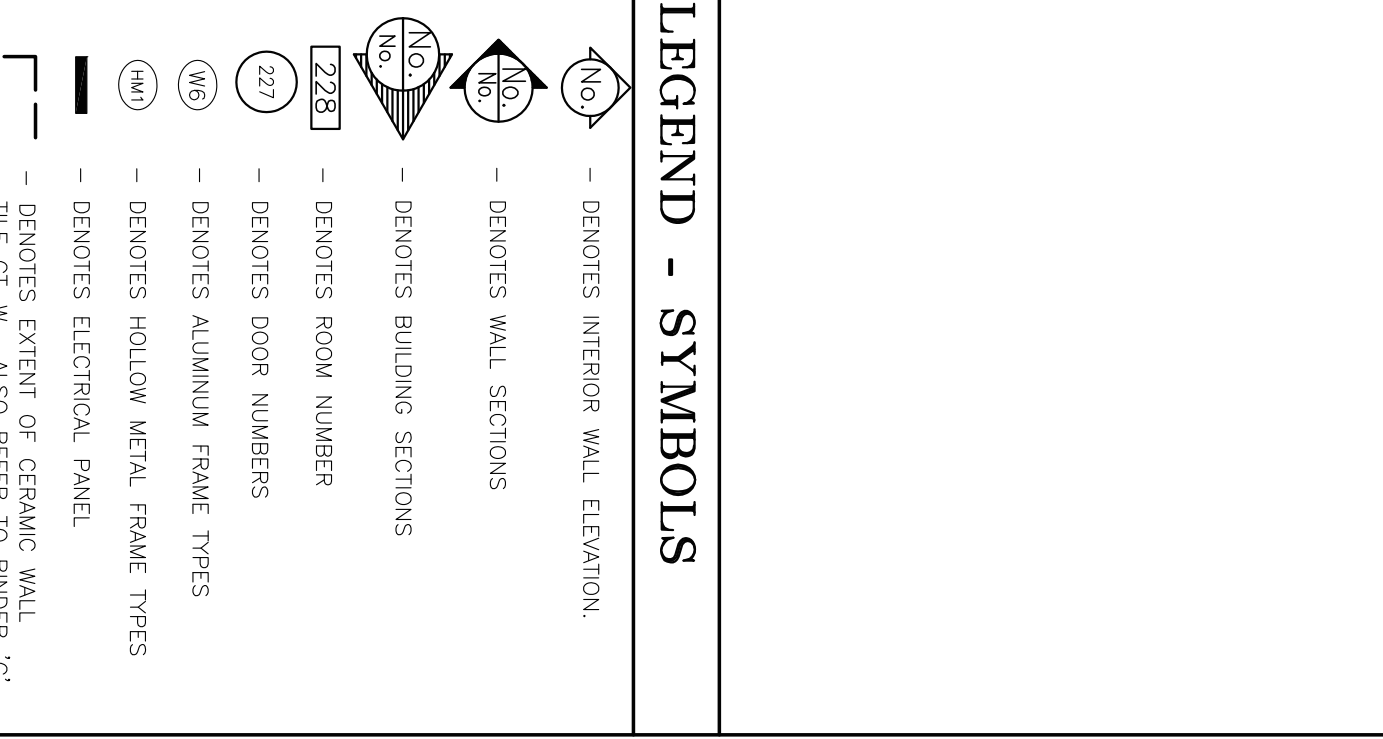




GROUND FLOOR PLAN



- GENERAL NOTES**
- REFER TO STANDARD A1.1 FOR LOCATION OF DESIGNATED FIRE SEPARATIONS AND FIRE SEPARATION WALLS. BUILD-UP SHALL BE IN ACCORDANCE WITH THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 101 - LIFE SAFETY CODE.
 - REFER TO A2.0 FOR LOCATION, AND ELECTRICAL DIAGRAMS.
 - REFER TO STRUCTURAL DRAWINGS FOR STEEL, CONCRETE, AND MASONRY DETAILS.
 - LEVEL: THE FLOOR FINISHES SHOWN ON THIS PLAN SHALL BE IN ACCORDANCE WITH THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 101 - LIFE SAFETY CODE.
 - WALLWORK SHALL BE IN ACCORDANCE WITH THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 101 - LIFE SAFETY CODE.
 - FOR ALL INTERIOR WALLWORK REFER TO DRAWINGS 127-130.
 - FOR GYM AND WORKSHOP REFER TO DRAWINGS 121-122.
 - IN GENERAL, CONSTRUCTION, FINISHES, DIMENSIONS OF METAL, TUBS, WALLS WITH TRAPDOORS, FLOOR SUPPORTS, CEILING, AND OTHER DETAILS SHALL BE IN ACCORDANCE WITH THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 101 - LIFE SAFETY CODE.
 - PROVIDE 100% TYPICAL ROOM CONSTRUCTION INCLUDING ELECTRICAL, MECHANICAL, AND PLUMBING. PROVIDE 100% TYPICAL ROOM CONSTRUCTION INCLUDING ELECTRICAL, MECHANICAL, AND PLUMBING. PROVIDE 100% TYPICAL ROOM CONSTRUCTION INCLUDING ELECTRICAL, MECHANICAL, AND PLUMBING.
 - CONCRETE WALLS SHALL BE 160mm CONCRETE WITH A MINIMUM OF 4% REINFORCEMENT. CONCRETE FLOORS SHALL BE 100mm CONCRETE WITH A MINIMUM OF 4% REINFORCEMENT. CONCRETE SLABS SHALL BE 100mm CONCRETE WITH A MINIMUM OF 4% REINFORCEMENT.



