

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: HM/A-22:36

APPLICANTS: Agent Y. Taraky
Owner M. Mahmood

SUBJECT PROPERTY: Municipal address **10 Longwood Rd. S., Hamilton**

ZONING BY-LAW: Zoning By-law 96-109, as Amended

ZONING: "C/S-1361" (Urban Protected Residential) district

PROPOSAL: To permit the construction of a 6.23m x 6.55m two (2) storey rear addition and to establish a Secondary Dwelling Unit within the single family dwelling notwithstanding that:

1. A maximum gross floor area ratio factor of 0.86 (86%) of the lot area shall be permitted instead of the maximum required gross floor area ratio factor of 0.562 (56.2%) of the lot area as previously approved by Variance # 1 of Minor Variance File No. HM/A-21:100 for the single family dwelling.
2. A minimum parking space width of 2.5m shall be permitted instead of the minimum required parking space width of 2.6m as previously approved by Variance # 3 of Minor Variance File No. HM/A-21:100 for the single family dwelling.
3. A minimum access driveway width of 2.5m shall be permitted instead of the minimum required access driveway width of 2.6m as previously approved by Variance # 4 of Minor Variance File No. HM/A-21:100 for the single family dwelling.

NOTE:

- i) The Committee of Adjustment previously granted Minor Variance File No. HM/A-21:100 for the same proposal.

This application will be heard by the Committee as shown below:

DATE: Thursday, April 7th, 2022
TIME: 3:20 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

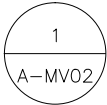
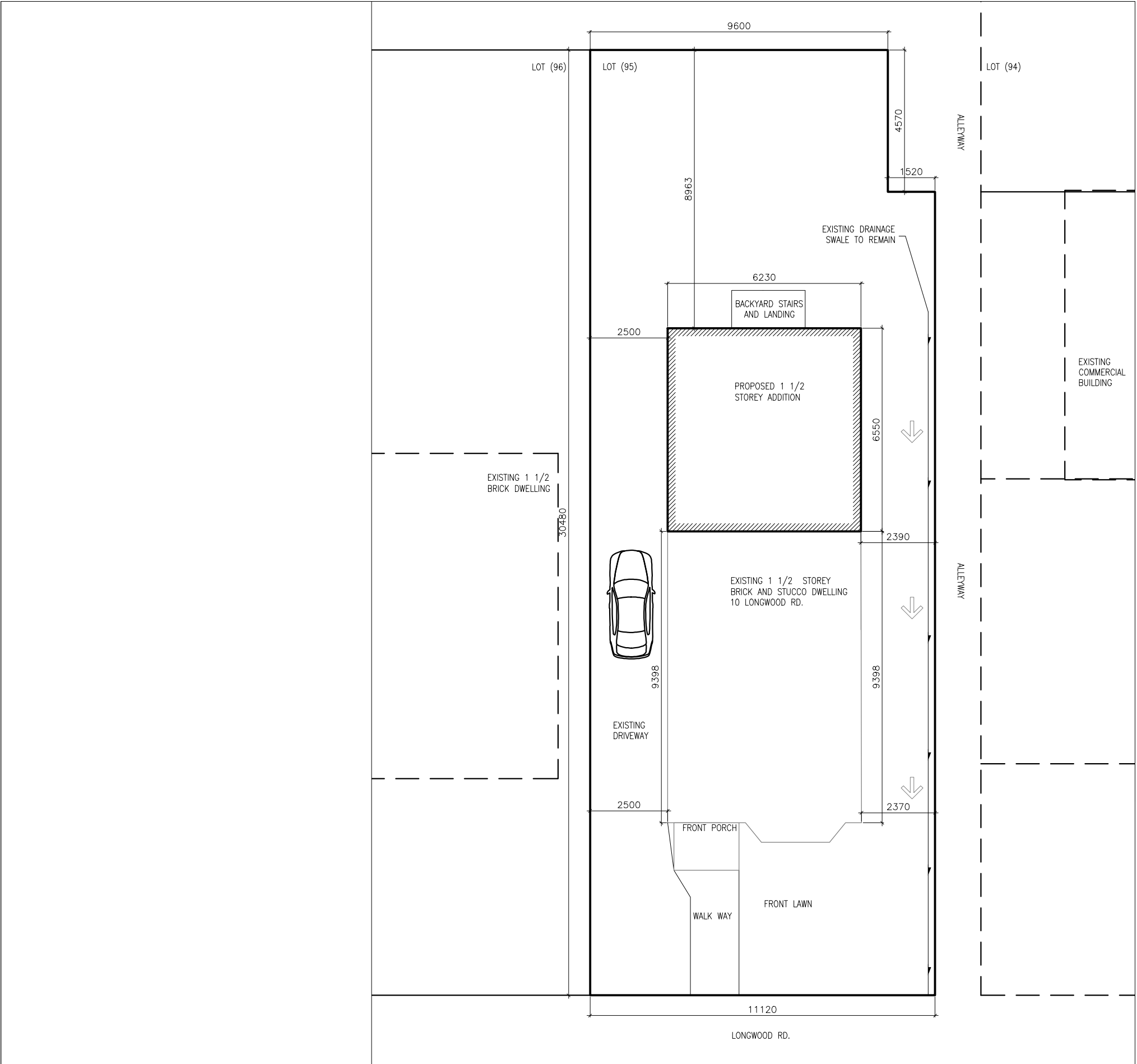
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: March 22nd, 2022.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

