

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: AN/A-22:70

APPLICANTS: Agent Dusil Design & Landscape Inc.
Owner M. Zizzo

SUBJECT PROPERTY: Municipal address **65 Lloyminn Ave., Hamilton**

ZONING BY-LAW: Zoning By-law 87-57, as Amended

ZONING: "ER" (Existing Residential) district

PROPOSAL: To permit the installation of an inground swimming pool for the existing single detached dwelling, notwithstanding that;

1. The inground pool shall be permitted to be located within a front yard and as close as 2.5m from the front lot line whereas the zoning By-law states that a totally inground swimming pool may be located within that portion of the minimum street side yard and the minimum rear yard, which is within the rear yard.

Notes: The applicant shall ensure that pool equipment maintains a setback of 0.6m from the side lot line; otherwise, further variances shall be required.

This application will be heard by the Committee as shown below:

DATE: Thursday, April 7th, 2022
TIME: 2:00 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

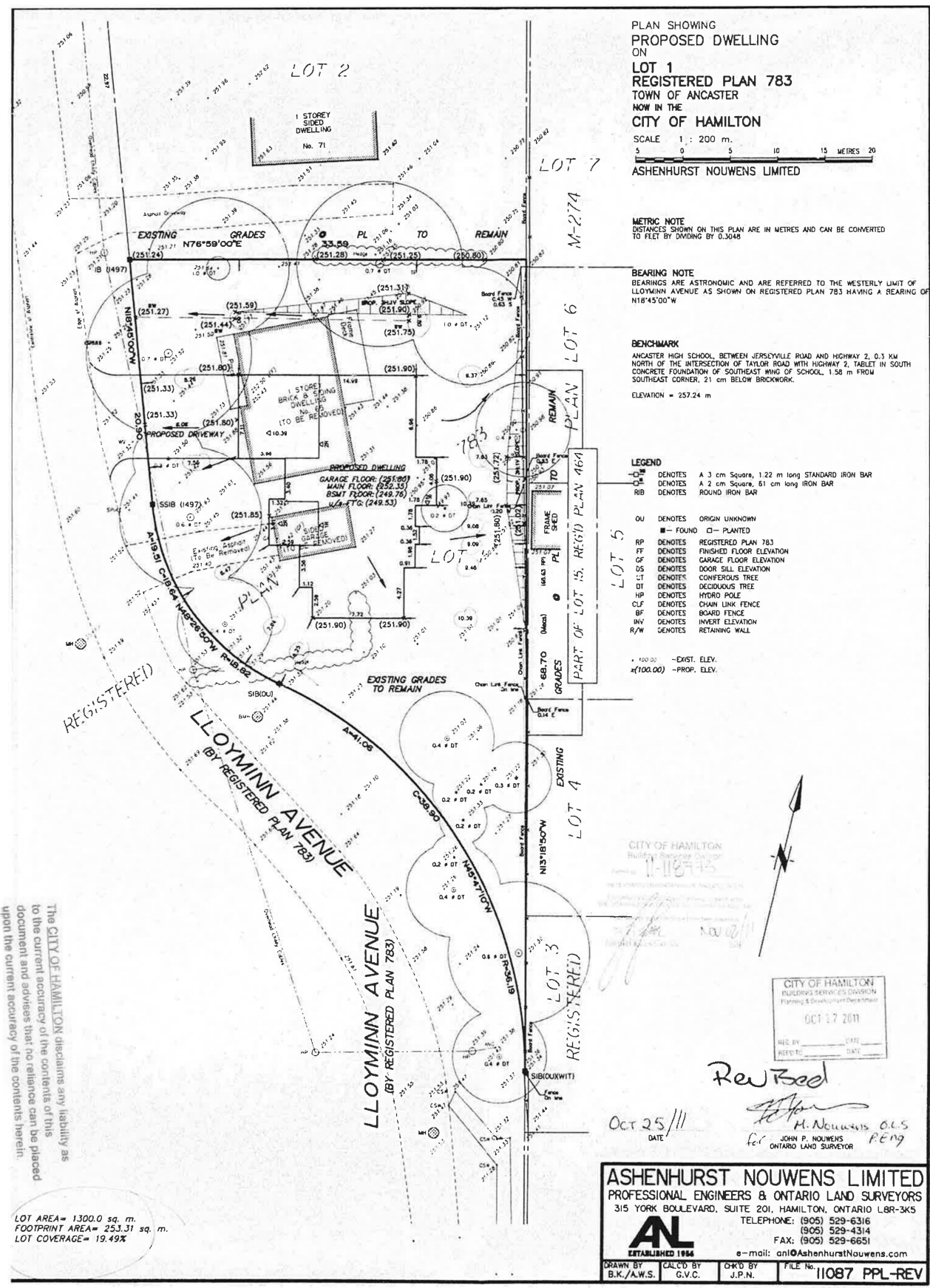
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: March 22nd, 2022.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



