



Hamilton

**COMMITTEE OF ADJUSTMENT**

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5  
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202  
E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**NOTICE OF PUBLIC HEARING**  
**Minor Variance**

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**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
  - Applicant/agent on file, or
  - Person likely to be interested in this application
- 

**APPLICATION NO.:** SC/A-22:76

**APPLICANTS:** Owner Marina Del Sordo

**SUBJECT PROPERTY:** Municipal address **91 Centennial Parkway, Stoney Creek**

**ZONING BY-LAW:** Zoning By-law Stoney Creek 3692-92, as Amended

**ZONING:** RM1 Residential Multiple One district

**PROPOSAL:** To permit the construction of a accessory building (garage) in the rear yard not withstanding that:

1. A maximum height of 7.32 metres is permitted where 4.5 metres is the required maximum.
2. A total lot coverage of 16% for Accessory Buildings where 10% is the required maximum.

Notes:

- i) Insufficient information was provided to confirm eaves/ gutter projections from the proposed accessory structure into minimum rear and side yards as per Section 4.19.1 (c) of Stoney Creek Zoning By-law No. 3692-92.
- ii) The Applicant shall ensure Building Height has been provided as defined by Stoney Creek Zoning By-Law No. 3692-92
- iii) The proposed accessory building shall only be used as private parking for the existing residential use. No commercial use or home occupation is permitted within the accessory building.
- iv) Parking spaces in garage have not been clearly indicated. Applicant shall ensure all proposed parking spaces within the private residential garage shall not be less than 3 metres in width or less than 6 metres in length as per Section 6.1.8. (d) of Stoney Creek Zoning By-Law No. 3692-92

This application will be heard by the Committee as shown below:

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**DATE:** Thursday, April 28<sup>th</sup>, 2022  
**TIME:** 2:10 p.m.  
**PLACE:** Via video link or call in (see attached sheet for details)  
To be streamed at  
[www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)  
for viewing purposes only

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## **PUBLIC INPUT**

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

## **MORE INFORMATION**

For more information on this matter, including access to drawings illustrating this request:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

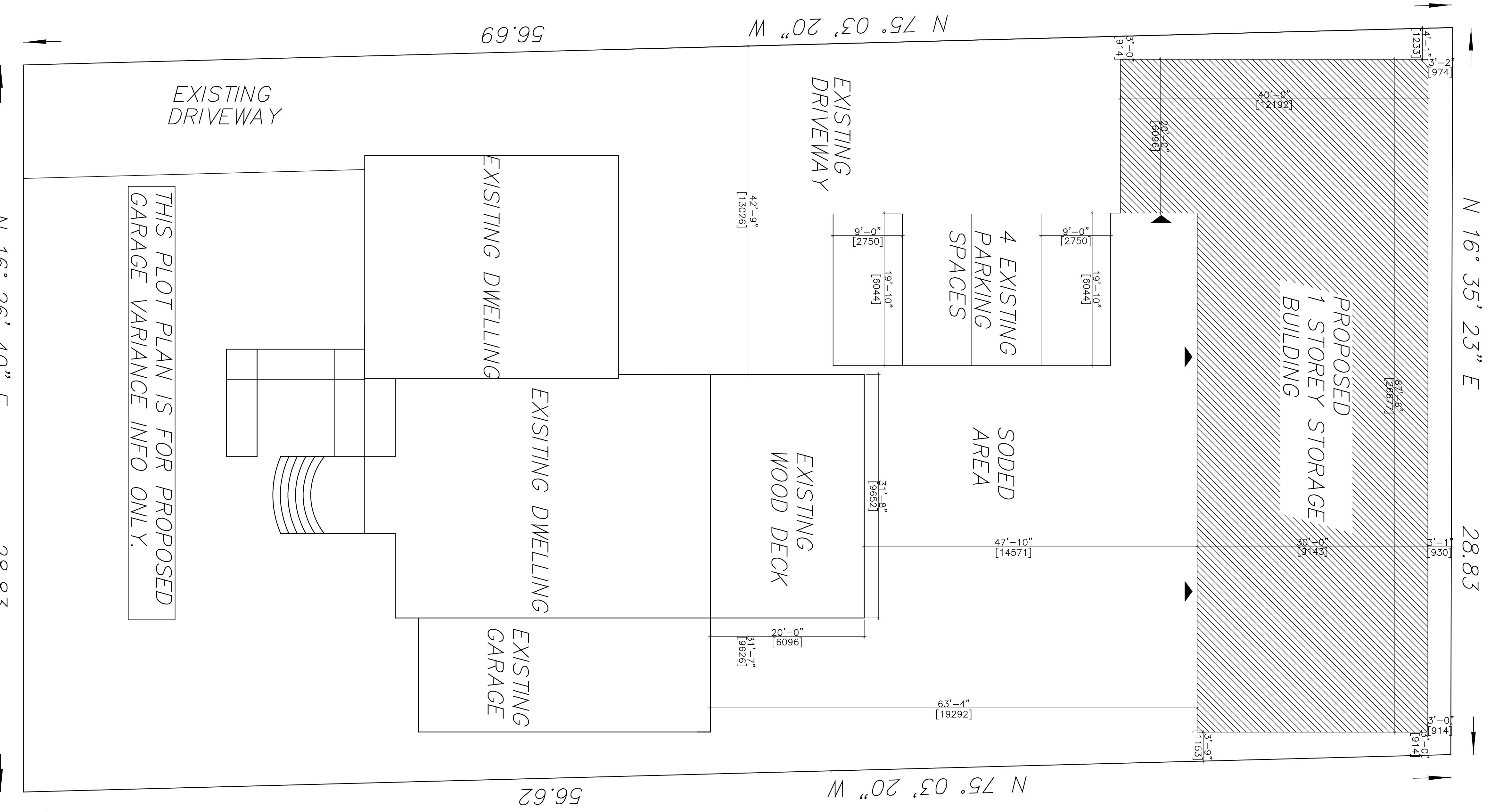
DATED: April 12<sup>th</sup>, 2022.

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

***Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.***

DO NOT SCALE DRAWINGS



THIS PLOT PLAN IS FOR PROPOSED GARAGE VARIANCE INFO ONLY.

PLOT PLAN CENTENNIAL PARKWAY N.