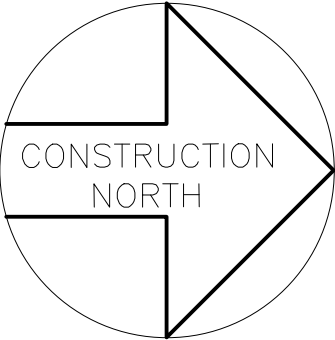


1 SITE PLAN AND SITE INFORMATION
SCALE: 1/16"=1'-0"

SITE PLAN

SKETCH OF
SURVEY OF
LOT: 95
REG. PLAN: 692
CITY OF HAMILTON

10 Longwood Rd. South Zoning and Site Information (metric)									
ZONING	LOT NO.	PLAN NO.	LOT AREA m2				LOT FRONTAGE (m)		LOT DEPTH (m)
C/S-136/S-1788	95	692	332.3				11.1252		30.48
DESCRIPTION	EXISTING (sq.m.)	ADDITION (sq.m.)	TOTAL (sq.m.)	%	ALLOWED	%	SETBACKS	EXISTING (m)	PROPOSED (m)
LOT COVERAGE	164.8	120.4	285.2				FRONT YARD	5.5	5.5
GROSS FLOOR AREA	164.8	120.4	285.2	85.8		50	REAR YARD	15.5	8.96
LANDSCAPED AREA	160.3	40.1	120.1				INTERIOR SIDE (North)	2.39	2.39
NO. OF STORIES HEIGHT	1.5	1.5	1.5				INTERIOR SIDE (South)	2.5	2.5
WIDTH (m)	6.23	6.23	6.23				EXTERIOR		
DEPTH (m)	9.40	6.55	15.95				TOTAL LOT AREA (m2)	332.3	332.3
PARKING	1	1	1		1				



SCALE:

AS SHOWN

DATE:

28FEB22MV2

DRAWN BY:

ATU

CHECKED BY:

YMT

PROJECT NAME:

10 LONGWOOD RD. S.
HAMILTON, ON

DRAWING TITLE:

SITE MAP
NOTES

PROJECT NO.

2101

DRAWING NO.

SK-01

GRADING:

1. LOT GRADING IS TO CONFORM TO THE LATEST REVISION OF THE CITY OF HAMILTON LOT GRADING POLICY.
2. ALL ELEVATIONS ALONG ADJACENT PROPERTY LINES TO MATCH EXISTING ELEVATIONS AND ALL GRADING SHALL BE SUFFICIENTLY ADVERSELY AFFECT THE FLOW FROM ADJACENT LOTS.
3. ALL IMPORTED FILL TO BE CLEAN AND ENVIRONMENTALLY SAFE CLAY, COMPACTED TO 95% S.P.D. USE OF VIBRATOR OR COMPACTOR WHILE COMPACTING IS NOT PERMITTED.
4. THE GRADING SHALL BE SUFFICIENT TO PREVENT ANY EROSION OR WORKING ORDER AT THE TIME OF ISSUANCE OF THE FINAL LOT GRADING CERTIFICATE. FINAL LOT GRADING CERTIFICATES MUST INCLUDE A STATEMENT AFFIRMING THE DATE OF INSPECTION AND THAT THE WATER BOX IS AT GRADE AND FOUND TO BE FREE FROM DAMAGE OR OBSTRUCTION.
5. ALL DISTURBED AREAS WITHIN THE ROAD ALLOWANCE SHALL BE RESTORED TO EXISTING CONDITION OR BETTER.
6. ALL DISTURBED BULKHEAD AREAS ARE TO BE RENESTATED WITH 100mm TOPSOIL AND NO. 1 NURSERY SOIL IN ACCORDANCE WITH OPSB 803 AND TO THE SATISFACTION OF THE TRAFFIC ENGINEERING SECTION, SEWER AND WATER DEPARTMENT.

WATER SERVICES:

1. "W" DENOTES WATER SERVICE CONNECTION (25mmØ TYPE "K" SOFT COPPER) AS PER WM-207.02 OR AS DETAILED.
2. GRANULAR BEDDING SHALL BE GRANULAR "D" AS PER FORM 800 AND WM-200.01.
3. ALL CURB STOPS SHALL BE SET TO PROPOSED GRADES.

COMPACTION REQUIREMENTS:
1. ALL BEDDING AND BACKFILL MATERIAL, ROAD SUBGRADES AND GENERALLY ALL MATERIAL USED FOR LOT GRADING AND FILL SECTIONS ETC. SHALL BE COMPACTED TO A MIN. 95% SPD UNLESS OTHERWISE RECOMMENDED BY A GEOTECHNICAL ENGINEER. ALL MATERIAL SHALL BE PLACED IN LAYERS NOT EXCEEDING 300mm LIFTS.
2. ALL GRANULAR ROAD BASE MATERIALS SHALL BE COMPACTED TO A MIN 98% SPD.

