



NOTICE OF PUBLIC HEARING Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: AN/A-22:80

APPLICANTS: Owners J. & J. Forbes

SUBJECT PROPERTY: Municipal address **192 Golf Links Rd., Ancaster**

ZONING BY-LAW: Zoning By-law 87-57, as Amended

ZONING: "R3" (Residential 3) district

PROPOSAL: To permit the expansion of an existing garage to provide one (1) additional parking space notwithstanding that:

1. A front yard setback of 1.3m shall be provided instead of the minimum required 7.5m front yard setback

This application will be heard by the Committee as shown below:

DATE: Thursday, April 28th, 2022
TIME: 1:45 p.m.
PLACE: Via video link or call in (see attached sheet for details)
 To be streamed at
www.hamilton.ca/committeeofadjustment
 for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: April 12th, 2022.

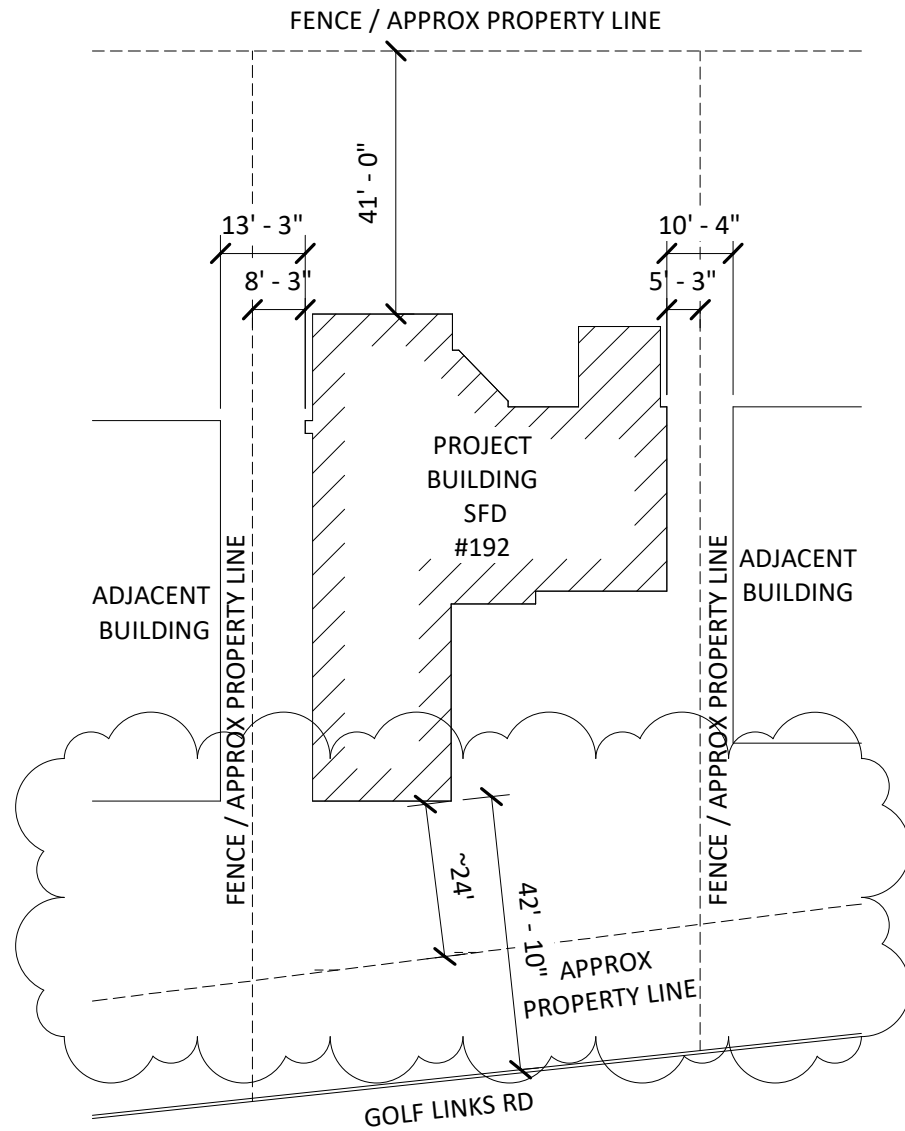
Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

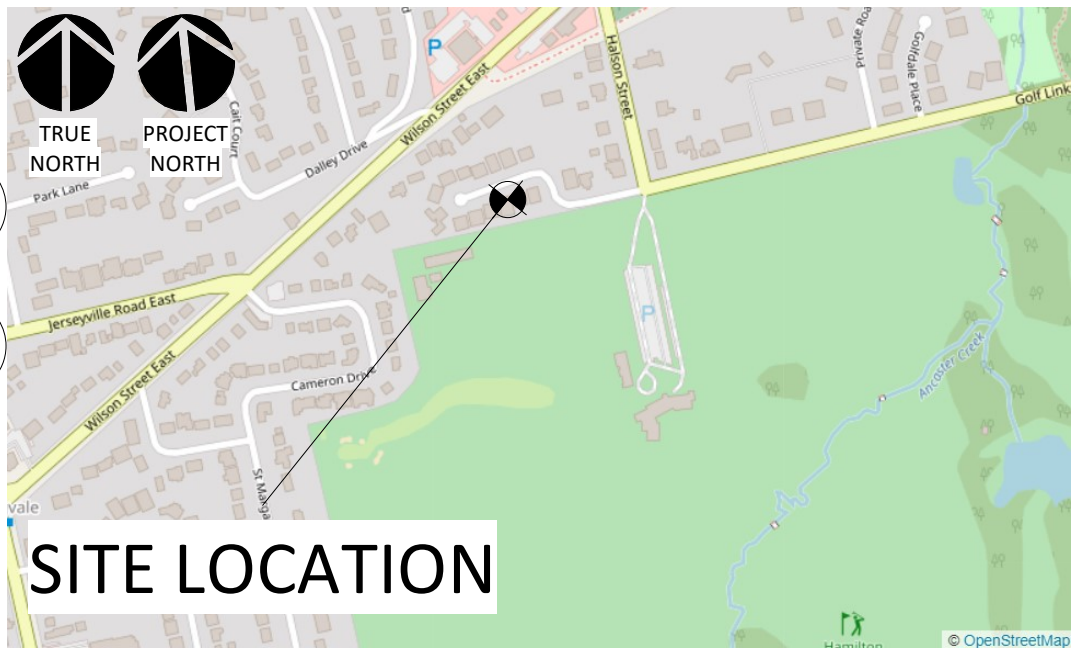


PROJECT
NORTH

RENOVATION 192 GOLF LINKS RD, ANCASTER



SITE PLAN NOTES
MEASUREMENTS WERE OBTAINED ON-SITE AND MAY NOT
REFLECT LEGAL BOUNDARIES



2 LOCATION MAP
NTS

SHEET LIST		
SHEET NUMBER	SHEET NAME	SEQUENCE
0.01	TITLE SHEET	SP0.01
0.02	PROJECT NOTES	A0.01
1.12	EXISTING PLANS	A1.02
1.13	EXISTING PLANS	A1.03
1.21	EXISTING ELEVATIONS	A2.01
1.31	EXISTING SCHEDULES	A3.01
3.01	SCOPE OF RENOVATION	A1.09
3.11	RENOVATION PLANS	S1.01
3.12A	RENOVATION PLANS	A1.12
3.12S	RENOVATION PLANS	S1.02
3.13	RENOVATION PLANS	A1.14
3.21	RENOVATION ELEVATIONS	A2.03
3.31	RENOVATION SCHEDULES	A3.04
3.41	RENOVATION SECTIONS AND DETAILS	A3.01
8.01	GENERAL NOTES	A0.03
8.02	GENERAL NOTES	A0.04
8.03	GENERAL NOTES	A0.05
8.04	GENERAL NOTES	A0.06

INTENTIONAL BLANK SPACE PER HAMILTON BUILDING

1 SITE PLAN
1" = 30'-0"



PHONE: 905.436.5758 | EMAIL: ELEMENT@ELEMENTFE.CA
BURLINGTON | CAMBRIDGE | OSHAWA

-ALL DRAWINGS AND RELATED DOCUMENTS ARE COPYRIGHT PROPERTY. THEY MAY NOT BE REPRODUCED, ALTERED OR REUSED WITHOUT THE EXPRESSED WRITTEN CONSENT OF ELEMENT FORENSIC ENGINEERING.
 -CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME, REPORTING ANY DISCREPANCIES TO ELEMENT FORENSIC ENGINEERING PRIOR TO COMMENCEMENT OF WORK.
 -LATEST APPROVED DRAWINGS GOVERN CONSTRUCTION.
 -DO NOT SCALE DRAWINGS.



DRAWINGS ARE SEALED FOR DESIGN PERTAINING THE RESTORATION OF LOSS RELATED DAMAGE AND ANY NOTED ALTERATION FROM THE AS-BUILT CONDITION. ELEMENT FORENSIC ENGINEERING HAS NOT CONDUCTED A DETAILED REVIEW OR REVERSE ENGINEERING ANALYSIS OF THE BUILDING FOR CONFORMITY WITH THE ONTARIO BUILDING CODE NOR THE LOCAL MUNICIPAL BYLAWS. AS A RESULT CANNOT BE HELD LIABLE OR RESPONSIBLE FOR THIS INFORMATION.

REV.	DATE	DESCRIPTION
1	NOV 13/20	ISSUED FOR PERMIT
2	JAN 26/22	REVISION 1

ADDRESS 192 GOLF LINKS RD, ANCASTER, ON	FILE 2010-2802-RX
CLIENT JIM FORBES	SEQUENCE 0.01
TITLE TITLE SHEET	SHEET SP0.01

SCOPE OF RENOVATION.

SUPPLY AND INSTALL THE ADDITION, IN CONFORMANCE WITH THE BELOW DESCRIPTION AND RENOVATION DRAWINGS.

NEW SHINGLES SHALL MATCH EXISTING. SUPPLY AND INSTALL EAVE PROTECTION AT THE BASE OF THE ROOF ASSEMBLY.

INSTALL AN ATTIC HATCH.

REMOVE AND SAVE FOR POTENTIAL REUSE ANY EXTERIOR FINISHES (WHERE ECONOMICALLY VIABLE), INCLUDING EAVES TROUGHS, CLADDINGS, DOWNSPOUTS, FLASHING, SOFFITS, FASCIA, TRIM AND ROOF VENTS AS REQUIRED TO FACILITATE THE INSTALLATION OF THE ADDITION. SUPPLY AND INSTALL EXTERIOR FINISHES (RE-USE OF EXISTING AND NEW, AS REQUIRED/NECESSARY), INCLUDING CLADDING, EAVES TROUGHS, DOWNSPOUTS, FLASHING, SOFFITS, FACIA AND TRIM AT THE ADDITION TO MATCH EXISTING.

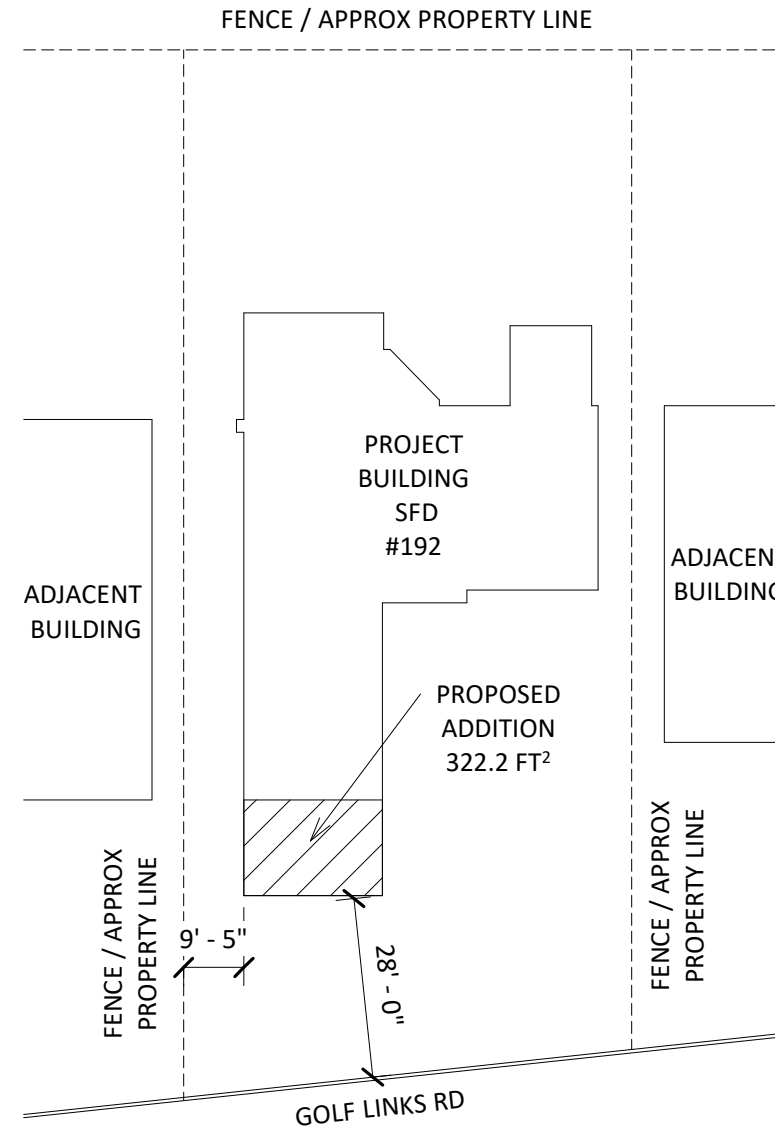
REMOVE AND REPLACE ANY INTERIOR FINISHES, INCLUDING GYPSUM WALL BOARD AS REQUIRED TO FACILITATE THE INSTALLATION OF THE ADDITION, DETACH AND RESET INTERIOR FINISHES (WHERE ECONOMICALLY VIABLE).

CONTRACTOR TO COORDINATE TOP OF WALL TO ENABLE SMOOTH TRANSITION BETWEEN NEW ROOF PITCH AND EXISTING.

SUPPLY AND INSTALL FLASHING, AS NECESSARY, AT TRANSITION BETWEEN NEW AND EXISTING BUILDING, IN CONFORMANCE WITH THE OBC.

REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION AND DETAILS.

SEE ADDITIONAL, LOCATION SPECIFIC, COMPONENTS OF THE SCOPE OF WORK ON THE RENOVATION PLANS.



SITE PLAN NOTES
MEASUREMENTS WERE OBTAINED ON-SITE AND MAY NOT REFLECT LEGAL BOUNDARIES

INTENTIONAL BLANK SPACE PER HAMILTON BUILDING

1 SITE PLAN - RENOVATION
1" = 30'-0"



-ALL DRAWINGS AND RELATED DOCUMENTS ARE COPYRIGHT PROPERTY. THEY MAY NOT BE REPRODUCED, ALTERED OR REUSED WITHOUT THE EXPRESSED WRITTEN CONSENT OF ELEMENT FORENSIC ENGINEERING.
-CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME, REPORTING ANY DISCREPANCIES TO ELEMENT FORENSIC ENGINEERING PRIOR TO COMMENCEMENT OF WORK.
-LATEST APPROVED DRAWINGS GOVERN CONSTRUCTION.
-DO NOT SCALE DRAWINGS.



DRAWINGS ARE SEALED FOR DESIGN PERTAINING THE RESTORATION OF LOSS RELATED DAMAGE AND ANY NOTED ALTERATION FROM THE AS-BUILT CONDITION. ELEMENT FORENSIC ENGINEERING HAS NOT CONDUCTED A DETAILED REVIEW OR REVERSE ENGINEERING ANALYSIS OF THE BUILDING FOR CONFORMITY WITH THE ONTARIO BUILDING CODE NOR THE LOCAL MUNICIPAL BYLAWS. AS A RESULT CANNOT BE HELD LIABLE OR RESPONSIBLE FOR THIS INFORMATION.

REV.	DATE	DESCRIPTION
1	NOV 13/20	ISSUED FOR PERMIT

ADDRESS 192 GOLF LINKS RD, ANCASTER, ON	FILE 2010-2802-RX
CLIENT JIM FORBES	SEQUENCE 3.01
TITLE SCOPE OF RENOVATION	SHEET A1.09

PHONE: 905.436.5758 | EMAIL: ELEMENT@ELEMENTFE.CA
BURLINGTON | CAMBRIDGE | OSHAWA

PROJECT NOTES

PRIOR TO THE COMMENCEMENT OF ANY WORK, THE CONTRACTOR SHALL READ AND BECOME FAMILIAR WITH THE BUILDING PERMIT RESTORATION DOCUMENTATION, INCLUSIVE OF ANY DRAWINGS AND REPORTS. ANY DEVIATION FROM THE BUILDING PERMIT RESTORATION DOCUMENTS MUST BE FIRST APPROVED, IN WRITING, BY ELEMENT FORENSIC ENGINEERING.

BASED ON A REVIEW OF THE BUILDING AREA, HEIGHT, AND USE, IT IS ASSUMED THE BUILDING WAS ORIGINALLY CONSTRUCTED UNDER PART 9 OF THE OBC. THE RENOVATION WILL NOT INCREASE THE HEIGHT OF THE BUILDING NOR WILL IT CHANGE THE USE.

REFERENCES TO THE OBC SHALL BE TAKEN FROM THE MOST CURRENT EDITION OF THE OBC AT THE TIME OF BUILDING PERMIT ISSUANCE.

IN CONFORMANCE WITH PART 11 OF THE OBC, SECTION 11.3, WHERE THE EXISTING WALLS, FLOOR, OR ROOF ASSEMBLIES ARE NOT SUBSTANTIALLY REMOVED, THE NEW ELEMENTS SHALL MEET OR EXCEED THE ORIGINAL PERFORMANCE LEVEL. WHERE THE EXISTING WALL, FLOORS, OR ROOF ASSEMBLIES ARE SUBSTANTIALLY REMOVED, THE NEW STRUCTURAL AND FIRE-RESISTANCE ELEMENTS OF THE REPLACEMENT WALLS, FLOORS, OR ROOF ASSEMBLIES SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE REQUIREMENTS OF PART 9, THE REMAINDER OF THE NEW ELEMENTS SHALL MEET OR EXCEED THE ORIGINAL PERFORMANCE LEVEL.