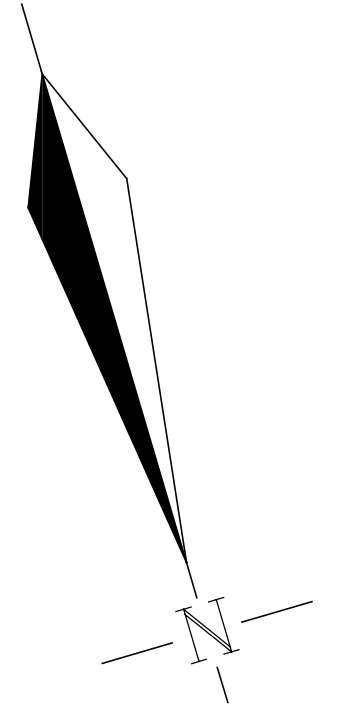
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.  
 QUALIFICATION INFORMATION  
 Required unless design is exempt under Div.C, Article 3.2.5.1 of the Building Code  
 Name: MAURO FORNATO  
 Signature: *[Signature]*  
 Date: 01.31.22  
 B.O.C. 15084  
 REGISTRATION INFORMATION  
 Required unless design is exempt under Div.C, Article 3.2.4.1 of the Building Code  
 Firm Name: UNIQUE DESIGNS INC  
 B.O.C. 31090  
 Job Number: 011022  
 Date: 01.31.22  
 Drawn By: Scale: 1/8" = 1'-0"  
**A1**

**M. DELSORDO RESIDENCE**  
91 CENTENNIAL PKWY S.  
HAMILTON, ONT.

**UNIQUE DESIGNS INC.**  
 STORAGE BUILDING  
 PLOT PLAN

**SITE STATISTICS**

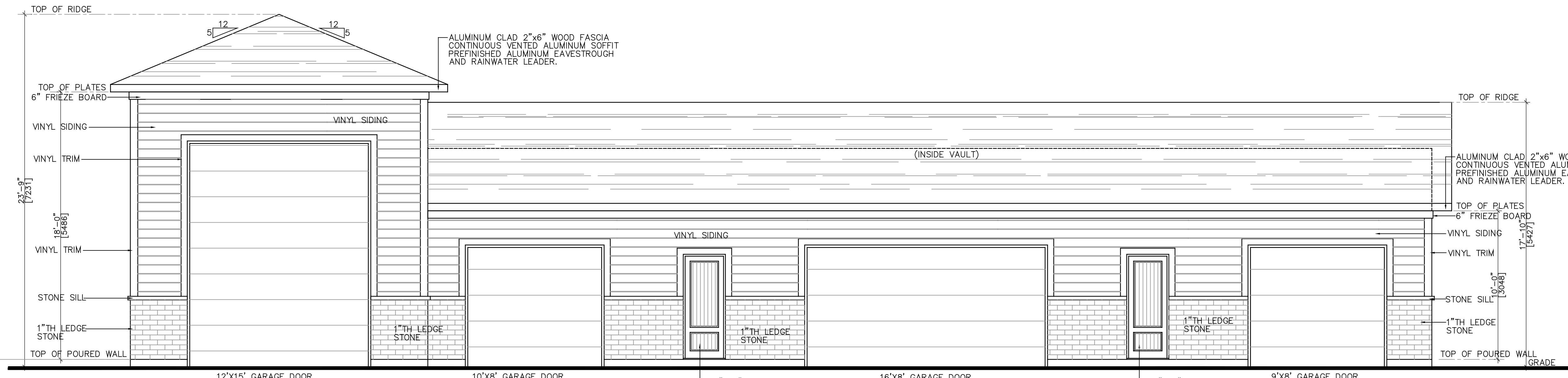
EXISTING LOT AREA: 17571.54 SQ FT  
 EXISTING BLDGS: 2843.98 SQ FT  
 MAX PERMITTED BLDG HT: 4.5M = 14'-8"  
 ACCESSORY BLDG: MAX PERMITTED 10% LOT AREA = 1757.15 SQ FT  
 PROPOSED ACCESSORY BLDG: 2825 SQ FT  
 \*\*\*VARIANCE REQUIRED\*\*\*  
 \*\*\*LOT AREA (MAX BLDG 1757.15 SQ FT)\*\*\*  
 \*\*\*BLDG HT (EXCEEDS PERMITTED)\*\*\*



NOTE: PLOT PLAN IS NOT A SURVEY. UNIQUE DESIGNS INC. DOES NOT GUARANTEE THE ACCURACY OF THIS DOCUMENT NOR DOES UNIQUE DESIGN INC. CLAIM TO HAVE THE QUALIFICATIONS TO PRODUCE A SURVEY. THIS DRAWING IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT TO BE USED AS A DISCREET TO COMPLEMENT THE PROVIDED ARCHITECTURAL SERVICES. AND BUILDING HEIGHT AND THESE RELATIONSHIP WITH THE INTENDED USE OF THE BUILDING. TRUE SITE SETBACKS MAY NEED TO BE PROVIDED BY A QUALIFIED LAND SURVEYOR.  
 NOTE: PROPOSED RAIN WATER LEADERS TO DISCHARGE ANY RAIN WATER ON PROPERTY OR ADJACENT PROPERTIES OR WALKWAYS OR DRIVEWAYS.

No.	DATE	DESCRIPTION
1.	01.31.22	ISSUED FOR PERMIT
2.	03.04.22	RE-ISSUED FOR PERMIT
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THESE DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT, AND NOTIFY US IMMEDIATELY IN WRITING TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.  
 THE USE OF THIS DRAWING OR PART THEREOF WITHOUT THE WRITTEN APPROVAL OF THE DESIGNER.