GENERAL GRADING NOTES:

1. ALONG ADJACENT PROPERTIES GRADE TO MEET EXISTING OR PROPOSED ELEVATION WITH SLOODED SLOPES (MIN 2% TO 1%) AND/OR RETAINING WALLS AS SPECIFIED.
2. SLOPE OF SWALES FOR BOTH "BACK TO FRONT" AND "SPILT" DRAINAGE SHALL BE NO LESS THAN 2.0% DOWNSLOPE.
3. WHEN MATCHING TO EXISTING PROPERTIES WHERE A 2.0% GRADE CANNOT BE ACHIEVED, A 1.0% GRADE IS ACCEPTED PROVIDED THE SLOPE IS MAINTAINED FOR A MINIMUM OF 10' TO THE EXISTING PROPERTY LINE.
4. ALL DRAINAGE SHALL BE TO A SUITABLE OUTLET, (WITH A MIN. 0.3m COVER OVER THE SUBURBAN), OR OTHER MITIGATION MEASURES.
5. EXISTING DRIVEWAYS SHALL BE GRADUALLY RAMPED TO THE EXISTING DRIVEWAY GRADE.
6. UNLESS OTHERWISE NOTED, THE GROUND BETWEEN PROPOSED ELEVATIONS ON SLOTS SHALL BE GRADUALLY AS A STRAIGHT LINE.
7. EXISTING CONCRETE WALLS FOR BUILDINGS SHALL BE 150mm MIN. ABOVE FINISHED GRADE.
8. DRIVEWAY SLOPES SHALL NOT BE LESS THAN 2% AND NOT MORE THAN 7%; REVERSE SLOPED DRIVEWAYS IN AREAS OF EXISTING DRIVEWAYS SHALL BE 10%.
9. LOT GRADING FOR ALL LOTS IN THE DEVELOPMENT SHALL CONFORM STRICTLY WITH THIS PLAN, ANY CHANGES, AND/OR ANY OTHER REQUIREMENTS OF THE CITY OF CALGARY.
10. THE CITY OF CALGARY HAS NO LANDS ADJACENT TO THE DEVELOPMENT WHICH ARE NOT OWNED BY THE DEVELOPER, THEN THE DEVELOPER MUST OBTAIN WRITTEN PERMISSION FROM THE ADJACENT PROPERTY OWNER TO ENTER THE ADJACENT PROPERTY TO CONDUCT ANY GRADING WORK.
11. THE WRITTEN PERMISSION REQUIRED FROM THE ADJACENT LANDOWNER SHALL BE OBTAINED PRIOR TO ENTERING THE ADJACENT PROPERTY TO CONDUCT ANY GRADING WORK.
12. THE DEVELOPER SHALL LIMIT HIS ACTIVITIES TO THE LIMITS OF THE DEVELOPMENT SITE.
13. THE CITY OF CALGARY HAS NO LANDS ADJACENT TO THE DEVELOPMENT WHICH ARE NOT OWNED BY THE DEVELOPER, THEN THE DEVELOPER MUST OBTAIN WRITTEN PERMISSION FROM THE ADJACENT PROPERTY OWNER TO ENTER THE ADJACENT PROPERTY TO CONDUCT ANY GRADING WORK.
14. FURNITURE ARE A MIN. 1.2m FROM THE PROJECTIONS OF THE OUTSIDE GARAGE WALLS.

[illegible]

