



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: HM/A-22:36

APPLICANTS: Agent Y. Taraky
Owner M. Mahmood

SUBJECT PROPERTY: Municipal address **10 Longwood Rd. S., Hamilton**

ZONING BY-LAW: Zoning By-law 96-109, as Amended

ZONING: "C/S-1361" (Urban Protected Residential) district

PROPOSAL: To permit the construction of a 6.23m x 6.55m two (2) storey rear addition and to establish a Secondary Dwelling Unit within the single family dwelling notwithstanding that:

1. A maximum gross floor area ratio factor of 0.86 (86%) of the lot area shall be permitted instead of the maximum required gross floor area ratio factor of 0.562 (56.2%) of the lot area as previously approved by Variance # 1 of Minor Variance File No. HM/A-21:100 for the single family dwelling.
2. A minimum parking space width of 2.5m shall be permitted instead of the minimum required parking space width of 2.6m as previously approved by Variance # 3 of Minor Variance File No. HM/A-21:100 for the single family dwelling.
3. A minimum access driveway width of 2.5m shall be permitted instead of the minimum required access driveway width of 2.6m as previously approved by Variance # 4 of Minor Variance File No. HM/A-21:100 for the single family dwelling.

NOTE:

- i) The Committee of Adjustment previously granted Minor Variance File No. HM/A-21:100 for the same proposal.

This application will be heard by the Committee as shown below:

DATE: Thursday, April 7th, 2022
TIME: 3:20 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

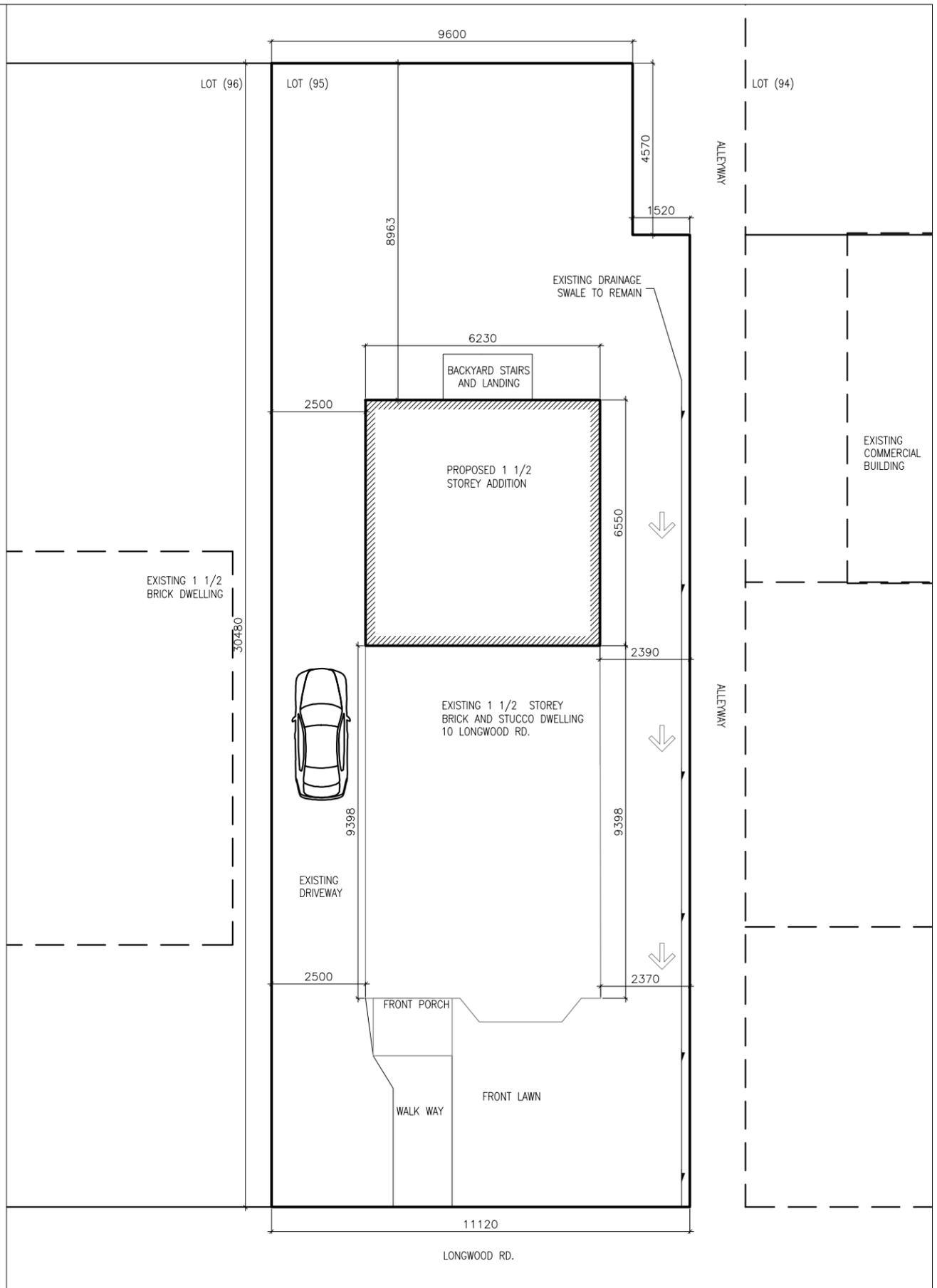
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: March 22nd, 2022.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