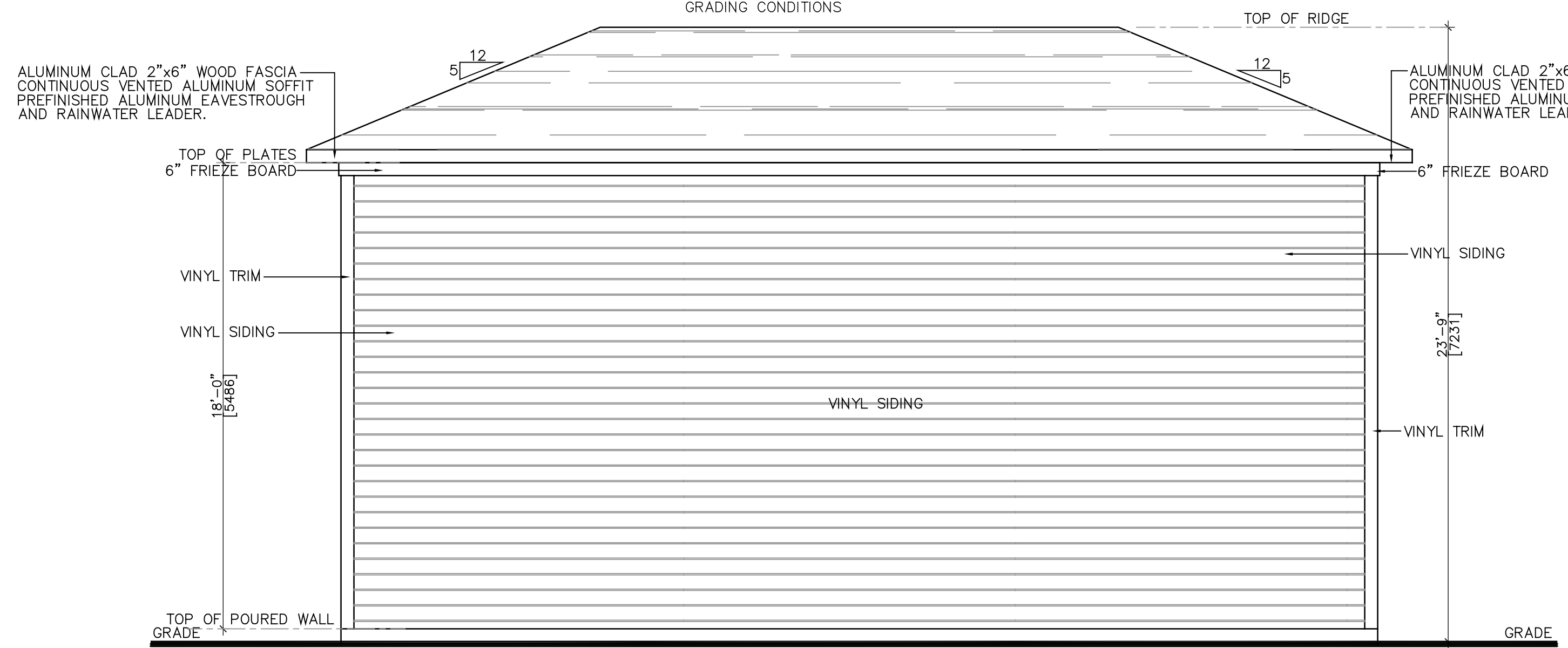


**FRONT ELEVATION**

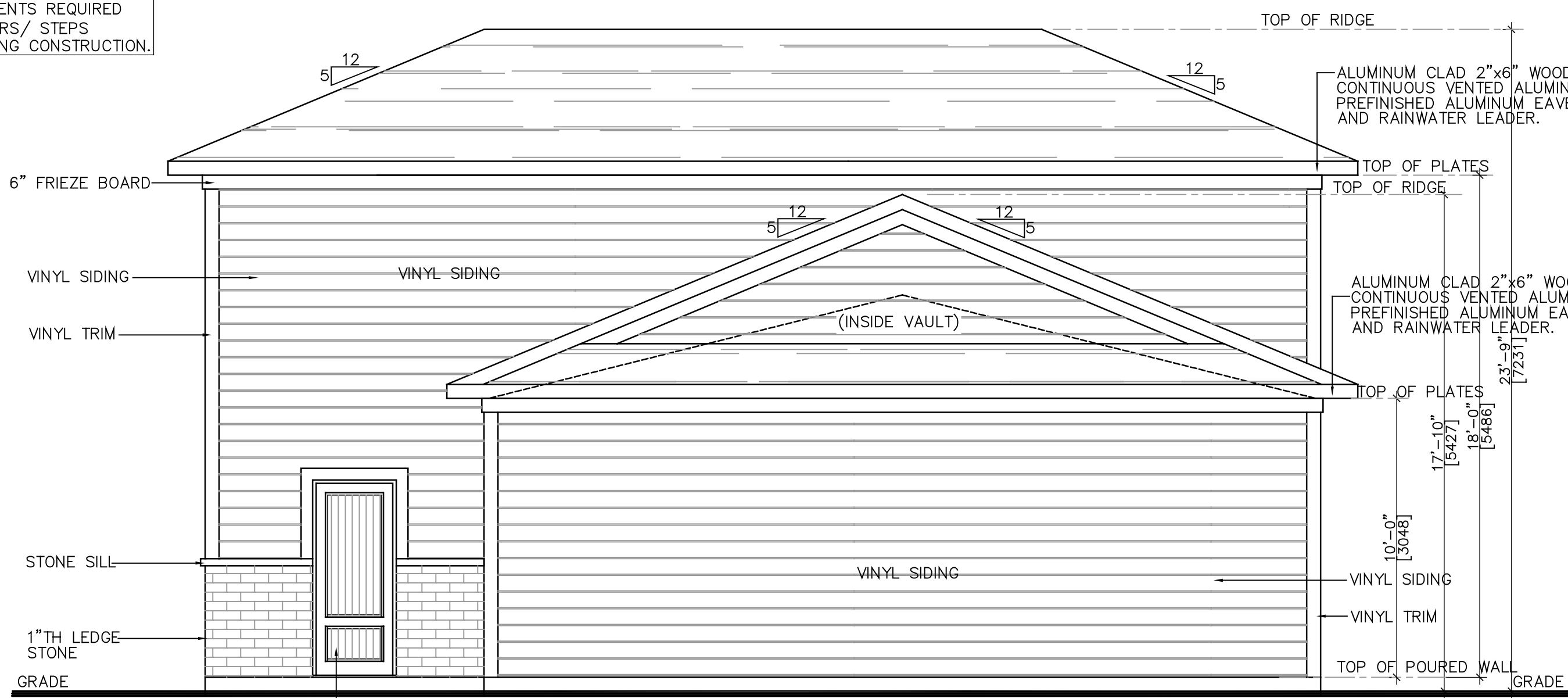
IT SHALL BE THE RESPONSIBILITY OF THE BUILDER TO HAVE ALL GRADES AND SERVICES CHECKED AND VERIFIED GRADING AND SERVICES ENGINEERED PROPOSED GRADE LINE AS INDICATED ARE FOR REFERENCE ONLY AND DO NOT NECESSARILY DEPICT FINISHED GRADING CONDITIONS

ALL OVERHANGS 16" UNLESS NOTED OTHERWISE

NOTE: VERIFY ALL GRADE AND FLOOR HEIGHTS PRIOR TO CONSTRUCTION. MAKE ANY ADJUSTMENTS REQUIRED TO NUMBER OF RISERS/ STEPS PRIOR TO COMMENCING CONSTRUCTION.