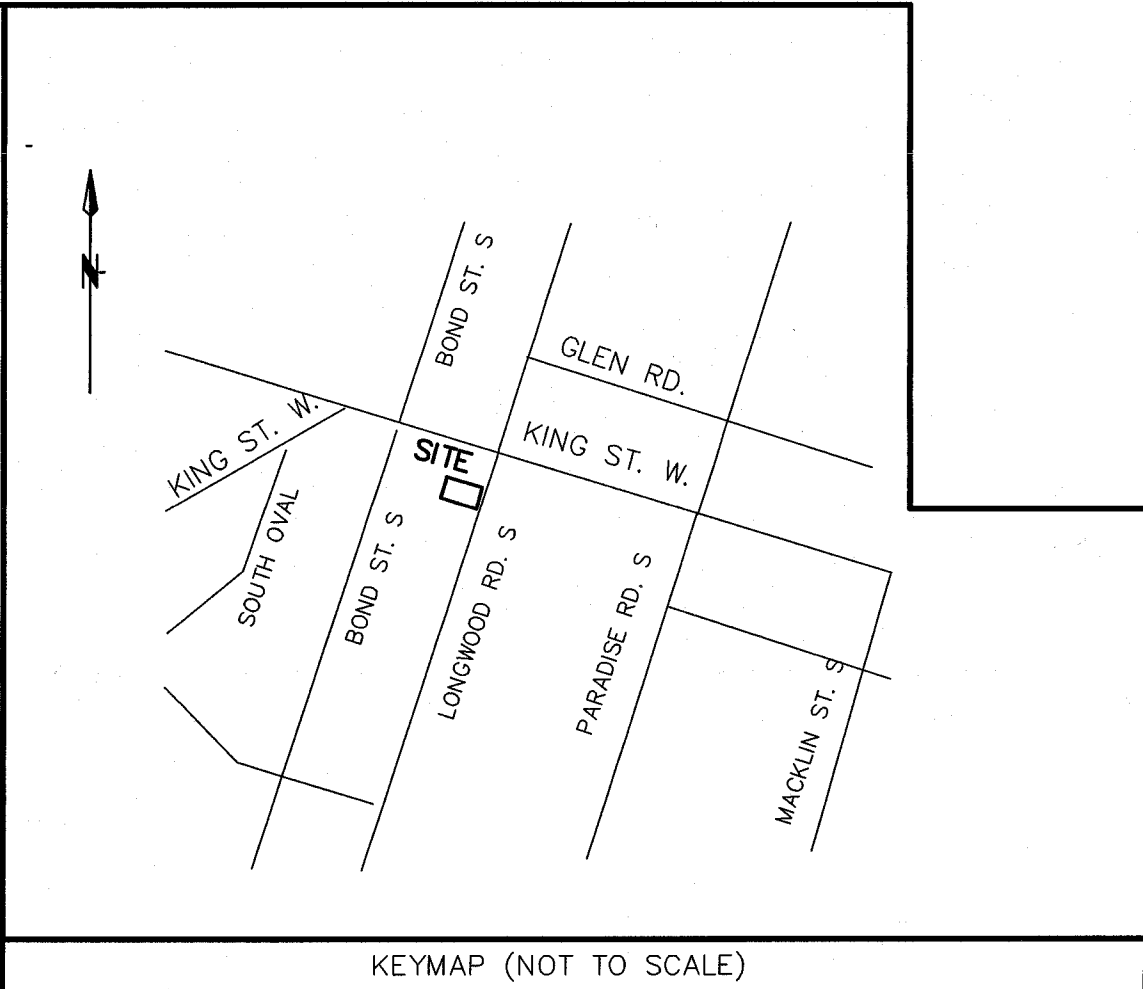
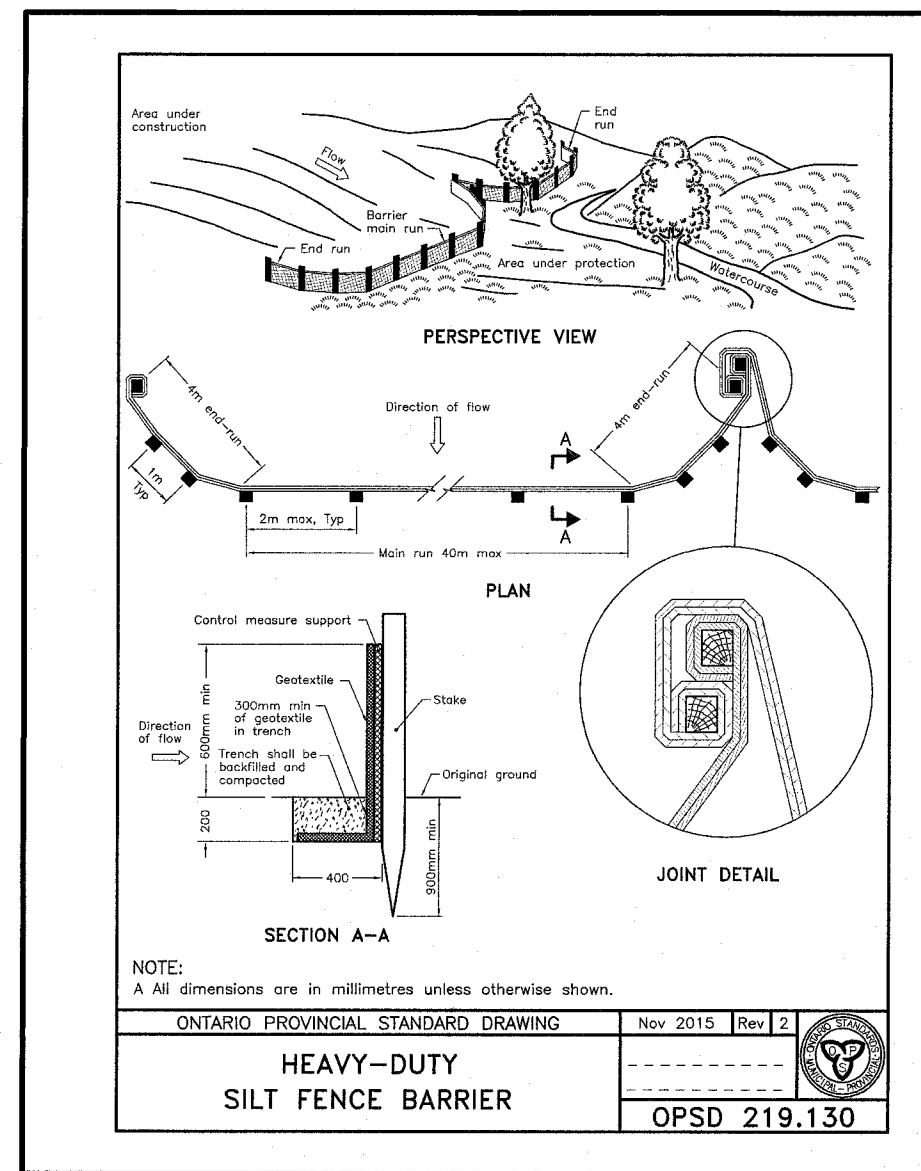
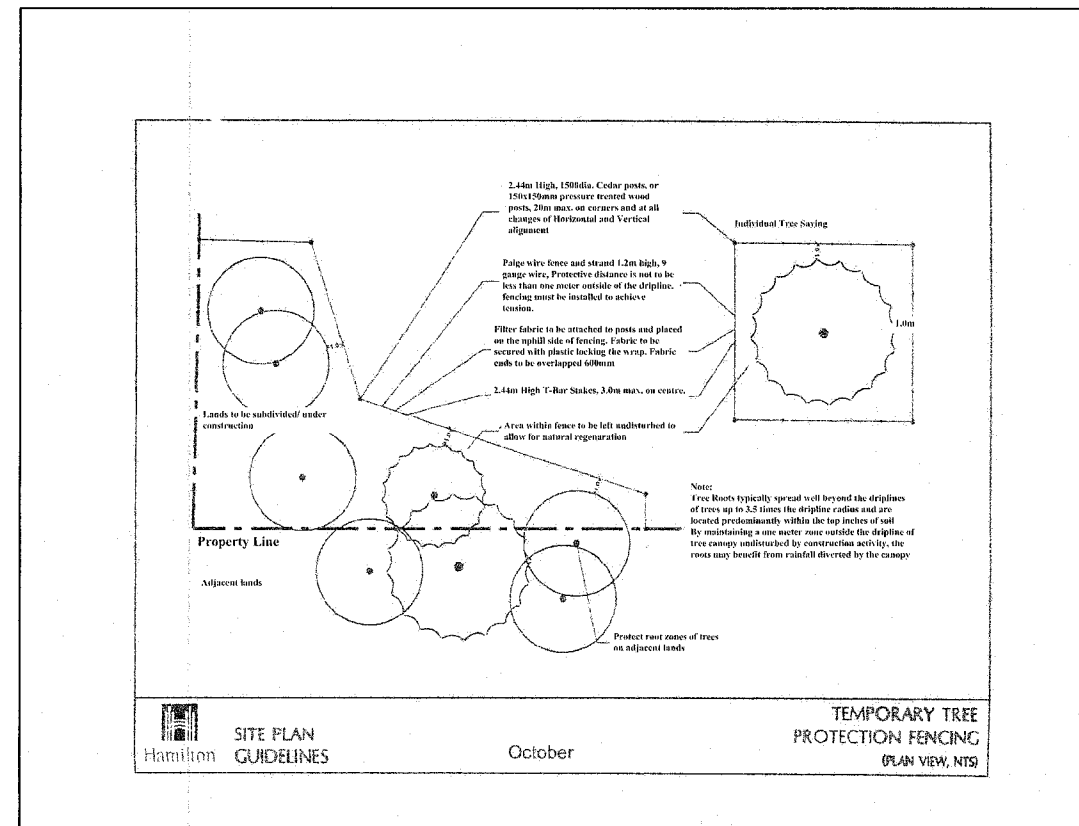
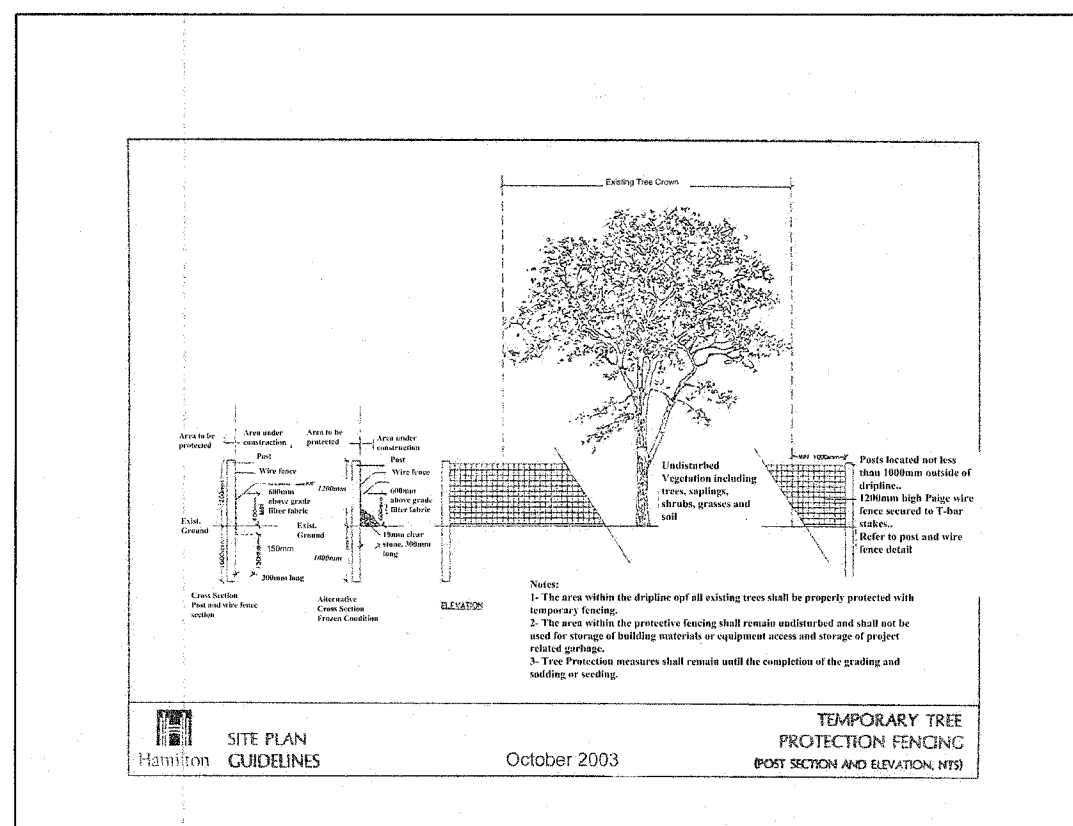
