



Hamilton

**COMMITTEE OF ADJUSTMENT**

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5  
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202  
E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**NOTICE OF PUBLIC HEARING**  
**Minor Variance**

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**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

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**APPLICATION NO.:** HM/A-22:20

**APPLICANTS:** Owners R. & C. Trowbridge

**SUBJECT PROPERTY:** Municipal address **27 Graham Ave. S., Hamilton**

**ZONING BY-LAW:** Zoning By-law 6593, as Amended

**ZONING:** "C" (Urban Protected Residential) district

**PROPOSAL:** To fully enclose the existing roofed-over unenclosed one-storey porch at the first storey level and to construct an uncovered front porch with stairs for an existing single family dwelling notwithstanding that:

1. A minimum front yard depth of 2.5m shall be permitted instead of the minimum required front yard depth of 6.0m.
2. The uncovered front porch including stairs at the first storey shall be permitted to project into the required front yard and shall be 0.0m from the Graham Avenue South street line instead of the requirement that an uncovered porch which does not extend more than 1.0m above the floor level of the first storey, may project into a required yard, if distant at least 1.5m from the nearest street line

NOTE:

- i) The Applicant advised staff in a February 14, 2022 email that while the front yard landscaping presently doesn't conform to the requirement that not less than 50% of the gross area of the front yard shall be used for a landscaped area excluding concrete, asphalt, gravel, pavers, or other similar materials, he has advised that the intention is to bring the front yard landscaping to the 50% that is required by-law in the spring when weather permits. If zoning compliance is not achieved, a further variance shall be required.

This application will be heard by the Committee as shown below:

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**DATE:** Thursday, April 7th, 2022  
**TIME:** 3:15 p.m.  
**PLACE:** Via video link or call in (see attached sheet for details)  
To be streamed at  
[www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)  
for viewing purposes only

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## **PUBLIC INPUT**

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

## **MORE INFORMATION**

For more information on this matter, including access to drawings illustrating this request:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

DATED: March 22nd, 2022.

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

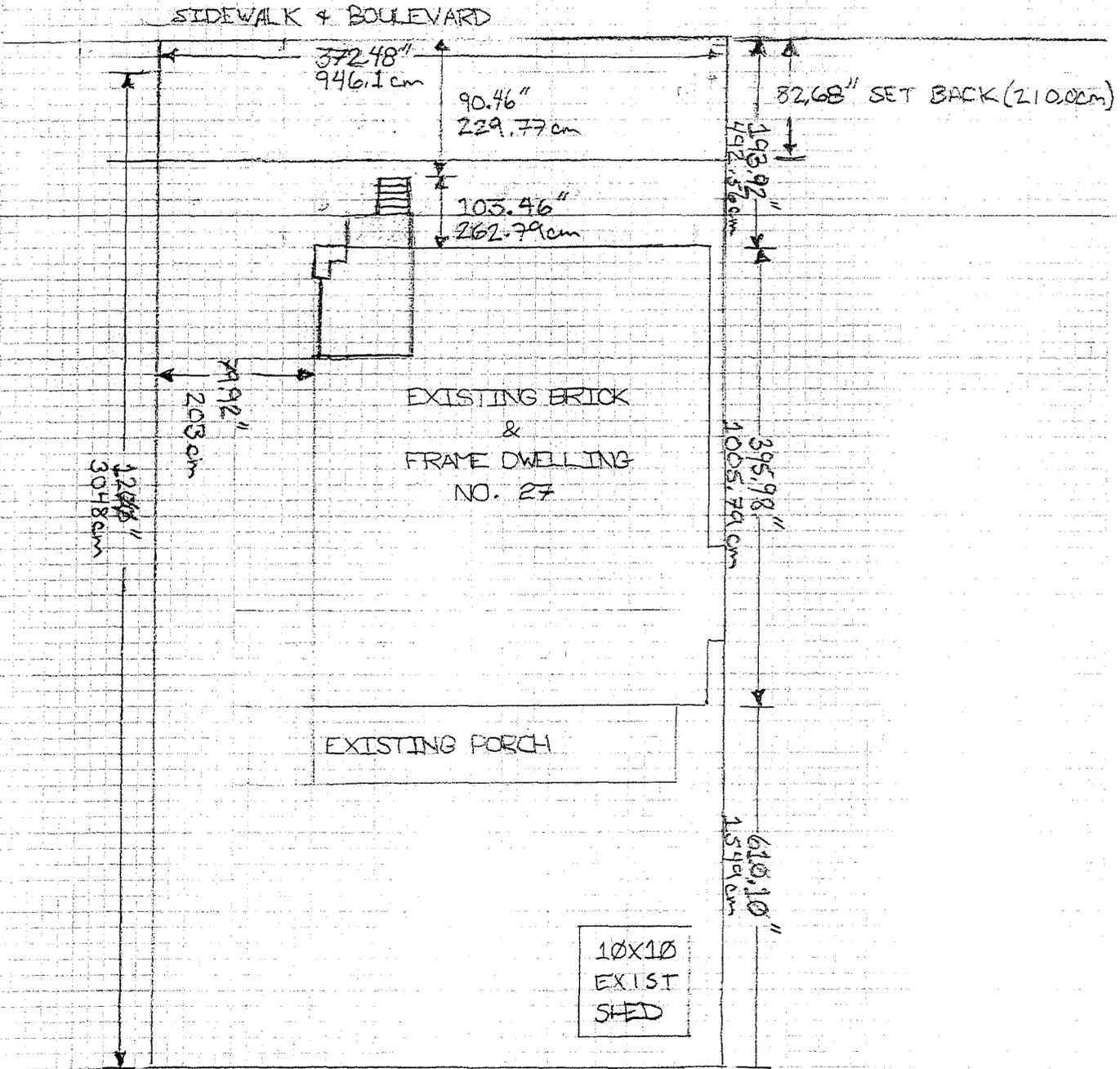
***Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.***