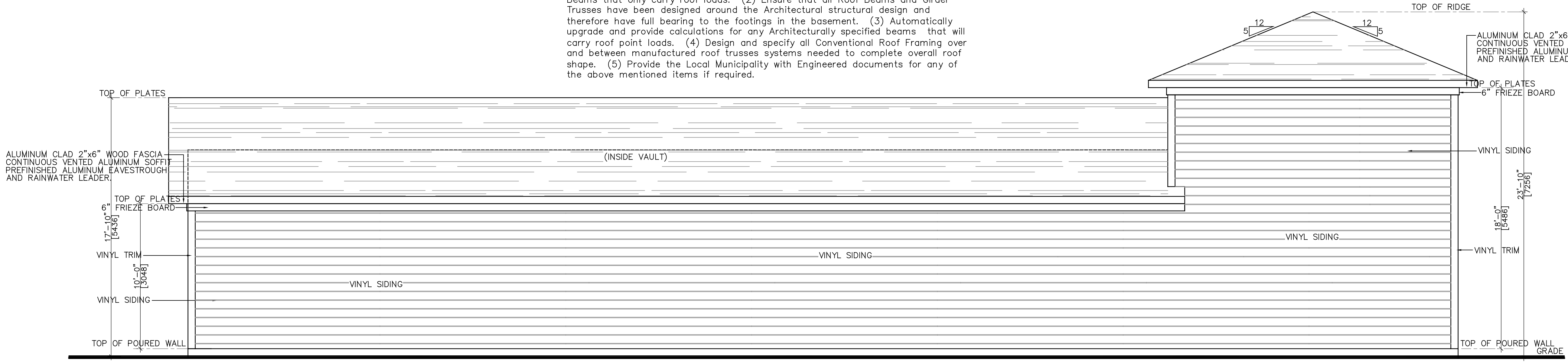
**LEFT ELEVATION**



**RIGHT ELEVATION**

**NOTE:**

Note to Truss Manufacture.  
 The Truss Manufacture will; (1) Design and specify all Girder Trusses and Beams that only carry roof loads. (2) Ensure that all Roof Beams and Girder Trusses have been designed around the Architectural structural design and therefore have full bearing to the footings in the basement. (3) Automatically upgrade and provide calculations for any Architecturally specified beams that will carry roof point loads. (4) Design and specify all Conventional Roof Framing over and between manufactured roof trusses systems needed to complete overall roof shape. (5) Provide the Local Municipality with Engineered documents for any of the above mentioned items if required.



**REAR ELEVATION**

**SITE STATISTICS**

EXISTING LOT AREA:	17571.54 SQ FT
EXISTING BLDG:	2843.98 SQ FT
MAX PERMITTED BLDG HT:	4.5M = 14'-8"
ACCESSORY BLDG: MAX PERMITTED 10% LOT AREA	10% = 1757.15 SQ FT
PROPOSED BLDG:	2825 SQ FT
***VARIANCE REQUIRED***:	
***LOT AREA (MAX 1757.15 SQ FT)	
***BLDG HT	

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
 Required unless design is exempt under Div.C, Article 3.2.5.1 of the Building Code

MAURO FORTUNATO  
 Name Signature 15084 BGIN

REGISTRATION INFORMATION  
 Required unless design is exempt under Div.C, Article 3.2.4.1 of the Building Code

UNIQUE DESIGNS INC. 31090 BGIN

**DO NOT SCALE DRAWINGS**

No.	DATE	DESCRIPTION
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**UNIQUE DESIGNS INC.**