1
A-MV02 SITE PLAN AND SITE INFORMATION
SCALE: 1/16" = 1'-0"

SITE PLAN
SKETCH OF
SURVEY OF
LOT: 95
REG. PLAN: 692
CITY OF HAMILTON

10 Longwood Rd. South Zoning and Site Information (metric)									
ZONING	LOT NO.	PLAN NO.	LOT AREA m ²			LOT FRONTAGE (m)			LOT DEPTH (m)
C/S-136/S-1788	95	692	332.3			11.1252			30.48
DESCRIPTION	EXISTING (sq.m.)	ADDITION (sq.m.)	TOTAL (sq.m.)	%	ALLOWED	%	SETBACKS	EXISTING (m)	PROPOSED (m)
LOT COVERAGE	164.8	120.4	285.2				FRONT YARD	5.5	5.5
GROSS FLOOR AREA	164.8	120.4	285.2	85.8		50	REAR YARD	15.5	8.96
LANDSCAPED AREA	160.3	40.1	120.1				INTERIOR SIDE (North)	2.39	2.39
NO. OF STORIES HEIGHT	1.5	1.5	1.5				INTERIOR SIDE (South)	2.5	2.5
WIDTH (m)	6.23	6.23	6.23				EXTERIOR		
DEPTH (m)	9.40	6.55	15.95				TOTAL LOT AREA (m ²)	332.3	332.3
PARKING	1	1	1			1			



SCALE:
AS SHOWN

DATE:
28FEB22MV2

DRAWN BY:
ATU

CHECKED BY:
YMT

PROJECT NAME:
10 LONGWOOD RD. S.
HAMILTON, ON

DRAWING TITLE:
SITE MAP
NOTES

PROJECT NO.
2101

DRAWING NO.
SK-01

- GENERAL:**
1. ALL WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNICIPAL SERVICES FOR THE PROJECT SHALL BE TO THE SATISFACTION OF THE DIRECTOR OF PLANNING, PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT.
 2. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES INCLUDING GASMAINS, WATERMANS, TELEVISION CABLES, HYDRO, TELEPHONE CABLES, ETC.
 3. ALL SURVEY INFORMATION ON THIS PLAN IS FOR INFORMATION PURPOSES ONLY.
 4. THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:
 - BUILDING PERMIT
 - ROAD CUTS PERMITS
 - APPROACH APPROVAL PERMITS
 - ADJUSTMENT
 - SEWER AND WATER PERMITS
 - RELOCATION OF SERVICES
 - ENCROACHMENT AGREEMENTS (F REQ'D)
 - COMMITTEE OF ADJUSTMENT
 5. ABANDONED ACCESSES MUST BE REMOVED AND THE CURB AND BOULEVARD RESTORED WITH 500 AT THE OWNER'S EXPENSE TO THE SATISFACTION OF THE TRAFFIC ENGINEERING SECTION, PUBLIC WORKS DEPARTMENT.