# SITE PLAN 27 GRAHAM AVE SOUTH

SCALE : BEST I COULD DO! HAMILTON, ONTARIO  
OWNERS SKETCH OF EXISTING & PROPOSED

REVISED  
DWG  
NO. 1

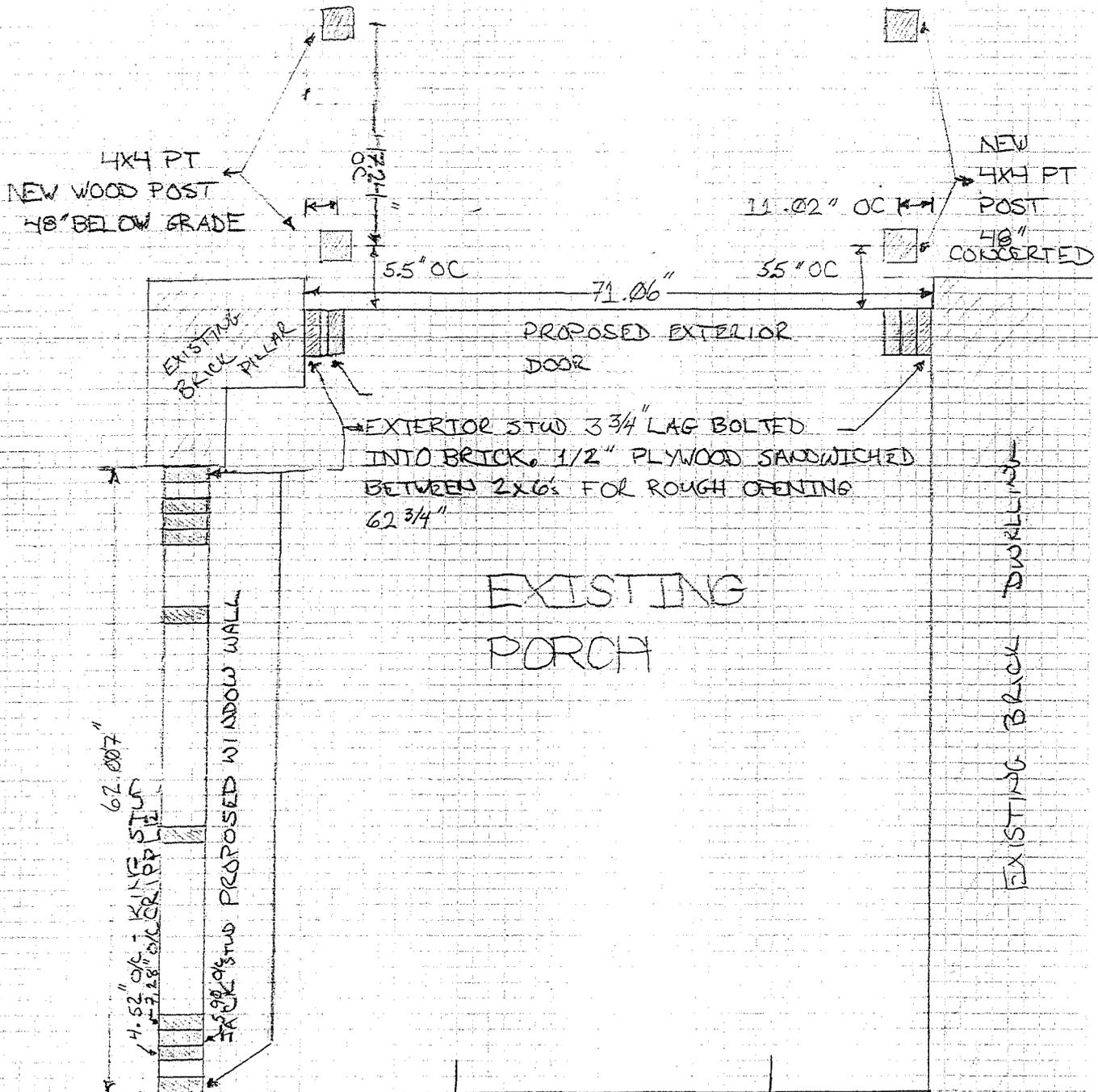
## GRAHAM AVE. SOUTH



TOP VIEW