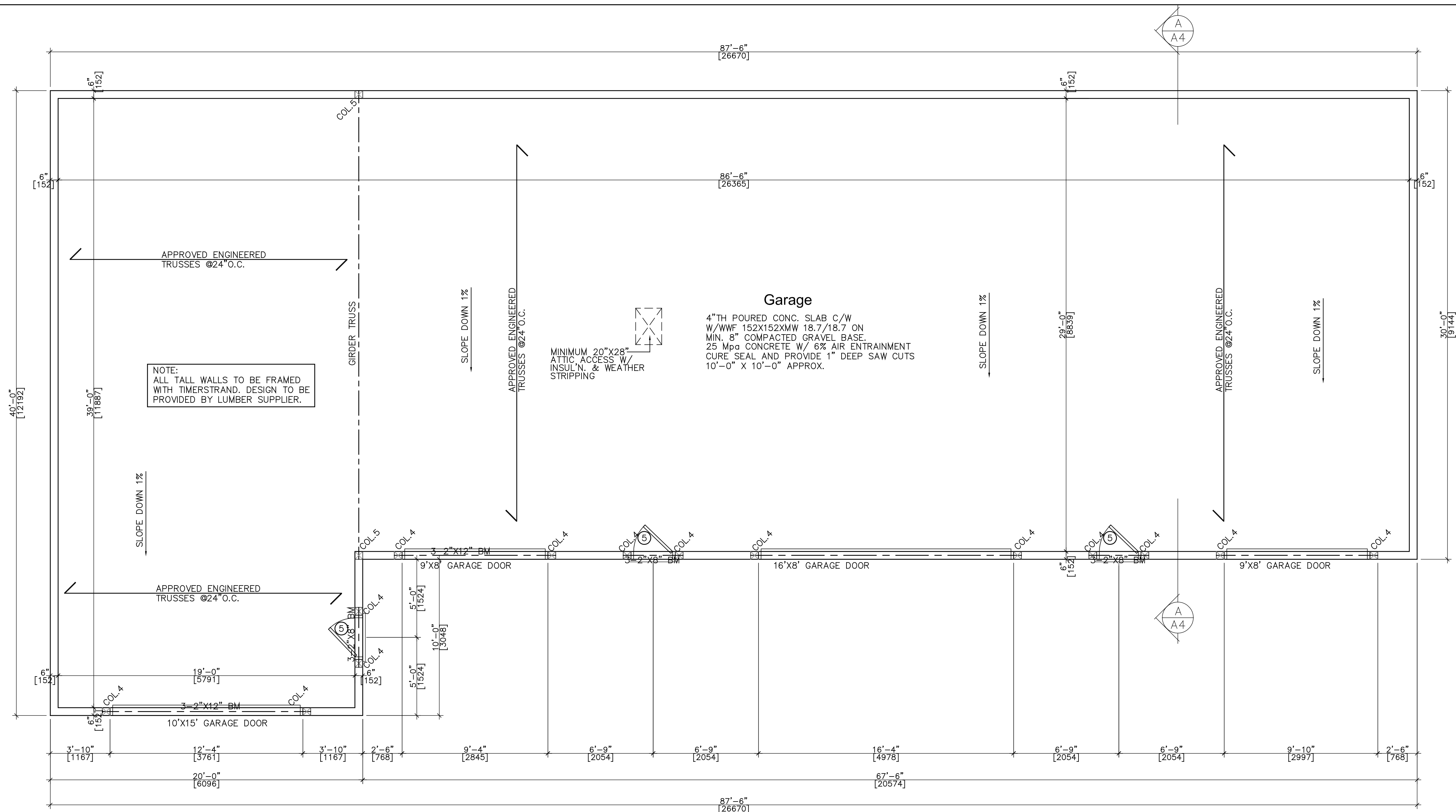
**ELEVATIONS**

**STORAGE BUILDING**

**M. DELSORDO RESIDENCE**

91 CENTENNIAL PKWY S.  
HAMILTON, ONT.

Drawn By	Scale
Date:	1/4"=1'-0"
01.28.22	
Job Number	<b>A1</b>
011022	



**FLOOR PLAN**

TOTAL: 2825 SQ FT

IT SHALL BE THE RESPONSIBILITY OF THE BUILDER TO HAVE ALL GRADES AND SERVICES CHECKED AND VERIFIED GRADING AND SERVICES ENGINEERED

PROPOSED GRADE LINE AS INDICATED ARE FOR REFERENCE ONLY AND DO NOT NECESSARILY DEPICT FINISHED GRADING CONDITIONS

ALL OVERHANGS 16" UNLESS NOTED OTHERWISE

NOTE: VERIFY ALL ELECTRICAL LIGHTING FIXTURES, OUTLET PLUGS ETC. WITH OWNER PRIOR TO INSTALLATION.

**COLUMN SCHEDULE**

- COL. 1=3-2x4
- COL. 2=4-2x4
- COL. 3=2-2x6
- COL. 4=3-2x6
- COL. 5=4-2x6

USE ONLY WHERE 'LVL'S' ARE NOT SPECIFIED

WOOD LINTEL LEGEND

FOR WOOD OPENINGS :
44" OR LESS USE 2/2"x8"
66" OR LESS USE 2/2"x10"
88" OR LESS USE 2/2"x12"
PROVIDE INSUL. BETWEEN HEADERS IF POSSIBLE

DOOR LEGEND		GENERAL NOTES:	
1	1'8" x 6'8"	SMOKE ALARMS :	FLOOR PLAN DIMENSIONS :
2	2'0" x 6'8"	NOTE ALL SMOKE ALARMS	ALL DIMENSIONS ON FLOOR PLANS
3	2'4" x 6'8"	WITH-IN A SINGLE DWELLING UNIT	ARE FROM NOMINAL STUD FACE TO
4	2'6" x 6'8"	SHALL BE INTERCONNECTED.	NOMINAL STUD FACE OR FACE OF
5	2'8" x 6'8"		EXTERIOR FINISH MATERIAL.
6	3'0" x 6'8"		

CEILING JOISTS

JOIST SIZE	JOIST SPACING		
	12" o.c.	16" o.c.	24" o.c.
2x4	10'-2"	9'-3"	8'-1"
2x6	16'-0"	14'-7"	12'-9"
2x8	21'-1"	19'-2"	16'-9"
2x10	26'-11"	24'-6"	21'-4"

SUBFLOORING

FLOOR JOIST UP TO	SUBFLOORING		
	WAFER BD.	PLYWOOD	LUMBER
16" O.C.	5/8"	5/8"	1 1/16"
20" O.C.	5/8"	5/8"	3/4"
24" O.C.	3/4"	3/4"	3/4"

ROOF SHEATHING

ROOF FRAMING	ROOF SHEATHING UNSUPPORTED EDGES	ROOF SHEATHING TONGUE & GROOVE, 'H'-CLIPS OR OTHER EDGE SUPPORT
12" O.C.	3/8" PLYWOOD, WAFER BD. OR 1 1/16" LUMBER	5/16" PLYWOOD, 3/8" WAFER BD. OR 1 1/16" LUMBER
16" O.C.	3/8" PLYWOOD, 7/16" WAFER BD. OR 1 1/16" LUMBER	5/16" PLYWOOD, 3/8" WAFER BD. OR 1 1/16" LUMBER
24" O.C.	1/2" PLYWOOD OR 3/4" LUMBER	3/8" PLYWOOD, 7/16" WAFER BD. OR 3/4" LUMBER

ROOF JOISTS (WHERE CEILING IS INSTALLED)

JOIST SIZE	MAXIMUM CLEAR SPAN					
	ROOF SNOW LOAD 21 PSF			ROOF SNOW LOAD 31 PSF		
	JOIST SPACING					
	12" O.C.	16" O.C.	24" O.C.	12" O.C.	16" O.C.	24" O.C.
2X4	8'-1"	7'-4"	6'-5"	7'-1"	6'-5"	5'-7"
2X6	12'-9"	11'-6"	10'-1"	11'-1"	10'-1"	8'-9"
2X8	16'-9"	15'-2"	13'-3"	14'-7"	13'-3"	11'-7"

ROOF RAFTERS (WHERE NO CEILING IS INSTALLED)

RAFTER SIZE	MAXIMUM CLEAR SPAN					
	ROOF SNOW LOAD 21 PSF			ROOF SNOW LOAD 31 PSF		
	RAFTER SPACING					
	12" O.C.	16" O.C.	24" O.C.	12" O.C.	16" O.C.	24" O.C.
2X4	10'-2"	9'-3"	8'-1"	8'-11"	8'-1"	7'-1"
2X6	16'-0"	14'-7"	12'-9"	14'-0"	12'-9"	11'-1"
2X8	21'-1"	19'-2"	16'-9"	18'-5"	16'-9"	14'-5"

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MAURO FORTUNATO  
 Name Signature 15084 BGIN

REGISTRATION INFORMATION  
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UNIQUE DESIGNS INC. 31090 BGIN

<b>UNIQUE DESIGNS INC.</b>	<b>UNIQUE DESIGNS INC.</b>	<b>UNIQUE DESIGNS INC.</b>	<b>UNIQUE DESIGNS INC.</b>	<b>UNIQUE DESIGNS INC.</b>	<b>UNIQUE DESIGNS INC.</b>
<b>STORAGE BUILDING</b>			<b>FIRST FLOOR PLAN</b>		
<b>M. DELSORDO</b>		<b>RESIDENCE</b>		<b>91 CENTENNIAL PKWY S. HAMILTON, ONT.</b>	
No.	DATE	DESCRIPTION			
1.	01.28.22	ISSUED FOR PERMIT			
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Drawn By		Scale			
		1/4"=1'-0"			
Date:		01.28.22			
Job Number		011022		<b>A3</b>	

THESE DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS OF WORK. ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK. THE USE OF THIS DRAWING OR PART THEREOF IS FORBIDDEN WITHOUT THE WRITTEN APPROVAL OF THE DESIGNER.

