



Hamilton

**cCOMMITTEE OF ADJUSTMENT**

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5  
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202  
E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

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## **NOTICE OF PUBLIC HEARING** **Minor Variance**

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**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
  - Applicant/agent on file, or
  - Person likely to be interested in this application
- 

**APPLICATION NO.:** HM/A-22:51

**APPLICANTS:** Agent Chermark Renovations Inc.  
Owners J. & P. Burns

**SUBJECT PROPERTY:** Municipal address **112 Manning Ave., Hamilton**

**ZONING BY-LAW:** Zoning By-law 6593, as Amended

**ZONING:** "C" (Urban Protected Residential) district

**PROPOSAL:** To permit the construction of a new second storey addition to the existing single family dwelling notwithstanding that:

1. Two (2) parking spaces shall be provided instead of the minimum required three (3) parking spaces.

**NOTES:**

1. Hamilton Zoning By-law 6593 requires parking for a single family dwelling to be provided at a rate of two (2) parking spaces for the first eight (8) habitable rooms contained within a dwelling, plus an additional 0.5 spaces for each additional habitable room in excess of eight (8). The proposed construction results in a total of ten (10) habitable rooms, therefore requiring a minimum of three (3) parking spaces to be provided on-site. It appears only two (2) parking spaces are provided on site. One (1) space being within the attached garage and one (1) space in the front yard.

This application will be heard by the Committee as shown below:

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**DATE:** Thursday, March 17th, 2022  
**TIME:** 2:05 p.m.  
**PLACE:** Via video link or call in (see attached sheet for details)  
To be streamed at  
[www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)  
for viewing purposes only

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### **PUBLIC INPUT**

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

### **MORE INFORMATION**

For more information on this matter, including access to drawings illustrating this request:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

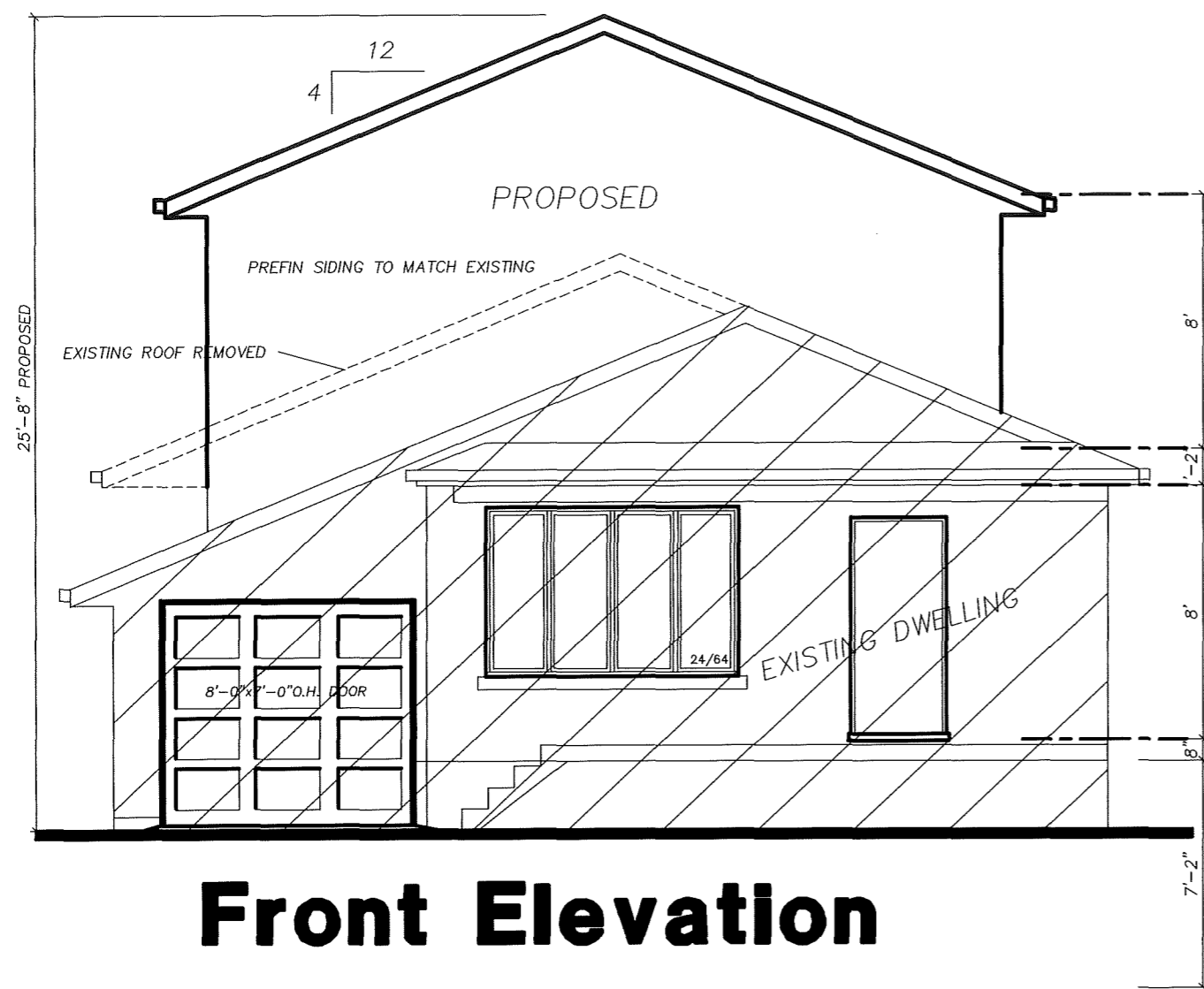
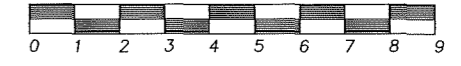
DATED: March 1st, 2022.

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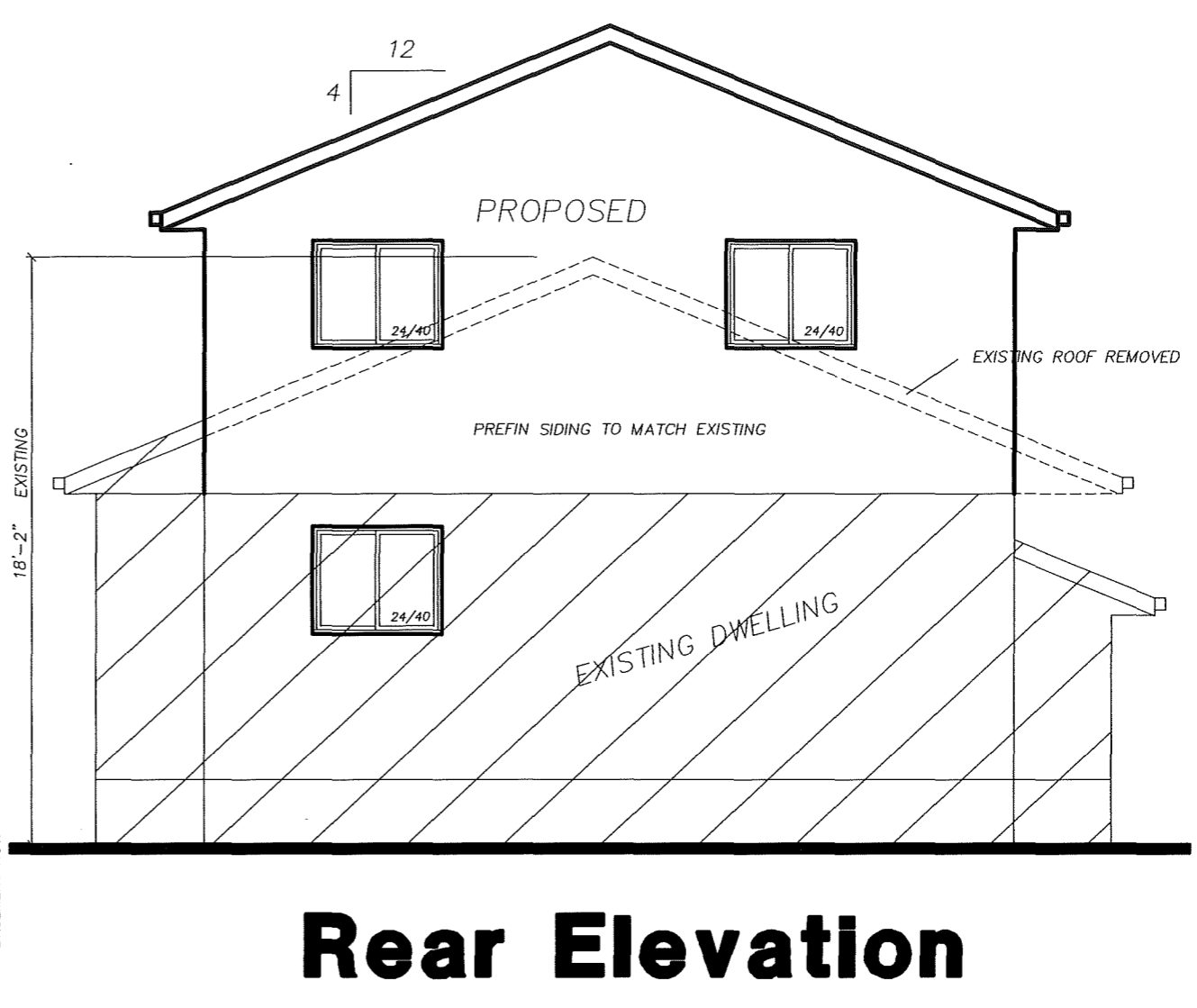
Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

***Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.***

SCALE 3/16" = 1'-0"



# Front Elevation



# Rear Elevation

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

QUALIFICATION INFORMATION  
 Required unless design is exempt under DIV. C 3.2.5.1 of the building code

Richard Weatherston *Richard Weatherston* 24787  
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
 Required unless design is exempt under DIV. C 3.2.4.1 of the building code

R.G. CAD SERVICE INC. 29747  
 FIRM NAME BCIN

**R.G. CAD SERVICE INC.**  
 FIRM BCIN #29747  
 RICHARD WEATHERSTON  
 BCIN #24787

EXISTING FIRST FLOOR 1199 SQ.FT.  
 PROPOSED SECOND FLOOR 533 SQ.FT.

\* THESE DRAWINGS HAVE BEEN PRODUCED FOR THE HOMEOWNER AND ARE PROTECTED BY COPYRIGHT.

3666 SEPT. 21

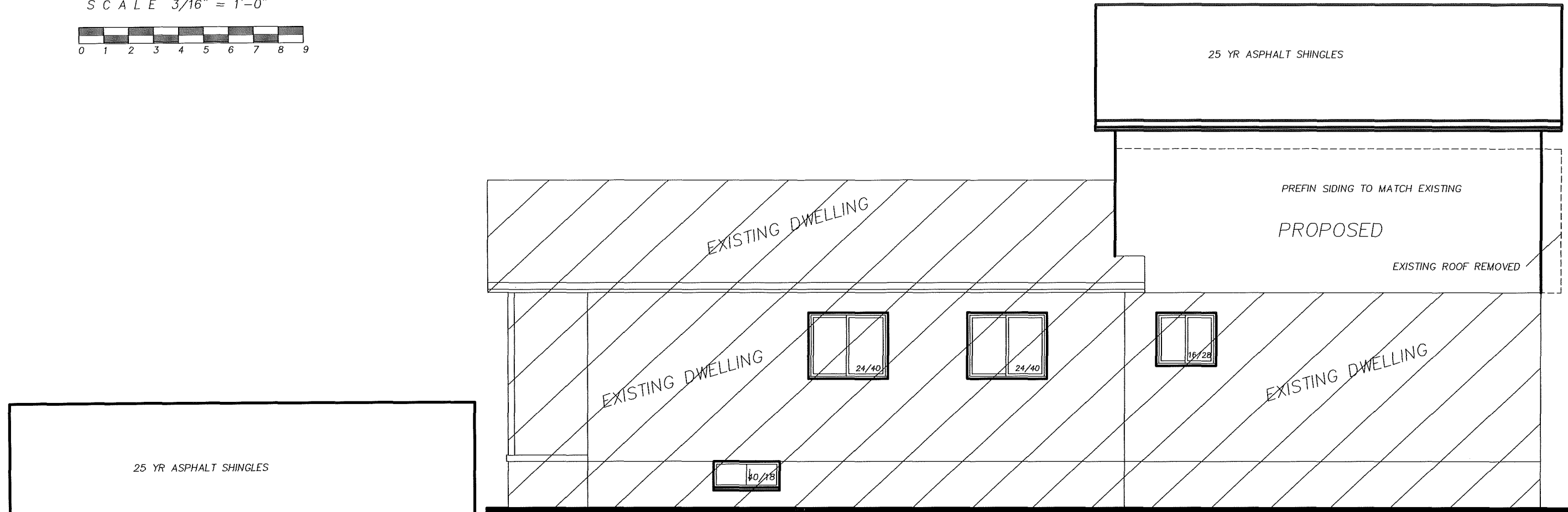
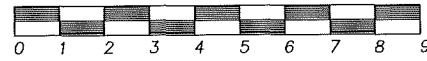
**R.G.CAD SERVICE INC.**  
 228 GREEN RD. STONEY CREEK  
 PHONE (905) 664-8061

**PROPOSED SECOND FLOOR ADDITION/RENOVATION**  
**112 MANNING AVE**  
 HAMILTON

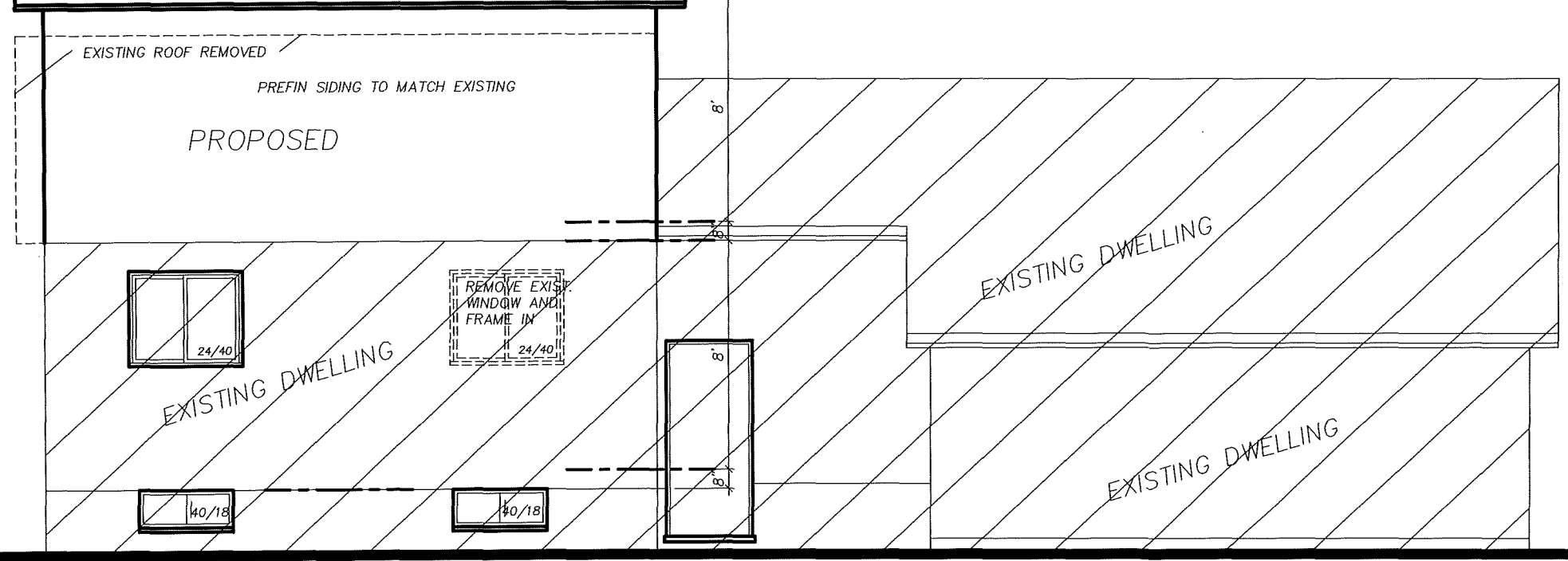
**1**

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY ERRORS. OMISSIONS OR DISCREPANCIES TO THE DESIGNER PRIOR TO COMMENCEMENT OF CONSTRUCTION.