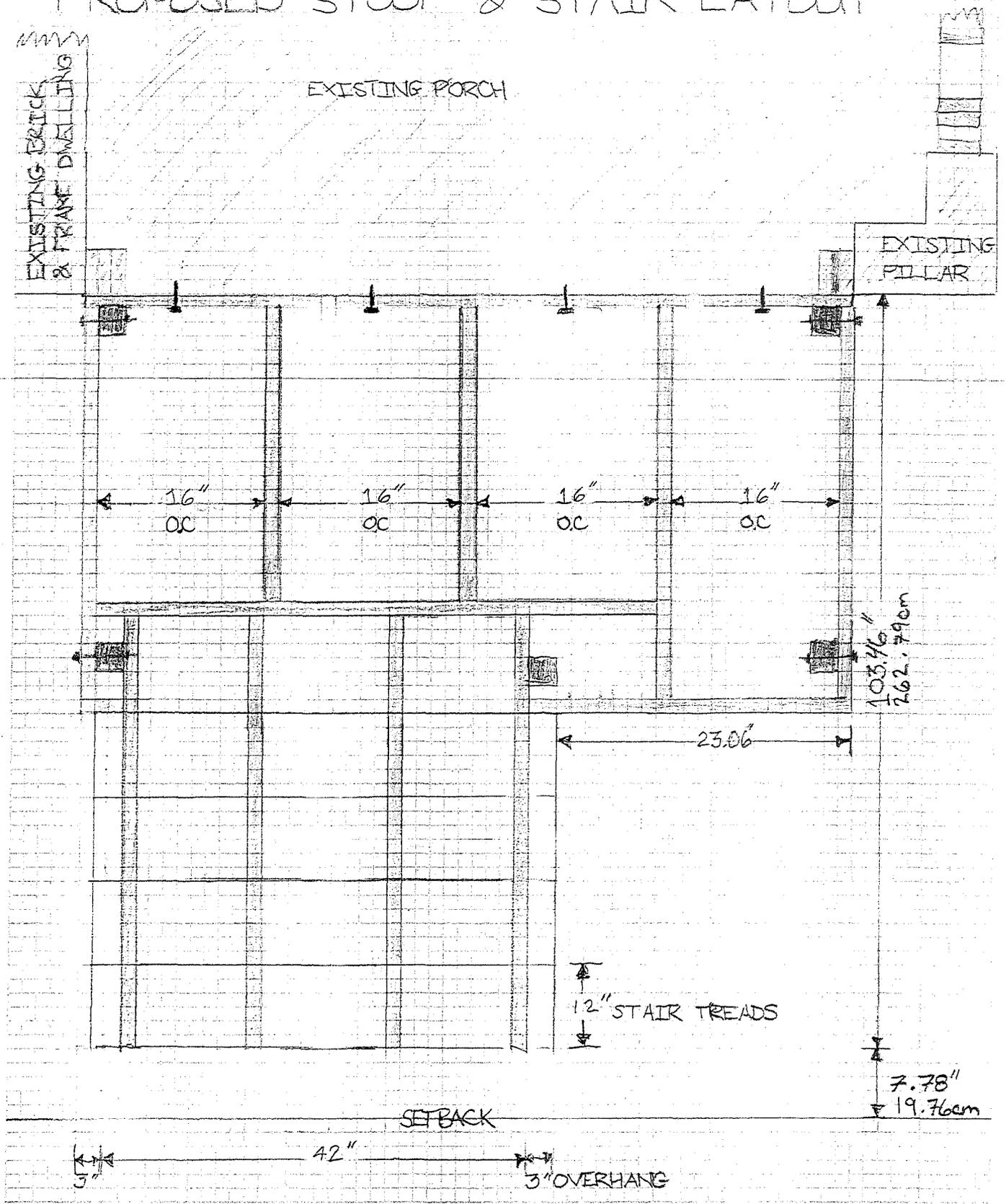
DWG NO. 2

PROPOSED PORCH ENCLOSURE



EXISTING BRICK DWELLING

# DWG NO. 3A PROPOSED STOOP & STAIR LAYOUT



# PROPOSED STOOP & STAIRS

REVISED

DWG NO. 388