- GRADING:**
1. LOT GRADING IS TO CONFORM TO THE LATEST REVISION OF THE CITY OF HAMILTON LOT GRADING POLICY.
 2. ALL ELEVATIONS ADJACENT TO PROPERTY LINES TO MATCH EXISTING ELEVATIONS AND GRADING SHALL NOT ADVERSELY AFFECT SHEET FLOW FROM ADJACENT LANDS.
 3. ALL IMPORTED FILL SHALL BE COMPACTED TO 95% S.P.D. COMPACTED TO 95% S.P.D. USE OF VIBRATOR ON COMPACTOR WHILE COMPACTING IS NOT PERMITTED.
 4. ALL CURB STOPS AND VALVES MUST BE CERTIFIED TO BE IN WORKING ORDER AT THE TIME OF ISSUANCE OF THE FINAL LOT GRADING CERTIFICATE. FINAL LOT GRADING CERTIFICATES MUST INCLUDE A STATEMENT AFFIRMING THE DATE OF INSPECTION AND THAT THE WATER BOX IS AT GRADE AND FOUND TO BE FREE FROM DAMAGE OR DEFECT.
 5. ALL DISTURBED AREAS WITHIN THE ROAD ALLOWANCE SHALL BE RESTORED TO EXISTING CONDITION OR BETTER.
 6. ALL DISTURBED BOULEVARD AREAS ARE TO BE REGRADED WITH 100mm TOPSOIL AND NO. 1 HAIRY 500 IN ACCORDANCE WITH OPSS 803 AND TO THE SATISFACTION OF THE TRAFFIC ENGINEERING SECTION, PUBLIC WORKS DEPARTMENT.

- WATER SERVICES:**
1. "W" DENOTES WATER SERVICE CONNECTION (25mm# TYPE "K" SOFT COPPER) AS PER WM-207.02 OR AS OTHERWISE SPECIFIED.
 2. GRANULAR BEDDING SHALL BE GRANULAR "O" AS PER FORM 600 AND WM-200.01.
 3. ALL CURB STOPS SHALL BE SET TO PROPOSED GRADES.

- COMPACTION REQUIREMENTS:**
1. ALL BEDDING AND BACKFILL MATERIAL, ROAD SUBGRADES AND GENERALLY ALL MATERIAL USED FOR LOT GRADING AND FILL SECTIONS ETC. SHALL BE COMPACTED TO A MIN. 95% SPO UNLESS OTHERWISE RECOMMENDED BY A CERTIFIED ENGINEER. ALL MATERIAL SHALL BE PLACED IN LAYERS NOT EXCEEDING 300mm LIFTS.
 2. ALL GRANULAR ROAD BASE MATERIALS SHALL BE COMPACTED TO A MIN 98% SPO.