ALL WORK SHALL BE COMPLETED BY A COMPETENT WORKER WHO IS QUALIFIED BECAUSE OF KNOWLEDGE, TRAINING, AND EXPERIENCE TO PERFORM THE WORK, AND IS FAMILIAR WITH THE ONTARIO BUILDING CODE, MUNICIPAL BY-LAWS, AND WITH THE PROVISIONS OF ALL GOVERNING REGULATIONS AND STANDARDS THAT APPLY TO THE WORK. ELEMENT FORENSIC ENGINEERING IS NOT RESPONSIBLE FOR THE CONTRACTOR, SUPPLIERS, OR SUB-TRADES, INCLUDING BUT NOT LIMITED TO NEGLIGENCE AND ERRORS.

ALL WORK SHALL BE IN CONFORMANCE WITH THE OBC AND APPLICABLE CSA STANDARDS. WHERE THE DRAWINGS DEVIATE FROM THE OBC AND APPLICABLE STANDARDS, THE MORE STRINGENT SHALL GOVERN. ALL SPECIFIED AND PROPRIETARY PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.

ANY AMBIGUITY OR CONFLICT IN THE DRAWINGS SHALL BE IMMEDIATELY REPORTED TO ELEMENT FORENSIC ENGINEERING FOR DIRECTION.

SUBMIT ALL SHOP DRAWINGS FOR SHORING AND EXTERNALLY ENGINEERED AND PROPRIETARY COMPONENTS TO ELEMENT FORENSIC ENGINEERING FOR COMMENT PRIOR TO FABRICATION.

SHOULD IT BE UNCOVERED THAT THE AS-BUILT CONSTRUCTION DEVIATES FROM THE REFERENCED ORIGINAL CONSTRUCTION DRAWINGS, PROMPTLY, AND PRIOR TO PROCEEDING WITH THE REPAIRS, CONTACT ELEMENT FORENSIC ENGINEERING FOR DIRECTION.

ALL CONSTRUCTION-RELATED ACTIVITIES AND ACCESS TO THE SITE SHALL BE COMPLETED IN CONFORMANCE WITH THE OHSA.

ONTARIO BUILDING CODE DATA MATRIX, PART 11 – RENOVATION OF EXISTING BUILDING			BUILDING CODE REFERENCE
11.1	EXISTING BUILDING CLASSIFICATION:	DESCRIBE EXISTING USE: _____ CONSTRUCTION INDEX: _____ HAZARD INDEX: _____ IMPORTANCE CATEGORY : _____ <input checked="" type="checkbox"/> NOT APPLICABLE (NO CHANGE OF MAJOR OCCUPANCY)	11.2.1 T 11.2.1.1A T 11.2.1.1B to N 4.2.1.(3) & 5.2.2.1.(2)
11.2	ALTERATION TO EXISTING BUILDING IS:	<input type="checkbox"/> BASIC RENOVATION <input checked="" type="checkbox"/> EXTENSIVE RENOVATION	11.3.3.1 11.3.3.2
11.3	REDUCTION IN PERFORMANCE LEVEL:	STRUCTURAL: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES BY INCREASE IN OCCUPANT LOAD: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES BY CHANGE OF MAJOR OCCUPANCY: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES PLUMBING: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES SEWAGE-SYSTEM: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	11.4.2 11.4.2.1 11.4.2.2 11.4.2.3 11.4.2.4 11.4.2.5
11.4	COMPENSATING CONSTRUCTION:	STRUCTURAL: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) INCREASE IN OCCUPANT LOAD: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) CHANGE OF MAJOR OCCUPANCY: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) PLUMBING: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) SEWAGE SYSTEM: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN)	11.4.3 11.4.3.2 11.4.3.3 11.4.3.4 11.4.3.5 11.4.3.6
11.5	COMPLIANCE ALTERNATIVES PROPOSED:	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (GIVE NUMBER(S))	11.5.1

INTENTIONAL BLANK SPACE PER HAMILTON BUILDING



PHONE: 905.436.5758 | EMAIL: ELEMENT@ELEMENTFE.CA
BURLINGTON | CAMBRIDGE | OSHAWA

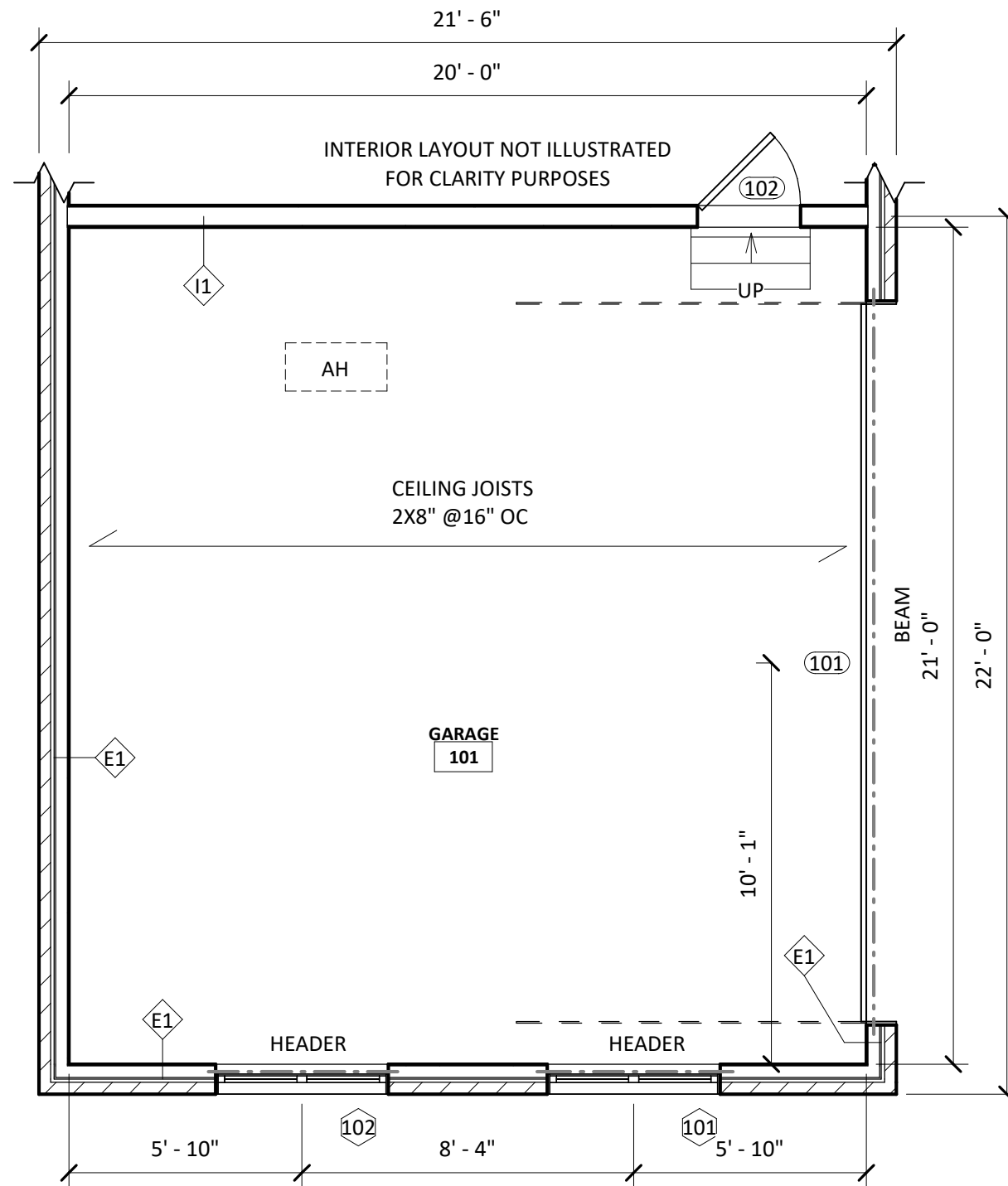
-ALL DRAWINGS AND RELATED DOCUMENTS ARE COPYRIGHT PROPERTY. THEY MAY NOT BE REPRODUCED, ALTERED OR REUSED WITHOUT THE EXPRESSED WRITTEN CONSENT OF ELEMENT FORENSIC ENGINEERING.
 -CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME, REPORTING ANY DISCREPANCIES TO ELEMENT FORENSIC ENGINEERING PRIOR TO COMMENCEMENT OF WORK.
 -LATEST APPROVED DRAWINGS GOVERN CONSTRUCTION.
 -DO NOT SCALE DRAWINGS.



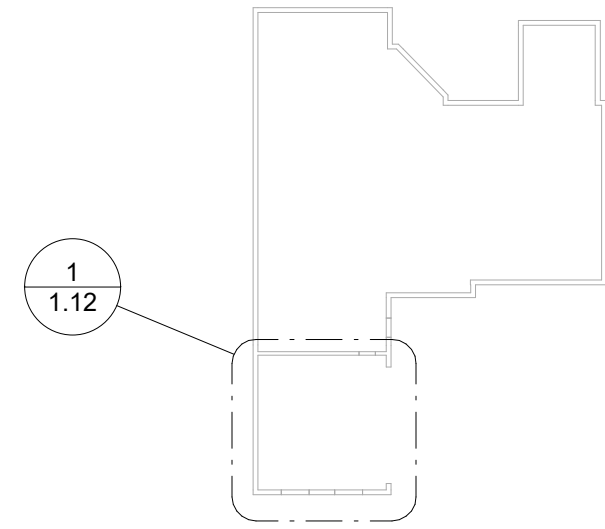
DRAWINGS ARE SEALED FOR DESIGN PERTAINING THE RESTORATION OF LOSS RELATED DAMAGE AND ANY NOTED ALTERATION FROM THE AS-BUILT CONDITION. ELEMENT FORENSIC ENGINEERING HAS NOT CONDUCTED A DETAILED REVIEW OR REVERSE ENGINEERING ANALYSIS OF THE BUILDING FOR CONFORMITY WITH THE ONTARIO BUILDING CODE NOR THE LOCAL MUNICIPAL BYLAWS. AS A RESULT CANNOT BE HELD LIABLE OR RESPONSIBLE FOR THIS INFORMATION.

REV.	DATE	DESCRIPTION
1	NOV 13/20	ISSUED FOR PERMIT

ADDRESS 192 GOLF LINKS RD, ANCASTER, ON	FILE 2010-2802-RX
CLIENT JIM FORBES	SEQUENCE 0.02
TITLE PROJECT NOTES	SHEET A0.01



1
1.12



INTENTIONAL BLANK SPACE PER HAMILTON BUILDING

1 EXISTING PARTIAL PLAN TOP OF SLAB
1/4" = 1'-0"



PHONE: 905.436.5758 | EMAIL: ELEMENT@ELEMENTFE.CA
BURLINGTON | CAMBRIDGE | OSHAWA

-ALL DRAWINGS AND RELATED DOCUMENTS ARE COPYRIGHT PROPERTY. THEY MAY NOT BE REPRODUCED, ALTERED OR REUSED WITHOUT THE EXPRESSED WRITTEN CONSENT OF ELEMENT FORENSIC ENGINEERING.
-CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME, REPORTING ANY DISCREPANCIES TO ELEMENT FORENSIC ENGINEERING PRIOR TO COMMENCEMENT OF WORK.
-LATEST APPROVED DRAWINGS GOVERN CONSTRUCTION.
-DO NOT SCALE DRAWINGS.

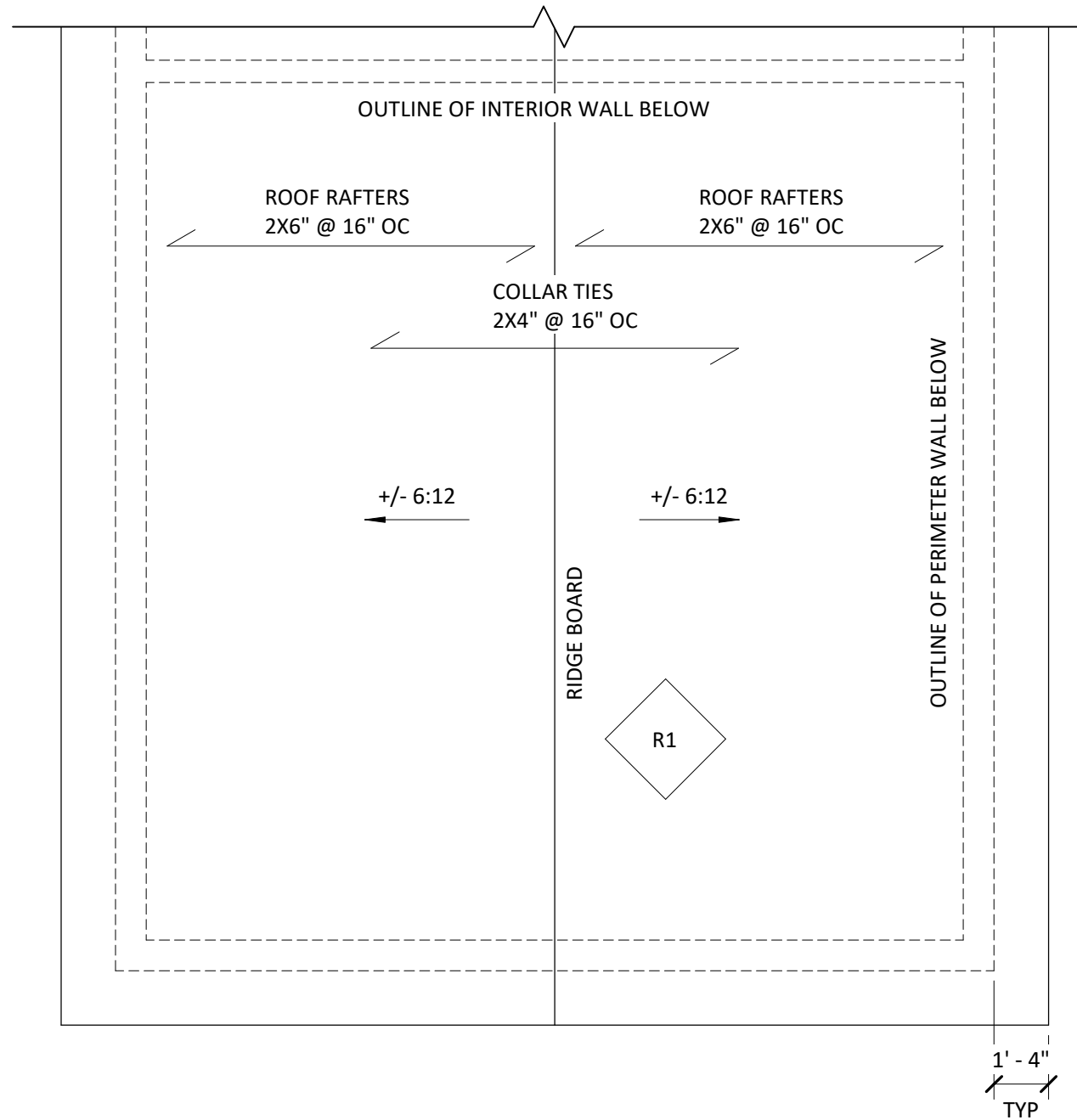


DRAWINGS ARE SEALED FOR DESIGN PERTAINING TO THE RESTORATION OF LOSS RELATED DAMAGE AND ANY NOTED ALTERATION FROM THE AS-BUILT CONDITION. ELEMENT FORENSIC ENGINEERING HAS NOT CONDUCTED A DETAILED REVIEW OR REVERSE ENGINEERING ANALYSIS OF THE BUILDING FOR CONFORMITY WITH THE ONTARIO BUILDING CODE NOR THE LOCAL MUNICIPAL BYLAWS. AS A RESULT CANNOT BE HELD LIABLE OR RESPONSIBLE FOR THIS INFORMATION.

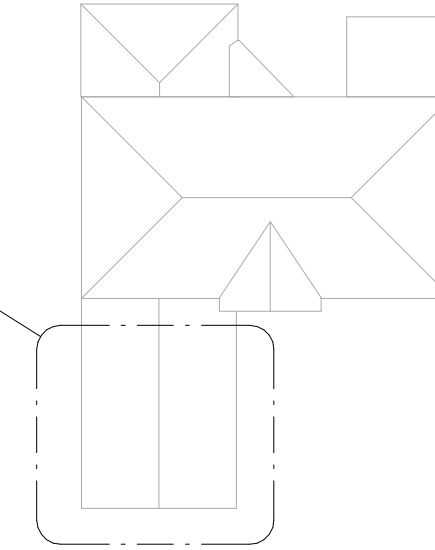
REV.	DATE	DESCRIPTION
1	NOV 13/20	ISSUED FOR PERMIT

ADDRESS 192 GOLF LINKS RD, ANCASTER, ON	FILE 2010-2802-RX
CLIENT JIM FORBES	SEQUENCE 1.12
TITLE EXISTING PLANS	SHEET A1.02

INTERIOR LAYOUT NOT ILLUSTRATED
FOR CLARITY PURPOSES



1
1.13



INTENTIONAL BLANK SPACE PER HAMILTON BUILDING

1 EXISTING PARTIAL PLAN ROOF
1/4" = 1'-0"



PHONE: 905.436.5758 | EMAIL: ELEMENT@ELEMENTFE.CA
BURLINGTON | CAMBRIDGE | OSHAWA

-ALL DRAWINGS AND RELATED DOCUMENTS ARE COPYRIGHT PROPERTY. THEY MAY NOT BE REPRODUCED, ALTERED OR REUSED WITHOUT THE EXPRESSED WRITTEN CONSENT OF ELEMENT FORENSIC ENGINEERING.
-CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME, REPORTING ANY DISCREPANCIES TO ELEMENT FORENSIC ENGINEERING PRIOR TO COMMENCEMENT OF WORK.
-LATEST APPROVED DRAWINGS GOVERN CONSTRUCTION.
-DO NOT SCALE DRAWINGS.