HEIGHT OF FIRST STEP: 6.87" (17.45cm)

TREAD DEPTH: 12" (30.48cm)

STEPS ON STRINGER: 5

STRINGER LENGTH: 71.22" (1809.00cm)

STAIR RAIL ANGLE: 35.3°

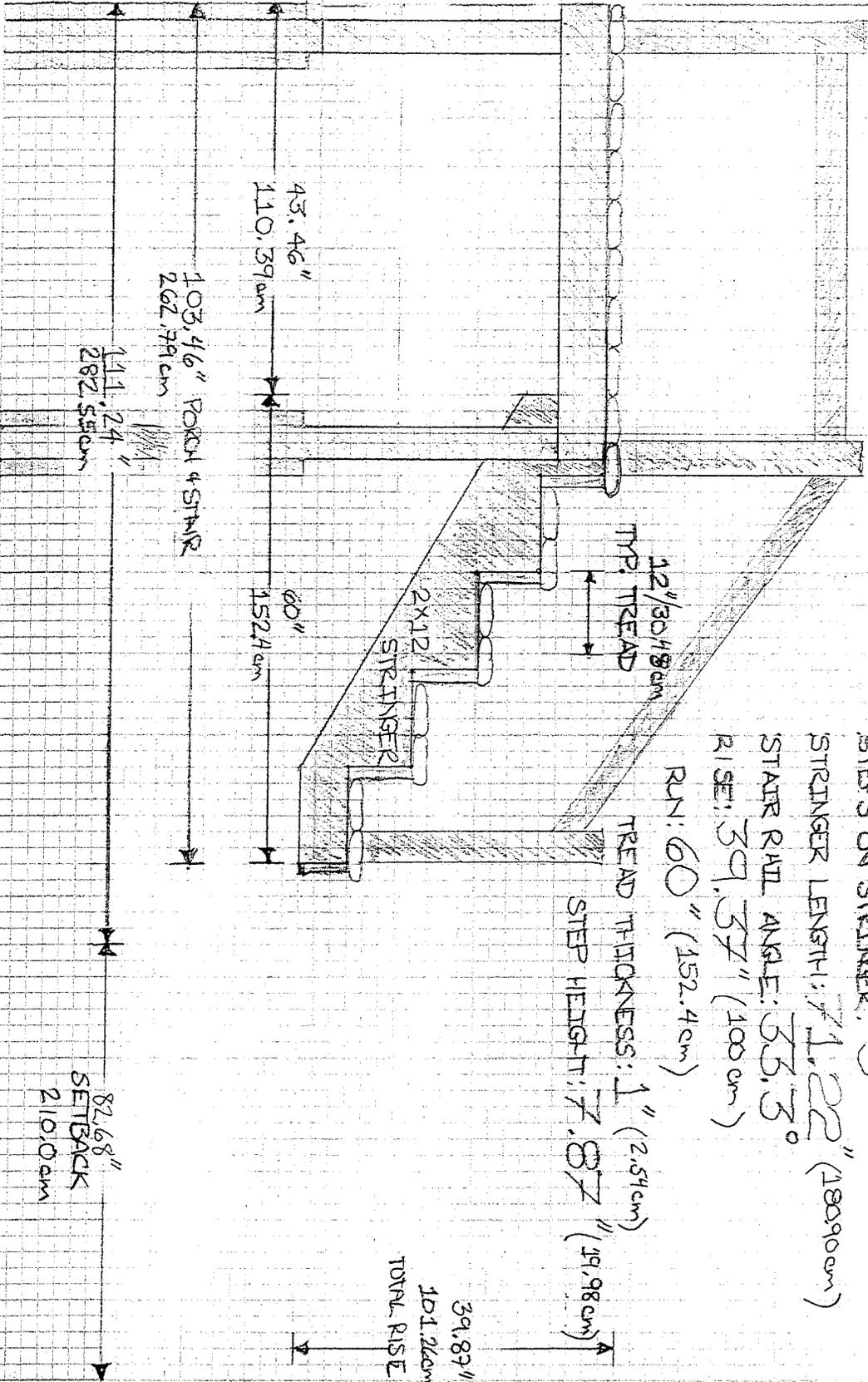
RISE: 39.37" (100.00cm)