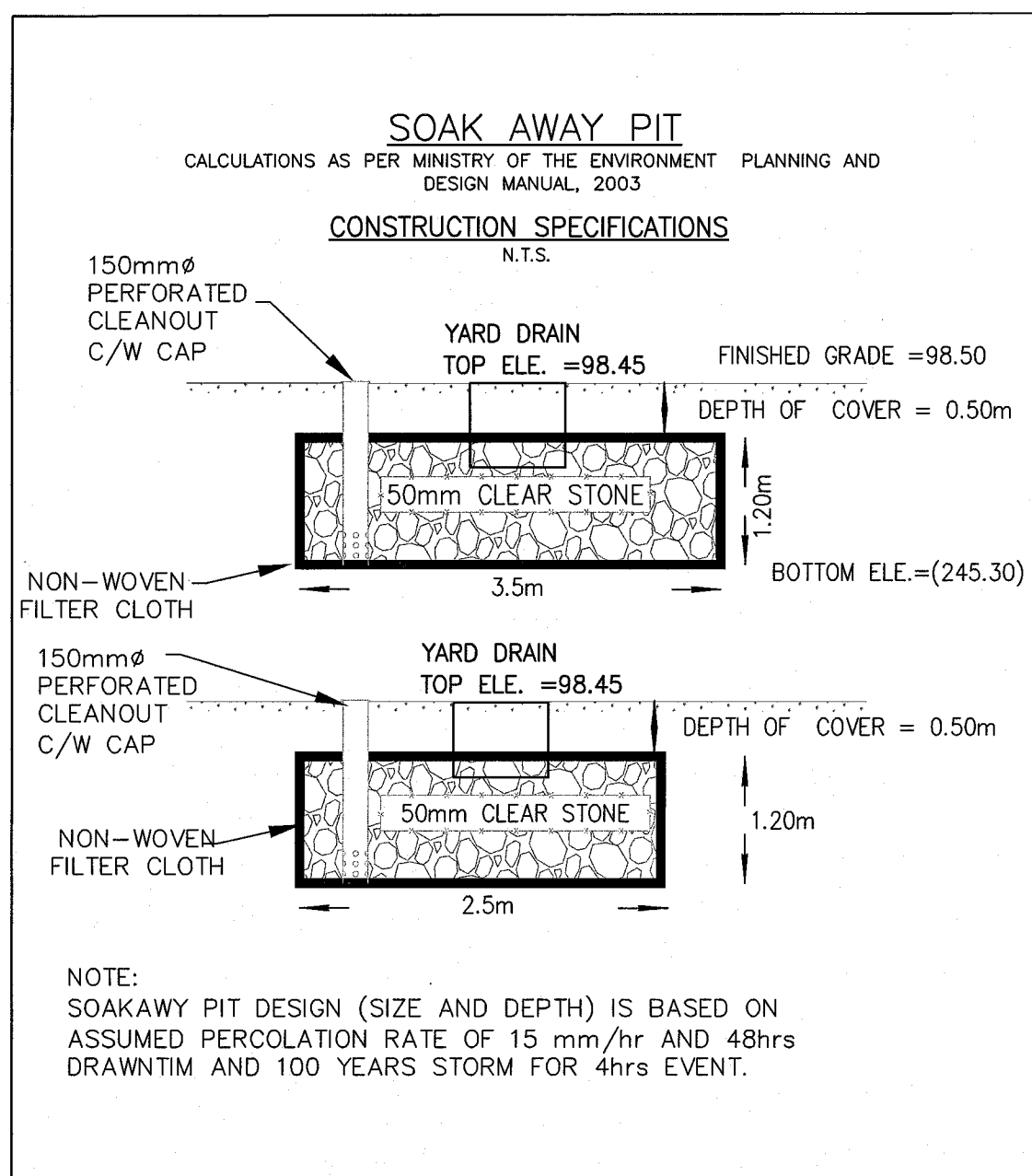
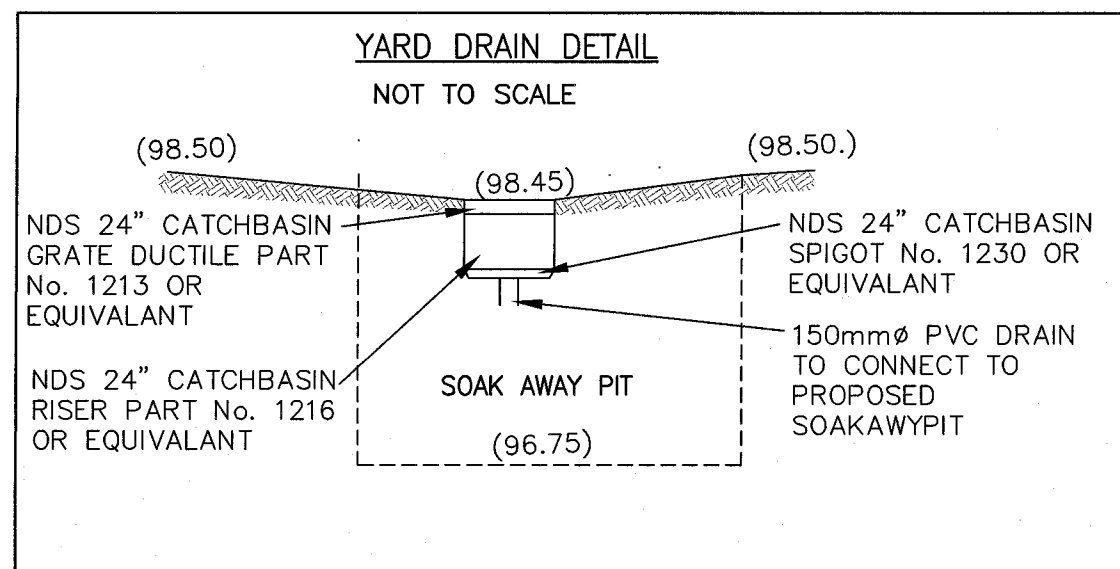
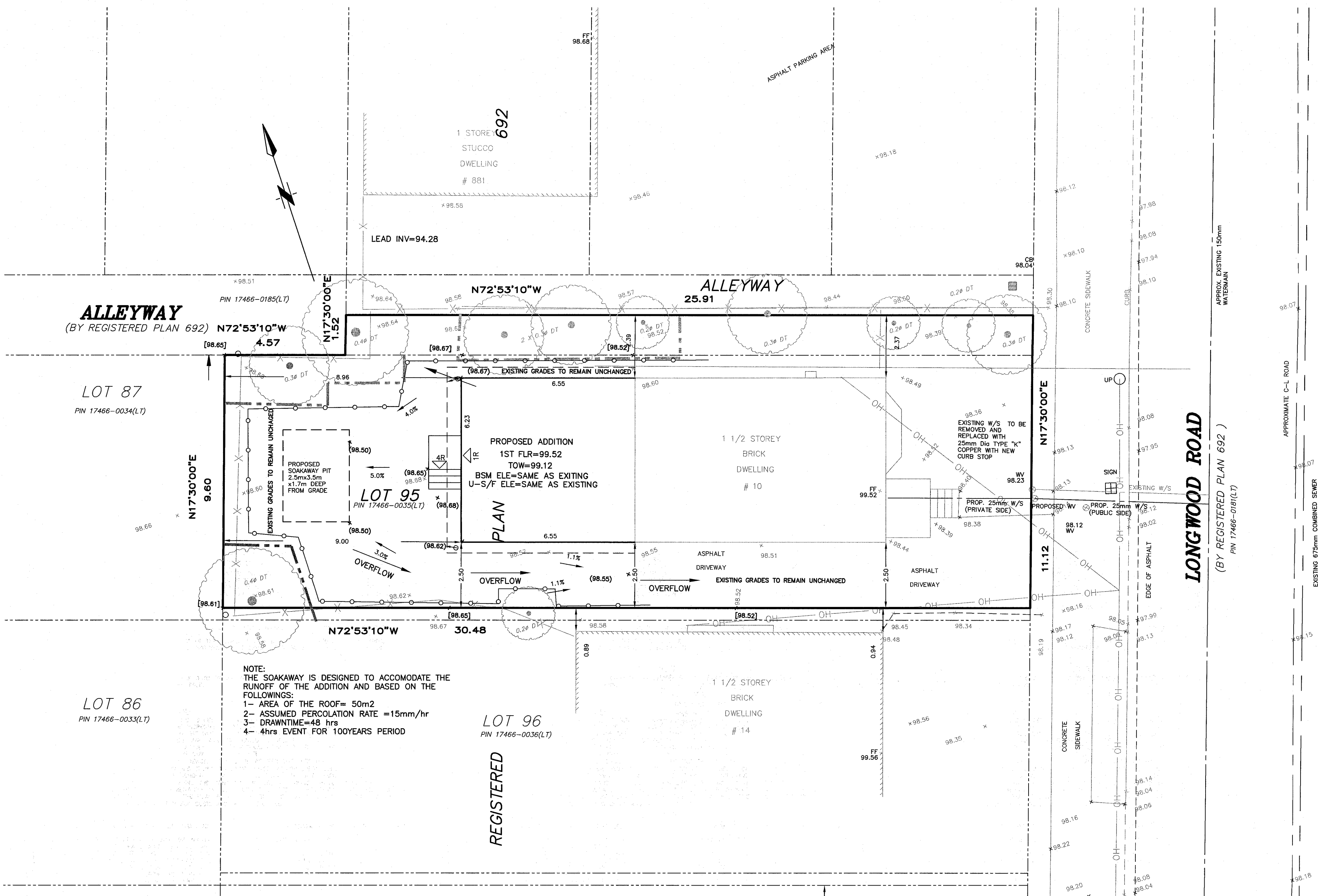
ROOFWATER LEADERS:
1. ALL ROOFWATER LEADERS SHALL DISCHARGE ONTO SPLASH PADS AND THEN TO GRASSED OR LANDSCAPED AREAS A MIN. OF 0.6m FROM THE BUILDING FACE.