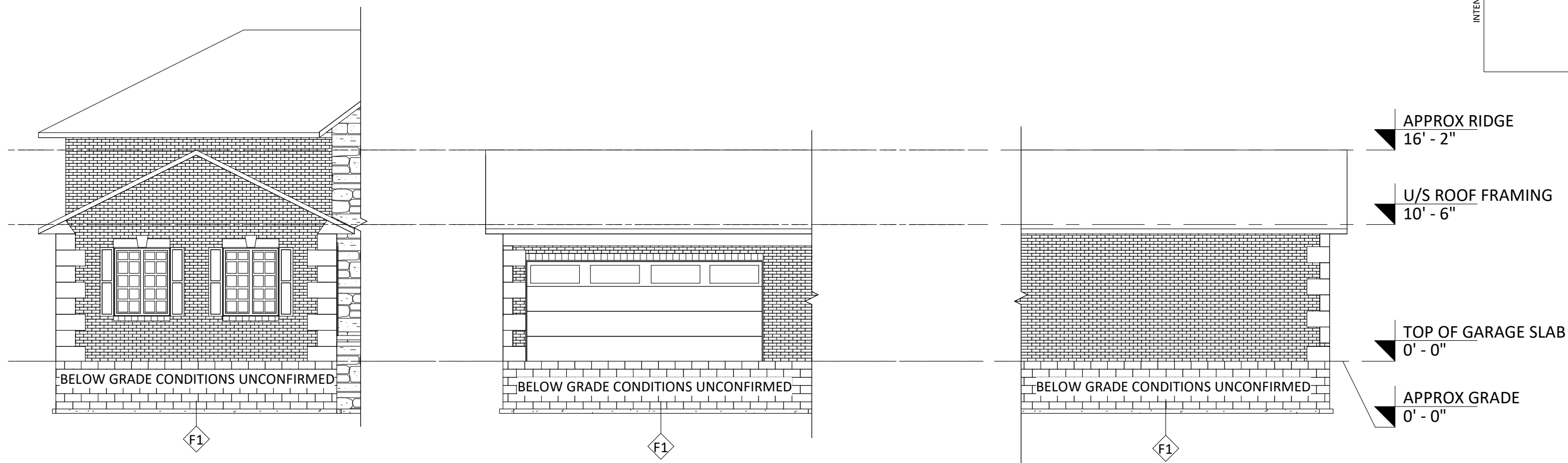


DRAWINGS ARE SEALED FOR DESIGN PERTAINING THE RESTORATION OF LOSS RELATED DAMAGE AND ANY NOTED ALTERATION FROM THE AS-BUILT CONDITION. ELEMENT FORENSIC ENGINEERING HAS NOT CONDUCTED A DETAILED REVIEW OR REVERSE ENGINEERING ANALYSIS OF THE BUILDING FOR CONFORMITY WITH THE ONTARIO BUILDING CODE NOR THE LOCAL MUNICIPAL BYLAWS. AS A RESULT CANNOT BE HELD LIABLE OR RESPONSIBLE FOR THIS INFORMATION.

REV.	DATE	DESCRIPTION
1	NOV 13/20	ISSUED FOR PERMIT

ADDRESS 192 GOLF LINKS RD, ANCASTER, ON	FILE 2010-2802-RX
CLIENT JIM FORBES	SEQUENCE 1.13
TITLE EXISTING PLANS	SHEET A1.03

INTENTIONAL BLANK SPACE PER HAMILTON BUILDING



1 EXISTING PARTIAL ELEVATION NORTH
1/8" = 1'-0"

2 EXISTING PARTIAL ELEVATION WEST
1/8" = 1'-0"

3 EXISTING PARTIAL ELEVATION EAST
1/8" = 1'-0"



PHONE: 905.436.5758 | EMAIL: ELEMENT@ELEMENTFE.CA
BURLINGTON | CAMBRIDGE | OSHAWA

-ALL DRAWINGS AND RELATED DOCUMENTS ARE COPYRIGHT PROPERTY. THEY MAY NOT BE REPRODUCED, ALTERED OR REUSED WITHOUT THE EXPRESSED WRITTEN CONSENT OF ELEMENT FORENSIC ENGINEERING.
-CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME, REPORTING ANY DISCREPANCIES TO ELEMENT FORENSIC ENGINEERING PRIOR TO COMMENCEMENT OF WORK.
-LATEST APPROVED DRAWINGS GOVERN CONSTRUCTION.
-DO NOT SCALE DRAWINGS.



DRAWINGS ARE SEALED FOR DESIGN PERTAINING TO THE RESTORATION OF LOSS RELATED DAMAGE AND ANY NOTED ALTERATION FROM THE AS-BUILT CONDITION. ELEMENT FORENSIC ENGINEERING HAS NOT CONDUCTED A DETAILED REVIEW OR REVERSE ENGINEERING ANALYSIS OF THE BUILDING FOR CONFORMITY WITH THE ONTARIO BUILDING CODE NOR THE LOCAL MUNICIPAL BYLAWS. AS A RESULT CANNOT BE HELD LIABLE OR RESPONSIBLE FOR THIS INFORMATION.

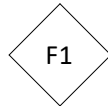
REV.	DATE	DESCRIPTION
1	NOV 13/20	ISSUED FOR PERMIT

ADDRESS 192 GOLF LINKS RD, ANCASTER, ON	FILE 2010-2802-RX
CLIENT JIM FORBES	SEQUENCE 1.21
TITLE EXISTING ELEVATIONS	SHEET A2.01

EXISTING PARTIAL DOOR SCHEDULE				
DOOR NUMBER	DOOR WIDTH	DOOR HEIGHT	SILL HEIGHT	LEVEL
101	18' - 0"	7' - 8"	0' - 0"	TOP OF GARAGE SLAB
102	2' - 7"	6' - 8"	2' - 0"	TOP OF GARAGE SLAB

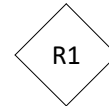
EXISTING PARTIAL WINDOW SCHEDULE				
WINDOW NUMBER	WIDTH	HEIGHT	SILL HEIGHT	LEVEL
101	4' - 3"	5' - 2"	3' - 5"	TOP OF GARAGE SLAB
102	4' - 3"	5' - 2"	3' - 5"	TOP OF GARAGE SLAB

EXISTING PARTIAL ROOM SCHEDULE			
ROOM NUMBER	NAME	LEVEL	AREA
101	GARAGE	TOP OF GARAGE SLAB	420 SF



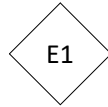
FOUNDATION WALL

SIDE - EXT
 DAMPPROOF UNCONFIRMED (BELOW GRADE)
 STRUCTURE 10" CMU BLOCK
 SIDE - INT



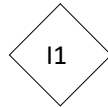
ROOF

TOP
 RA ASPHALT SHINGLES + ICE AND WATER SHIELD (AT BASE)
 SHEATHING PLYWOOD
 STRUCTURE REFER TO PLANS
 INSULATION BLOWN
 FINISH GYPSUM BOARD
 BOTTOM



EXTERIOR WALL

SIDE - EXT
 CLADDING 3-1/2" BRICK VENEER
 AIR CAVITY MIN 1" GAP
 SM TYPAR/BUILDING PAPER (UNCONFIRMED)
 SHEATHING OSB
 STRUCTURE 2X4" WOOD STUDS @ 16" OC
 FINISH GYPSUM BOARD
 SIDE - INT



INTERIOR WALL

SIDE-INT
 FINISH GYPSUM BOARD
 STRUCTURE 2X4" WOOD STUDS @ 16" OC
 INSULATION FIBERGLASS BATT (FILL STUD CAVITY)
 VB&AB 6 MIL POLYETHYLENE
 FINISH GYPSUM BOARD
 SIDE-INT

EXISTING WALL, FLOOR & ROOF ASSEMBLY NOTES

CONTRACTOR TO FIELD VERIFY ALL AFFECTED WALL/CEILING ASSEMBLIES DURING REMOVAL, REPORTING ANY DEVIATIONS TO ELEMENT FORENSIC ENGINEERING FOR DIRECTION PRIOR TO CONTINUING WITH THE REPAIRS.

EXISTING WALL ASSEMBLIES WERE NOT FULLY CONFIRMED AT THE TIME THE DRAWINGS WERE PREPARED.

INTENTIONAL BLANK SPACE PER HAMILTON BUILDING

EXISTING WINDOW AND DOOR NOTES

EXISTING WINDOW AND DOOR DIMENSIONS WERE TAKEN FROM THE INSIDE FACE OF THE TRIM AND SILL HEIGHTS WERE TAKEN FROM THE FINISHED FLOOR LEVEL. CONTRACTOR TO FIELD VERIFY ALL AFFECTED WINDOW AND DOOR ASSEMBLIES DURING REMOVAL, REPORTING ANY DEVIATIONS TO ELEMENT FORENSIC ENGINEERING FOR DIRECTION PRIOR TO CONTINUING WITH THE REPAIRS.



PHONE: 905.436.5758 | EMAIL: ELEMENT@ELEMENTFE.CA
 BURLINGTON | CAMBRIDGE | OSHAWA

-ALL DRAWINGS AND RELATED DOCUMENTS ARE COPYRIGHT PROPERTY. THEY MAY NOT BE REPRODUCED, ALTERED OR REUSED WITHOUT THE EXPRESSED WRITTEN CONSENT OF ELEMENT FORENSIC ENGINEERING.
 -CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME, REPORTING ANY DISCREPANCIES TO ELEMENT FORENSIC ENGINEERING PRIOR TO COMMENCEMENT OF WORK.
 -LATEST APPROVED DRAWINGS GOVERN CONSTRUCTION.
 -DO NOT SCALE DRAWINGS.



DRAWINGS ARE SEALED FOR DESIGN PERTAINING THE RESTORATION OF LOSS RELATED DAMAGE AND ANY NOTED ALTERATION FROM THE AS-BUILT CONDITION. ELEMENT FORENSIC ENGINEERING HAS NOT CONDUCTED A DETAILED REVIEW OR REVERSE ENGINEERING ANALYSIS OF THE BUILDING FOR CONFORMITY WITH THE ONTARIO BUILDING CODE NOR THE LOCAL MUNICIPAL BYLAWS. AS A RESULT CANNOT BE HELD LIABLE OR RESPONSIBLE FOR THIS INFORMATION.

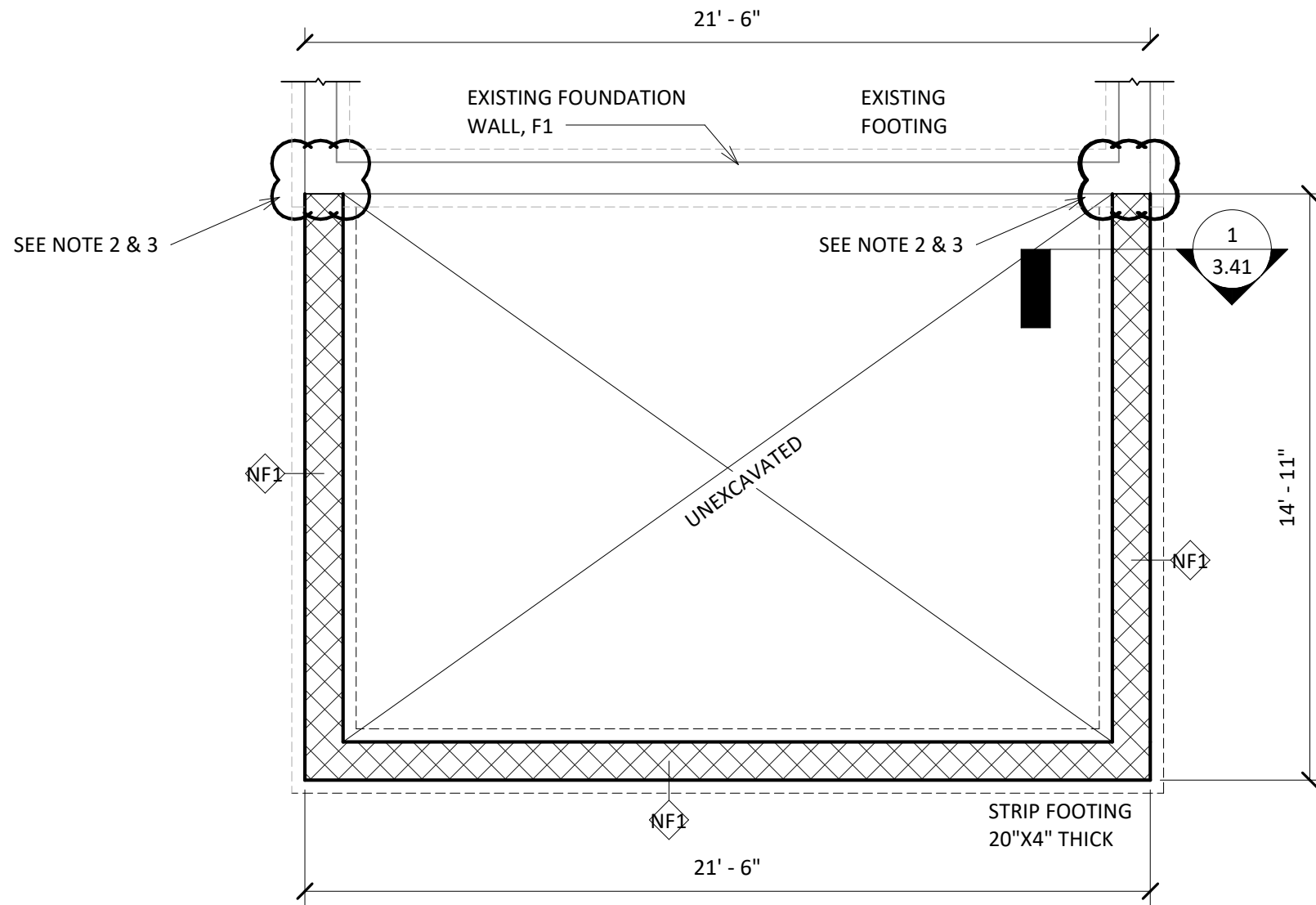
REV.	DATE	DESCRIPTION
1	NOV 13/20	ISSUED FOR PERMIT

ADDRESS 192 GOLF LINKS RD, ANCASTER, ON	FILE 2010-2802-RX
CLIENT JIM FORBES	SEQUENCE 1.31
TITLE EXISTING SCHEDULES	SHEET A3.01

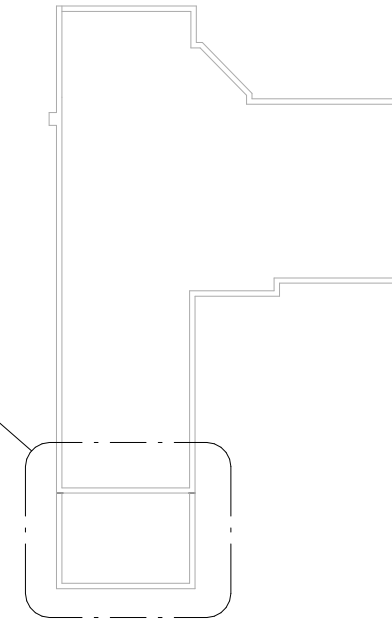


RENOVATION PLAN NOTES:

1. REFER TO EXISTING FOR SUPPLEMENTAL INFORMATION.
2. REINFORCE THE JOINTS BETWEEN THE EXISTING AND NEW FOUNDATION WALL WITH 10M BARS, HORIZONTALLY ORIENTED SPACED AT 16" OC. REBARS SHALL BE 13" LONG WITH 6" EMBEDMENT INTO THE EXISTING. SECURE THE REBAR TO THE EXISTING AND NEW FOUNDATION WALL WITH HILTI HY 270 EPOXY (CHEMICAL ANCHOR), GROUT FILL THE NEW AND EXISTING WALL FOR A DISTANCE OF 16" PAST THE JOINT.
3. CONTACT OUR OFFICE FOR DIRECTIONS SHOULD THE EXISTING BOTTOM OF FOOTING BE LESS THAN THE ADDITION.



1
3.11



INTENTIONAL BLANK SPACE PER HAMILTON BUILDING

1 RENOVATION PARTIAL PLAN FOUNDATION
1/4" = 1'-0"



PHONE: 905.436.5758 | EMAIL: ELEMENT@ELEMENTFE.CA
BURLINGTON | CAMBRIDGE | OSHAWA

-ALL DRAWINGS AND RELATED DOCUMENTS ARE COPYRIGHT PROPERTY. THEY MAY NOT BE REPRODUCED, ALTERED OR REUSED WITHOUT THE EXPRESSED WRITTEN CONSENT OF ELEMENT FORENSIC ENGINEERING.
-CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME, REPORTING ANY DISCREPANCIES TO ELEMENT FORENSIC ENGINEERING PRIOR TO COMMENCEMENT OF WORK.
-LATEST APPROVED DRAWINGS GOVERN CONSTRUCTION.
-DO NOT SCALE DRAWINGS.



DRAWINGS ARE SEALED FOR DESIGN PERTAINING TO THE RESTORATION OF LOSS RELATED DAMAGE AND ANY NOTED ALTERATION FROM THE AS-BUILT CONDITION. ELEMENT FORENSIC ENGINEERING HAS NOT CONDUCTED A DETAILED REVIEW OR REVERSE ENGINEERING ANALYSIS OF THE BUILDING FOR CONFORMITY WITH THE ONTARIO BUILDING CODE NOR THE LOCAL MUNICIPAL BYLAWS. AS A RESULT CANNOT BE HELD LIABLE OR RESPONSIBLE FOR THIS INFORMATION.