RUN: 60" (152.40cm)

TREAD THICKNESS: 1" (2.54cm)

STEP HEIGHT: 7.87" (19.98cm)

EXISTING BRICK & FRAME DWELLING



39.87"  
101.26cm  
TOTAL RISE

82.68"  
210.00cm  
SETBACK

141.24"  
282.55cm

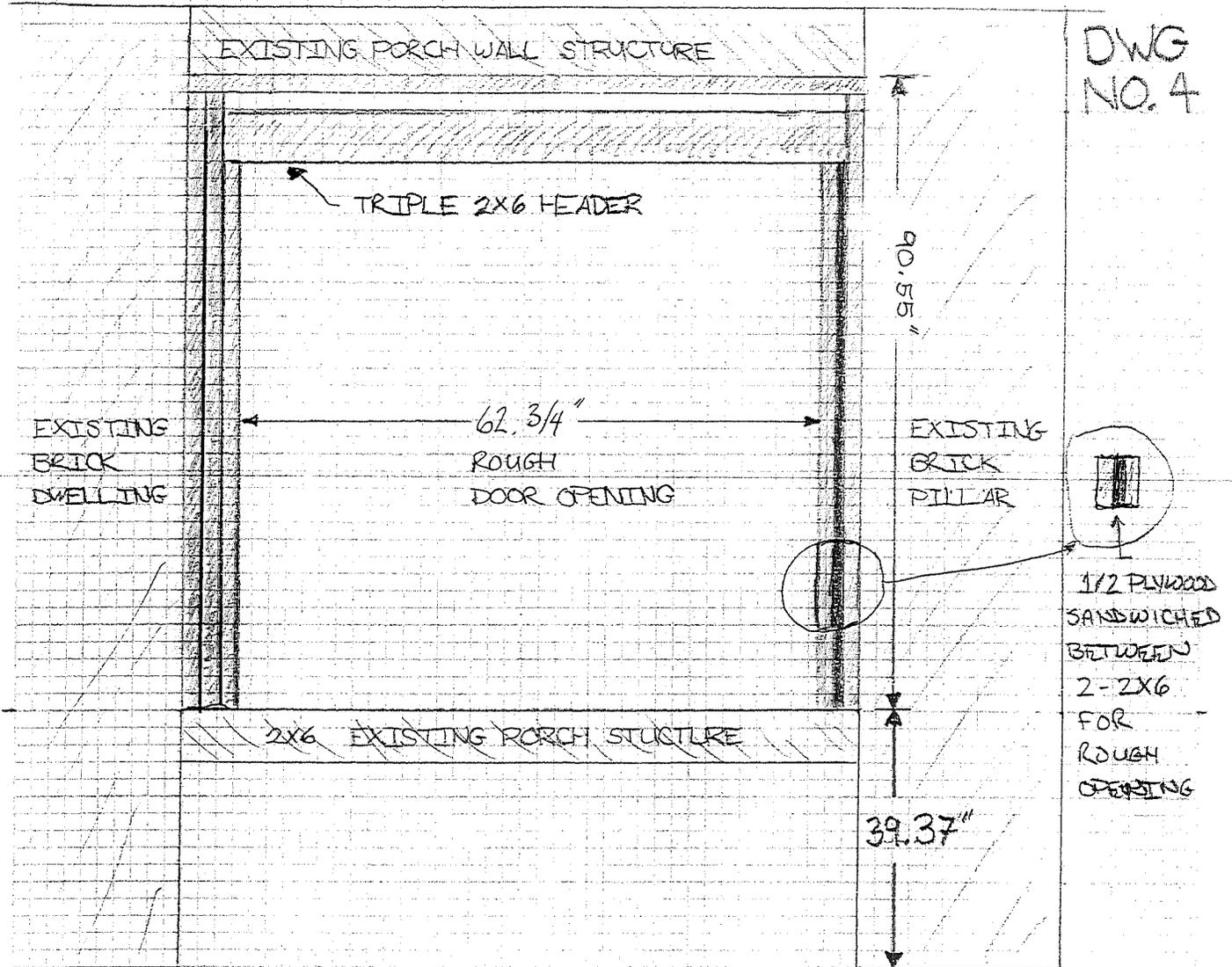
103.46" POOR 4" STAIR  
262.79cm

43.46"  
110.39cm

60"  
152.40cm