PLAN SHOWING
PROPOSED DWELLING
ON
LOT 1
REGISTERED PLAN 783
TOWN OF ANCASTER
NOW IN THE
CITY OF HAMILTON
SCALE 1 : 200 m.
5 0 5 10 15 20 METRES
ASHENHURST NOUWENS LIMITED

METRIC NOTE
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED
TO FEET BY DIVIDING BY 0.3048

BEARING NOTE
BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE WESTERLY LIMIT OF
LLOYMINN AVENUE AS SHOWN ON REGISTERED PLAN 783 HAVING A BEARING OF
N16°45'00"W

BENCHMARK
ANCASTER HIGH SCHOOL, BETWEEN JERSEYVILLE ROAD AND HIGHWAY 2, 0.3 KM
NORTH OF THE INTERSECTION OF TAYLOR ROAD WITH HIGHWAY 2, TABLE IN SOUTH
CONCRETE FOUNDATION OF SOUTHEAST WING OF SCHOOL, 1.58 m FROM
SOUTHEAST CORNER, 21 cm BELOW BROCKWORK.
ELEVATION = 257.24 m

- LEGEND
- DENOTES A 3 cm Square, 1.22 m long STANDARD IRON BAR
 - DENOTES A 2 cm Square, 61 cm long IRON BAR
 - DENOTES ROUND IRON BAR
 - OU DENOTES ORIGIN UNKNOWN
 - DENOTES FOUND □ DENOTES PLANTED
 - RP DENOTES REGISTERED PLAN 783
 - FF DENOTES FINISHED FLOOR ELEVATION
 - GF DENOTES GARAGE FLOOR ELEVATION
 - DS DENOTES DOOR SILL ELEVATION
 - CT DENOTES CONIFEROUS TREE
 - DT DENOTES DECIDUOUS TREE
 - HP DENOTES HYDRO POLE
 - CLF DENOTES CHAIN LINK FENCE
 - BF DENOTES BOARD FENCE
 - INV DENOTES INVERT ELEVATION
 - R/W DENOTES RETAINING WALL
 - + 100.00 - EXIST. ELEV.
 - + (100.00) - PROP. ELEV.

CITY OF HAMILTON
Building Services Division
11-118743
OCT 27 2011
REC'D BY: [Signature]
REF'D TO: [Signature]
DATE: OCT 25/11
Revised
[Signature]
M. NOUWENS O.L.S.
for JOHN P. NOUWENS
ONTARIO LAND SURVEYOR

ASHENHURST NOUWENS LIMITED
PROFESSIONAL ENGINEERS & ONTARIO LAND SURVEYORS
315 YORK BOULEVARD, SUITE 201, HAMILTON, ONTARIO L8R-3K5
TELEPHONE: (905) 529-6316
(905) 529-4314
FAX: (905) 529-6651
e-mail: anl@AshenhurstNouwens.com
DRAWN BY B.K./A.W.S. CALC'D BY G.V.C. CHK'D BY J.P.N. FILE NO. 11087 PPL-REV

The CITY OF HAMILTON disclaims any liability as
to the current accuracy of the contents of this
document and advises that no reliance can be placed
upon the current accuracy of the contents herein.

LOT AREA= 1300.0 sq. m.
FOOTPRINT AREA= 253.31 sq. m.
LOT COVERAGE= 19.49%

DISCHARGE FROM POOL EQUIPMENT
IS NOT TO AFFECT
NEIGHBOURING PROPERTIES/LANDS ***

ALL FENCES AND GATE
TO COMPLY WITH POOL
ENCLOSURE BYLAW

ALL SURFACE WATER TO
DRAIN TOWARDS CITY SEWER
DRAIN WHERE APPLICABLE.

INSTALLER TO CALL FOR
LOCATES PRIOR TO DIGGING. INSTALLER
ALSO TO VERIFY PROPERTY LINES AND
ELEVATIONS.