SCALE 3/16" = 1'-0"



# Right Side Elev



# Left Side Elev.

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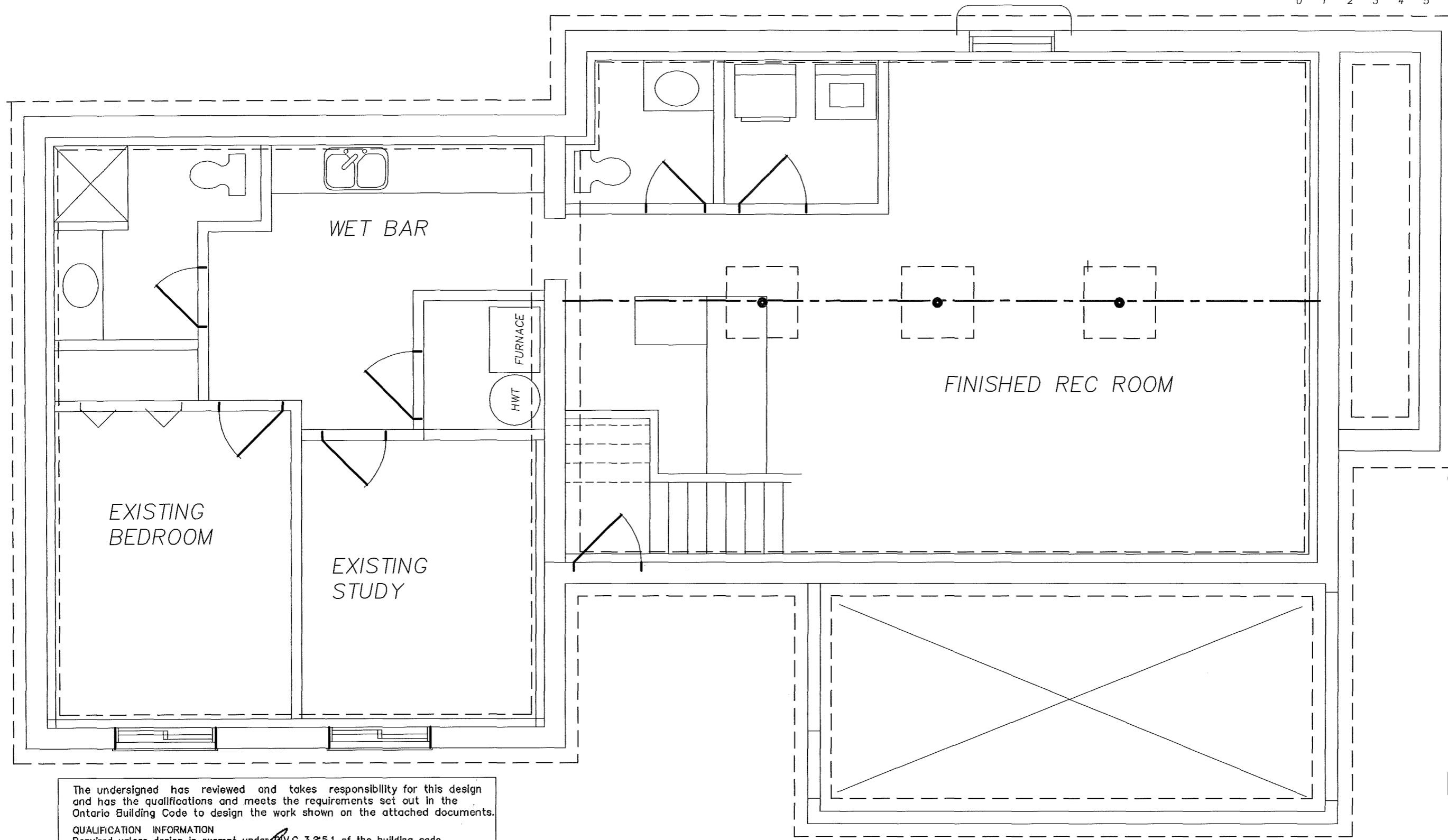
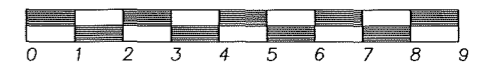
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SCALE 1/4" = 1'-0"



# Basement & Fdn Plan

EXISTING

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FIRM NAME BCIN

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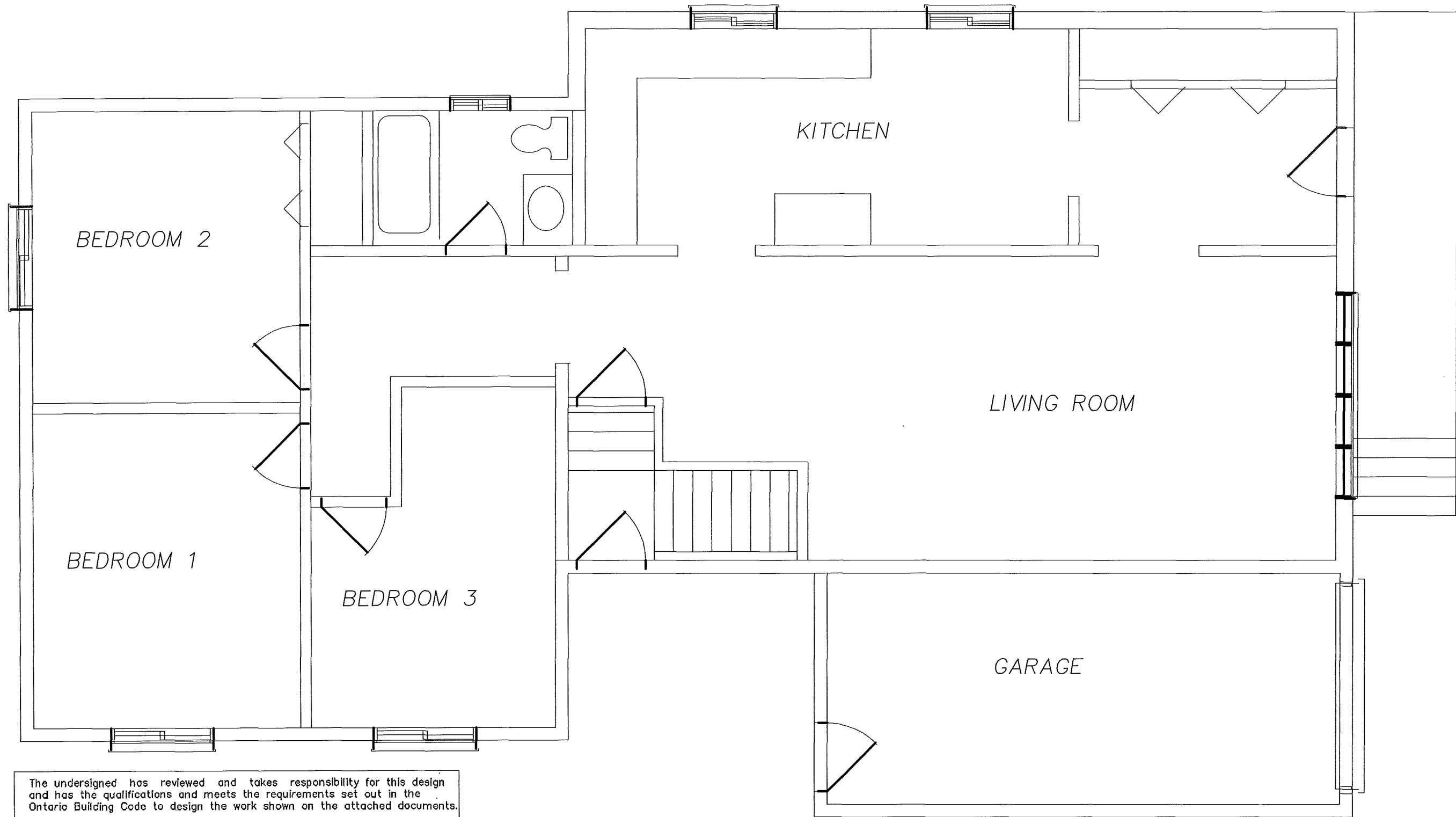
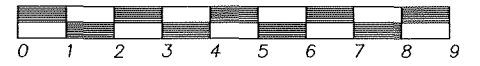
**R.G.CAD SERVICE INC.**  
228 GREEN RD. STONEY CREEK  
PHONE (905) 664-8061

PROPOSED ADDITION/RENOVATION  
**112 MANNING AVE**  
HAMILTON

**3**

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SCALE 1/4" = 1'-0"



# First Floor Plan

EXISTING

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R.G. CAD SERVICE INC. 29747  
FIRM NAME BCIN

Q.F.T.