# PROPOSED FRONT PORCH DOOR WALL

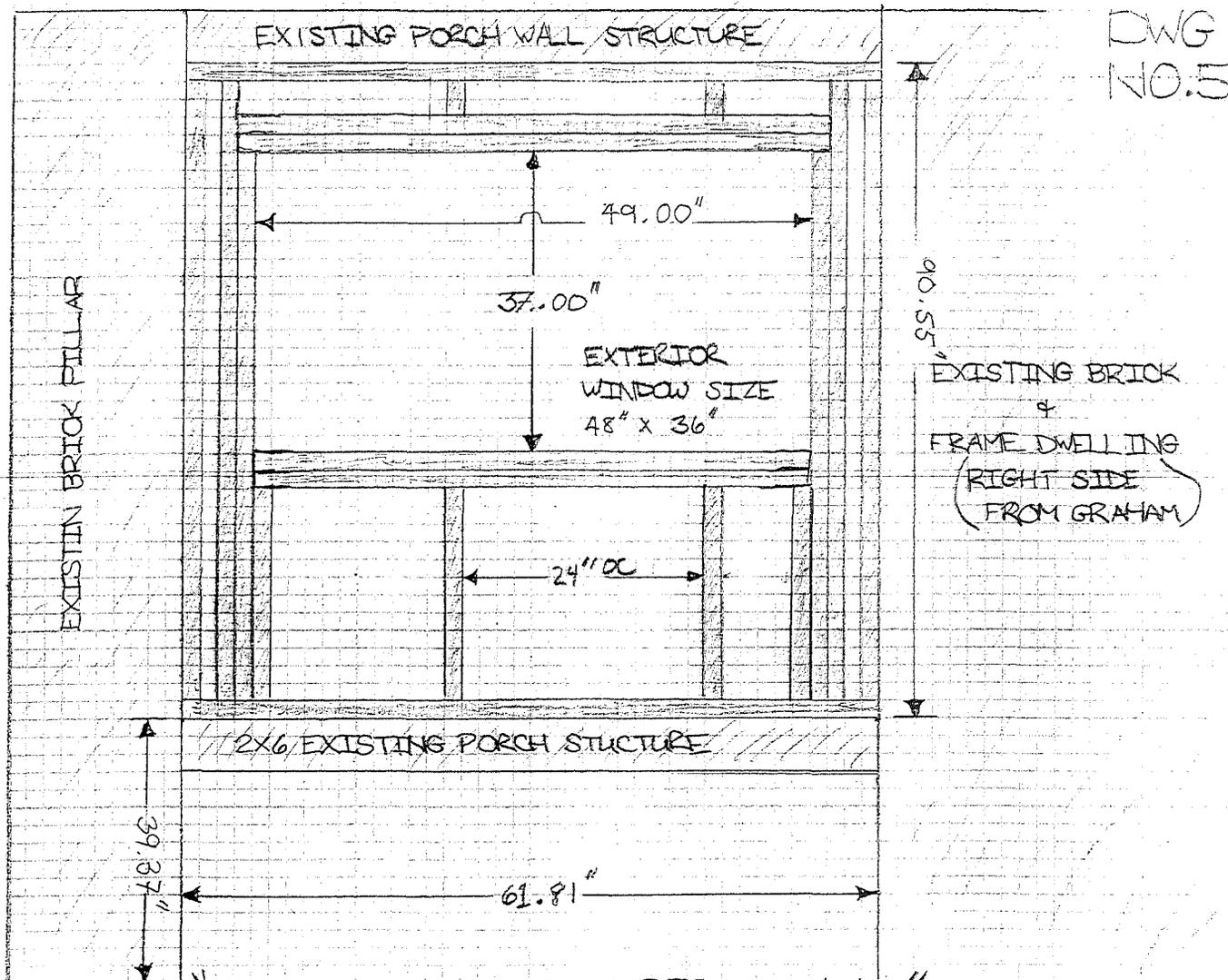
DWG  
NO. 4



- ALL 2X6 STUD CONSTRUCTION USING 3" CONSTRUCTION SCREWS
- OUTER 2X6 STUDS LAG BOLTED TO BRICK USING 3 3/4" TAPCON INTO BRICK 2 1/4" DEPTH.
- 1/2" PT EXTERIOR PLYWOOD CLADDING
- NOVAWRAP BUILDING WRAP ON ALL EXTERIOR EXPOSED LUMBER + CLADDING
- FINISH EXTERIOR SMART SIDE PANELS