# STRUCTURAL NOTES

- ALL MATERIALS AND METHODS OF CONSTRUCTION MUST COMPLY WITH THE LATEST ADDITION OF THE O.B.C. 2012. DO NOT SCALE THESE DRAWINGS.
- SUBMIT STRUCTURAL STEEL SHOP DRAWINGS FOR REVIEW BY THE DESIGNER PRIOR TO FABRICATION. MAKE FIELD MEASUREMENTS NECESSARY FOR FABRICATION AND ERECTION.
- THE CONTRACTOR SHALL PROVIDE INSPECTION REPORTS PREPARED BY AN INSPECTION AND TESTING AGENCY ON THE STRUCTURAL STEEL ERECTION AND CONCRETE STRENGTH.
- ALL FOOTING SHALL BEAR ON UNDISTURBED SOIL CAPABLE OF SUSTAINING A LOAD OF 4 KSF.
- SPECIFIED 28 DAY CONCRETE STRENGTH IS 20 MPA. ALL CONCRETE EXPOSED TO FREEZE-THAW CYCLES IN A SATURATED CONDITION SHALL BE CLASSIFICATION C-1 TO CSA-A23.1-M90
- REINFORCING STEEL: G30.18M GRADE 400R.
- STRUCTURAL STEEL CSA G40.21M :  
HSS SECTIONS GRADE 350W CLASS H  
ANCHOR BOLTS GRADE 260W  
PIPE MATERIAL ASTM A53  
OTHER STEEL GRADE 300W  
WELDING TO CONFORM TO CSA W59 AND W47.1
- LOAD BEARING MASONRY MATERIALS:  
HOLLOW BLOCK CSA A165.1M-H/15/X/X  
SOLID BLOCK CSA A165.1M-S/15/X/X  
BELOW GRADE MORTAR CSA A179M-TYPE S  
ABOVE GRADE MORTAR CSA A179M-TYPE N  
GROUT FOR BLOCK CORES CSA A179M 1:3:2 CEMENT: SAND: PEA GRAVEL BY VOLUME, 8" SLUMP  
ALL LUMBER TO BE KILN-DRIED, GRADED TO CONFORM TO CSA 0141, SPF NO.2 UNLESS NOTED
- STRUCTURAL LUMBER:  
SUPPLY JOIST HANGERS TO THE JOIST MANUFACTURERS SPECIFICATIONS.  
PROVIDE WEB STIFFENERS WHERE TJI JOISTS CONNECTED USING HANGERS  
PROVIDE FIRE PROTECTION WHEN WELDING CLOSE TO COMBUSTIBLE MATERIALS.

## NOTES:

THESE NOTES COMPLY WITH THE REQUIREMENTS OF THE ONTARIO BUILDING CODE, (REG. 2012) UNLESS SPECIFICALLY ALTERED BY MUNICIPALITY HAVING JURISDICTION. IT SHALL BE THE RESPONSIBILITY OF THE BUILDER TO CONFORM WITH THESE SECTIONS WHERE APPLICABLE AND FAMILIARIZE HIMSELF SPECIFICALLY WITH PART 9 OF THE CODE

ALL STRUCTURAL LUMBER TO BE EASTERN SPRUCE NO.2 CONSTRUCTION GRADE, UNLESS OTHERWISE NOTED. SIZES ARE DETERMINED FROM SPAN OFF TABLES OF THE BUILDING CODE, - ONTARIO REG. 413/97

ALL WINDOWS ARE DOUBLE GLAZED OR THERMOPANE

ALL WINDOW HEADS TO BE 6"-10" (OR 7"-10") ABOVE FIN. FLOOR OR TO MATCH DOOR HEAD FRAMING HEIGHTS

ALL EXTERIOR DOORS, IF WOOD TO HAVE STORM DOORS OR TO BE OF METAL INSULATED TYPE.

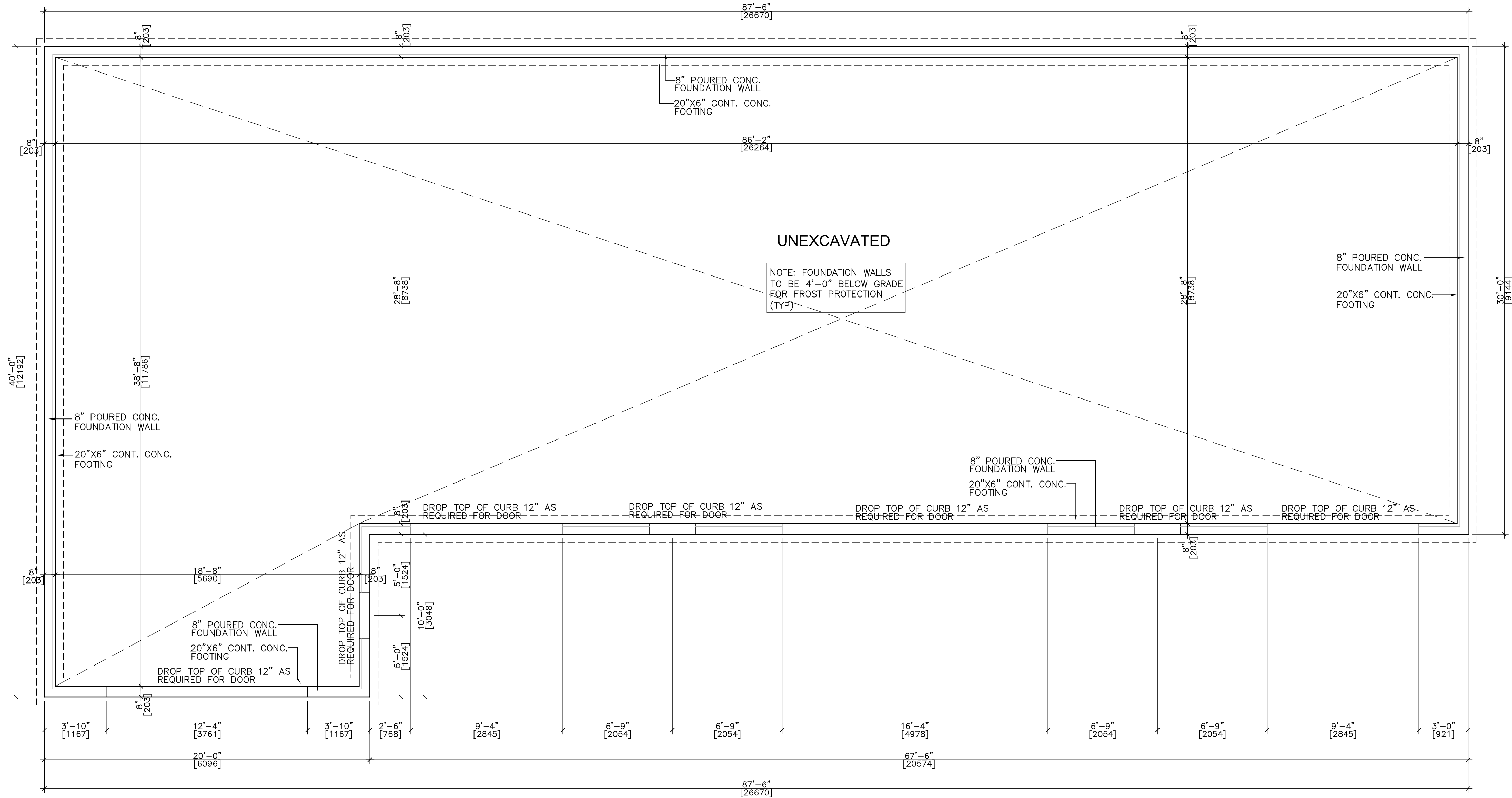
ALL TIMBER TO BE SUPPORTED MIN 6" ABOVE FIN. GRADE UNLESS PRESSURE TREATED AGAINST TERMITES  
REMOVE WOOD DEBRIS OR VEGETABLE MATTER FROM BACKFILL