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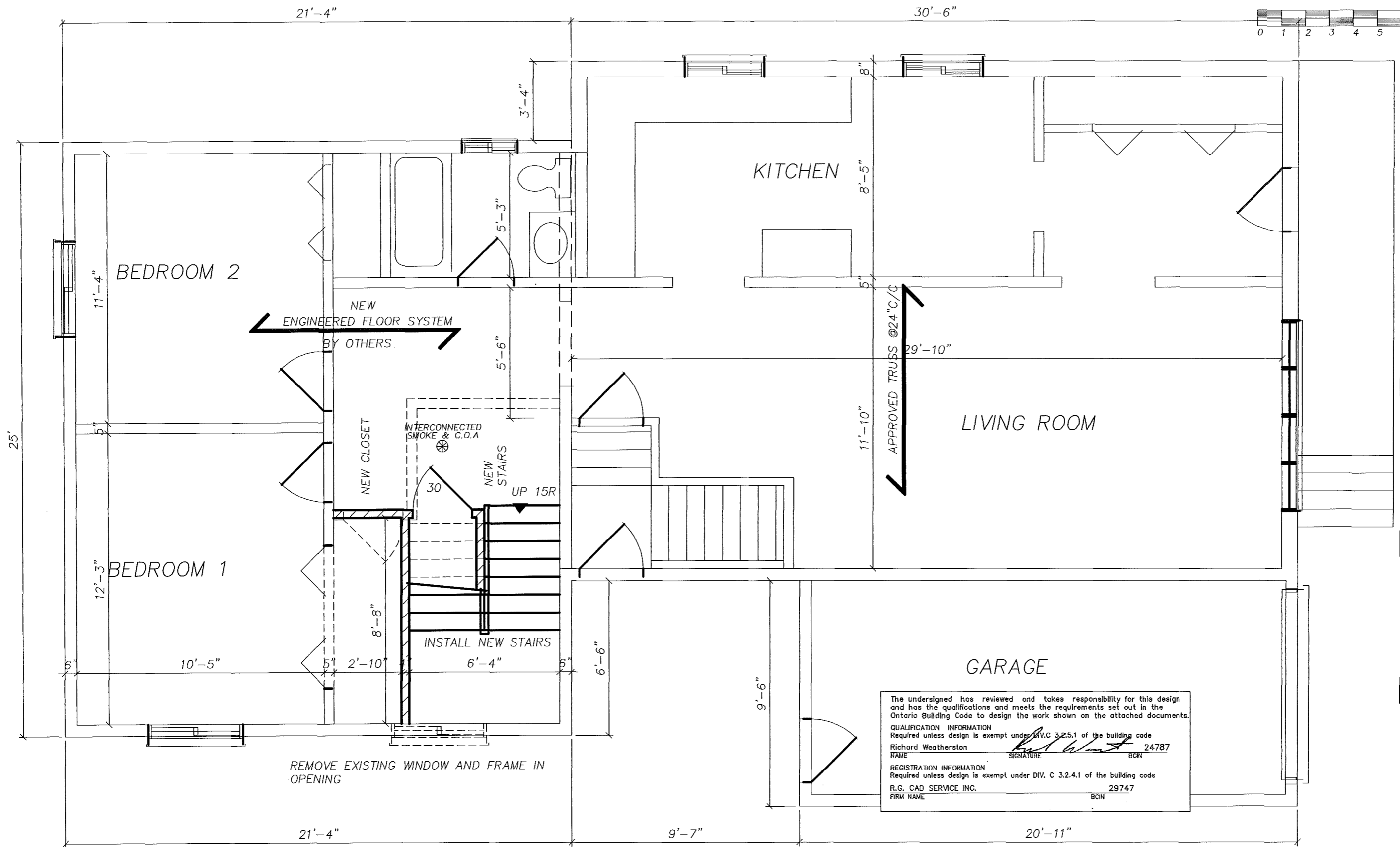
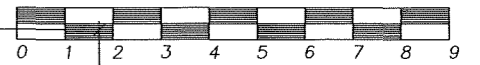
**R.G.CAD SERVICE INC.**  
228 GREEN RD. STONEY CREEK  
PHONE (905) 664-8061

**PROPOSED ADDITION/RENOVATION**  
**112 MANNING AVE**  
HAMILTON

# 4

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SCALE 1/4" = 1'-0"



# First Floor Plan

PROPOSED

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Richard Weatherston  
 NAME SIGNATURE BCIN 24787

REGISTRATION INFORMATION  
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R.G. CAD SERVICE INC.  
 FIRM NAME BCIN 29747

EXISTING FIRST FLOOR 1199 SQ.FT.

- NEW 2"x4"@16" STUD WALL
- EXISTING WALLS REMOVED

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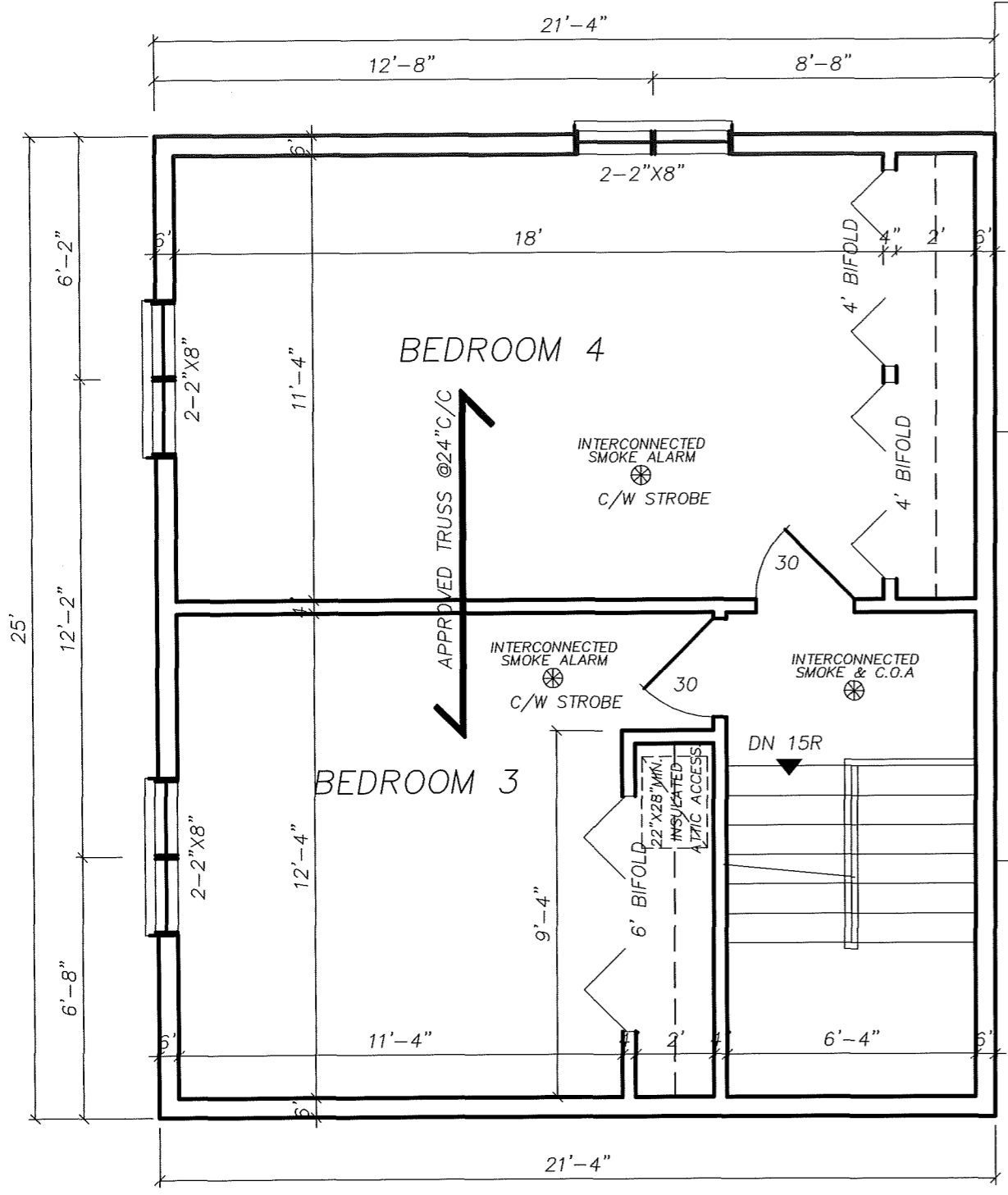
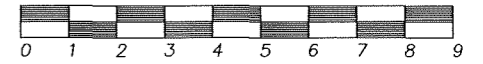
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**R.G.CAD SERVICE INC.**  
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PROPOSED ADDITION/RENOVATION  
**112 MANNING AVE**  
 HAMILTON