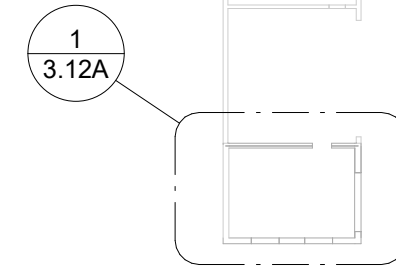
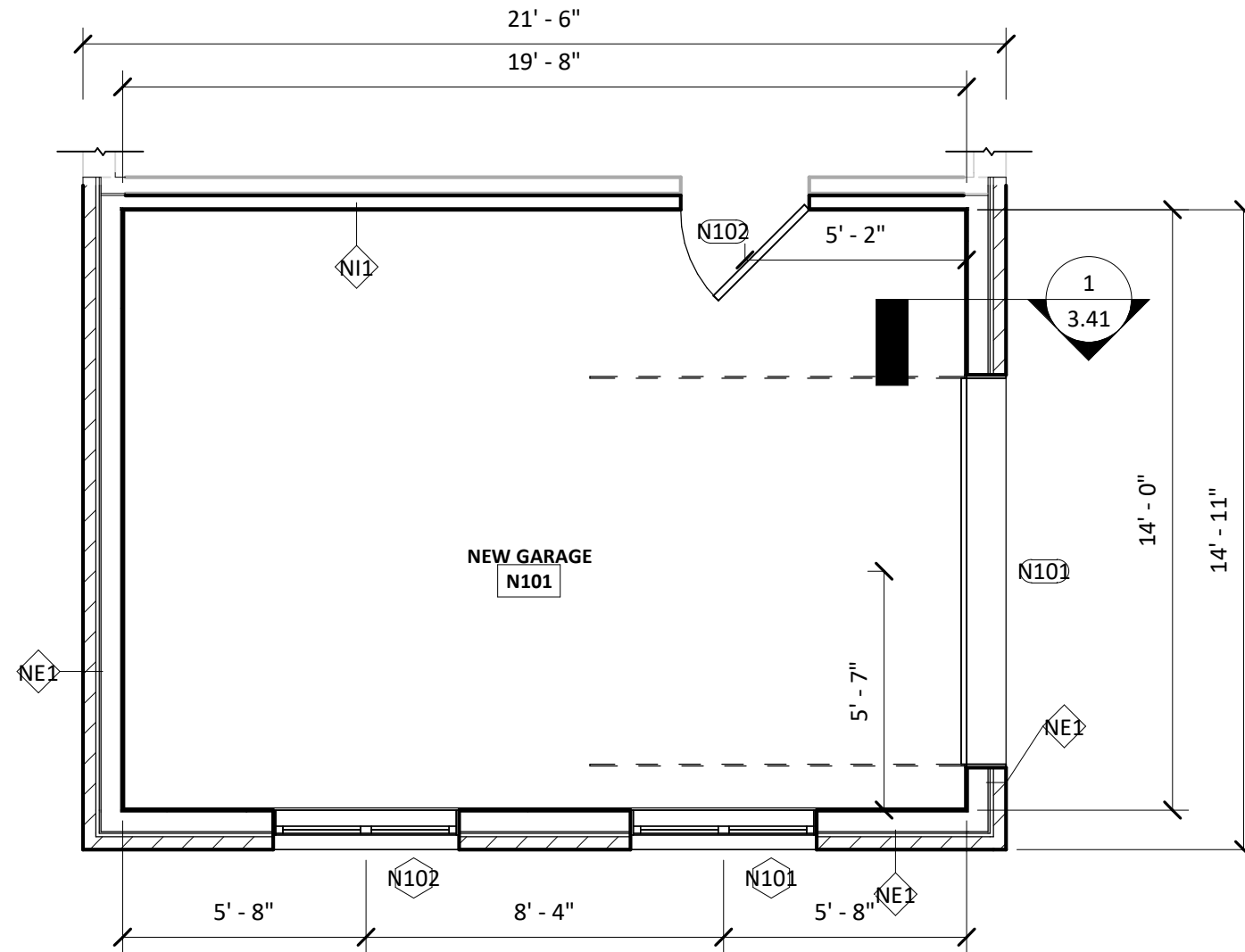
REV.	DATE	DESCRIPTION
1	NOV 13/20	ISSUED FOR PERMIT

ADDRESS 192 GOLF LINKS RD, ANCASTER, ON	FILE 2010-2802-RX
CLIENT JIM FORBES	SEQUENCE 3.11
TITLE RENOVATION PLANS	SHEET S1.01



PROJECT
NORTH

RENOVATION PLAN NOTES:
REFER TO EXISTING PLANS FOR SUPPLEMENTAL INFORMATION.



INTENTIONAL BLANK SPACE PER HAMILTON BUILDING

1 RENOVATION PARTIAL PLAN TOP OF SLAB ARCH A
1/4" = 1'-0"



PHONE: 905.436.5758 | EMAIL: ELEMENT@ELEMENTFE.CA
BURLINGTON | CAMBRIDGE | OSHAWA

-ALL DRAWINGS AND RELATED DOCUMENTS ARE COPYRIGHT PROPERTY. THEY MAY NOT BE REPRODUCED, ALTERED OR REUSED WITHOUT THE EXPRESSED WRITTEN CONSENT OF ELEMENT FORENSIC ENGINEERING.
 -CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME, REPORTING ANY DISCREPANCIES TO ELEMENT FORENSIC ENGINEERING PRIOR TO COMMENCEMENT OF WORK.
 -LATEST APPROVED DRAWINGS GOVERN CONSTRUCTION.
 -DO NOT SCALE DRAWINGS.



DRAWINGS ARE SEALED FOR DESIGN PERTAINING TO THE RESTORATION OF LOSS RELATED DAMAGE AND ANY NOTED ALTERATION FROM THE AS-BUILT CONDITION. ELEMENT FORENSIC ENGINEERING HAS NOT CONDUCTED A DETAILED REVIEW OR REVERSE ENGINEERING ANALYSIS OF THE BUILDING FOR CONFORMITY WITH THE ONTARIO BUILDING CODE NOR THE LOCAL MUNICIPAL BYLAWS. AS A RESULT CANNOT BE HELD LIABLE OR RESPONSIBLE FOR THIS INFORMATION.

REV.	DATE	DESCRIPTION
1	NOV 13/20	ISSUED FOR PERMIT

ADDRESS 192 GOLF LINKS RD, ANCASTER, ON	FILE 2010-2802-RX
CLIENT JIM FORBES	SEQUENCE 3.12A
TITLE RENOVATION PLANS	SHEET A1.12

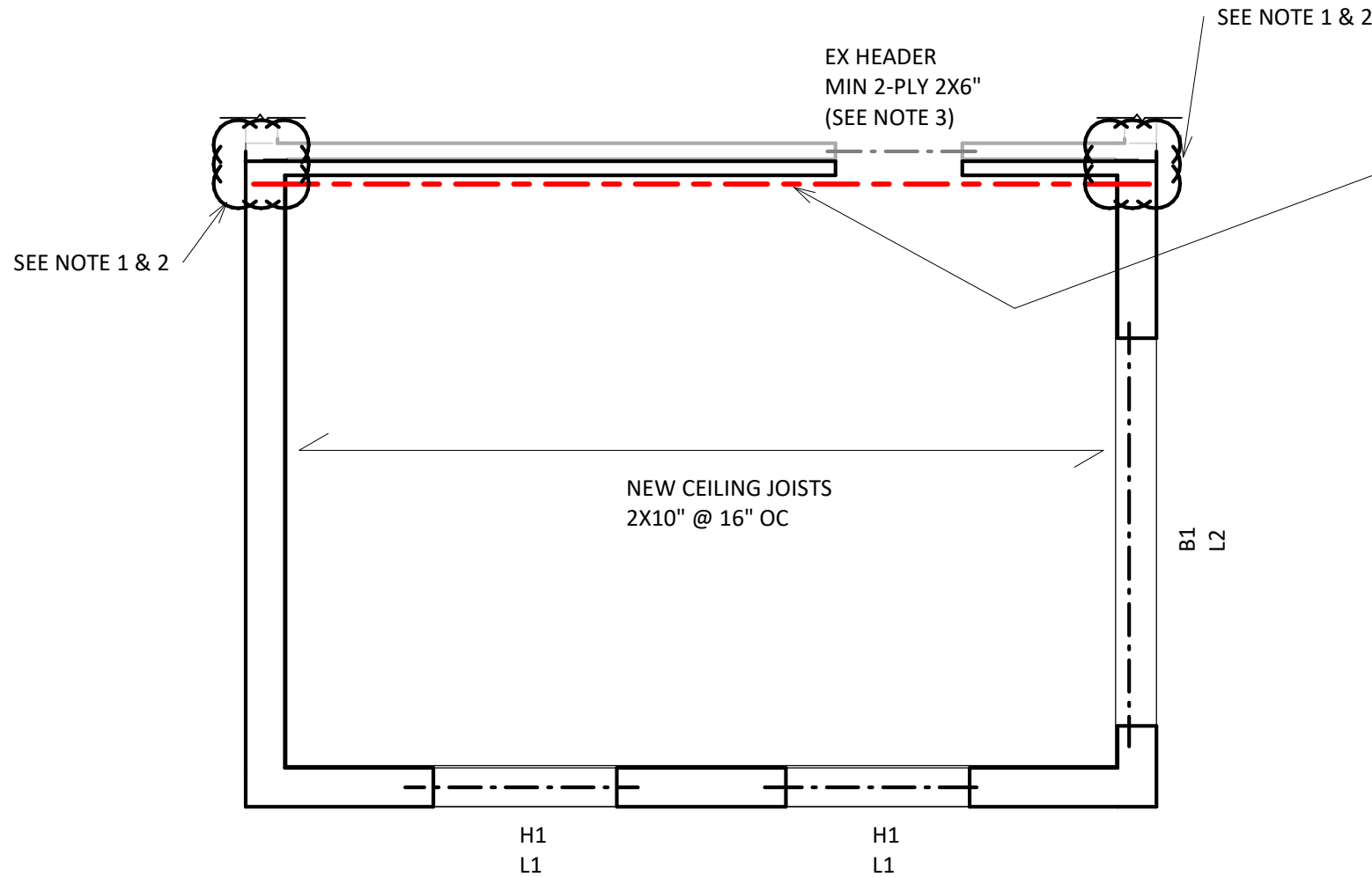


PROJECT
NORTH

RENOVATION PLAN NOTES:

1. REMOVE AND REUSE EXISTING STONE VENEER AT CORNERS OF WALL. SAW CUT NEW VENEER AND TIE TO EXISTING BUILDING.
2. FASTEN NEW 2X6" WALL TO EXISTING WOOD FRAMED WALL WITH 2-ROWS OF 3" WOOD SCREWS SPACED VERTICALLY @ 16" OC. ALTERNATING BETWEEN EXISTING AND NEW WALL SIDE, PROVIDE SOLID BLOCKING AS REQUIRED, PROVIDE 1" MIN EDGE DISTANCE FOR WOOD SCREWS.
3. SUPPLY AND INSTALL NEW MAN DOOR AT EXISTING WINDOW OPENING. DEMOLISH EXISTING CRIPPLE FRAMING AND FILL OPENING AS NECESSARY WITH SOLID BLOCKING AND OR STUDS TO FACILITATE THE INSTALLATION OF NEW DOOR.. CUT FOUNDATION WALL AS NECESSARY AT NEW DOOR OPENING TO FACILITATE A LEVEL TRANSITION BETWEEN NEW AND EXISTING SLAB.
4. REFER TO SHEET 3.12A FOR SUPPLIMENTAL INFORMATION.

INTENTIONAL BLANK SPACE PER HAMILTON BUILDING



 REMOVE EXISTING BRICK VENEER, FULL HEIGHT, INCLUSIVE OF LOOSE LINTELS AND SAVE FOR REUSE. IF EXISTING LINTELS ARE NOT TO BE REINSTATED, INSTALL NEW LINTELS AS PER STRUCTURAL LEGEND.

REPLACE WITH NEW WALL FRAMING AS PER RENOVATION WALL SCHEDULE.
 -NEW WALL FRAMING SHALL BEAR ON EXISTING TOP OF FOUNDATION.

SUPPLY AND INSTALL NEW SILL PLATE, SECURE THE NEW SILL PLATE TO THE UNDERLYING WALL WITH WITH NEW ANCHOR BOLTS. THE ANCHOR BOLTS SHALL BE SPACED AT A MAXIMUM 4' ON CENTER. ALSO INSTALL NEW ANCHOR BOLTS AT THE ENDS OF THE SILL PLATE. NEW ANCHOR BOLTS SHALL BE 10M REBAR WITH A MINIMUM 6" EMBEDMENT, SECURED IN PLACE WITH HILTI HY 270 EPOXY (CHEMICAL ANCHOR)

REMOVE AND REUSE EXISTING WINDOWS.
 -MAINTAIN EXISTING HEADERS AND POSTS. FILL OPENING WITH NEW SHEATHING, 2X4" FRAMING AND GYPSUM WALL BOARD TO MATCH EXISTING.

STRUCTURAL LEGEND	
H1	NEW HEADER 3-PLY 2X6"
B1	NEW BEAM 3-PLY 2X12"
L1	NEW LOOSE LINTELS L 3½" X 3½" X 5/16"
L2	NEW LOOSE LINTEL L 6" X 4" X 7/16" LLV

1 RENOVATION PARTIAL PLAN TOP OF SLAB STRUCT
 1/4" = 1'-0"



PHONE: 905.436.5758 | EMAIL: ELEMENT@ELEMENTFE.CA
BURLINGTON | CAMBRIDGE | OSHAWA

-ALL DRAWINGS AND RELATED DOCUMENTS ARE COPYRIGHT PROPERTY. THEY MAY NOT BE REPRODUCED, ALTERED OR REUSED WITHOUT THE EXPRESSED WRITTEN CONSENT OF ELEMENT FORENSIC ENGINEERING.
 -CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME, REPORTING ANY DISCREPANCIES TO ELEMENT FORENSIC ENGINEERING PRIOR TO COMMENCEMENT OF WORK.
 -LATEST APPROVED DRAWINGS GOVERN CONSTRUCTION.
 -DO NOT SCALE DRAWINGS.



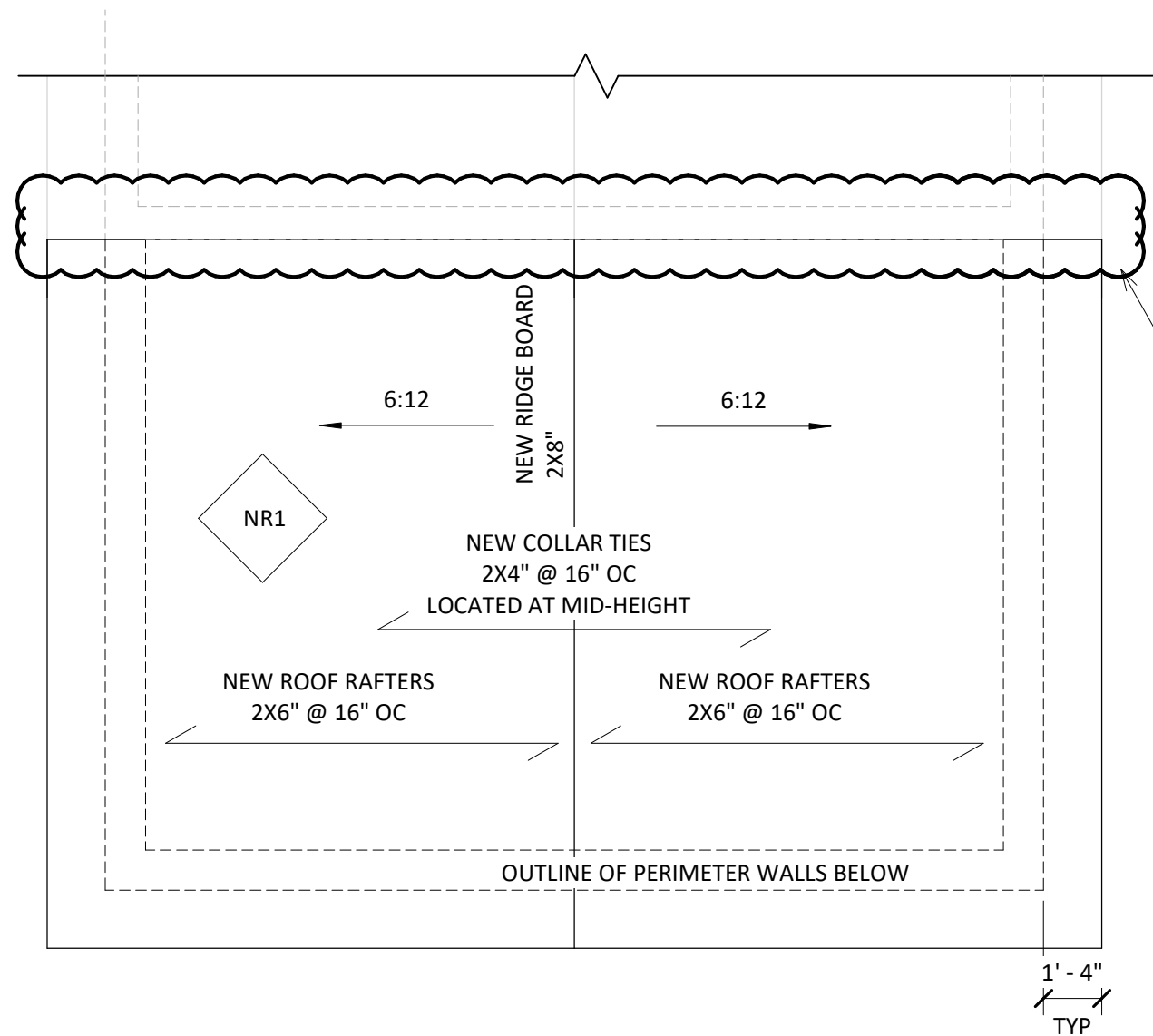
DRAWINGS ARE SEALED FOR DESIGN PERTAINING THE RESTORATION OF LOSS RELATED DAMAGE AND ANY NOTED ALTERATION FROM THE AS-BUILT CONDITION. ELEMENT FORENSIC ENGINEERING HAS NOT CONDUCTED A DETAILED REVIEW OR REVERSE ENGINEERING ANALYSIS OF THE BUILDING FOR CONFORMITY WITH THE ONTARIO BUILDING CODE NOR THE LOCAL MUNICIPAL BYLAWS. AS A RESULT CANNOT BE HELD LIABLE OR RESPONSIBLE FOR THIS INFORMATION.