SILTATION AND EROSION CONTROL:

- 1. SILT CONTROL BARRIERS SHALL BE PLACED AS DETAILED AND IN ACCORDANCE WITH ADETTED STATE PLAN GUIDE.
- 2. ALL SILT CONTROL MEASURES SHALL BE INSPECTED AT REGULAR INTERVALS AND FOLLOWING EACH RAINFALL EVENT.
- 3. SILT CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS REQUIRED. ADDITIONAL SILT CONTROL MEASURES MAY BE REQUIRED BY THE CITY AND SHALL BE PLACED AS DIRECTED.
- 4. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE BEGINNING OF EARTH REVEAL OPERATIONS AND LEFT IN PLACE UNTIL FINAL COVER IS ESTABLISHED.
- 5. ALL EROSION AND SILTATION CONTROL DEVICES SHOULD BE A SEVERE "THE GREAT GREEN HORSESHOE CONSERVATION AUTHORITY", "EROSION AND SEDIMENT CONTROL GUIDELINE FOR URBAN CONSTRUCTION".
- 6. DISPOSAL OF ALL MUD AND GERSERS THAT ARE TRILLED ONTO THE ROAD FROM THE VEHICLES ENTERING OR LEAVING THE CONSTRUCTION SITE. THE OWNER SHALL, UPON VERBAL OR WRITTEN REQUEST BY THE CITY, IMMEDIATELY PROCEED WITH THE CLEAN-UP OPERATIONS AT THEIR EXPENSE. THE OWNER SHALL BE RESPONSIBLE FOR THE COSTS OF THE CLEAN-UP AND SHALL HAVE THE CLEANING CONTRACTOR AND DRAW ON THE OWNER'S SECURITY FOR COSTS AND/OR LAY CHARGES.