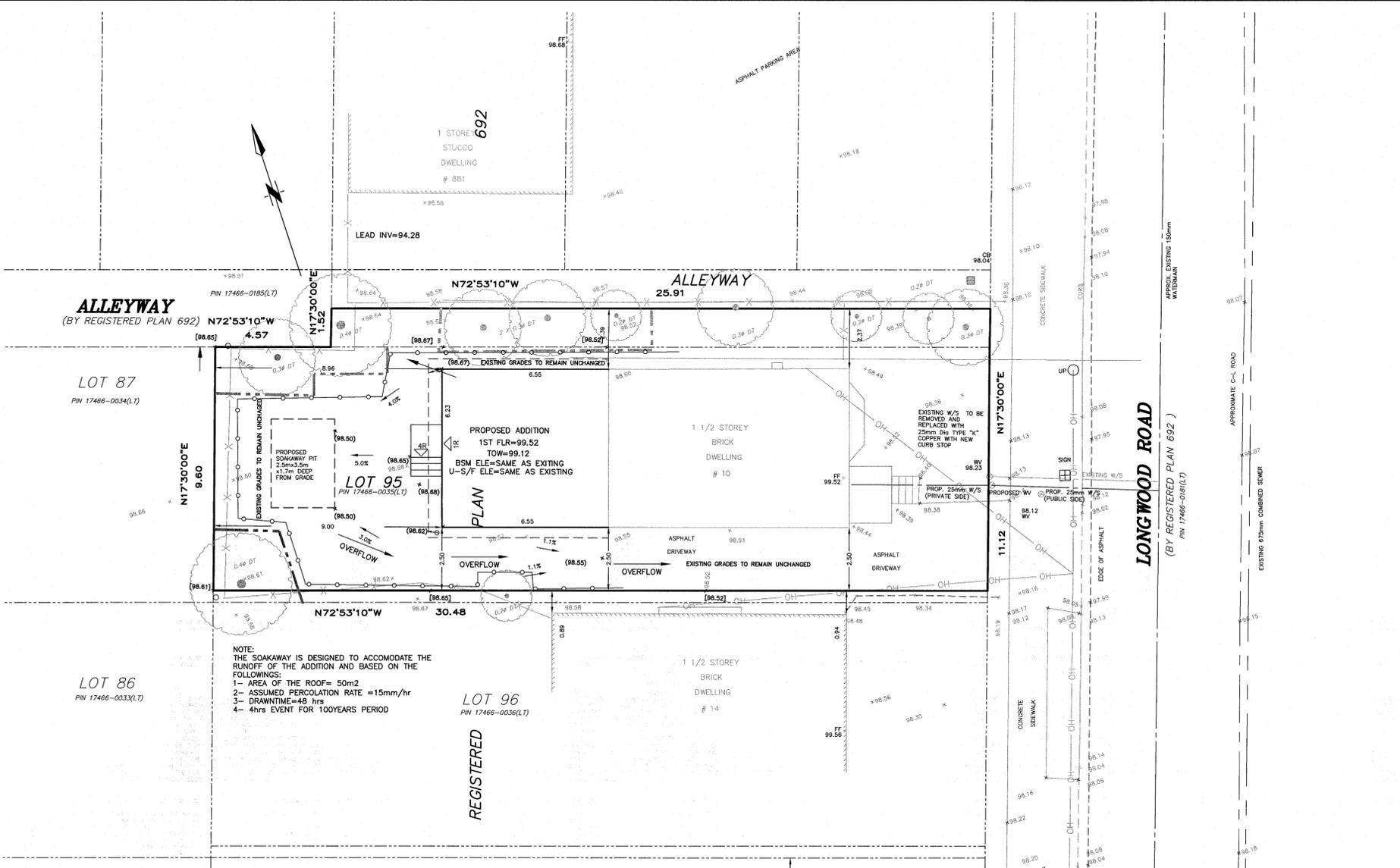
- GENERAL GRADING NOTES:**
1. ALONG ADJOINING PROPERTIES GRADE TO MEET EXISTING OR PROPOSED ELEVATION WITH SLOODED SLOPES (MIN 3% TO 10%) AND/OR RETAINING WALLS AS SPECIFIED.
 2. SLOPE OF SWALES FOR BOTH "BACK TO FRONT" AND "SPLIT" DRAINAGE SHALL BE NO LESS THAN 2.0% GRADE AND NO GREATER THAN 3.0% GRADE (3:1 SLOPES).
 3. WHEN MATCHING TO EXISTING PROPERTIES WHERE A 2.0% GRADE CANNOT BE ACHIEVED, A 1.5% GRADE IS PERMITTED PROVIDED A 150mm SUBDRAIN IS INSTALLED BELOW THE BOTTOM OF THE SWALE AND DRAINED TO A SUITABLE OUTLET, WITH A MIN. 0.3m COVER OR OTHER MITIGATION MEASURES.
 4. MINIMUM GRADE FOR A WRAP-AROUND SWALE IN THE BACKYARD SHALL BE 1.0%.
 5. UNLESS OTHERWISE NOTED, THE GRADING BETWEEN PROPOSED ELEVATIONS ON SIDE LOTS SHALL BE GRADED AS A STRAIGHT LINE.
 6. TOP OF FOUNDATION WALLS FOR BUILDINGS SHALL BE 150mm MIN. ABOVE FINISHED GRADE.
 7. DRIVEWAY SLOPES SHALL NOT BE LESS THAN 2% AND NOT MORE THAN 7%. REVERSE SLOPED DRIVEWAYS IN NEW DEVELOPMENTS ARE NOT PERMITTED.
 8. LOT GRADING FOR ALL LOTS IN THE DEVELOPMENT SHALL CONFORM STRICTLY WITH THIS PLAN. ANY CHANGES, UNLESS APPROVED PRIOR TO CONSTRUCTION BY THE CITY, SHALL RESULT IN NON-ACCEPTANCE OF THE DEVELOPMENT BY THE CITY.
 9. IF GRADING IS REQUIRED ON LANDS ADJACENT TO THE DEVELOPMENT WHICH ARE NOT OWNED BY THE DEVELOPER, THEN THE DEVELOPER MUST OBTAIN WRITTEN PERMISSION FROM THE ADJACENT PROPERTY OWNER TO ALLOW THE DEVELOPER TO GRADE ON THE ADJACENT LANDS. OTHERWISE RETAINING WALLS MUST BE USED.
 10. IF WRITTEN PERMISSION IS OBTAINED FROM THE ADJACENT LANDOWNER, THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND APPROVALS FROM THE CITY. PERMISSION SHOULD NOT BE OBTAINED OR IS WITHDRAWN PRIOR TO COMMENCING WORK, THEN THE DEVELOPER SHALL LIMIT HIS ACTIVITIES TO THE LIMITS OF THE DEVELOPMENT SITE.
 11. DRIVEWAY AND DRIVEWAY APPROACHES SHALL BE LOCATED SUCH THAT HYDRO WALLS AND OTHER STREET FURNITURE ARE A MIN. OF 1.2m FROM THE PROJECTIONS OF THE OUTSIDE GRADE WALLS.