REV.	DATE	DESCRIPTION
1	NOV 13/20	ISSUED FOR PERMIT

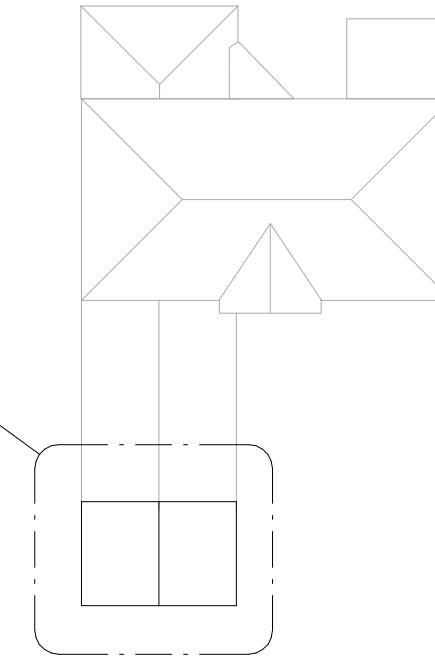
ADDRESS 192 GOLF LINKS RD, ANCASTER, ON	FILE 2010-2802-RX
CLIENT JIM FORBES	SEQUENCE 3.12S
TITLE RENOVATION PLANS	SHEET S1.02



RENOVATION PLAN NOTES:
REFER TO EXISTING PLANS FOR SUPPLEMENTAL INFORMATION.



1
3.13



INTENTIONAL BLANK SPACE PER HAMILTON BUILDING

CONTRACTOR TO COORDINATE GABLE OVERHANGS OF EXISTING ROOF AND TIE INTO NEW ROOF ASSEMBLY.

1 RESTORATION PARTIAL PLAN ROOF
1/4" = 1'-0"



PHONE: 905.436.5758 | EMAIL: ELEMENT@ELEMENTFE.CA
BURLINGTON | CAMBRIDGE | OSHAWA

-ALL DRAWINGS AND RELATED DOCUMENTS ARE COPYRIGHT PROPERTY. THEY MAY NOT BE REPRODUCED, ALTERED OR REUSED WITHOUT THE EXPRESSED WRITTEN CONSENT OF ELEMENT FORENSIC ENGINEERING.
-CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME, REPORTING ANY DISCREPANCIES TO ELEMENT FORENSIC ENGINEERING PRIOR TO COMMENCEMENT OF WORK.
-LATEST APPROVED DRAWINGS GOVERN CONSTRUCTION.
-DO NOT SCALE DRAWINGS.

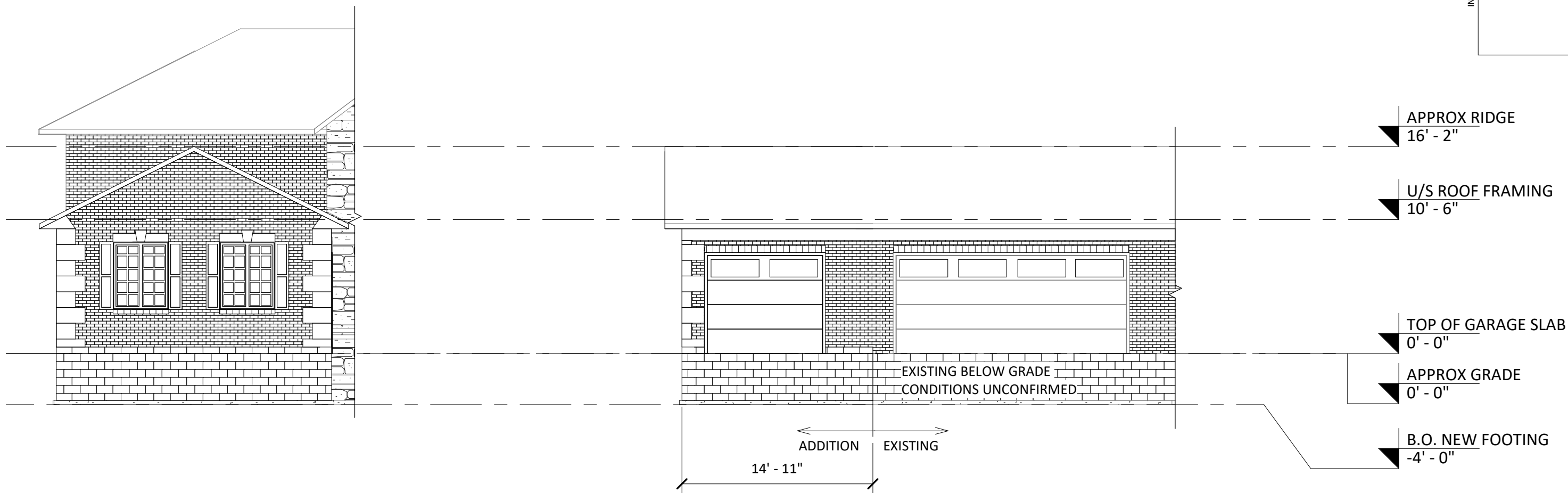


DRAWINGS ARE SEALED FOR DESIGN PERTAINING TO THE RESTORATION OF LOSS RELATED DAMAGE AND ANY NOTED ALTERATION FROM THE AS-BUILT CONDITION. ELEMENT FORENSIC ENGINEERING HAS NOT CONDUCTED A DETAILED REVIEW OR REVERSE ENGINEERING ANALYSIS OF THE BUILDING FOR CONFORMITY WITH THE ONTARIO BUILDING CODE NOR THE LOCAL MUNICIPAL BYLAWS. AS A RESULT CANNOT BE HELD LIABLE OR RESPONSIBLE FOR THIS INFORMATION.

REV.	DATE	DESCRIPTION
1	NOV 13/20	ISSUED FOR PERMIT

ADDRESS 192 GOLF LINKS RD, ANCASTER, ON	FILE 2010-2802-RX
CLIENT JIM FORBES	SEQUENCE 3.13
TITLE RENOVATION PLANS	SHEET A1.14

INTENTIONAL BLANK SPACE PER HAMILTON BUILDING



1 RENOVATION PARTIAL ELEVATION_NORTH
1/8" = 1'-0"

2 RENOVATION PARTIAL ELEVATION_WEST
1/8" = 1'-0"



PHONE: 905.436.5758 | EMAIL: ELEMENT@ELEMENTFE.CA
BURLINGTON | CAMBRIDGE | OSHAWA

-ALL DRAWINGS AND RELATED DOCUMENTS ARE COPYRIGHT PROPERTY. THEY MAY NOT BE REPRODUCED, ALTERED OR REUSED WITHOUT THE EXPRESSED WRITTEN CONSENT OF ELEMENT FORENSIC ENGINEERING.
-CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME, REPORTING ANY DISCREPANCIES TO ELEMENT FORENSIC ENGINEERING PRIOR TO COMMENCEMENT OF WORK.
-LATEST APPROVED DRAWINGS GOVERN CONSTRUCTION.
-DO NOT SCALE DRAWINGS.



DRAWINGS ARE SEALED FOR DESIGN PERTAINING THE RESTORATION OF LOSS RELATED DAMAGE AND ANY NOTED ALTERATION FROM THE AS-BUILT CONDITION. ELEMENT FORENSIC ENGINEERING HAS NOT CONDUCTED A DETAILED REVIEW OR REVERSE ENGINEERING ANALYSIS OF THE BUILDING FOR CONFORMITY WITH THE ONTARIO BUILDING CODE NOR THE LOCAL MUNICIPAL BYLAWS. AS A RESULT CANNOT BE HELD LIABLE OR RESPONSIBLE FOR THIS INFORMATION.

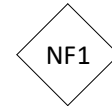
REV.	DATE	DESCRIPTION
1	NOV 13/20	ISSUED FOR PERMIT

ADDRESS 192 GOLF LINKS RD, ANCASTER, ON	FILE 2010-2802-RX
CLIENT JIM FORBES	SEQUENCE 3.21
TITLE RENOVATION ELEVATIONS	SHEET A2.03

PROPOSED DOOR SCHEDULE				
DOOR NUMBER	WIDTH	HEIGHT	SILL HEIGHT	LEVEL
N101	9' - 0"	7' - 8"	0' - 0"	TOP OF GARAGE SLAB
N102	3' - 0"	6' - 8"	0' - 0"	TOP OF GARAGE SLAB

PROPOSED WINDOW SCHEDULE				
WINDOW NUMBER	WIDTH	HEIGHT	SILL HEIGHT	LEVEL
N101	4' - 3"	5' - 2"	3' - 5"	TOP OF GARAGE SLAB
N102	4' - 3"	5' - 2"	3' - 5"	TOP OF GARAGE SLAB

PROPOSED ROOM SCHEDULE			
ROOM NUMBER	NAME	LEVEL	AREA
N101	NEW GARAGE	TOP OF GARAGE SLAB	273 SF



FOUNDATION WALL

SIDE - EXT
 DAMPPROOF (BELOW GRADE)
 STRUCTURE 12" CMU BLOCK / 12" CONCRETE
 SIDE - INT



ROOF

TOP
 RA ASPHALT SHINGLES + ICE AND WATER SHIELD (AT BASE)
 SHEATHING PLYWOOD
 STRUCTURE REFER TO PLANS
 FINISH 1/2" GYPSUM BOARD
 BOTTOM



EXTERIOR WALL

SIDE - EXT
 CLADDING 3-1/2" BRICK VENEER
 AIR CAVITY MIN 1" GAP
 SM TYPAR/BUILDING PAPER (UNCONFIRMED)
 STRUCTURE 2X6" WOOD STUDS @ 16" OC W/ STEEL CROSS BRACES
 FINISH 1/2" GYPSUM BOARD
 SIDE - INT



INTERIOR WALL

SIDE-INT
 FINISH 1/2" GYPSUM BOARD
 STRUCTURE 2X4" WOOD STUDS @ 16" OC
 SIDE-INT

INTENTIONAL BLANK SPACE PER HAMILTON BUILDING



PHONE: 905.436.5758 | EMAIL: ELEMENT@ELEMENTFE.CA
 BURLINGTON | CAMBRIDGE | OSHAWA

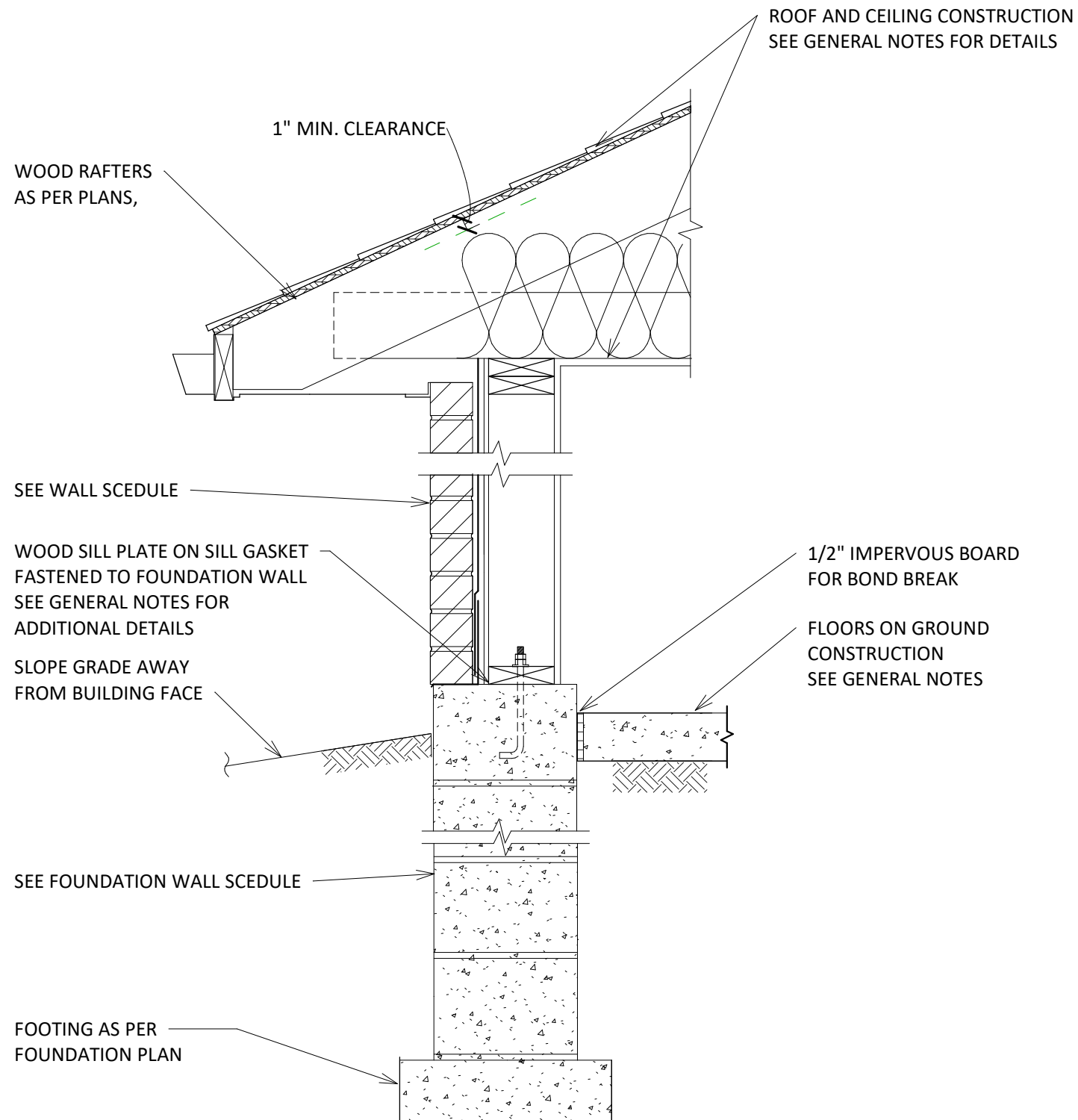
-ALL DRAWINGS AND RELATED DOCUMENTS ARE COPYRIGHT PROPERTY. THEY MAY NOT BE REPRODUCED, ALTERED OR REUSED WITHOUT THE EXPRESSED WRITTEN CONSENT OF ELEMENT FORENSIC ENGINEERING.
 -CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME, REPORTING ANY DISCREPANCIES TO ELEMENT FORENSIC ENGINEERING PRIOR TO COMMENCEMENT OF WORK.
 -LATEST APPROVED DRAWINGS GOVERN CONSTRUCTION.
 -DO NOT SCALE DRAWINGS.



DRAWINGS ARE SEALED FOR DESIGN PERTAINING THE RESTORATION OF LOSS RELATED DAMAGE AND ANY NOTED ALTERATION FROM THE AS-BUILT CONDITION. ELEMENT FORENSIC ENGINEERING HAS NOT CONDUCTED A DETAILED REVIEW OR REVERSE ENGINEERING ANALYSIS OF THE BUILDING FOR CONFORMITY WITH THE ONTARIO BUILDING CODE NOR THE LOCAL MUNICIPAL BYLAWS. AS A RESULT CANNOT BE HELD LIABLE OR RESPONSIBLE FOR THIS INFORMATION.

REV.	DATE	DESCRIPTION
1	NOV 13/20	ISSUED FOR PERMIT

ADDRESS 192 GOLF LINKS RD, ANCASTER, ON	FILE 2010-2802-RX
CLIENT JIM FORBES	SEQUENCE 3.31
TITLE RENOVATION SCHEDULES	SHEET A3.04



INTENTIONAL BLANK SPACE PER HAMILTON BUILDING

1 WALL SECTION
1" = 1'-0"



PHONE: 905.436.5758 | EMAIL: ELEMENT@ELEMENTFE.CA
BURLINGTON | CAMBRIDGE | OSHAWA

-ALL DRAWINGS AND RELATED DOCUMENTS ARE COPYRIGHT PROPERTY. THEY MAY NOT BE REPRODUCED, ALTERED OR REUSED WITHOUT THE EXPRESSED WRITTEN CONSENT OF ELEMENT FORENSIC ENGINEERING.
-CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME, REPORTING ANY DISCREPANCIES TO ELEMENT FORENSIC ENGINEERING PRIOR TO COMMENCEMENT OF WORK.
-LATEST APPROVED DRAWINGS GOVERN CONSTRUCTION.
-DO NOT SCALE DRAWINGS.



DRAWINGS ARE SEALED FOR DESIGN PERTAINING TO THE RESTORATION OF LOSS RELATED DAMAGE AND ANY NOTED ALTERATION FROM THE AS-BUILT CONDITION. ELEMENT FORENSIC ENGINEERING HAS NOT CONDUCTED A DETAILED REVIEW OR REVERSE ENGINEERING ANALYSIS OF THE BUILDING FOR CONFORMITY WITH THE ONTARIO BUILDING CODE NOR THE LOCAL MUNICIPAL BYLAWS. AS A RESULT CANNOT BE HELD LIABLE OR RESPONSIBLE FOR THIS INFORMATION.

REV.	DATE	DESCRIPTION
1	NOV 13/20	ISSUED FOR PERMIT

ADDRESS 192 GOLF LINKS RD, ANCASTER, ON	FILE 2010-2802-RX
CLIENT JIM FORBES	SEQUENCE 3.41
TITLE RENOVATION SECTIONS AND DETAILS	SHEET A3.01

MATERIALS, SYSTEMS AND EQUIPMENT NOTES

WOOD

- ALL LUMBER SHALL BE SPRUCE-PINE-FIR NO. 1 & 2, AND SHALL BE IDENTIFIED BY A GRADE STAMP.
- ALL LVL SHALL HAVE A MODULUS OF ELASTICITY (E) = 2.0X10⁶ PSI AND BE MANUFACTURED BY TRUSS JOIST OR APPROVED ALTERNATIVE.
- PLYWOOD SHALL BE EXTERIOR GRADE.
- MAXIMUM MOISTURE CONTENT 19% AT TIME OF INSTALLATION.
- WOOD FRAMING EXPOSED TO THE ELEMENTS IN THE FINAL CONDITION OR WITHIN 8" OF GRADE SHALL BE PRESSURE TREATED. ALL CUT ENDS OF PRESSURE TREATED WOOD FRAMING SHALL BE TREATED TO PREVENT DECAY.

CONCRETE

- TYPE "R"
- 3 1/8" +/- 1 1/8" SLUMP
- GARAGE AND CARPORT FLOORS AND ALL EXTERIOR FLATWORK SHALL HAVE 5-8% AIR ENTRAINMENT.