TYPICAL WALL CONSTRUCTION

EXTERIOR WALL (EW)

NO FACE BRICK VENEER (OTHER THAN 100% FACE BRICK VENEER)

1. REFER TO SECTION 121 FOR CONCRETE WALL CONSTRUCTION.

2. REFER TO SECTION 122 FOR CONCRETE WALL CONSTRUCTION.

3. EXTERIOR WALLS SHALL BE 160mm CONCRETE WITH A MINIMUM OF 4% REINFORCEMENT.

4. EXTERIOR WALLS SHALL BE 160mm CONCRETE WITH A MINIMUM OF 4% REINFORCEMENT.

5. EXTERIOR WALLS SHALL BE 160mm CONCRETE WITH A MINIMUM OF 4% REINFORCEMENT.

6. EXTERIOR WALLS SHALL BE 160mm CONCRETE WITH A MINIMUM OF 4% REINFORCEMENT.

7. EXTERIOR WALLS SHALL BE 160mm CONCRETE WITH A MINIMUM OF 4% REINFORCEMENT.

8. EXTERIOR WALLS SHALL BE 160mm CONCRETE WITH A MINIMUM OF 4% REINFORCEMENT.

9. EXTERIOR WALLS SHALL BE 160mm CONCRETE WITH A MINIMUM OF 4% REINFORCEMENT.

INTERIOR PARTITIONS

1. REFER TO SECTION 121 FOR CONCRETE WALL CONSTRUCTION.

2. REFER TO SECTION 122 FOR CONCRETE WALL CONSTRUCTION.

3. EXTERIOR WALLS SHALL BE 160mm CONCRETE WITH A MINIMUM OF 4% REINFORCEMENT.

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5. EXTERIOR WALLS SHALL BE 160mm CONCRETE WITH A MINIMUM OF 4% REINFORCEMENT.

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7. EXTERIOR WALLS SHALL BE 160mm CONCRETE WITH A MINIMUM OF 4% REINFORCEMENT.

8. EXTERIOR WALLS SHALL BE 160mm CONCRETE WITH A MINIMUM OF 4% REINFORCEMENT.

9. EXTERIOR WALLS SHALL BE 160mm CONCRETE WITH A MINIMUM OF 4% REINFORCEMENT.

REVISIONS

No.	DATE	DESCRIPTION
1	20/11/21	ISSUED FOR APPROVAL No. 5
2	22/11/21	ISSUED FOR APPROVAL No. 5
3	23/11/21	ISSUED FOR APPROVAL No. 5

ST. JAMES THE APOSTLE CATHOLIC ELEMENTARY SCHOOL
 29 JOHN MURRAY STREET
 STONEY CREEK ONTARIO

SWEDNS ARCHITECTS INC.
 1000 SHEPPARD AVENUE EAST
 UNIT 101 SCARBOROUGH, ONTARIO M1S 1T6
 TEL: (416) 291-7771

ASSOCIATION OF ARCHITECTS OF ONTARIO
 100 BAYVIEW AVENUE
 SUITE 200 SCARBOROUGH, ONTARIO M2W 1G3
 TEL: (416) 291-7771

GROUND FLOOR PLAN

SCALE: DRAWN: PROJECT No. 1:100 LMR 120811 CHECKED: SHAMIN No. DATE: OCT. 28, 2021 MM **A2.1**



SURVEYOR'S REAL PROPERTY REPORT
 PLAN OF SURVEY OF
PART OF
BLOCK A
PLAN M-155
 IN THE
CITY OF HAMILTON
 SCALE 1 : 200

© 2021
 MACKAY, MACKAY & PETERS LIMITED - ONTARIO LAND SURVEYORS
 KNOWN AS MUNICIPAL No. 29 JOHN MURRAY STREET

REPORT SUMMARY (PART 2) (to be read in conjunction with Part 1)
 LAND REGISTER OFFICE FILE INFORMATION ON SUBJECT PROPERTY INCLUDING BOOKNUMBERS, EXEMPTIONS AND PART OF WITH - DATE FEBRUARY 2, 2021
 REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY:
 SUBJECT TO EASEMENT AS IN INST. NO. L231841