# PROPOSED FRONT PORCH WINDOW WALL

DWG  
NO.5

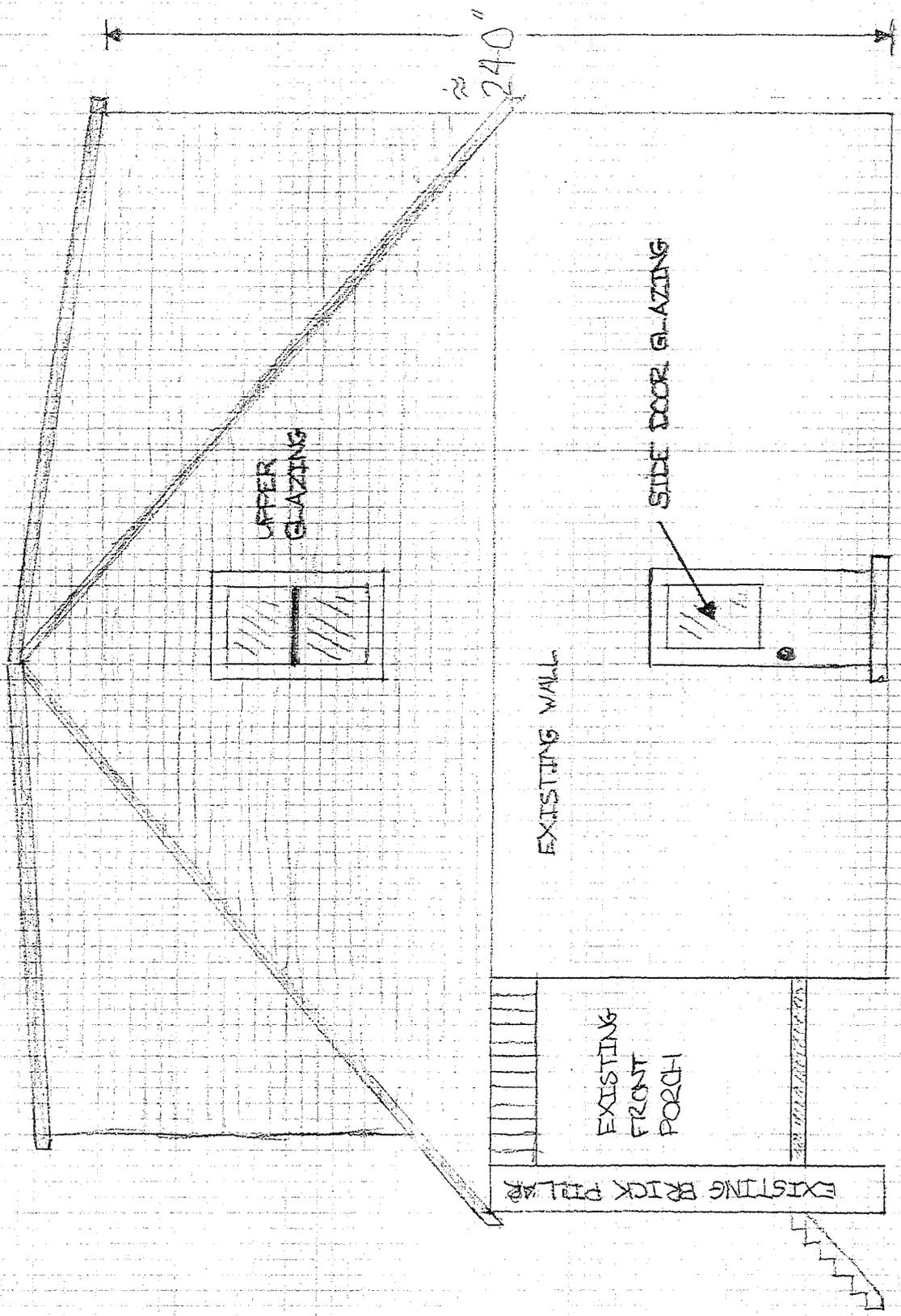


## • "NON LOAD BEARING WALL"

- ALL 2X6 STUD CONSTRUCTION USING 3" CONSTRUCTION SCERWS
- OUTER 2X6 STUDS LAG BOLTED TO BRICK USING 3 3/4" TAPCON INTO BRICK 2 1/4" DEPTH
- 1/2" PT EXTERIOR PLYWOOD CLADDING
- NOVAWRAP BUILDING WRAP ON ALL EXPOSED LUMBER & CLADDING
- FINISH EXTERIOR SMARTSIDE PANELS
- EXTERIOR WINDOW LOW-E & ARGON GLASS 48" x 36"