- BACKYARD GRADING:**
1. DEFINITION: "REQUIRED BACKYARD" SHALL MEAN THE LESSER OF THE DISTANCE REGULATED BY THE ZONING BY-LAW OR 6m.
 2. THE MAXIMUM SLOPE IN THE BACKYARD ADJACENT TO THE BUILDING FOR A DISTANCE EQUAL TO THE REQUIRED BACKYARD SHALL BE 3%, EXCEPT AS SET OUT IN THE ITEMS BELOW.
 3. THE 3% RESTRICTION SHALL NOT APPLY TO THE SIDES OF A SWALE ALONG THE SIDES OR BACK OF THE LOT, PROVIDED THE TOTAL WIDTH OF THE SWALE SHALL NOT EXCEED ONE (1) METRE ON EACH LOT.
 4. WHERE THE 3% RESTRICTION ON THE BACKYARD RESULTS IN ELEVATION DIFFERENCES BETWEEN DIFFERENT PROPERTIES, RETAINING WALLS SHALL BE CONSTRUCTED ALONG THE SIDES AND THE BACK OF THE LOT, SLOPES WITH A MAXIMUM OF 3% HORIZONTAL TO 1 VERTICAL MAY REPLACE THE WALLS WHERE THE DIFFERENCE IN ELEVATION IS LESS THAN 0.3m.
 5. GENERALLY, SLOPES SHALL BE PLACED ON THE LOWER LOT, WHEREAS RETAINING WALLS SHALL BE PLACED ON THE HIGHER LANDS.
 6. THE 3% RESTRICTION DOES NOT PRECLUDE RETAINING WALLS IN THE REQUIRED BACKYARD PROVIDING TERRACES ARE MAINTAINED TO THE 3% GRADE AS SET OUT IN ITEM 2 ABOVE. THE INTENTION OF THIS PROVISION IS TO PROVIDE FOR FLEXIBILITY OF CONSTRUCTION.
 7. THERE IS NO CONTROL ON THE STEEPNESS OF THE SLOPES IN SIDE YARDS, FRONT YARD AND BACK YARDS, OUTSIDE THE AREA DEFINED IN ITEM 1 ABOVE, PROVIDED THE SLOPES ARE STABLE FOR THE SOILS OF THE AREA (MIN 3%:1V).