LUMBER SUPPLIER TO PROVIDE TJ-EXPERT FRAMING LAYOUTS INCLUDING APPROPRIATE DETAILS/HANGER SPECS/ JOIST AND BEAM SIZING/ HOLE CHARTS FOR JOISTS/ RIM BOARD SPECS ETC. AND ARE TO SPECIFY FLOOR PERFORMANCE TJ PRO RATING FOR REVIEW AND APPROVAL BY DESIGNER IF REQUIRED

IT SHALL BE THE RESPONSIBILITY OF THE BUILDER TO HAVE ALL GRADES AND SERVICES CHECKED AND VERIFIED GRADING AND SERVICES ENGINEERED

FOUNDATION WALLS TO BE CONSTRUCTED TO A MIN 6" ABOVE APPROVED GRADES AT HOUSE

PROPOSED GRADE LINE AS INDICATED ARE FOR REFERENCE ONLY AND DO NOT NECESSARILY DEPICT FINISHED GRADING CONDITIONS OF ANY PARTICULAR LOT



## FOUNDATION PLAN

NOTE: FOUNDATION WALLS TO BE 8" THICK POURED CONCRETE UNLESS NOTED OTHERWISE.  
IT SHALL BE THE RESPONSIBILITY OF THE BUILDER TO HAVE ALL GRADES AND SERVICES CHECKED AND VERIFIED GRADING AND SERVICES ENGINEERED  
FOUNDATION WALLS TO BE CONSTRUCTED TO A MIN 6" ABOVE APPROVED GRADES.

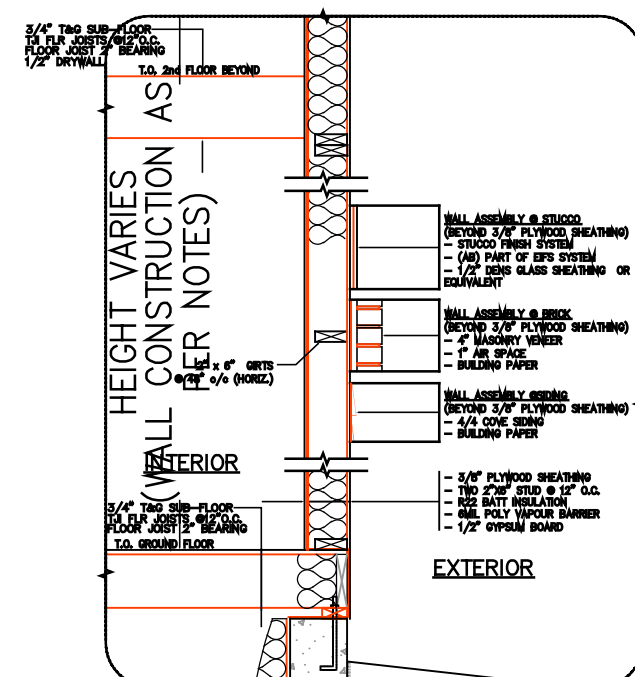
## COLUMN SCHEDULE

- COL. 1=3-2x4
- COL. 2=4-2x4
- COL. 3=2-2x6
- COL. 4=3-2x6
- COL. 5=4-2x6

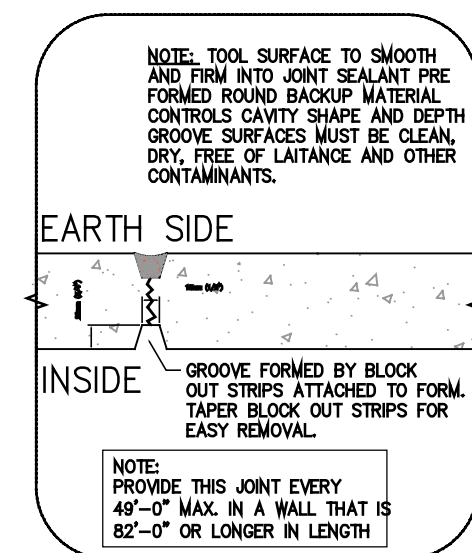
NOTE: VERIFY ALL GRADE AND FLOOR HEIGHTS PRIOR TO CONSTRUCTION. MAKE ANY ADJUSTMENTS REQUIRED TO NUMBER OF RISERS/ STEPS PRIOR TO COMMENCING CONSTRUCTION.