# 5

SCALE 1/4" = 1'-0"



533 SQ.FT.

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NAME SIGNATURE BCIN 24787

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R.G. CAD SERVICE INC. 29747  
FIRM NAME BCIN

# Second Floor Plan

PROPOSED

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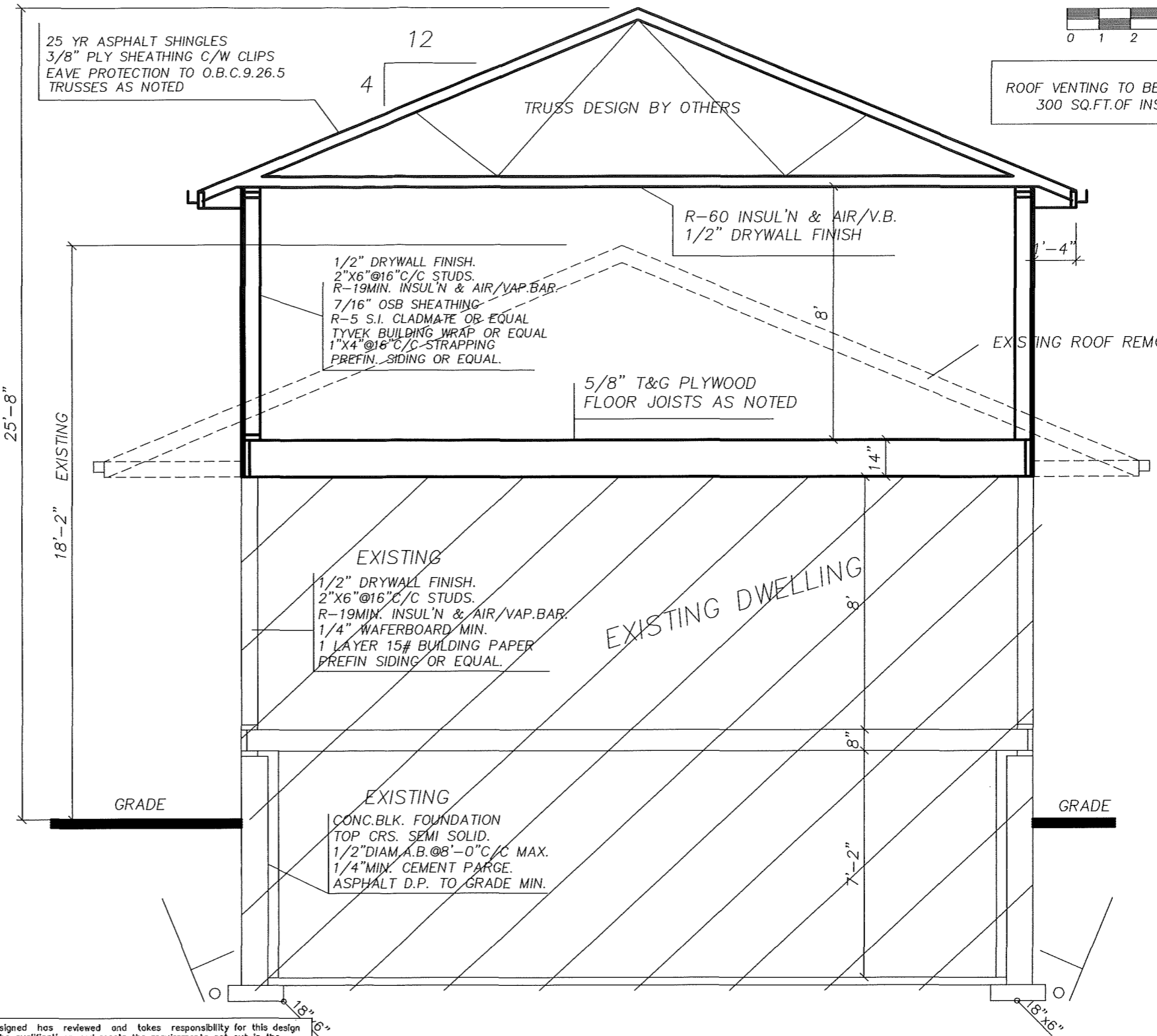
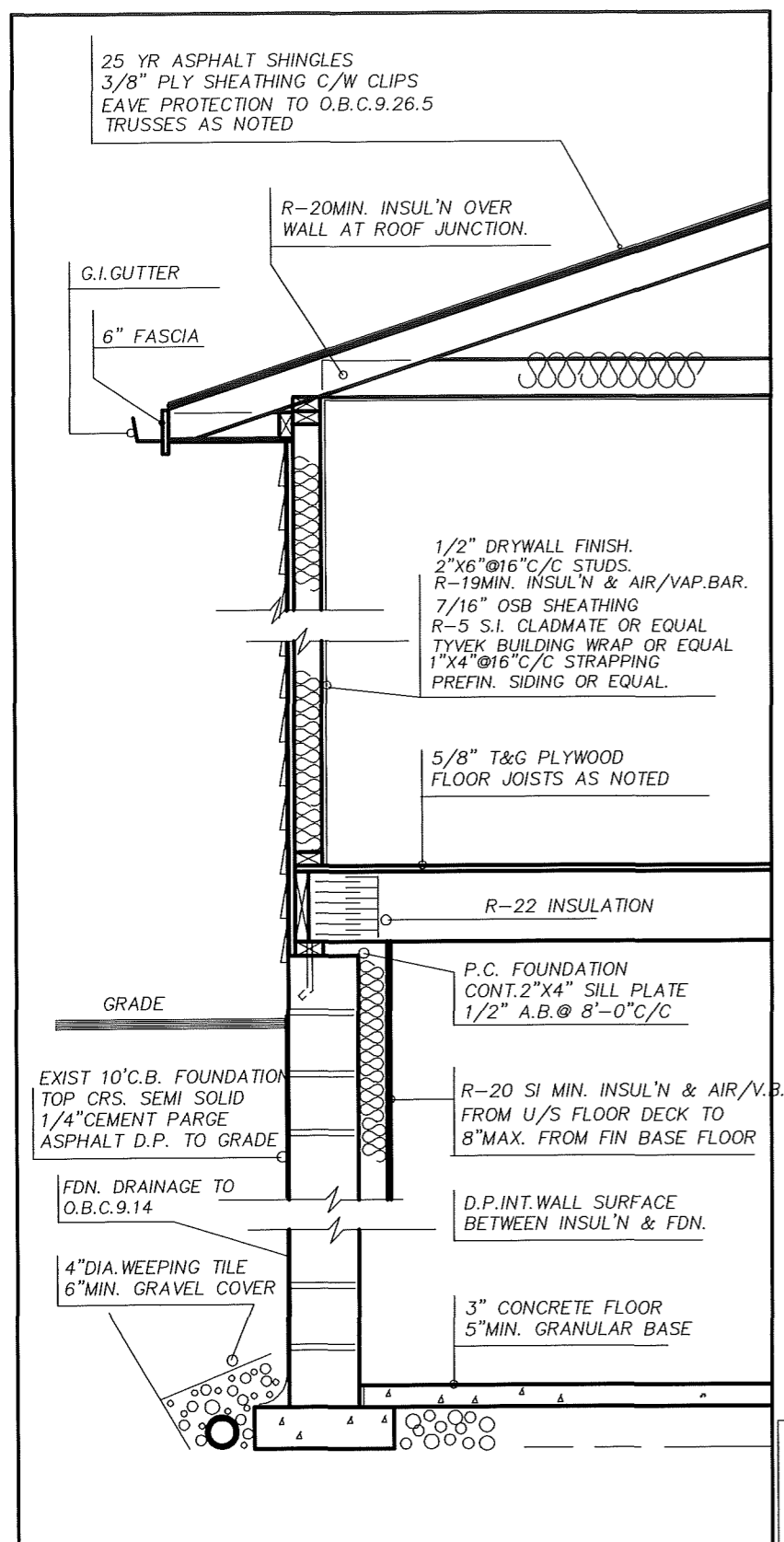
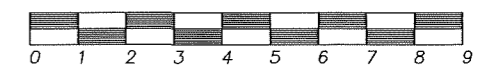
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228 GREEN RD. STONEY CREEK  
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PROPOSED ADDITION/RENOVATION  
**112 MANNING AVE**  
HAMILTON

# 6



SCALE 1/4" = 1'-0"



ROOF VENTING TO BE 1 SQ.FT. FOR EVERY 300 SQ.FT. OF INSULATED CEILING AREA.