ELEMENT	COMPRESSIVE STRENGTH*
GARAGE AND CARPORT FLOORS AND ALL EXTERIOR FLATWORK	4,640 PSI (32 MPA)
INTERIOR FLOORS OTHER THAN GARAGE AND CARPORT FLOORS	2,900 PSI (20 MPA)
ALL OTHER APPLICATIONS	2,175 PSI (15 MPA)

* COMPRESSIVE STRENGTH IS MEASURED 28 DAYS AFTER CASTING

- NON-SHRINK GROUT 5,000 PSI (35 MPA) COMPRESSIVE STRENGTH AT 28 DAYS.

STEEL

ELEMENT	GRADE
BEAMS	350W
COLUMNS	ASTM A500 GRADE C
LINTELS	300W

MASONRY

- 2,175 PSI (15 MPA) COMPRESSIVE STRENGTH AT 28 DAYS.
- TYPE "S" GROUT
- ALL MASONRY SHALL BE SUPPORTED ON MASONRY, CONCRETE OR STEEL.

FLASHING

- ALL REQUIRED FLASHING TO BE 28 GAUGE PRE-PAINTED.

DEMOLITION AND EXCAVATION NOTES

DEMOLITION OF STRUCTURES

- SHALL NOT INTERFERE WITH THE USE OF ADJACENT BUILDINGS. MAINTAIN FREE AND SAFE PASSAGE TO AND FROM.
- PREVENT MOVEMENT OR SETTLEMENT OF ADJACENT STRUCTURES. THE CONTRACTOR IS LIABLE FOR ANY SUCH MOVEMENT OR SETTLEMENT AND ANY DAMAGE OR INJURY CAUSED.
- CEASE OPERATIONS AND NOTIFY ELEMENT FORENSIC ENGINEERING IMMEDIATELY IF THE SAFETY OF ANY ADJACENT STRUCTURES APPEARS TO BE ENDANGERED. TAKE ALL PRECAUTIONS TO PROPERLY SUPPORT THESE STRUCTURES. DO NOT RESUME OPERATIONS UNTIL PERMISSION IS GRANTED BY ELEMENT FORENSIC ENGINEERING.
- REPAIR ALL DEMOLITION PERFORMED IN EXCESS OF THAT INDICATED OR REQUIRED, TO THE APPROVAL OF ELEMENT FORENSIC ENGINEERING AND AT NO COST TO THE OWNER.
- TAKE PARTICULAR CARE IN AREAS OF NEW WORK ENSURING THE PROTECTION OF EXISTING FOUNDATIONS AND SUPPORTING STRUCTURES. PROVIDE UNDERPINNING WORK FOR THE PROTECTION OF EXISTING FOUNDATIONS IF REQUIRED DUE TO THE SITE CONDITIONS.
- THE USE OF EXPLOSIVES, LASERS, AND BURNING OF MATERIALS ON SITE IS NOT PERMITTED.
- WHERE BACKFILLING IS SPECIFIED, THE BACKFILL SHALL BE COMPLETED WITH SUFFICIENTLY COMPACTED CLEAN FILL. ALL BACKFILL SHALL BE FREE FROM FROZEN LUMPS, CINDERS, ASHES, REFUSE, VEGETABLE OR ORGANIC MATTER, ROCKS, AND BOULDERS OVER 150 MM IN ANY DIMENSION, AND OTHER DELETERIOUS MATERIAL.
- REMOVE ALL DEMOLISHED MATERIAL, DEBRIS, TOOLS AND EQUIPMENT FROM THE SITE UPON COMPLETION OF WORK. LEAVE THE SITE IN A CONDITION ACCEPTABLE TO ELEMENT FORENSIC ENGINEERING.
- WHERE NECESSARY, THE WORK SHALL BE SPRAYED PERIODICALLY WITH WATER TO REDUCE DUST. PRECAUTIONS SHALL BE TAKEN TO PREVENT MATERIAL FROM BEING BLOWN FROM THE BUILDING STRUCTURE AND SITE BY STRONG WIND, OR FROM TRUCKS MOVING DEMOLITIONS MATERIALS FROM THE SITE. ALL MATERIALS FROM THE BUILDING SHALL BE PREVENTED FROM ENTERING THE MUNICIPAL SEWERS OR WATER SOURCES.
- DEMOLITION SHALL BE CARRIED OUT IN AN ORDERLY AND CAREFUL MANNER, AND CONFORM TO THE MUNICIPAL AND PROVINCIAL SAFETY REGULATIONS AND STANDARDS. EXCEPT AS OTHERWISE NOTED OR CLARIFIED, THE SEQUENCE SHALL BE IN REVERSE TO ORIGINAL CONSTRUCTION OF THE BUILDING.

DESIGN OF AREAS, SPACES, AND DOORWAYS NOTES

DOORS AND WINDOWS

- EVERY FLOOR LEVEL CONTAINING A BEDROOM AND NOT SERVED BY AN EXTERIOR DOOR SHALL CONTAIN AT LEAST A WINDOW HAVING AN UNOBSTRUCTED OPEN AREA OF 0.35M² AND NO DIMENSIONS LESS THAN 380MM, WHICH IS OPENABLE FROM THE INSIDE WITHOUT TOOLS, MAXIMUM SILL HEIGHT 1000MM FOR FIN FLOORS ABOVE GRADE.
- EXTERIOR HOUSE DOORS AND WINDOWS WITHIN 2000MM FROM GRADE SHALL BE CONSTRUCTED TO RESIST FORCED ENTRY. DOORS SHALL HAVE A DEADBOLT LOCK.
- THE PRINCIPAL ENTRY DOOR SHALL HAVE EITHER A DOOR VIEWER, TRANSPARENT GLAZING, OR A SIDELIGHT.
- MAXIMUM U-VALUE 1.8 FOR WINDOWS AND SLIDING GLASS DOORS.

EXCAVATION AND BACKFILL

- EXCAVATION SHALL BE UNDERTAKEN IN A MANNER SO AS TO PREVENT MOVEMENT WHICH WOULD CAUSE DAMAGE TO ADJACENT PROPERTY, STRUCTURES, UTILITIES, ROADS AND SIDEWALKS. CONTRACTOR TO CONTACT LOCAL UTILITIES PRIOR TO COMMENCING EXCAVATION.
- THE TOPSOIL AND VEGETABLE MATTER IN UNEXCAVATED AREAS UNDER A BUILDING SHALL BE REMOVED. THE BOTTOM OF EXCAVATIONS FOR FOUNDATIONS SHALL BE FREE OF ALL ORGANIC MATERIAL.
- IF TERMITES ARE KNOWN TO EXIST, ALL STUMPS, ROOTS AND WOOD DEBRIS SHALL BE REMOVED TO A MINIMUM OF 300MM IN EXCAVATED AREAS UNDER A BUILDING, AND THE CLEARANCE BETWEEN UNTREATED STRUCTURAL WOOD ELEMENTS AND THE GROUND SHALL BE NO LESS THAN 450MM.
- BACKFILL WITHIN 600MM OF THE FOUNDATION WALLS SHALL BE FREE OF DELETERIOUS DEBRIS AND BOULDERS OVER 250MM IN DIAMETER.

DAMPPROOFING, WATERPROOFING AND SOIL GAS CONTROL NOTES

DAMPPROOFING AND DRAINAGE

- IN NORMAL SOIL CONDITIONS, THE EXTERIOR SURFACES OF FOUNDATION WALLS ENCLOSING BASEMENTS AND CRAWL SPACES SHALL BE DAMPPROOFED. WHERE HYDROSTATIC PRESSURE OCCURS, A WATERPROOFING SYSTEM IS REQUIRED.
- MASONRY FOUNDATION WALLS SHALL BE PARGED WITH 6MM OF MORTAR COVERED OVER THE FOOTING PRIOR TO DAMPPROOFING.
- 100MM DIA FOUNDATION DRAINS SHALL BE LAID ON LEVEL, UNDISTURBED GROUND ADJACENT TO THE FOOTINGS AT OR BELOW THE TOP OF THE BASEMENT SLAB OR CRAWL SPACE FLOOR, AND SHALL BE COVERED WITH 150MM OF CRUSHED STONE. FOUNDATION DRAINS SHALL DRAIN TO A STORM SEWER, DRAINAGE DITCH, DRY WALL OR SUMP.
- WINDOW WELLS SHALL BE DRAINED TO THE FOOTING LEVEL OR TO A DITCH OR SUMP PUMP.
- DOWNSPOUTS NOT DIRECTLY CONNECTED TO A STORM SEWER SHALL HAVE EXTENSIONS TO CARRY WATER AWAY FROM THE BUILDING, AND PROVISIONS SHALL BE MADE TO PREVENT SOIL EROSION.
- CONCRETE SLABS IN ATTACHED GARAGES SHALL BE SLOPED TO DRAIN TO THE EXTERIOR.
- THE BUILDING SITE SHALL BE GRADED SO THAT SURFACE SUMP AND ROOF DRAINAGE WILL NOT ACCUMULATE AT OR NEAR THE BUILDING WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES.

FLOORS ON GROUND NOTES

CONCRETE FLOOR SLABS

- MINIMUM 3" THICK.
- PLACED ON MINIMUM 4" OF COARSE CLEAN GRANULAR MATERIAL.
- FILL BENEATH SLABS SHALL BE COMPACTED EXCEPT WHERE COARSE CLEAN GRANULAR MATERIAL
- A BOND-BREAKING MATERIAL SHALL BE PLACES BETWEEN SLABS AND FOOTINGS.
- GARAGE FLOOR SLABS SHALL BE SLOPED TO DRAIN LIQUIDS TO THE OUTDOORS

INTENTIONAL BLANK SPACE PER HAMILTON BUILDING

**STRUCTURAL REQUIREMENTS
DESIGN LOADS (UNFACTORED)**

ROOF	
SNOW LOAD:	40 PSF (1.9 KPA)
DEAD LOAD:	16 PSF (0.75 KPA)
WIND UPLIFT:	50 PSF (2.4 KPA)



-ALL DRAWINGS AND RELATED DOCUMENTS ARE COPYRIGHT PROPERTY. THEY MAY NOT BE REPRODUCED, ALTERED OR REUSED WITHOUT THE EXPRESSED WRITTEN CONSENT OF ELEMENT FORENSIC ENGINEERING.
 -CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME, REPORTING ANY DISCREPANCIES TO ELEMENT FORENSIC ENGINEERING PRIOR TO COMMENCEMENT OF WORK.
 -LATEST APPROVED DRAWINGS GOVERN CONSTRUCTION.
 -DO NOT SCALE DRAWINGS.



DRAWINGS ARE SEALED FOR DESIGN PERTAINING THE RESTORATION OF LOSS RELATED DAMAGE AND ANY NOTED ALTERATION FROM THE AS-BUILT CONDITION. ELEMENT FORENSIC ENGINEERING HAS NOT CONDUCTED A DETAILED REVIEW OR REVERSE ENGINEERING ANALYSIS OF THE BUILDING FOR CONFORMITY WITH THE ONTARIO BUILDING CODE NOR THE LOCAL MUNICIPAL BYLAWS. AS A RESULT CANNOT BE HELD LIABLE OR RESPONSIBLE FOR THIS INFORMATION.

REV.	DATE	DESCRIPTION
1	NOV 13/20	ISSUED FOR PERMIT

ADDRESS 192 GOLF LINKS RD, ANCASTER, ON	FILE 2010-2802-RX
CLIENT JIM FORBES	SEQUENCE 8.01
TITLE GENERAL NOTES	SHEET A0.03

FOOTINGS, PIERS AND FOUNDATIONS NOTES

FOOTINGS (STRIP AND SPREAD)

-FOUNDED ON NATURAL UNDISTURBED SOIL, ROCK OR COMPACTED GRANULAR FILL WITH MINIMUM ALLOWABLE BEARING CAPACITY OF 1,600 PSF (75 KPA) (FREE OF WATER, ICE, FROST AND DEBRIS) TO BE VERIFIED BY EITHER ELEMENT FORENSIC ENGINEERING OR A SOIL ENGINEER RETAINED BY THE CONTRACTOR.
 -THE BASE OF THE FOOTING SHALL BE LEVEL. CHANGES IN THE UNDESIDE ELEVATION SHALL BE ACHIEVED WITH STEP FOOTINGS.
 -THE BASE OF THE FOOTING SHALL BE SET AT AN ELEVATION BELOW THE DEPTH OF FROST PENETRATION AND A MINIMUM OF 4'.
 -THE PROJECTION OF AN UNREINFORCED FOOTING BEYOND THE SUPPORTED WALL SHALL NOT BE GREATER THAN ITS THICKNESS.

STEP FOOTINGS

-2' MAX. RISE
 -2' MIN. RUN

PIERS

-SHALL EXTEND MINIMUM 6" ABOVE FINISH GRADE.
 -PIERS NOT CONSTRUCTED ATOP FOOTINGS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE REQUIREMENTS FOR FOOTINGS

FOUNDATION WALLS

-TO BE POURED CONCRETE, UNIT MASONRY, ICF OR PRESERVED WOOD (SEE DRAWINGS FOR TYPE AND THICKNESS).
 -DAMP PROOFING SHALL BE A HEAVY COAT OF BITUMINOUS MATERIAL.
 -SHALL EXTEND MINIMUM 8" ABOVE FINISH GRADE.
 -A DRAINAGE LAYER IS REQUIRED ON THE OUTSIDE OF A FOUNDATION WALL WHERE THE INTERIOR INSULATION EXTENDS MORE THAN 3' BELOW EXTERIOR GRADE. A DRAINAGE LAYER SHALL CONSIST OF:
 -MINIMUM ¾" MINERAL FIBRE INSULATION WITH MIN DENSITY OF 3.55 LBS/FT³
 -MINIMUM 4" OF FREE DRAINAGE GRANULAR MATERIAL, OR
 -AN APPROVED SYSTEM WHICH PROVIDES EQUIVALENT

PERFORMANCE.

-FOUNDATION WALLS SHALL BE BRACED OR HAVE THE FLOOR JOISTS INSTALLED BEFORE BACKFILLING.

CRAWL SPACES AND ATTIC SPACES NOTES

ACCESS TO ATTICS AND CRAWLSPACES

-ACCESS HATCH MINIMUM 1' 9-1/2 X 1' 11-1/4" TO BE PROVIDED TO EVERY ROOF SPACE WHICH IS 100 FT² OR MORE IN AREA AND MORE THAN 1' 11-5/8" IN HEIGHT
 -ACCESS HATCH MINIMUM 1' 7-3/4 X 2' 3-1/2" TO BE PROVIDED TO EVERY CRAWL SPACE

CLADDING NOTES

MASONRY VENEER

-MINIMUM 2-3/4" THICK IF JOINTS ARE NOT RAKED AND 3-1/2" THICK IF JOINTS ARE RAKED
 -MINIMUM 1" AIR SPACE TO SHEATHING
 -PROVIDE WEEP HOLES @ 2' 7-1/2" O.C. AT THE BOTTOM OF THE CAVITY AND OVER DOORS AND WINDOWS
 -DIRECT DRAINAGE THROUGH WEEP HOLES WITH 20 MIL POLY FLASHING EXTENDING MINIMUM 6" UP BEHIND THE SHEATHING PAPER
 -VENEER TIES MINIMUM 30 MIL THICK X 55/64" WIDE CORROSION RESISTANT STRAPS SPACED @ 1' 7-11/16" VERTICALLY AND 1' 11-5/8" HORIZONTALLY
 -FASTEN TIES WITH CORROSION RESISTANT 1/8" DIAMETER SCREWS OR SPIRAL NAILS WHICH PENETRATE AT LEAST 1-1/4" INTO STUDS.
 -STEEL LINTELS SHALL HAVE MIN 6" EVEN AND LEVEL BEARING AT END SUPPORTS.

REPOINTING

REPOINTING SHALL BE COMPLETED IN CONFORMANCE WITH THE REQUIREMENTS OF CAN/CSA A371-04. REPOINTING SHALL INCLUDE RAKING OUT MORTAR TO SOUND MATERIAL (MIN 1"). CONTRACTOR RESPONSIBLE FOR ANY AND ALL ASSOCIATED SHORING. CARE SHALL BE EXERCISED TO PREVENT DAMAGE TO THE REMAINING MATERIAL. RAKING SHALL LEAVE A CLEAN, SQUARE FACE AT BACK OF JOINT. JOINT GREATER THAN 1" SHALL BE POINTED WITH AN INITIAL LAYER TO BRING THE DEPTH TO A UNIFORM 1" DEEP.

SHEATHING MEMBRANE

-INSTALLED HORIZONTALLY SO THAT JOINTS ARE LAPPED NOT LESS THAN 4" (UPPER SHEETS TO OVERLAP THE LOWER SHEETS)
 -NEW SHEATHING MEMBRANE SHALL BE TIED INTO EXISTING

FLASHING

REINSTATE THROUGH WALL FLASHING AT BASE OF WALL ASSEMBLY AND OPENINGS.

FLOORING NOTES

CERAMIC TILE

WHEN CERAMIC TILE IS APPLIED TO A MORTAR BED WITH ADHESIVE, THE BED SHALL BE A MINIMUM ½" THICK AND REINFORCED WITH GALVANIZED DIAMOND MESH LATH, APPLIED OVER POLYETHYLENE ON SUBFLOORING ON JOISTS AT NO MORE THAN 16" O.C. WITH AT LEAST 2 ROWS CROSS BRIDGING.