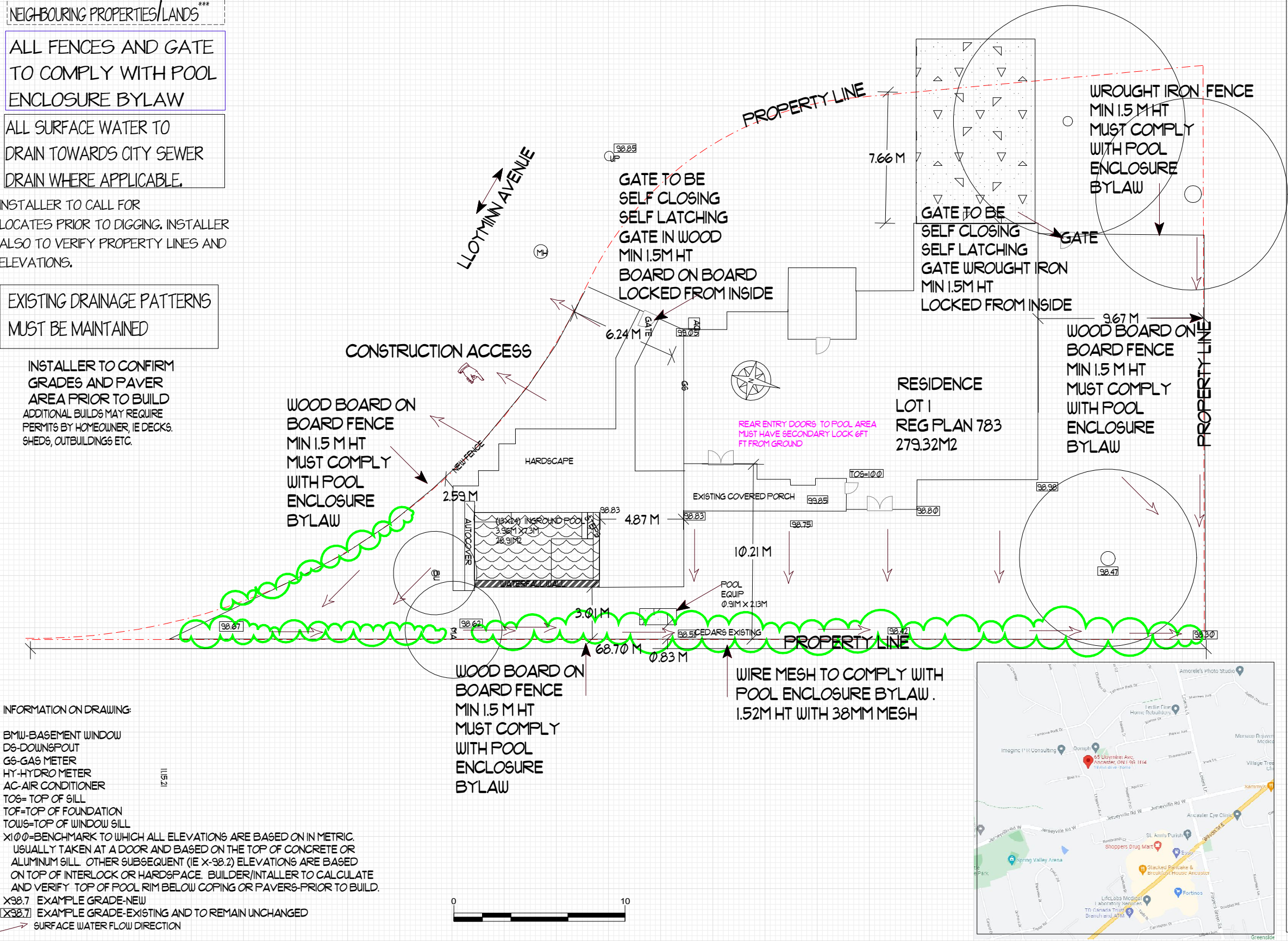
EXISTING DRAINAGE PATTERNS
MUST BE MAINTAINED

INSTALLER TO CONFIRM
GRADES AND PAVER
AREA PRIOR TO BUILD
ADDITIONAL BUILDS MAY REQUIRE
PERMITS BY HOMEOWNER, IE DECKS,
SHEDS, OUTBUILDINGS ETC.

INFORMATION ON DRAWING:

BMW-BASEMENT WINDOW
DS-DOWNSPOUT
GS-GAS METER
HY-HYDRO METER
AC-AIR CONDITIONER
TOS= TOP OF SILL
TOF=TOP OF FOUNDATION
TOWS=TOP OF WINDOW SILL
X100=BENCHMARK TO WHICH ALL ELEVATIONS ARE BASED ON IN METRIC.
USUALLY TAKEN AT A DOOR AND BASED ON THE TOP OF CONCRETE OR
ALUMINUM SILL. OTHER SUBSEQUENT (IE X-98.2) ELEVATIONS ARE BASED
ON TOP OF INTERLOCK OR HARDSPACE. BUILDER/INTALLER TO CALCULATE
AND VERIFY TOP OF POOL RIM BELOW COPING OR PAVERS-PRIOR TO BUILD.
X98.7 EXAMPLE GRADE-NEW
X98.7 EXAMPLE GRADE-EXISTING AND TO REMAIN UNCHANGED
→ SURFACE WATER FLOW DIRECTION