# TYPICAL WALL SECTION & DETAILS

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NAME SIGNATURE BCIN

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R.G. CAD SERVICE INC. 29747  
FIRM NAME BCIN

# Section

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3666 SEPT. 2

**R.G.CAD SERVICE INC.**  
228 GREEN RD. STONEY CREEK  
PHONE (905) 664-8061

PROPOSED ADDITION/RENOVATION  
**112 MANNING AVE**  
HAMILTON

**7**

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER PRIOR TO COMMENCEMENT OF CONSTRUCTION.

## GENERAL NOTES

### FOOTINGS

1. ALL FOOTINGS TO CONFORM TO THE ONTARIO BUILDING CODE SECTION 9.15
2. ALL FOOTINGS TO BE 20MPa MIN AND BEAR ON SOUND UNDISTURBED SOIL CAPABLE OF SUSTAINING A SAFE BEARING CAPACITY OF 2500 PSF AT A DEPTH OF 4'-0" BELOW THE FINISHED GRADE ELEVATION. IF UPON EXCAVATING A LESSER SOIL BEARING CAPACITY IS ENCOUNTERED, THE ENGINEER IS TO BE NOTIFIED AND A NEW FOOTING DESIGN WILL BE PRODUCED.
3. ALL STEP FOOTINGS TO HAVE A MINIMUM OF 24" HORIZONTAL RUN AND A MAXIMUM VERTICAL STEP OF NOT MORE THAN 24".

### SLABS ON GRADE

1. SLABS-ON-GRADE TO CONFORM TO THE ONTARIO BUILDING CODE SECTION 9.16.
2. CONCRETE SLABS BELOW GRADE TO BE 3" THICK MINIMUM AND TO BEAR ON 4" GRANULAR FILL COMPACTED LEVEL WITH TOP OF FOOTINGS.
3. HABITABLE ROOMS LOCATED ON CONCRETE SLABS TO BE DAMPPROOFED WITH 6 MIL POLYETHYLENE.
4. CONCRETE SLABS AT GRADE ELEVATION TO BE A MINIMUM OF 4" THICK AND REINFORCED WITH 6 X 6 -6/8 WWF OR POLYPROPYLENE FIBRES.

### CONCRETE FOUNDATION WALLS

1. FOUNDATION WALLS TO CONFORM TO THE ONTARIO BUILDING CODE SECTION 9.15.4. AND BE A MIN OF 20MPa CONCRETE.
2. ALL CONCRETE WALLS TO BE A MINIMUM OF 8" THICK UNLESS NOTED OTHERWISE.
3. FOUNDATION WALLS TO EXTEND A MINIMUM OF 6" ABOVE FINISHED GRADE ELEVATION.
4. BASEMENT WINDOW WITH A WIDTH OF GREATER THAN 4'-0 TO BE REINFORCED WITH 2-10M BARS EXTENDING 12" ON EACH SIDE.
5. ALL FORM TIE HOLES TO BE FILLED AND SEALED TO OBC. 9.13.5.1.
6. APPLY A MINIMUM OF ONE HEAVY COAT OF BITUMINOUS OR OTHER APPLICATION OF DAMPROOFING TO GRADE LEVEL.
7. ANCHOR BOLTS FOR SILL PLATES TO BE 1/2" DIAMETER MINIMUM. GALVANIZED AND PLACED AT 7'-10" O.C. MAXIMUM.

### BASEMENT COLUMNS, BEAMS AND BEARING WALLS

1. STUD BEARING WALLS IN BASEMENTS SUPPORTING NOT MORE THAN 1 FLOOR TO BE A MINIMUM OF 2" X 4" AT 16" O.C. ON 4 MIL POLY VAPOUR BARRIER ON 1 COURSE OF HALF HEIGHT ASHLAR BLOCK AND ANCHORED AT 7'-10" O.C. MAXIMUM.
2. STUD BEARING WALLS IN BASEMENTS SUPPORTING 2 FLOORS TO BE A MINIMUM OF 2" X 4" AT 12" O.C. ON 4 MIL POLY VAPOUR BARRIER ON 1 COURSE OF HALF HEIGHT ASHLAR BLOCK AND ANCHORED AT 7'-10" O.C. MAXIMUM.
3. PIPE COLUMNS SUPPORTING 2 FLOORS TO HAVE A MINIMUM OUTSIDE DIAMETER OF 2-7/8 AND A MINIMUM WALL THICKNESS OF 3/16" WITH A 6" X 6" X 1/4" MINIMUM STEEL BEARING PLATE AT EACH END.
4. STEEL COLUMN TOP PLATES TO BE CONNECTED TO BEAM WITH 2-1/2" DIA. BOLTS MINIMUM OR WELDED TO BEAM FLANGES.
5. ALL STEEL BEAMS TO BE SHOP PRIMED WITH RED OXIDE PRIMER AND HAVE A MINIMUM END BEARING OF NOT LESS THAN 3-1/2".
6. ALL WOOD BEAMS TO CONFORM TO OBC 9.23.8.
7. WOOD BEAMS FRAMED INTO MASONRY OR CONCRETE AT OR BELOW GRADE LEVEL SHALL BE TREATED TO PREVENT DECAY, OR A 1/2" AIR SPACE SHALL BE PROVIDED AT THE REAR AND SIDES OF THE WOOD BEAM IN ACCORDANCE WITH OBC 9.23.2.2.

### ABOVE GRADE MASONRY VENEER

1. WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT INSTALLATION OF BRICK FACING THE BRICK AND CONCRETE BLOCK WALLS TO HAVE APPROVED METAL TIES AT 8" O.C. VERTICAL AND 2'-11" O.C. HORIZONTALLY WITH THE SPACE BETWEEN THE WYTHES SOLIDLY FILLED WITH MORTAR.
2. MAXIMUM CORBEL OVER FOUNDATION WALLS TO BE 1" WHERE MASONRY IS AT LEAST 3-1/2" THICK AND 1/2" WHERE MASONRY IS LESS THAN 3-1/2" THICK.
3. BRICK VENEER TIES TO BE GALVANIZED CORROSION RESISTANT CORRUGATED 22 GA X 7/8" WIDE SPACED IN ACCORDANCE WITH OBC. TABLE 9.20.9.A.
4. PROVIDE FLASHING IN ACCORDANCE WITH OBC SECTION 9.20.13. UNDER STARTER COURSE AND EXTENDED A MINIMUM OF 6" UP THE WALL AND UNDER THE BUILDING PAPER.
5. PROVIDE DRAINAGE WEEP HOLES IN BASE OF STARTER COURSE AT 32" O.C. AND AS INDICATED IN ACCORDANCE WITH OBC SECTION 9.20.13.9.
6. PROVIDE A MINIMUM OF 1" AIR SPACE BETWEEN THE BRICK VENEER AND THE WALL SHEATHING.

### WOOD FRAMING

1. ALL WOOD STRUCTURAL MEMBERS HAVE BEEN SELECTED BASED UPON USING NO.2 CONSTRUCTION GRADE SPRUCE UNLESS OTHERWISE NOTED.
2. INSTALL DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS.
3. INSTALL TRIPLE JOISTS UNDER ALL PARALLEL BEARING PARTITIONS UNLESS OTHERWISE NOTED.
4. ALL FLOOR JOISTS, ROOF JOISTS AND RAFTERS TO HAVE A MINIMUM END BEARING OF 1-1/2".
5. INSTALL METAL JOIST HANGERS FOR SUPPORT OF JOISTS FRAMED INTO SIDES OF WOOD BEAMS, TRIMMERS AND HEADERS WHEN REQUIRED.
6. INSTALL BRIDGING BETWEEN SUPPORTS AT INTERVALS OF NOT MORE THAN 6'-11" OR AS NOTED IN THE PLANS ALSO IN ACCORDANCE WITH OBC 9.23.9.4.
7. ALL HEADER JOISTS AROUND FLOOR OPENINGS TO BE DOUBLED WHEN THEY EXCEED 3'-11" IN LENGTH.
8. LOAD BEARING PARTITION WALLS AT RIGHT ANGLES TO THE FLOOR JOISTS TO BE LOCATED NOT MORE THAN 2'-11" FROM THE JOIST SUPPORT WHEN WALL DOES NOT SUPPORT A FLOOR AND NOT MORE THAN 2'-0" FROM THE JOIST SUPPORT IF IT SUPPORTS ANOTHER FLOOR.
9. STUD BEARING WALLS NOT SHEATHED ON AT LEAST ONE SIDE SHALL HAVE MID HEIGHT BLOCKING OR EQUAL LATERAL SUPPORT.