VENTILATION NOTES

NATURAL VENTILATION

-DO NOT BLOCK OR OTHERWISE PREVENT THE FLOW OF AIR TO THE VENTILATION/WEEP HOLES AT THE TOP AND BOTTOM OF NEW OR REMAINING BRICK VENEER WALLS.
 -INSTALLATION OF THE NEW ATTIC INSULATION SHALL NOT OBSTRUCT VENTING AT THE SOFFIT.
 -EVERY ROOF SPACE ABOVE AN INSULATED CEILING SHALL BE VENTILATED WITH UNOBSTRUCTED OPENINGS EQUAL TO NOT LESS THAN 1/300 OF THE INSULATED CEILING AREA.
 -INSULATED ROOF SPACES NOT INCORPORATING AN ATTIC SHALL BE VENTILATED WITH UNOBSTRUCTED OPENINGS EQUAL TO NOT LESS THAN 1/150 OF THE INSULATED CEILING AREA.
 -ROOF VENTS SHALL BE UNIFORMLY DISTRIBUTED WITH MIN 25% AT TOP OF THE SPACE AND 25% AT THE BOTTOM OF THE SPACE DESIGNED TO PREVENT THE ENTRY OF RAIN, SNOW OR INSECTS.
 -UNHEATED CRAWL SPACES SHALL BE PROVIDED WITH 1.1 FT² OF VENTILATION FOR EACH 540 FT².
 -MINIMUM NATURAL VENTILATION AREAS, WHERE MECHANICAL VENTILATION IS NOT PROVIDED, ARE:
 -BATHROOMS: 1 FT²
 -OTHER ROOMS: 3 FT²
 -UNFINISHED BASEMENT: 0.2% OF FLOOR AREA

MECHANICAL VENTILATION

-A MECHANICAL VENTILATION SYSTEM IS REQUIRED WITH A TOTAL CAPACITY AT LEAST EQUAL TO THE SUM OF:
 -10.0 L/S EACH FOR BASEMENT AND MASTER BEDROOM
 -5.0 L/S FOR EACH OTHER ROOM.
 -A PRINCIPAL DWELLING EXHAUST FAN SHALL BE INSTALLED AND CONTROLLED BY A CENTRALLY LOCATED SWITCH IDENTIFIED AS SUCH.
 -SUPPLEMENTAL EXHAUST SHALL BE INSTALLED SO THAT THE TOTAL CAPACITY OF ALL KITCHEN, BATHROOM AND OTHER EXHAUSTS, LESS THE PRINCIPAL EXHAUST, IS NOT LESS THAN THE TOTAL REQUIRED CAPACITY.
 -A HEAT RECOVERY VENTILATOR MAY BE EMPLOYED IN LIEU OF EXHAUST TO PROVIDE VENTILATION. AN HRV IS REQUIRED IF ANY SOLID FUEL BURNING APPLIANCES ARE INSTALLED.

ELECTRICAL FACILITIES NOTES

ELECTRICAL

-AN EXTERIOR LIGHT CONTROLLED BY AN INTERIOR SWITCH IS REQUIRED AT EVERY ENTRANCE.
 -A LIGHT CONTROLLED BY A SWITCH IS REQUIRED IN EVERY KITCHEN, BEDROOM, LIVING ROOM, UTILITY ROOM, LAUNDRY ROOM, DINING ROOM, UTILITY ROOM LAUNDRY ROOM, DINING ROOM, BATHROOM, VESTIBULE, HALLWAY, GARAGE AND CARPORT. A SWITCHED RECEPTACLE MAY BE PROVIDED INSTEAD OF A LIGHT IN BEDROOMS AND LIVING ROOMS.
 -STAIRS SHALL BE LIGHTED, AND EXCEPT WHERE SERVING AN UNFINISHED BASEMENT SHALL BE CONTROLLED BY A 3 WAY SWITCH AT THE HEAD AND FOOT OF THE STAIRS.
 -BASEMENTS REQUIRE A LIGHT FOR EACH 323 FT², CONTROLLED BY A SWITCH AT THE HEAD OF THE STAIRS.

INTENTIONAL BLANK SPACE PER HAMILTON BUILDING



PHONE: 905.436.5758 | EMAIL: ELEMENT@ELEMENTFE.CA
 BURLINGTON | CAMBRIDGE | OSHAWA

-ALL DRAWINGS AND RELATED DOCUMENTS ARE COPYRIGHT PROPERTY. THEY MAY NOT BE REPRODUCED, ALTERED OR REUSED WITHOUT THE EXPRESSED WRITTEN CONSENT OF ELEMENT FORENSIC ENGINEERING.
 -CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME, REPORTING ANY DISCREPANCIES TO ELEMENT FORENSIC ENGINEERING PRIOR TO COMMENCEMENT OF WORK.
 -LATEST APPROVED DRAWINGS GOVERN CONSTRUCTION.
 -DO NOT SCALE DRAWINGS.



DRAWINGS ARE SEALED FOR DESIGN PERTAINING THE RESTORATION OF LOSS RELATED DAMAGE AND ANY NOTED ALTERATION FROM THE AS-BUILT CONDITION. ELEMENT FORENSIC ENGINEERING HAS NOT CONDUCTED A DETAILED REVIEW OR REVERSE ENGINEERING ANALYSIS OF THE BUILDING FOR CONFORMITY WITH THE ONTARIO BUILDING CODE NOR THE LOCAL MUNICIPAL BYLAWS. AS A RESULT CANNOT BE HELD LIABLE OR RESPONSIBLE FOR THIS INFORMATION.

REV.	DATE	DESCRIPTION
1	NOV 13/20	ISSUED FOR PERMIT

ADDRESS 192 GOLF LINKS RD, ANCASTER, ON	FILE 2010-2802-RX
CLIENT JIM FORBES	SEQUENCE 8.02
TITLE GENERAL NOTES	SHEET A0.04

WOOD FRAME CONSTRUCTION NOTES

WOOD FRAME CONSTRUCTION

- WOOD FRAMING MEMBERS WHICH ARE SUPPORTED ON CONCRETE IN DIRECT CONTACT WITH SOIL SHALL BE SEPARATED FROM THE CONCRETE WITH 6 MIL POLYETHYLENE OR TYPE 'S' ROLL ROOFING
- NEW FRAMING ELEMENTS SHALL NOT BE SPLICED.
- NEW FLUSH MOUNT CONNECTIONS SHALL BE SUPPORTED ON JOIST HANGERS.
- OVERCUTTING OF NOTCHES (INCLUDING BIRDMOUTHS AND STAIR STRINGERS) IS NOT PERMITTED.
- TERMITES ARE KNOWN TO BE IN SOUTHERN ONTARIO. PRIOR TO BREAKING GROUND THE CONTRACTOR MUST CONDUCT A SURVEY/INSPECTION BY A COMPETENT PROFESSIONAL AND NOTIFY OUR OFFICE SHOULD TERMITES BE PRESENT.
- SOLID FUEL-BURNING FIREPLACES SHALL HAVE A MINIMUM 4" CLEARANCE BETWEEN COMBUSTIBLE FRAMING EXCEPT AT EXTERIOR WALLS, WERE A MINIMUM 2" CLEARANCE IS PERMITTED. SMOKE CHAMBERS OF SOLID FUEL-BURNING FIREPLACES SHALL HAVE A MINIMUM 2" CLEARANCE BETWEEN COMBUSTIBLE FRAMING EXCEPT AT EXTERIOR WALLS, WERE A MINIMUM 1" CLEARANCE IS PERMITTED.
- REFER TO OBC TABLE 9.23.3.4 FOR NAILING FOR FRAMING
- LAMINATION SHALL COMPRISE TWO ROWS OF NAILS NOT LESS THAN 3 1/2" IN LENGTH, SPACED NOT MORE THAN 18" APART IN EACH ROW WITH THE NAILS LOCATED 4" FROM THE END OF EACH PIECE, COMPLETED IN CONFORMANCE WITH THE REQUIREMENTS OF OBC PART 9, SECTION 9.23.8.3 .

WALLS AND HEADERS

- REFER TO WALL SCHEDULE FOR STUD SIZE AND SPACING REQUIREMENTS
- SILL PLATES SHALL NOT BE LESS THAT 2X4" MATERIAL FIXED TO FOUNDATION WITH 1/2" ANCHOR BOLTS @ MAX 7' 10" O.C. UNO.
- STUD WALLS SHALL INCLUDE A SINGLE BOTTOM PLATE AND DOUBLE TOP PLATE, OF A MATCHING SIZE TO THE STUD, UNO.
- WHERE LOAD BEARING WALLS ARE NOT SHEATHED ON BOTH SIDES, INSTALL SOLID BRIDGING AT 4' O.C.
- SUPPORT HEADERS (WITH SPANS LESS THAN 10' AND SUPPORTING NO POINT LOADS ON SINGLE JACK STUDS. FOR HEADERS WITH SPANS GREATER THAN 10 OR SUPPORTING POINT LOADS, REFER TO PLANS.
- INSTALL KING STUDS ADJACENT TO ALL JACK STUDS
- INTERCONNECT KING AND JACK STUDS WITH 3" FASTENERS SPACED AT MAX 12" OC

FLOORS

- REFER TO DAMAGE RESTORATION/NEW CONSTRUCTION DRAWINGS FOR FLOOR JOIST SIZE AND SPACING REQUIREMENTS
- JOISTS TO HAVE MINIMUM 1 1/2" OF END BEARING
- JOISTS SHALL BEAR ON A TOP PLATE OR SILL PLATE FIXED TO FOUNDATION WITH 1/2" ANCHOR BOLTS @ 7'10" O.C.
- HEADER JOISTS BETWEEN 3' 11" AND 10' 5" IN LENGTH SHALL BE DOUBLED. HEADER JOISTS EXCEEDING 10' 5" SHALL BE SIZED BY CALCULATIONS
- TRIMMER JOISTS SHALL BE DOUBLED WHEN SUPPORTED HEADER IS BETWEEN 2' 7-1/2" AND 6' 6-1/2". TRIMMER JOISTS SHALL BE SIZED BY CALCULATIONS WHEN SUPPORTED HEADER EXCEEDS 6' 6-1/2"
- 2X2" CROSS BRIDGING REQUIRED NOT MORE THAN 6' 10-1/2" FROM EACH SUPPORT AND FROM OTHER ROWS OF BRIDGING
- JOISTS SHALL BE SUPPORTED ON JOIST HANGERS AT ALL FLUSH BEAMS, TRIMMERS AND HEADERS
- NON-LOAD BEARING PARTITIONS SHALL BE SUPPORTED ON A JOIST OR ON BLOCKING BETWEEN JOISTS.

ROOF & CEILINGS

- REFER TO DAMAGE RESTORATION/NEW CONSTRUCTION DRAWINGS FOR RAFTER, ROOF JOISTS AND CEILING JOIST SIZE AND SPACING REQUIREMENTS
- RIDGE BOARD, HIP AND VALLEY RAFTER SHALL BE A MINIMUM 2" DEEPER THAN COMMON RAFTERS
- 2X4" COLLAR TIES EXCEEDING 7'10" IN LENGTH SHALL BE LATERALLY SUPPORTED NEAR THEIR CENTRES BY NOT LESS THAN 1X4" CONTINUOUS MEMBERS INSTALLED AT RIGHT ANGLES TO THE COLLAR TIES.
- OUTLOOK FRAMING SHALL COMPRISE END RAFTER AND BLOCKING @ 16"OC. ALL ELEMENTS SHALL BE MIN 2X4". SHEATHING ATOP THE OUTLOOK FRAMING SHALL EXTEND BACK A MIN 2 RAFTERS.
- WHERE TRUSSES ARE PRESENT, ANCHOR WITH SIMPSON H1 HURRICANE TIES.
- OVERLAP CEILING JOISTS BETWEEN OPPOSING BAY A MIN 12". WHERE SEPARATED BY FLUSHMOUNT BEAMS, INTERCONNECT WITH AN UNDERMOUNTED SIMPSON MSTA STEEL STRAP OF SUFFICIENT LENGTH THAT ALLOWS 3 MORE FASTENERS PER SIDE THAN REQUIRED FOR THE RAFTER TO JOIST CONNECTION.
- ALIGN RAFTERS AND CEILING JOISTS OFFSET BY THEIR OWN THICKNESS TO FACILITATE SIDE NAILING INTERCONNECTIVITY.

NOTCHING & DRILLING OF TRUSSES, JOISTS, RAFTERS

- HOLES IN FLOOR, ROOF AND CEILING MEMBERS TO BE NOT LARGER THAN 1/4 THE ACTUAL DEPTH OF MEMBER AND NOT LESS THAN 2" FROM EDGES
- NOTCHES IN FLOOR, ROOF AND CEILING MEMBERS TO BE LOCATED ON TOP OF THE MEMBER WITH 1/2 THE ACTUAL DEPTH FROM THE EDGE OF BEARING AND NOT GREATER THAN 1/3 THE JOIST DEPTH
- WALL STUDS MAY BE NOTCHED OR DRILLED PROVIDED THAT NO LESS THAN 2/3 THE DEPTH OF THE STUD REMAINS, IF LOAD BEARING, AND 1-5/8" IF NON-LOAD BEARING
- NOTCHING & DRILLING OF ENGINEERED JOISTS AND LVL SHALL BE CONDUCTED IN CONFORMANCE WITH THE MANUFACTURER'S SPECIFICATIONS
- ROOF TRUSS MEMBERS SHALL NOT BE NOTCHED, DRILLED OR WEAKENED UNLESS ACCOMMODATED IN THE DESIGN

COLUMNS, BEAMS AND LINTELS

- MINIMUM 3-1/2" END BEARING FOR WOOD AND STEEL BEAMS.
- PROVIDED MIN 8" SOLID BEARING BELOW BEAMS IN MASONRY WALLS.
- ALL BEAMS ARE INFERRED DROP UNO.
- WOOD COLUMNS FOR CARPORTS AND GARAGES SHALL BE MINIMUM 3-1/2" X 3-1/2"; IN ALL OTHER CASES EITHER 6 X 6" OR 8" ROUND, UNLESS CALCULATIONS BASED ON ACTUAL LOADS SHOW LESSER SIZES ARE ADEQUATE. ALL COLUMNS SHALL BE NOT LESS THAN THE WIDTH OF THE SUPPORTING MEMBER
- PROVIDE SOLID BLOCKING THE FULL WIDTH OF THE SUPPORTED MEMBER UNDER ALL CONCENTRATED LOADS
- CARRY ALL POINT LOADS DOWN TO FOUNDATION OF SUITABLE DESIGN SUPPORT. PROVIDE SOLID BLOCKING WITHIN FLOOR SPACE.
- WHERE FLOOR FRAMING TRANSFERS POINT LOADS FROM HEADER/BEAM SUPPORTS, BUILD OUT FLOOR JOSITS WITH SUPPLEMENTAL PLYS (FULL SPAN) AS NECESSARY TO ENSURE SOLID BEARING.

SHEATHING/SUBFLOOR

- SHEATHING/SUBFLOOR SHALL BE EXTERIOR GRADE, INSTALLED IN FULL SHEETS WHERE FEASIBLE, FULLY SUPPORTED AT ALL EDGES
- SUBFLOOR SHALL BE TONGUE AND GROOVE.
- STAGGER JOINTS
- SUBFLOOR INSTALLED ATOP ENGINEERED JOISTS SHALL BE SECURED IN CONFORMANCE WITH THE APPLICABLE JOIST MANUFACTURER'S SPECIFICATIONS FOR A COMPOSITE FLOORING SYSTEM.
- WHERE THE PRE-LOSS SHEATHING/SUBFLOOR IS GREATER THAN THE MINIMUM REQUIRED THICKNESS, THE NEW SHEATHING/SUBFLOOR CAN CONSIST OF MULTIPLE LAYERS, BUILT UP TO MATCH THE THICKNESS OF THE REMAINING ADJACENT. WHEN THE SHEATHING/SUBFLOOR IS BUILT UP, THE SHEET ADJACENT TO THE FRAMING, MUST MEET THE MINIMUM REQUIRED THICKNESS

SHEATHING/SUBFLOOR THICKNESS

TYPE	MIN REQUIRED THICKNESS (IN)
SUBFLOOR	5/8
ROOF SHEATHING	1/2
WALL SHEATHING	3/8

INTENTIONAL BLANK SPACE PER HAMILTON BUILDING

MASONRY AND INSULATING CONCRETE FROM WALLS NOT IN CONTACT WITH THE GROUND NOTES

MASONRY WALLS

- WHERE CONSTRUCTED OF 3-1/2" BRICK, WALL SHALL BE BONDED WITH A HEADER COURSE EVERY 1' 11-5/8" O.C. VERTICALLY AND HORIZONTALLY AND 2' 11-7/16" O.C. FOR BLOCK OR TILE
- PROVIDE 2" SOLID MASONRY, CONCRETE FILLED TOP COURSE OR CONTINUOUS 2X4" WOOD PLATE UNDER ALL ROOF AND FLOOR FRAMING MEMBERS
- PROVIDE 8" SOLID MASONRY UNDER BEAMS AND COLUMNS
- STEEL LINTELS SHALL HAVE MIN 6" EVEN AND LEVEL BEARING AT END SUPPORTS.
- MASONRY WALL TO BE TIED TO EACH TIER OF JOISTS WITH 1-19/32" X 3/16" CORROSION RESISTANT STEEL STRAPS, KEYED MINIMUM 4" INTO MASONRY. WHEN JOISTS ARE PARALLEL TO WALLS, TIES ARE TO EXTEND ACROSS AT LEASE 3 JOISTS @ 16" O.C.
- INSIDE OF WALL TO BE PARGED AND COVERED WITH NO. 15 BREATHER-TYPE ASPHALT PAPER
- FOR REDUCED FOUNDATION WALLS TO ALLOW A BRICK FACING WHILE MAINTAINING LATERAL SUPPORT, TIE MINIMUM 3-1/2" BRICK TO MINIMUM 3-1/2" BACKUP BLOCK WITH CORROSION RESISTANT TIES AT LEASE 0.3IN² IN CROSS SECTIONAL AREA, SPACED 8" VERTICALLY AND 35-1/2" HORIZONTALLY, WITH JOINTS COMPLETELY FILLED WITH MORTAR.
- MASONRY OVER OPENINGS SHALL BE SUPPORTED ON CORROSION RESISTANT OR PRIME PAINTED STEEL LINTELS WITH A MINIMUM OF 6" END BEARING.

MASONRY COLUMNS

- MASONRY COLUMNS SHALL BE A MINIMUM OF 3-1/2" X 3-1/2" OR 9-29/64" X 1' 2-61/64"

REPOINTING

- REPOINTING SHALL BE COMPLETED IN CONFORMANCE WITH THE REQUIREMENTS OF CAN/CSA A371-04. REPOINTING SHALL INCLUDE RAKING OUT MORTAR TO SOUND MATERIAL (MIN 1"). CONTRACTOR RESPONSIBLE FOR ANY AND ALL ASSOCIATED SHORING. CARE SHALL BE EXERCISED TO PREVENT DAMAGE TO THE REMAINING MATERIAL. RAKING SHALL LEAVE A CLEAN, SQUARE FACE AT BACK OF JOINT. JOINT GREATER THAN 1" SHALL BE POINTED WITH AN INITIAL LAYER TO BRING THE DEPTH TO A UNIFORM 1" DEEP.