MUNICIPAL STAMPS OF APPROVAL



**Committee of Adjustment**City Hall, 5th Floor,

71 Main St. W.,

Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca**APPLICATION FOR A MINOR VARIANCE****FOR OFFICE USE ONLY.**

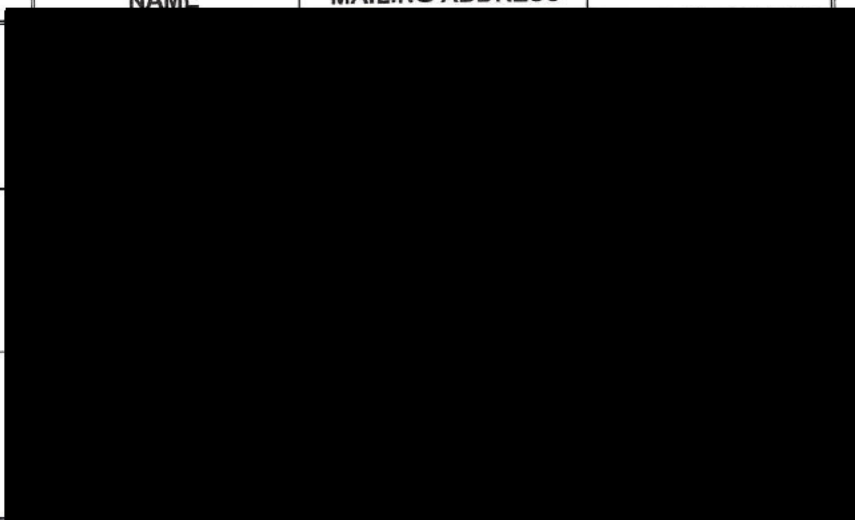
APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____**The Planning Act****Application for Minor Variance or for Permission**

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2

	NAME	MAILING ADDRESS
Registered Owners(s)		
Applicant(s)*		
Agent or Solicitor		

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Scotia Bank.

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

INGROUND POOL INSTALL

☐ Second Dwelling Unit ☐ Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

SIDE YARD (WHERE POOL TO BE LOCATED) IS CONSIDERED FRONTAGE.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

LOT 1 REG PLAN 783
65 LLOYMINN AVE

7. PREVIOUS USE OF PROPERTY

Residential ☒ Industrial ☐ Commercial ☐

Agricultural ☐ Vacant ☐

Other _____

- 8.1 If Industrial or Commercial, specify use _____

- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐ No ☒ Unknown ☐

- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐ No ☒ Unknown ☐

- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐ No ☒ Unknown ☐

- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐ No ☒ Unknown ☐

- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐ No ☒ Unknown ☐

- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐ No ☒ Unknown ☐

- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes ☐ No ☒ Unknown ☐

- 8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ☐ No ☒ Unknown ☐

- 8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

RESIDENTIAL AREA

- 8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ☐ No ☒

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

1.26.22

Date

Signature Property Owner(s)

MARK ZIZZO

Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage	80.25
Depth	32.59M
Area	1300M2
Width of street	5M

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:

SINGLE STOREY BUGALOW 79.28M AREA. 68'X42' APPROX

Proposed

NO PROPOSED CHANGE

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

HOUSE TO REAR=9.17M HOUSE TO SIDE PL=9.65M (NORTH PL)
HOUSE TO FROM PL 6.015M AT CLOSEST POINT

Proposed:

PROPOSED POOL 3.96M X 7.3M RECTANGLE
DISTANCE FROM REAR= 3.01M FROM HOUSE 4.87M, FROM FRONT
PL=2.59M AT CLOSEST

13. Date of acquisition of subject lands:
NOVEMBER 2021
14. Date of construction of all buildings and structures on subject lands:
2011
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
SFD
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
SFD
17. Length of time the existing uses of the subject property have continued:
SINCE 2011 (PER SURVEY PROVIDED)
18. Municipal services available: (check the appropriate space or spaces)
Water YES Connected YES
Sanitary Sewer NO Connected
Storm Sewers YES
19. Present Official Plan/Secondary Plan provisions applying to the land:
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)
☐ Yes ☒ No
If yes, please provide the file number:
- 21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?
☐ Yes ☐ No
- 21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
☐ Yes ☒ No
23. Additional Information (please include separate sheet if needed)
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.