### INSULATION AND VAPOUR BARRIERS

1. THE UPPER PART OF FOUNDATION WALLS ENCLOSING A HEATED AREA SHALL BE INSULATED FROM UNDERSIDE OF THE SUB FLOOR TO NOT MORE THAN 8" FROM BASEMENT FINISHED FLOOR AND PROTECTED WITH A MOISTURE BARRIER AND/OR VAPOUR BARRIER.
2. PROVIDE RIGID PERIMETER INSULATION FOR CONCRETE SLABS ON GRADE WHICH FORM HABITABLE AREAS.
3. MASONRY WALLS OF HOLLOW UNITS WHICH PENETRATE THROUGH THE CEILING SHALL BE CAPPED WITH SOLID MASONRY UNITS OR BE SEALED WITH FLASHING MATERIAL WHICH EXTENDS ACROSS THE FULL WIDTH OF THE MASONRY AT OR NEAR THE CEILING OR ROOF SPACE TO PREVENT MOISTURE WITHIN THE VOIDS FROM ENTERING THE ROOF SPACE.
4. DUCTWORK IN ATTICS OR ROOF SPACES SHALL HAVE ALL JOINTS TAPED OR BE OTHERWISE SEALED TO ENSURE THEY ARE AIRTIGHT THROUGHOUT THEIR LENGTH.

### ROOF CONSTRUCTION

1. HIP AND VALLEY RAFTERS TO BE NOT LESS THAN 2" GREATER IN DEPTH THAN THE COMMON RAFTERS AND NOT LESS THAN 1 1/2" THICK.
2. ATTIC ACCESS HATCHES TO BE 22" X 28" MINIMUM WITH BUILT UP SIDES OF 5/8" PLYWOOD WHERE LOOSE INSULATION IS TO BE USED. HATCH COVER IS TO BE INSULATED AND WEATHERSTRIPPED OVER HEATED AREAS.
3. PROVIDE TYPE S ROLL ROOFING EAVE PROTECTION FROM THE EDGE OF THE ROOF FOR A DISTANCE OF NOT LESS THAN 12" BEYOND THE INTERNAL FACE OF THE EXTERIOR WALLS.
4. ROOF AND CEILING FRAMING TO BE DOUBLED ON EACH SIDE OF OPENING GREATER THAN 2 RAFTERS OR JOIST SPACING IN WIDTH.

### FLASHING

1. FLASHING BETWEEN ROOF SHINGLES AND WALL SIDING TO EXTEND 3" UP BEHIND SIDING AND 4" HORIZONTALLY.
2. FLASHING REQUIRED AT INTERSECTIONS OF ROOF AND WALLS, VALLEYS AND OVER PARAPET WALLS.
3. FLASH AROUND ALL CHIMNEYS AND PROVIDE CHIMNEY SADDLES ON ALL CHIMNEYS WHERE THE WIDTH EXCEEDS 2'-6".
4. FLASHING IS REQUIRED UNDER ALL MASONRY, WINDOW SILLS AND HEADS OF OPENINGS AND SHALL EXTEND FROM THE FRONT EDGE OF THE MASONRY UP BEHIND THE SILL OR LINTEL.

### NATURAL VENTILATION

1. ROOF SPACES OR ATTICS SHALL BE VENTILATED IN ACCORDANCE WITH OBC SECTION 9.19.1 WITH OPENINGS TO THE EXTERIOR HAVING A TOTAL UNOBSTRUCTED AREA OF NOT LESS THAN 1/300 OF THE INSULATED CEILING AREA OF WHICH 50% IS LOCATED IN THE SOFFITS SO AS TO PROVIDE EFFECTIVE AIR CIRCULATION.
2. INSULATION SHALL BE INSTALLED IN MANNER WHICH WILL NOT REDUCE THE FLOW OF AIR THROUGH THE VENTS OR THROUGH ANY PORTION OF THE ROOF SPACE OR ATTIC.
3. MAINTAIN R20 MINIMUM INSULATION AT ROOF AND WALL JUNCTIONS NEAR EAVES.
4. PROVIDE FIBREGLASS VENT PANELS IN ATTIC NEAR WALL/SOFFIT AT EAVES TO ENSURE AIR FLOW.

### STAIRS AND HANDRAILS

1. EXCEPT TO AREAS USED ONLY AS SERVICE ROOMS, ALL STAIRS SERVING DWELLING UNITS SHALL HAVE A MAXIMUM RISE OF 7-7/8", A MINIMUM RUN OF 8-1/4" AND WITH A MINIMUM TREAD WIDTH OF 9-1/4".
2. HEADROOM FOR STAIRS WITHIN DWELLING UNITS TO BE 6'-5" MINIMUM MEASURED VERTICALLY FROM A LINE DRAWN THROUGH THE FRONT OF THE NOSING.
3. HANDRAILS ARE NOT REQUIRED FOR STAIRS WITHIN A DWELLING UNIT THAT HAS FEWER THAN 3 RISERS.
4. HANDRAILS SHALL BE INSTALLED ON AT LEAST ONE SIDE OF ALL STAIRS LESS THAN 3'-7" IN WIDTH AND SHALL BE 32" TO 36" ABOVE A LINE DRAWN THROUGH THE NOSING.
5. EXTERIOR STAIRS WITH 3 OR MORE RISERS REQUIRED A HANDRAIL ON AT LEAST ONE SIDE.
6. CURVED STAIRS, IF UNSPECIFIED SHALL HAVE A MINIMUM RUN OF 5-7/8" WITH AN AVERAGE RUN OF NOT LESS THAN 7-7/8".

### WINDOWS AND DOORS

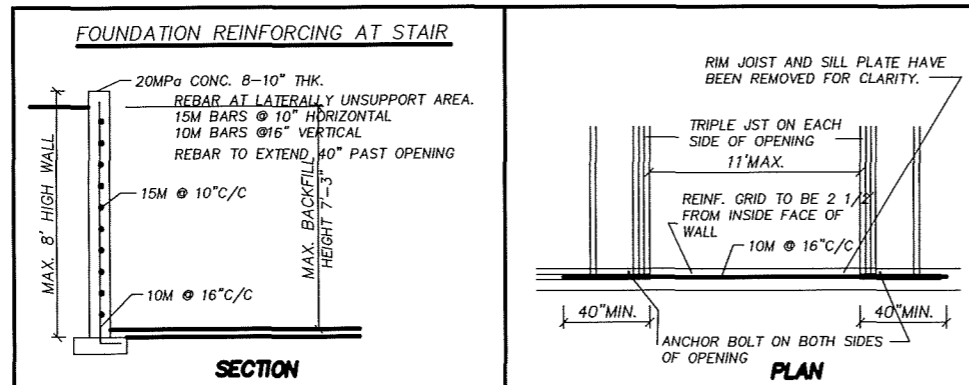
1. WINDOW TO HAVE 10% GLASS AREA OF THE FLOOR AREA SERVED IN LIVING ROOMS, DINNING ROOMS AND KITCHENS.
2. WINDOWS TO HAVE 5% MINIMUM GLASS AREA OF THE FLOOR SERVED IN BEDROOM AREAS.
3. HABITABLE ROOMS SHALL HAVE A MINIMUM OF 3 SQUARE FEET OPENING AREA TO PROVIDE NATURAL VENTILATION.
4. ALL WINDOWS AND SLIDING GLASS DOORS TO HAVE DOUBLE GLAZING, THERMAL GLAZING OR BE EQUIPPED WITH STORM DOORS.
5. EXTERIOR DOORS TO HAVE A THERMAL RESISTANCE OF R7 MINIMUM IF NO STORM DOORS ARE PROVIDED.

### MISCELLANEOUS

1. WHERE A GARDEN HOSE BIB IS INSTALLED IN A POTABLE WATER SYSTEM TO SUPPLY A 1/2" OR 3/4" HOSE. THE BIB SHALL CONTAIN AN INTEGRATED BACK SIPHONAGE PREVENTOR.
2. CLASS "B" GAS VENTS MUST BE INSTALLED WITH REQUIRED CLEARANCES FROM ALL COMBUSTABLE MATERIALS IN ACCORDANCE WITH THE O.B.C.
3. THE DESIGNER TAKES NO RESPONSIBILITY UNTIL HE HAS SIGNED THE (SCHEDULE 1) DESIGNER'S INFORMATION SHEET FOR THAT SPECIFIED LOT. THIS TAKES EFFECT ON JAN. 1 2006 AS NOTED IN BILL 124.
4. ALL TRUSS DESIGN TO BE SELF SUPPORTED ON EXTERIOR WALLS UNLESS DISCUSSED WITH DESIGNER PRIOR TO PERMIT APPLICATION.
5. TRIPLE STUDS UNDER ALL GIRDER TRUSS AND ROOF POINT LOADS.