ADDITIONAL REMARKS:
 PART 15 PART 1 OF SURVEY FOR THE LOCATION OF BUILDINGS, STRUCTURES, FENCES AND UTILITIES
 Mackay, Mackay & Peters Limited grants HAMILTON WENTWORTH CATHOLIC SCHOOL BOARD [The Client(s)], their solicitor and other related parties permission to use "Original Copies" of the Surveyor's Real Property Report in transactions involving The Client(s).
 ASSOCIATION OF ONTARIO LAND SURVEYORS
 PLAN SUBMISSION FORM# 2146359

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR IN ACCORDANCE WITH REGULATION 1026, SECTION 290

LEGEND
 ■ DENOTES A SURVEY MONUMENT FOUND
 □ DENOTES A SURVEY MONUMENT PLANTED
 SIB DENOTES STANDARD IRON BAR
 IB DENOTES IRON BAR
 R DENOTES ROUND
 P DENOTES PROPERTY IDENTIFICATION NUMBER
 C DENOTES CENTRE LINE
 (CU) DENOTES CROWN UNIFORM
 P1 DENOTES PLAN M-155
 P2 DENOTES PLAN M-156
 P3 DENOTES PLAN 62M-899
 P4 DENOTES PLAN 62R-2351
 CB DENOTES CATCH BASIN
 SAN MH DENOTES STORM MANHOLE
 SAN MH DENOTES SANITARY MANHOLE
 DENOTES ROAD SIGN
 T DENOTES TRANSFORMER
 DENOTES BOLLARD
 FFE DENOTES FIRST FLOOR ELEVATION
 CM DENOTES GAS METER
 FP DENOTES FLAG POLE
 INW DENOTES INVERTS
 FH DENOTES FIRE HYDRANT
 DENOTES GAS MAIN
 CS DENOTES GAS SERVICE
 H DENOTES HYDRO
 WM DENOTES WATER MAIN
 WS DENOTES WATER SERVICE
 S-SAN DENOTES SANITARY SEWER
 S-SW DENOTES STORM SEWER

BUILDING TIES SHOWN HEREON ARE TO FOUNDATION UNLESS OTHERWISE NOTED
BEARING REFERENCE
 BEARINGS ARE GRID AND ARE REFERRED TO THE WEST LIMIT OF BLOCK A AS SHOWN
 PLAN M-155 HAVING A BEARING OF N17°03'50"E

SURVEYOR'S CERTIFICATE
 I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT,
 AND THE SURVEYS ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON THE 26th DAY OF MAY, 2021.

JULY 28, 2021
 DATE
 Roy C. Mayo
 SURVEYOR
 FOR: MACKAY, MACKAY AND PETERS LIMITED

040 FILE: E:\02 Hamilton-Wentworth\W-PLAN, W-0150\BLOCK A\21-050\21-050.dwg
 PLAN BY: A.S./S.L.
 PART DRAWN: J.V.
 CHECKED BY: J.V.
 PROJECT NO: 21-050
 3180 South Service Road
 Unit 101
 Burlington, ON
 L7R 3J5
 (905) 639-1375
 mackay@mackayandpeters.com
 mmplimited.com
 SINCE 1966



Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
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APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS
Registered Owners(s)		
Applicant(s)*		
Agent or Solicitor		

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

N/A

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

Variance required for existing underground hydro vault and 3m planting strip.

Second Dwelling Unit Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

The underground hydro-vault is existing and will not be touched. The planting strip cannot be continuous as a walkway is required at this end as well.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

29 John Murray Street, Stoney Creek
Part 1, Block A, Plan M-155
Registered Plan No. 62R-2351

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial

Agricultural Vacant

Other Institutional

8.1 If Industrial or Commercial, specify use _____

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

Historical knowledge of the property by owner

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

February 15, 2022

Date


Signature Property Owner(s)

Paul Ferrie
Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage 83.7 m
Depth 124.9 m
Area 14,206m²
Width of street 8.7m

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _

Existing school will be demolished.

Proposed

Ground Floor Area: 3,405m² Total Building Area: 5,842m²
Two storey elementary school
Building height: 9m South Elevation: 74m East Elevation: 67.5m
North Elevation: 74m West Elevation: 74m

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

Existing school will be demolished.

Proposed:

To north property: 9.7m To west property: 35.4m
To south property: 35.5m To east property: 18.9m

13. Date of acquisition of subject lands: May 9, 1975
14. Date of construction of all buildings and structures on subject lands:
Construction of new school to begin end of March 2022
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
elementary school
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
Residential to the west, north and east; park to the south
17. Length of time the existing uses of the subject property have continued:
Over 45 years
18. Municipal services available: (check the appropriate space or spaces)
Water yes Connected _____
Sanitary Sewer yes Connected _____
Storm Sewers yes
19. Present Official Plan/Secondary Plan provisions applying to the land:

20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:

21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)
 Yes No
If yes, please provide the file number:

- 21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?
 Yes No
- 21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No
23. Additional Information (please include separate sheet if needed)
Site Plan Application No. DA-21-095
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.