-ALL DRAWINGS AND RELATED DOCUMENTS ARE COPYRIGHT PROPERTY. THEY MAY NOT BE REPRODUCED, ALTERED OR REUSED WITHOUT THE EXPRESSED WRITTEN CONSENT OF ELEMENT FORENSIC ENGINEERING.
 -CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME, REPORTING ANY DISCREPANCIES TO ELEMENT FORENSIC ENGINEERING PRIOR TO COMMENCEMENT OF WORK.
 -LATEST APPROVED DRAWINGS GOVERN CONSTRUCTION.
 -DO NOT SCALE DRAWINGS.



DRAWINGS ARE SEALED FOR DESIGN PERTAINING THE RESTORATION OF LOSS RELATED DAMAGE AND ANY NOTED ALTERATION FROM THE AS-BUILT CONDITION. ELEMENT FORENSIC ENGINEERING HAS NOT CONDUCTED A DETAILED REVIEW OR REVERSE ENGINEERING ANALYSIS OF THE BUILDING FOR CONFORMITY WITH THE ONTARIO BUILDING CODE NOR THE LOCAL MUNICIPAL BYLAWS. AS A RESULT CANNOT BE HELD LIABLE OR RESPONSIBLE FOR THIS INFORMATION.

REV.	DATE	DESCRIPTION
1	NOV 13/20	ISSUED FOR PERMIT

ADDRESS 192 GOLF LINKS RD, ANCASTER, ON	FILE 2010-2802-RX
CLIENT JIM FORBES	SEQUENCE 8.03
TITLE GENERAL NOTES	SHEET A0.05

9.23 WOOD FRAME CONSTRUCTION

1/2" = 1'-0"

SUBSTITUTIONS NOTES

ALL REQUESTS FOR CHANGES AND SUBSTITUTIONS MUST BE SUBMITTED, IN WRITING, TO THE CLIENT AND ELEMENT FORENSIC ENGINEERING FOR APPROVAL. THE REQUEST SHALL INCLUDE A DETAILED DESCRIPTION OF ANY IMPACTS TO SCHEDULE AND COST (INCLUDING INCREASES AND DECREASES) AND A COPY OF ANY ASSOCIATED MANUFACTURER'S SPECIFICATIONS. APPROVAL OF CHANGES/SUBSTITUTIONS, BY ELEMENT FORENSIC ENGINEERING, WILL BE PROVIDED IN WRITING. ANY VERBAL DISCUSSIONS PERTAINING CHANGES AND SUBSTITUTIONS ARE FOR DISCUSSION PURPOSES ONLY AND DO NOT NEGATE THE NEED FOR WRITTEN REQUEST OR APPROVAL. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR A PROFESSIONAL ENGINEER TO SIGN AND SEAL ANY DESIGNED COMPONENT OF THE CHANGE/SUBSTITUTION. UNLESS SPECIFICALLY WRITTEN IN OUR APPROVAL, ELEMENT FORENSIC IS NOT RESPONSIBLE FOR THE DESIGN, SIGNING OR SEALING.

ENVIRONMENTAL NOTES

BASED ON THE UNDERSTOOD DATE OF THE CONSTRUCTION OF THE BUILDING, THERE IS THE POTENTIAL FOR HAZARDOUS MATERIAL (DESIGNATED SUBSTANCES) WITHIN SELECT BUILDING MATERIALS. A COMPREHENSIVE LIST OF DESIGNATED SUBSTANCES CAN BE FOUND WITHIN O.REG 490/09. PRIOR TO THE DISTURBANCE OF ANY BUILDING MATERIALS WITH SUSPECTED HAZARDOUS CONTENT, WE RECOMMEND THAT SAID BUILDING MATERIAL BE APPROPRIATELY TESTED, PRIOR TO DISTURBANCE, IN ACCORDANCE WITH THEIR GOVERNING REGULATION. THE SAMPLING AND TESTING OF SUSPECTED DESIGNATED SUBSTANCES IS UNDERSTOOD TO BE BEYOND OUR CURRENTLY UNDERSTOOD SCOPE OF INVOLVEMENT. AT YOUR REQUEST, WE WOULD BE PLEASE TO EXPAND OUR CURRENTLY UNDERSTOOD SCOPE OF WORK TO INCLUDE FOR THIS. WE NOTE THAT ANY/ALL SUSPECTED DESIGNATED SUBSTANCES SHALL BE TREATED AS SUCH, UNTIL LABORATORY CONFIRMS OTHERWISE.

ROOFING NOTES

-FASTENERS FOR ROOFING SHALL BE CORROSION RESISTANT. ROOFING NAILS SHALL PENETRATE THROUGH OR AT LEAST ½" INTO ROOF SHEATHING
 -EVERY ASPHALT SHINGLE SHALL BE FASTENED WITH AT LEAST 4 NAILS FOR 3' 3" WIDE SHINGLE
 -EAVE PROTECTION SHALL EXTEND 3' UP THE ROOF SLOPE FROM THE EDGE, AND AT LEAST 12" FROM THE INSIDE FACE OF THE EXTERIOR WALL, AND SHALL CONSIST OF TYPE M OR TYPE S ROLL ROOFING LAID WITH MINIMUM 4" HEAD AND END LAPS CEMENTED TOGETHER, OR GLASS FIBRE OR POLYESTER FIBRE COATED BASE SHEETS, OR SELF SEALING COMPOSITE MEMBRANES CONSISTING OF MODIFIED BITUMINOUS COATED MATERIAL OR NO. 15 SATURATED FELT LAPPED AND CEMENTED. EAVE PROTECTION IS NOT REQUIRED FOR UNHEATED BUILDINGS, FOR ROOFS EXCEEDING A SLOPE OF 1 IN 1.5, OR WHERE A LOW SLOPE ASPHALT SHINGLE APPLICATION IS PROVIDED
 -OPEN VALLEYS SHALL BE FLASHED WITH 2 LAYERS OF ROLL ROOFING, OR 1 LAYER OF SHEET METAL MIN 24" WIDE
 -FLASHING SHALL BE PROVIDED AT THE INTERSECTION OF SHINGLE ROOFS WITH EXTERIOR WALLS AND CHIMNEYS
 -SHEET METAL FLASHING SHALL CONSIST OF NOT LESS THAN 68 MIL SHEET LEAD, 13 MIL GALVANIZED STEEL, 1/64" COPPER, 14 MIL ZINC, OR 19 MIL ALUMINUM

PERMITS NOTES

NO PERSON SHALL CONSTRUCT OR DEMOLISH A BUILDING OR CAUSE A BUILDING TO BE CONSTRUCTED OR DEMOLISHED UNLESS A PERMIT HAS BEEN ISSUED THEREFORE BY THE CHIEF BUILDING OFFICIAL.
 -CONSTRUCT MEANS TO DO ANYTHING IN THE ERECTION, INSTALLATION, EXTENSION OR MATERIAL ALTERATION OR REPAIR OF A BUILDING AND INCLUDES THE INSTALLATION OF A BUILDING UNIT FABRICATED OR MOVED FROM ELSEWHERE AND "CONSTRUCTION" HAS A CORRESPONDING MEANING.
 -DEMOLISH MEANS TO DO ANYTHING IN THE REMOVAL OF A BUILDING OR ANY MATERIAL PART THEREOF AND "DEMOLITION" HAS A CORRESPONDING MEANING.

AT EACH STAGE OF CONSTRUCTION SPECIFIED IN THE BUILDING CODE, THE CONSTRUCTOR OR OTHER APPOINTED PERSON SHALL NOTIFY THE CHIEF BUILDING OFFICIAL, WHERE APPLICABLE TO THE PROJECT (REFER TO OBC DIVISION C, SECTION 1.3.5.1), AND WHERE MANDATED BY THE APPROVED PERMIT DOCUMENTS, ISSUED BY THE LOCAL MUNICIPAL BUILDING DEPARTMENT.

ELECTRICAL INSTALLATION, REPAIR AND REPLACEMENT WORK NEEDS TO BE DONE IN COMPLIANCE WITH THE ONTARIO ELECTRICAL SAFETY CODE. IT IS THE CONSTRUCTOR'S RESPONSIBILITY TO OBTAIN ALL/ANY PERMIT (ALSO CALLED A NOTIFICATION) NECESSARY UNDER THE ELECTRICAL SAFETY AUTHORITY (ESA).

HVAC SYSTEMS SHALL BE CLEANED, AS DETERMINED BY A QUALIFIED PERSON, IN ACCORDANCE WITH INDUSTRY STANDARD FOR THE ASSESSMENT, CLEANING AND RESTORATION OF HVAC SYSTEMS. SHOULD PARTIAL, SUBSTANTIAL OR COMPLETE REMOVAL AND REPLACEMENT BE DEEMED REQUIRED, THE LOCAL MUNICIPAL BUILDING DEPARTMENT MAY REQUIRE A BUILDING PERMIT FOR REPAIR. IT IS THE CONSTRUCTOR'S RESPONSIBILITY TO COORDINATE WITH THE MUNICIPAL INSPECTOR, SHOULD A BUILDING PERMIT REQUIRED BASED ON THE SCOPE OF WORK. THE MECHANICAL CONTRACTOR SHALL COMPLETE HEAT LOSS CALCULATIONS AND DRAWINGS BY A QUALIFIED DESIGNER (PERSON SHALL MEET THE REQUIREMENTS SET OUT IN THE BUILDING CODE TO BE A DESIGNER), SHOULD A BUILDING PERMIT BE REQUIRED, SUBMITTING TO THE LOCAL MUNICIPAL BUILDING DEPARTMENT IN ORDER TO OBTAIN A BUILDING PERMIT.

ANY TREE(S) THAT FALL WITHIN THE CONSTRUCTION AREA, SHALL BE PROTECTED IN CONFORMANCE WITH THE APPLICABLE REGULATIONS OR BY-LAWS, AS GOVERNED BY THE MUNICIPALITY. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY REQUISITE PERMITS. PRIOR TO ACCESSING A TREE PROTECTION ZONE, DAMAGING OR REMOVING A TREE(S), THE CONTRACTOR SHALL OBTAIN ANY NECESSARY PERMITS.

ABBREVIATIONS

&	AND	MMAH	MINISTRY OF MUNICIPAL AFFAIRS AND HOUSING/A NOT APPLICABLE
@	AT	NTS	NOT TO SCALE
ADD'L	ADDITIONAL	OBC	ONTARIO BUILDING CODE
ADJ	ADJACENT	OC	ON CENTER
AFUE	ANNUAL FUEL UTILIZATION EFFICIENCY	OD	OUTSIDE DIAMETER
AH	ATTIC HATCH	O/F	OUTSIDE FACE
APPROX	APPROXIMATE	OHSA	OCCUPATIONAL HEALTH AND SAFETY ACT
B/W	BETWEEN	OSB	ORIENTED STRAND BOARD
BLL	BOTTOM LOWER LAYER	PA	POST ABOVE
BOT	BOTTOM	PF	FACTORED LOAD
BUL	BOTTOM UPPER LAYER	PL	PLATE
CANT	CANTILEVER	PLA	POINT LOAD ABOVE
CI	CONTINUOUS INSULATION	PT	PRESSURE TREATED
CJ	CEILING JOIST	RA	ROOFING APPLICATION
CL	CENTERLINE	REINF	REINFORCING
CMA	CARBON MONOXIDE ALARM	RJ	ROOF JOIST
CMU	CONCRETE MASONRY UNIT	RR	ROOF RAFTER
COL	COLUMN	R/W	REINFORCED WITH
CONC	CONCRETE	SA	SMOKE ALARM
CONT	CONTINUOUS	SDL	SUPERIMPOSED DEAD LOAD
C/W	COMPLETE WITH	SIM	SIMILAR
DJ	DOUBLE JOIST	SM	SHEATHING MEMBRANE
DL	DEAD LOAD	SOG	SLAB ON GRADE
DR	DOUBLE RAFTER	SPDD	STANDARD PROCTOR DRY DENSITY
EA	EACH	SPP	SECONDARY PLANE OF PROTECTION
EBF	EXPOSED BUILDING FACE	TF	FACTORED TENSION
EF	EACH FACE	THK	THICK
EL	ELEVATION	TJ	TRIPLE JOIST
EP	ELECTRICAL PANEL	TL	TOTAL LOAD (DL+LL)
EW	EACH WAY	TLL	TOP LOWER LAYER
EX	EXISTING	T/O	TOP OF
EXIST	EXISTING	TOS	TOP OF SLAB/STEEL
EXT	EXTERIOR	TR	TRIPLE RAFTER
FJ	FLOOR JOIST	TUL	TOP UPPER LAYER
FND	FOUNDATION	TYP	TYPICAL
FP	FIREPLACE	T&G	TONGUE AND GROOVE
FRR	FIRE RESISTANCE RATING	UDL	UNIFORMLY DISTRIBUTED LOAD
FTG	FOOTING	UNEX	UNEXCAVATED
FUR	FURNACE	UNO	UNLESS NOTED OTHERWISE
GL	GRID LINE	U/S	UNDERSIDE
GT	GIRDER TRUSS	VERT	VERTICAL
HORZ	HORIZONTAL	VB&AB	VAPOUR BARRIER AND AIR BARRIER
I/F	INSIDE FACE	VF	FACTORED SHEAR
LD	LIMITING DISTANCE	WIC	WALK-IN CLOSET
█	LOAD-BEARING WALL	WME	WOOD MOISTURE EQUIVALENT
LG	LONG	WWM	WELDED WIRE MESH
LL	LIVE LOAD	W/	WITH
LLV	LONG LEG VERTICAL	W/R	WASHROOM
LVL	LAMINATED VENEER LUMBER		
MAX	MAXIMUM		
MF	FACTORED MOMENT		
MIN	MINIMUM		

INTENTIONAL BLANK SPACE PER HAMILTON BUILDING



-ALL DRAWINGS AND RELATED DOCUMENTS ARE COPYRIGHT PROPERTY. THEY MAY NOT BE REPRODUCED, ALTERED OR REUSED WITHOUT THE EXPRESSED WRITTEN CONSENT OF ELEMENT FORENSIC ENGINEERING.
 -CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME, REPORTING ANY DISCREPANCIES TO ELEMENT FORENSIC ENGINEERING PRIOR TO COMMENCEMENT OF WORK.
 -LATEST APPROVED DRAWINGS GOVERN CONSTRUCTION.
 -DO NOT SCALE DRAWINGS.



DRAWINGS ARE SEALED FOR DESIGN PERTAINING THE RESTORATION OF LOSS RELATED DAMAGE AND ANY NOTED ALTERATION FROM THE AS-BUILT CONDITION. ELEMENT FORENSIC ENGINEERING HAS NOT CONDUCTED A DETAILED REVIEW OR REVERSE ENGINEERING ANALYSIS OF THE BUILDING FOR CONFORMITY WITH THE ONTARIO BUILDING CODE NOR THE LOCAL MUNICIPAL BYLAWS. AS A RESULT CANNOT BE HELD LIABLE OR RESPONSIBLE FOR THIS INFORMATION.

REV.	DATE	DESCRIPTION
1	NOV 13/20	ISSUED FOR PERMIT

ADDRESS 192 GOLF LINKS RD, ANCASTER, ON	FILE 2010-2802-RX
CLIENT JIM FORBES	SEQUENCE 8.04
TITLE GENERAL NOTES	SHEET A0.06



APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS
Registered Owners(s)		
Applicant(s)*		
Agent or Solicitor		

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

None

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

We are requesting a variance to the current road allowance of 5.5 metres (Golf Links Road (Nyblick Wynde) Grading plan 1985) to reduce it by 3.4 metres at the East lot line and by 4.2 metres at a point 8 metres west of the East lot line. (The difference in the distance requested is due to the fact the existing garage is not parallel to the lot line)

Second Dwelling Unit Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

The garage extension will encroach upon the existing road allowance. The current Golf Links road allowance of 5.5 metres was established when the Nyblick Wynde Survey was developed allowing for a four lane road to be built. It was constructed with a two lane road. Given the current residential density a four lane road cannot be built.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

Lot 12, Registered Plan No. 62M-422
192 Golf Links Road, Ancaster

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial

Agricultural Vacant

Other _____

- 8.1 If Industrial or Commercial, specify use n/a

- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?
Yes No Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

Prior to the development of the Court the area was farmland

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

MARCH 9, 2022

Date

Judy Forbes
Signature Property Owner(s)

JUDY FORBES
Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage 20.18 metres
Depth 41.384 metres to 44.072 metres
Area 854.6 square metres
Width of street 11 metres

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:

Two storey house, attached one storey garage. Total ground floor area is approximately 255 square metres. (See Original 1985 site plan - MacKay, MaKay & Peters Limited attached) (See document Drawing of addition - One Page)

Proposed

Proposed one car extension on garage (north of existing garage) 4.5 metres by 6.6 metres (width x length) Exterior of addition to match existing garage exterior. Gross floor area: 29.7 square metres

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

Sides of house to side lot lines range from 1.6 to 1.65 metres. West side of house is 16.7 metres from back lot line and 17.7 metres from front lot line. East side of house is 12.3 metres from back lot line and 8.7 metres from front

Proposed:

No changes in the above dimensions except for north end of house (garage). The east edge of garage will be 4.3 metres from the front lot line and west edge of garage will be 3.3 metres from the front lot line. The proposed addition will range from 9 to 10 metres from the existing road curb (See document: Site plan notes with & without addition)

13. Date of acquisition of subject lands:
1999
14. Date of construction of all buildings and structures on subject lands:
1985
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
Family
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
Family
17. Length of time the existing uses of the subject property have continued:
Since original construction of 1985
18. Municipal services available: (check the appropriate space or spaces)
Water _____ Connected _____
Sanitary Sewer _____ Connected _____
Storm Sewers _____
19. Present Official Plan/Secondary Plan provisions applying to the land:
R3
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
B 87-57
21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)
 Yes No
- If yes, please provide the file number:

- 21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?
 Yes No
- 21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No
23. Additional Information (please include separate sheet if needed)

24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.