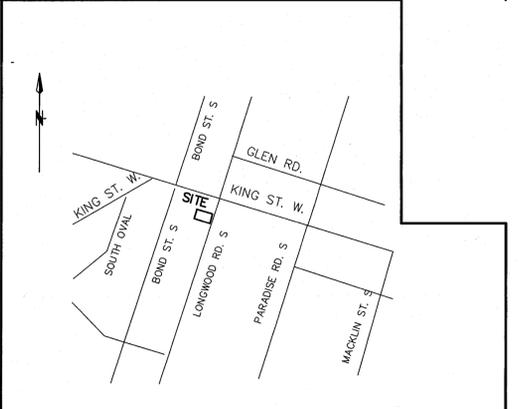
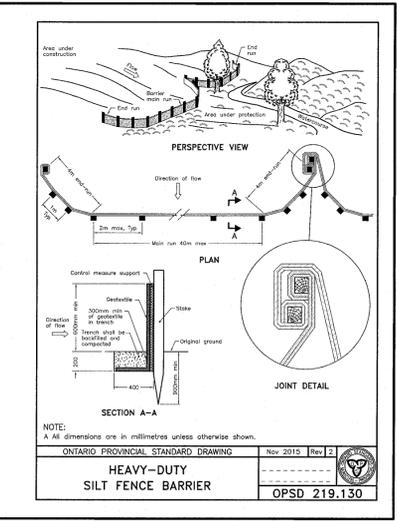
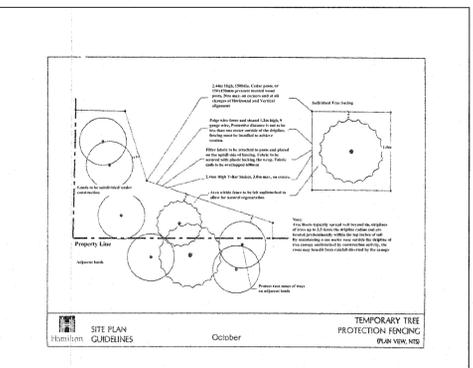
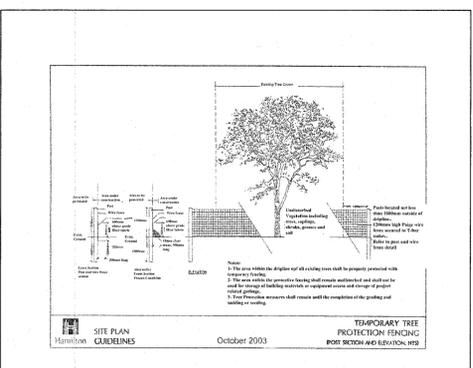
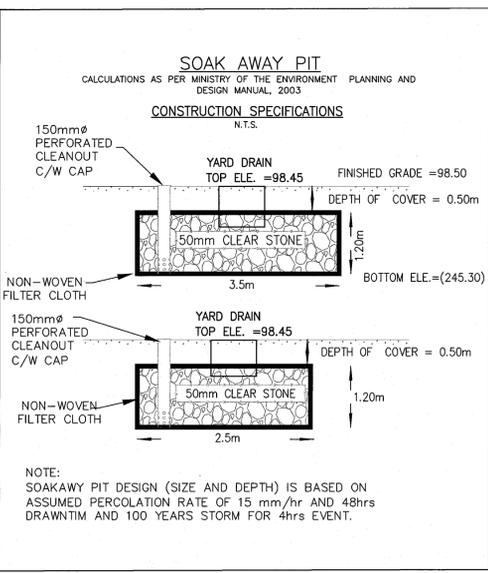
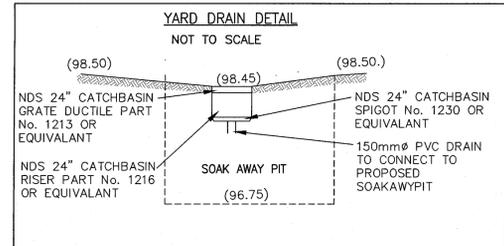
- ROOFWATER LEADERS:**
1. ALL ROOFWATER LEADERS SHALL DISCHARGE ONTO SPLASH PADS AND THEN TO GRASSED OR LANDSCAPED AREAS A MIN. OF 0.6m FROM THE BUILDING FACE.