STUD WALLS IN THE MAIN BATHROOM SHALL BE REINFORCED TO PERMIT FUTURE INSTALLATION OF GRAB BARS ADJACENT TO WATER CLOSET AND TUB AS INDICATED IN CLAUSE 3.8.3.1(d) AND 3.8.3.13.1(f).

NOTE: ANY INFORMATION NOT SHOWN ON THESE DRAWINGS SHALL COMPLY TO DIVISION C SECTION 9 OF THE ONTARIO BUILDING CODE.



The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

QUALIFICATION INFORMATION  
 Required unless design is exempt under Div. C 3.2.5.1 of the building code  
 Richard Weatherston 24787  
 NAME SIGNATURE BCK

REGISTRATION INFORMATION  
 Required unless design is exempt under Div. C 3.2.4.1 of the building code  
 R.G. CAD SERVICE INC. 29747  
 FIRM NAME BCK

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER PRIOR TO COMMENCEMENT OF CONSTRUCTION.

12.03m

Property Line



Proposed Overhang  
40.64cm Typical

Lot Area = 460.98 sq/m  
Existing Gross Floor Area = 111.39 sq/m  
Existing Lot Coverage = 24.16 %  
Proposed Addition Floor Area = 49.52 sq/m  
Proposed Gross Floor Area = 160.90 sq/m  
Proposed Lot Coverage = 24.16% (Unchanged)

38.30m

Property Line

38.35m

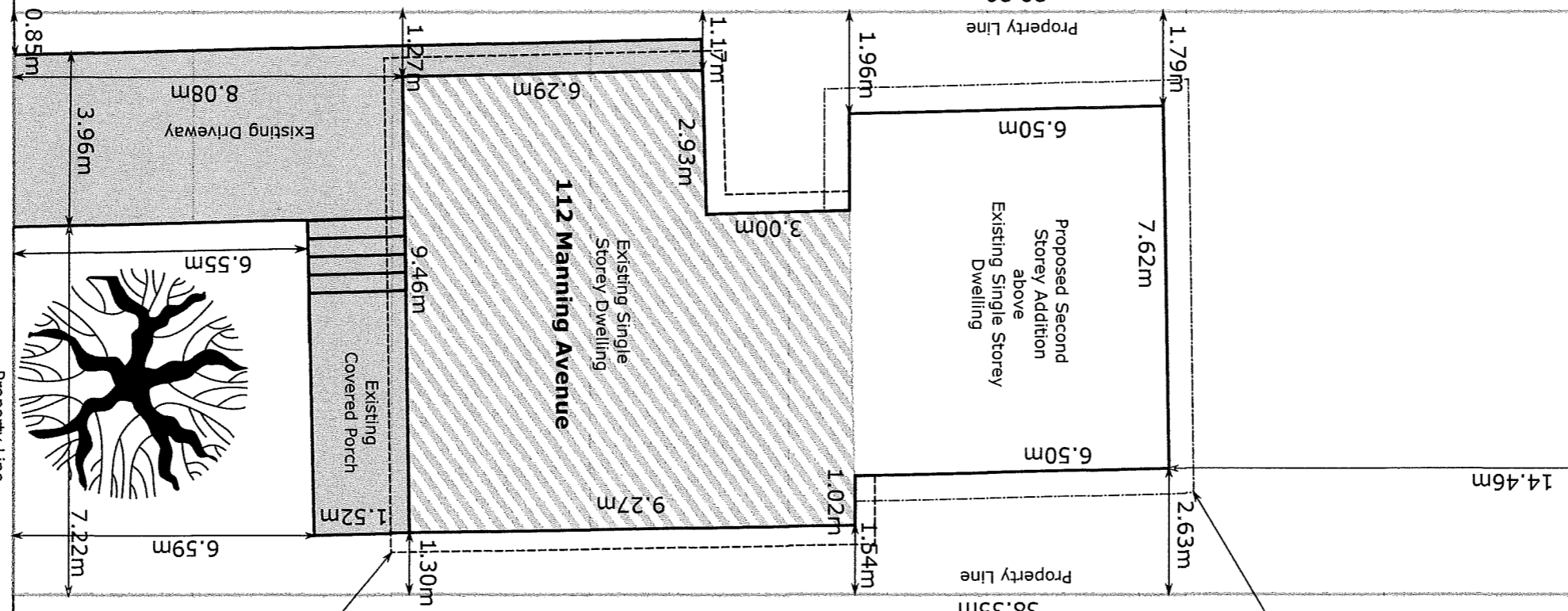
Property Line

114 Manning

106 Manning

Total Area of Front Yard = 87.31 sq/m  
Total Area of Front Yard Landscaping = 55.30 sq/m  
Percent of Front Yard Landscaping = 63.34%  
Percent of Front Yard Driveway = 36.66%

Existing Overhang  
30.48cm Typical



### MANNING AVENUE

12.03m Property Line

All measurements in Metric

DATE

Jan 12, 2022

# SITE PLAN



**Committee of Adjustment**  
 City Hall, 5<sup>th</sup> Floor,  
 71 Main St. W.,  
 Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221  
 Email: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

### APPLICATION FOR A MINOR VARIANCE

<b>FOR OFFICE USE ONLY.</b>	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

**The Planning Act**

**Application for Minor Variance or for Permission**

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS
Registered Owners(s)		
Applicant(s)*		
Agent or Solicitor		

**Note:** Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

BMO LIMERIDGE MALL,  
 999 UPPER WENTWORTH STREET  
 HAMILTON  
 ONTARIO

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for: BUILDING 2 ROOMS IN ATTIC

Secondary Dwelling Unit       Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

THIS IS A SINGLE FAMILY HOME

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

~~LOT # 196~~, REGISTERED PLAN # 196, LOT # 79  
112 MANWING AVE, HAMILTON, ONTARIO, L9A 3E9  
1 STOREY DWELLING, STONE AND ALUMINUM SIDING.

7. PREVIOUS USE OF PROPERTY

Residential       Industrial       Commercial

Agricultural       Vacant       Other

Other \_\_\_\_\_

8.1 If Industrial or Commercial, specify use \_\_\_\_\_

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes       No       Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes       No       Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes       No       Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes       No       Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes       No       Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes       No       Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes       No       Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes       No       Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes  No  Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

HAVE LIVED HERE FOR 27 YEARS

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes  No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

Jan 10, 2022  
Date

*[Signature]*  
Signature Property Owner(s)

JOHN BURNS  
Print Name of Owner(s)

10. Dimensions of lands affected:  
Frontage 28.50' WIDTH 39' 5 3/4"  
Depth 125' x 10 1/4"  
Area 4,886 sq/500  
Width of street \_\_\_\_\_

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: ~~NO~~ 1/2 STOREY RESIDENTIAL BLDG  
SINGLE STOREY DWELLING  
NO POOL

Proposed  
ATTIC ADDITION OF 2 ROOMS

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing: FRONT 28.50'  
NORTH SIDE 5.94'  
SOUTH SIDE 5.87'  
REAR 45'

Proposed: NO CHANGE IN FOOTPRINT  
CREAT 2 ROOMS IN ATTIC.

13. Date of acquisition of subject lands:  
2005
14. Date of construction of all buildings and structures on subject lands:  
PLAN DATED 1986
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):  
SINGLE FAMILY
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):  
SINGLE FAMILY UNITS
17. Length of time the existing uses of the subject property have continued:
18. Municipal services available: (check the appropriate space or spaces)
- |                |                                     |           |                                     |
|----------------|-------------------------------------|-----------|-------------------------------------|
| Water          | <input checked="" type="checkbox"/> | Connected | <input checked="" type="checkbox"/> |
| Sanitary Sewer | <input checked="" type="checkbox"/> | Connected | <input checked="" type="checkbox"/> |
| Storm Sewers   | <input checked="" type="checkbox"/> |           |                                     |
19. Present Official Plan/Secondary Plan provisions applying to the land:
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
21. Has the owner previously applied for relief in respect of the subject property?  
 Yes  No   
 If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?  
 Yes  No
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.