EXISTING EXTERIOR SIDE ELEVATION

DWG  
NO. 6





**CITY OF HAMILTON**  
**BUILDING DIVISION**  
 Planning & Development Department

JAN 20 2022

REC'D BY LS DATE 01/20/22  
 REF'D TO \_\_\_\_\_ DATE \_\_\_\_\_

**Committee of Adjustment**  
 City Hall, 5<sup>th</sup> Floor,  
 71 Main St. W.,  
 Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221  
 Email: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**APPLICATION FOR A MINOR VARIANCE**

**FOR OFFICE USE ONLY.**

APPLICATION NO. \_\_\_\_\_ DATE APPLICATION RECEIVED \_\_\_\_\_

PAID \_\_\_\_\_ DATE APPLICATION DEEMED COMPLETE \_\_\_\_\_

SECRETARY'S SIGNATURE \_\_\_\_\_

**The Planning Act**

**Application for Minor Variance or for Permission**

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS
<b>Registered Owners(s)</b>	Robert & Chantel Trowbridge	
<b>Applicant(s)*</b>	Robert & Chantel Trowbridge	
<b>Agent or Solicitor</b>	Robert & Chantel Trowbridge	

**Note:** Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:  
 None

**Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled**

4. Nature and extent of relief applied for:

Replacing Stairs and adding small Stoop.

See attached drawing "DWG NO.3A" & "DWG NO.3B"

Secondary Dwelling Unit       Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

Residence (Existing Brick Building) is not set back far enough for current Zoning By-Law of 6m from property line.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

27 Graham Ave South  
Hamilton, Ontario

7. PREVIOUS USE OF PROPERTY

Residential       Industrial       Commercial   
Agricultural       Vacant       Other

Other \_\_\_\_\_

8.1 If Industrial or Commercial, specify use \_\_\_\_\_

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes       No       Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes       No       Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes       No       Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes       No       Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or, sewage sludge was applied to the lands?

Yes       No       Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes       No       Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes       No       Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes       No       Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes  No  Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

The fact the residential area is approx. 92 years old on both side.

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes  No

**9. ACKNOWLEDGEMENT CLAUSE**

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

Jan 20/2022  
Date

Robert & Chantel Trowbridge  
Signature Property Owner(s)

Robert & Chantel Trowbridge  
Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage	<u>8.7m</u>
Depth	<u>30.5m</u>
Area	<u>266.3m</u>
Width of street	<u>3.7m</u>

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: 1.5 story brick and frame house. Width - 7.43m  
Length - 10.06m  
Height - 3.43m

Proposed

No extra footprint added.  
Enclosing existing front porch that is under existing house roof structure.  
Adding front landing and stairs

12. Location of all buildings and structures on or proposed for the subject lands: (Specify distance from side, rear and front lot lines)

Existing:  
Left Side - 2.1m  
Right Side - 0m  
Front - 2.5m  
Rear - 17.5m

Proposed:

Not moving existing structures  
Addition of front landing and stairs: Front will encroach over .56m off property line

13. Date of acquisition of subject lands:  
August 2002
14. Date of construction of all buildings and structures on subject lands:  
Approx -92 years old
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):  
 Single Family
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):  
 Single Family
17. Length of time the existing uses of the subject property have continued:  
 Approx 92 years
18. Municipal services available: (check the appropriate space or spaces)
- |                |                                     |           |                                     |
|----------------|-------------------------------------|-----------|-------------------------------------|
| Water          | <input checked="" type="checkbox"/> | Connected | <input checked="" type="checkbox"/> |
| Sanitary Sewer | <input checked="" type="checkbox"/> | Connected | <input checked="" type="checkbox"/> |
| Storm Sewers   | <input checked="" type="checkbox"/> |           |                                     |
19. Present Official Plan/Secondary Plan provisions applying to the land:
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
21. Has the owner previously applied for relief in respect of the subject property?  
 Yes  No   
 If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?  
 Yes  No
23. Additional Information  
 House was built in 1930. Below is the City Directories link showing that:  
 1930 - New House - <https://archive.org/details/1930VernonsHamiltonCityDirectory/page/1180/mode/2up>  
 1931 - First Resident - <https://archive.org/details/1931VernonsHamiltonCityDirectory/page/1206/mode/2up>
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.