- SILTATION AND EROSION CONTROL:**
1. SILT CONTROL BARRIERS SHALL BE PLACED AS DETAILED AND IN ACCORDANCE WITH HAMILTON SITE PLAN GUIDELINES.
 2. ALL SILT CONTROL MEASURES SHALL BE INSPECTED AT REGULAR INTERVALS AND FOLLOWING EACH RAINFALL OR AS DIRECTED AND SHALL BE MAINTAINED TO THE SATISFACTION OF THE CITY OF HAMILTON. ADDITIONAL SILT CONTROL MEASURES MAY BE REQUIRED BY THE CITY AND SHALL BE PLACED AS DIRECTED.
 3. ALL EROSION AND SILTATION CONTROL DEVICES MUST BE INSTALLED PRIOR TO THE BEGINNING OF EARTH REMOVAL ACTIVITIES AND LEFT IN PLACE UNTIL FINAL COVER IS ESTABLISHED.
 4. ALL EROSION AND SILTATION CONTROL DEVICES SHOULD BE AS PER THE "GREATER GOLDEN HORSESHOE AREA CONSERVATION AUTHORITIES' EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN CONSTRUCTION".
 5. THE OWNER IS RESPONSIBLE FOR THE REMOVAL OF ALL MUD AND DEBRIS THAT ARE TRACKED ONTO THE ROADWAYS FROM THE VEHICLES ENTERING OR LEAVING THE CONSTRUCTION SITE. THE OWNER SHALL, UPON VERBAL AND/OR WRITTEN REQUEST BY THE CITY, IMMEDIATELY PROCEED WITH THE CLEAN-UP OPERATIONS AT THEIR EXPENSE. SHOULD THE OWNER FAIL TO MAINTAIN THE ROAD AS DIRECTED, THE CITY WILL HAVE THE CLEANING CARRIED OUT, AND DRAW ON THE OWNER'S SECURITY FOR COSTS AND/OR LAY CHARGES.

- TREE PROTECTION:**
1. TREE PROTECTION FENCE SHALL BE INSTALLED AS DETAILED AND IN ACCORDANCE WITH HAMILTON SITE PLAN GUIDELINES.
 2. ALL TREE PROTECTION FENCES MUST BE INSTALLED PRIOR TO THE BEGINNING OF EARTH REMOVAL ACTIVITIES AND LEFT IN PLACE UNTIL FINAL COVER IS ESTABLISHED.
 3. IN CASE TREES NEED TO BE REMOVED, THE REMOVAL HAS TO BE IN COMPLIANCE WITH THE TOWN OF ANCASTER BY-LAW (2000-118). THE CLIENT MUST CONTACT THE CITY MUNICIPAL LAW ENFORCEMENT PRIOR TO REMOVAL OF TREES.
 4. IN CASE TREES NEED TO BE REMOVED, THE OWNER MUST AVOID THE MISDEADLY BRID CONVENTION ACT. THE OWNER IS TO MAKE EVERY EFFORT TO AVOID REMOVAL OF VEGETATION FROM MARCH 31st TO AUGUST 31st.
 5. WHENEVER POSSIBLE, THE CUTTING OF SURVIVAL BRANCHES OF EXISTING TREES IS TO BE AVOIDED. HOWEVER, IF THESE CUTS ARE REQUIRED, THE CUTS SHOULD BE COMPLETED UNDER THE SUPERVISION OF A TREE MANAGEMENT PROFESSIONAL (I.E. CERTIFIED ARBORIST) SO THAT CUTS ARE MADE APPROPRIATE.