TREE PROTECTION:

1. TREE PROTECTION FENCE SHALL BE INSTALLED AS DETAILED AND IN ACCORDANCE WITH HAMILTON STATE.
2. ALL TREE PROTECTION FENCES MUST BE INSTALLED PRIOR TO THE BEGINNING OF EARTH REMOVAL ACTIVITIES LEFT IN PLACE UNTIL FINAL COVER IS ESTABLISHED.
3. THE CONTRACTOR SHALL HAVE TO BE IN COMPLIANCE WITH THE TOWN OF ANGSTADT LANDSCAPE MANAGEMENT ORDINANCE (2009-18). THE CLIENT MUST CONTACT THE CITY OF HAMILTON LAND ENFORCEMENT PRIOR TO REMOVAL OF T REES IN THE PROJECT AREA.
4. IN ORDER TO MAINTAIN EVERY TREE, THE CONTRACT MUST BE MODIFIED TO INCLUDE THE REMOVAL OF BIRD CONVENIENCE DEVICES TO MAINTAIN EVERY TREE TO BE REMOVED. (FROM MARCH 31st TO AUGUST 31st)
5. WHEREVER POSSIBLE, THE CUTTING OF SURFACE ROOTS OF EXISTING TREES IS TO BE AVOIDED. HOWEVER, IF IT IS NOT POSSIBLE TO AVOID CUTTING SURFACE ROOTS, THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN A TREE MAINTENANCE PROFESSIONAL (I.E. CERTIFIED ARBORIST) SO THAT CUTS ARE MADE APPROPRIATE.



LEGEND

08.60 EXISTING ELEVATION
 (08.68) PROPOSED ELEVATION
 (09.60) PROPOSED ELEVATION

→ PROPOSED SURFACE FLOW DIRECTION & GRADE
 4.0%

⊙ EXISTING TREE
 ⊗ EXISTING TREE TO BE REMOVED

—○— SILT FENCE & LIMIT OF GRADING

— TREE PROTECTION FENCE

▽ PROPOSED ENTRANCE LOCATION
 🔍 LOCATION AND DIRECTION OF FLOW OF DOWNSPOUTS

METRIC
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET
DIVIDING BY 0.3048.

CAUTION
THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED, EXCEPT FOR THE PURPOSE INDICATED IN THE TITLE BLOCK.

DRAWING NOTE:
SURVEY, TOPOGRAPHICAL INFORMATION AND UTILITY LOCATIONS WERE TAKEN FROM
PLAN BY ASHENHURST NOUWENS & ASSOCIATES INC..

0	JAN 7, 2022	A.N	ISSUED FOR REVIEW
No.	DATE	BY	DESCRIPTION

REVISIONS

ENGINEER'S STAMP

LICENSED PROFESSIONAL ENGINEER

A. M. NAJM
100131466

June 1, 22

PROVINCE OF ONTARIO

FOR REVIEW ONLY
NOT FOR CONSTRUCTION

PLAN SHOWING
PROPOSED GRADING FOR ADDITION
ON
10 LONGWOOD RD. S.
BEING
PART OF LOT 95 AND PART OF ALLEYWAY
REGISTERED PLAN 692
CITY OF HAMILTON

AN
SINCE 1956

**ASHENHURST NOUWENS &
ASSOCIATES INC.**

Professional Engineers & Ontario Land Surveyors

225 KING WILLIAM STREET, SUITE 204, HAMILTON, ONTARIO L8R 1B1
(905) 529-6316 (905) 529-4314 1-800-824-6224
FAX: (905) 529-6651 e-mail: an@ashenhurstnouwens.com

BENCHMARK CITY OF HAMILTON BENCHMARK No. 07720100048 MONUMENT IS LOCATED AT BEASLEY PARK, ~50M SOUTH OF THE CENTRELINE OF CANNON STREET EAST AND ~24M EAST OF THE CENTRELINE OF ELGIN STREET ELEVATION=87.507 (DATUM: CGVD 1928:1978)		
DWN BY: A.N. SCALE: 1 : 100 DATE DEC 23, 2021	CHK BY: A.N.	DWG No. 21--212 SGP

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS	
Registered Owners(s)			
Applicant(s)*			
Agent or Solicitor			

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

☐ Second Dwelling Unit ☐ Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

7. PREVIOUS USE OF PROPERTY

Residential ☐ Industrial ☐ Commercial ☐

Agricultural ☐ Vacant ☐

Other _____

8.1 If Industrial or Commercial, specify use _____

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes ☐ No ☐ Unknown ☐

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes ☐ No ☐ Unknown ☐

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes ☐ No ☐ Unknown ☐

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes ☐ No ☐ Unknown ☐

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes ☐ No ☐ **Unknown** ☐

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes ☐ No ☐ Unknown ☐

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes ☐ No ☐ Unknown ☐

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes ☐ No ☐ Unknown ☐

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ☐ No ☐ Unknown ☐

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?


8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ☐ No ☐

9. **ACKNOWLEDGEMENT CLAUSE**

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

Date



Signature Property Owner(s)

Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage

Depth

Area

Width of street

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _

Proposed

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

Proposed:

13. Date of acquisition of subject lands:
14. Date of construction of all buildings and structures on subject lands:
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
17. Length of time the existing uses of the subject property have continued:
18. Municipal services available: (check the appropriate space or spaces)
Water Connected
Sanitary Sewer Connected
Storm Sewers
19. Present Official Plan/Secondary Plan provisions applying to the land:
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)

Yes No

If yes, please provide the file number:

21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?

Yes No

21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being “received” for processing.

22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes No

23. Additional Information (please include separate sheet if needed)

24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.
- APPLICATION FOR A MINOR VARIANCE (January 1, 2022)

Page 4 of 6