NOTE:
THE SOAKAWAY IS DESIGNED TO ACCOMMODATE THE RUNOFF OF THE ADDITION AND BASED ON THE FOLLOWINGS:
1- AREA OF THE ROOF= 50m²
2- ASSUMED PERCOLATION RATE =15mm/hr
3- DRAWTIME=48 hrs
4- 4hrs EVENT FOR 100YEARS PERIOD



LEGEND

- EXISTING ELEVATION
- PROPOSED ELEVATION
- PROPOSED SURFACE FLOW DIRECTION & GRADE
- EXISTING TREE
- EXISTING TREE TO BE REMOVED
- SILT FENCE & LIMIT OF GRADING
- TREE PROTECTION FENCE
- PROPOSED ENTRANCE LOCATION
- LOCATION AND DIRECTION OF FLOW OF DOWNSPOUTS

METRIC
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET DIVIDING BY 0.3048.

CAUTION
THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED, EXCEPT FOR THE PURPOSE INDICATED IN THE TITLE BLOCK.

DRAWING NOTE:
SURVEY, TOPOGRAPHICAL INFORMATION AND UTILITY LOCATIONS WERE TAKEN FROM PLAN BY ASHENHURST NOUWENS & ASSOCIATES INC.

No.	DATE	BY	DESCRIPTION
0	JAN 7, 2022	A.N.	ISSUED FOR REVIEW

REVISIONS

ENGINEER'S STAMP
LICENSED PROFESSIONAL ENGINEER
A. M. NAJIM
100131466
PROVINCE OF ONTARIO
FOR REVIEW ONLY
NOT FOR CONSTRUCTION

PLAN SHOWING
PROPOSED GRADING FOR ADDITION
ON
10 LONGWOOD RD. S.
BEING
PART OF LOT 95 AND PART OF ALLEYWAY
REGISTERED PLAN 692
CITY OF HAMILTON

ASHENHURST NOUWENS & ASSOCIATES INC.
Professional Engineers & Ontario Land Surveyors
225 KING WILLIAM STREET, SUITE 204, HAMILTON, ONTARIO L8R 1B1
(905) 529-6316 (905) 529-4314 1-800-824-6224
FAX: (905) 529-6651 e-mail: anl@ashenhurstnouwens.com

BENCHMARK
CITY OF HAMILTON BENCHMARK No. 07720100048
MONUMENT IS LOCATED AT BEASLEY PARK, ~50M SOUTH OF THE CENTRELINE OF CANNON STREET EAST AND ~24M EAST OF THE CENTRELINE OF ELGIN STREET
ELEVATION=87.507 (DATUM: CQVD 1928:1978)

DWN BY: A.N.	CHK BY: A.N.	DWG No.
SCALE: 1 : 100		21---212 SGP
DATEDEC 23, 2021		



Hamilton

Committee of Adjustment

City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2

	NAME	MAILING ADDRESS
Registered Owners(s)		
Applicant(s)*		
Agent or Solicitor		

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

Second Dwelling Unit Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial

Agricultural Vacant

Other _____

8.1 If Industrial or Commercial, specify use _____

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No **Unknown**

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.



_____ Date

_____ Signature Property Owner(s)

_____ Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage _____

Depth _____

Area _____

Width of street _____

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _

Proposed

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

Proposed:

13. Date of acquisition of subject lands:

14. Date of construction of all buildings and structures on subject lands:

15. Existing uses of the subject property (single family, duplex, retail, factory etc.):

16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):

17. Length of time the existing uses of the subject property have continued:

18. Municipal services available: (check the appropriate space or spaces)
Water _____ Connected _____
Sanitary Sewer _____ Connected _____
Storm Sewers _____
19. Present Official Plan/Secondary Plan provisions applying to the land:
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)
 Yes No
If yes, please provide the file number:
- 21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?
 Yes No
- 21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes **No**
23. Additional Information (please include separate sheet if needed)
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.