FOR LATERALLY SUPPORTED / UNSUPPORTED FOUNDATION WALLS AT TOP - SEE TABLE 9.15.4.2.A. FOR MAX. HT. PERMITTED

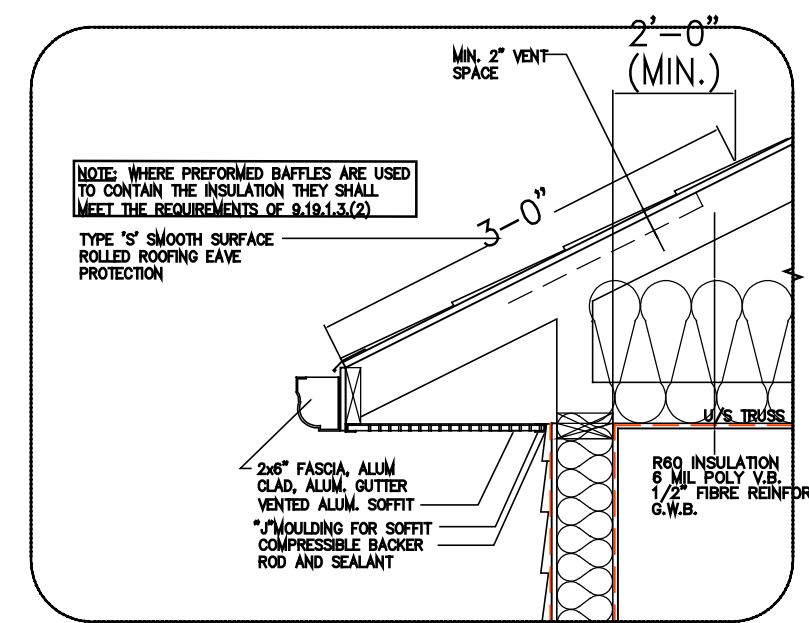
NOTE: NEW CONCRETE FOOTINGS AND FOUNDATION WALL SOIL BEARING CAPACITY IS ASSUMED AT 75 Kpa OR GREATER.



TYP. CLEAR STOREY FRAMING DETAIL



TYP. CONTROL JOINT DETAIL



TYP. EAVES DETAIL  
(SEE SECTION FOR ROOF TRUSS TYPE)

UNIQUE DESIGNS  
UNIQUE DESIGNS INC.

STORAGE BUILDING

FOUNDATION PLAN

M. DELSORDO  
RESIDENCE

91 CENTENNIAL PKWY S.  
HAMILTON, ONT.

Drawn By  
Date: 01.28.22  
Job Number  
011022

Scale  
1/4"=1'-0"  
A2

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under Div.C, Article 3.2.5.1 of the Building Code

MAURO FORTUNATO  
Name Signature  
15084 BGIN

REGISTRATION INFORMATION  
Required unless design is exempt under Div.C, Article 3.2.4.1 of the Building Code

UNIQUE DESIGNS INC.  
Firm Name  
31090 BGIN

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THE USE OF THIS DRAWING OR PART THEREOF IS FORBIDDEN WITHOUT THE WRITTEN APPROVAL OF THE DESIGNER.

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**GENERAL NOTES**

ALL CONSTRUCTION TO MEET OR EXCEED ONTARIO BUILDING CODE LATEST ADDITION (2012)

SITE VERIFY WHEN ADDING ON TO OR REMOVING FROM AN EXISTING BUILDING THAT ALL EXISTING OR NEW STRUCTURAL COMPONENTS ARE CAPABLE OF WITHSTANDING THE STRUCTURAL LOADS IMPOSED, AND REPORT ANY DISCREPANCIES AND/OR DEFICIENCIES TO THE DESIGNER.

ENSURE THAT ALL CONSTRUCTION, MATERIALS, METHODS OF INSTALLATION, AND BRACING COMPLY WITH REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION. MAKE GOOD ALL DISTURBED OR DAMAGED DURING CONSTRUCTION WHETHER SHOWN ON THE DRAWINGS OR NOT. REPORT ANY CONTEMPLATED DEVIATIONS FROM THE APPROVED DRAWINGS OR SPECIFICATIONS TO THE DESIGNER PRIOR TO MAKING ANY CHANGES. PROVIDE CUTTING, PATCHING AND REMEDIAL WORK IN ORDER TO ENSURE PARTS OF THE WORK COME TOGETHER PROPERLY. TEMPORARY BRACING TO BE USED WHEREVER NECESSARY TO WITHSTAND ALL LOADS DURING ERECTION AND SUBSEQUENT CONSTRUCTION.

**CONCRETE FOOTINGS, FOUNDATION WALLS & SLABS**

CONCRETE FOOTINGS TO REST ON UNDISTURBED SOIL CAPABLE OF SUSSTAINING A LOAD OF 2000 LBS. PER SQUARE FOOT MINIMUM 4'-0" BELOW GRADE. FOOTINGS TO CONFORM TO O.B.C. SECTION 9.15. STEPPED FOOTINGS MAX. 2'-0" HORIZONTAL AND VERTICAL STEP 2/3 HORIZONTAL STEP TO MAX. 5'-0". FOUNDATION WALLS TO BE MIN. 10" THICK UNLESS OTHERWISE NOTED. ALL FOUNDATION WALLS TO EXTEND MIN. 6" ABOVE GRADE. HABITABLE ROOMS ON CONCRETE SLABS TO BE DAMPROOFED WITH 6 MIL POLY VAPOUR BARRIER.

**STEEL COLUMNS**

STEEL COLUMN PLATES TO BE ANCHORED TO FOOTING WITH MIN. TWO 1/2" DIA. BOLTS MIN. 4" INTO FOOTING. STEEL COLUMN PLATES TO BE CONNECTED TO STEEL BEAMS WITH MIN. TWO 1/2" DIA. BOLTS, OR WELD PLATES TO BEAM FLANGES. STEEL COLUMNS TO BE MINIMUM 3 1/2" OUTSIDE DIAMETER AND 3/16" WALL THICKNESS. STEEL COLUMNS SHALL BE TREATED WITH AT LEAST ONE COAT RUST INHIBITIVE PAINT.

**WOOD FRAMING**

ALL FRAMMING LUMBER TO O.B.C. STANDARDS. ALL FRAMMING LUMBER INDICATED ON DRAWINGS TO BE S.P.F. No.2 UNLESS OTHERWISE SPECIFIED. BEAMS TO HAVE MIN. BEARING OF 3 1/2". LATERAL SUPPORT - WALLS SUPPORTING JOISTS, ANCHOR SILL PLATE WITH 1/2" DIA. ANCHOR BOLTS MAX. 7'-10" O.C. EMBEDDED 4" INTO MASONRY OR ANCHORED EVERY 4TH JOIST NOT RESTING ON A PLATE WITH 3/16"x 1 1/2" STEEL JOIST ANCHORS. LATERAL SUPPORT - WALLS PARALLEL TO JOISTS, BEND 3/16"x1 1/2" STEEL STRAP 3" INTO MASONRY AND FIX TO 3 PARALLEL JOISTS OR FIX SILL PLATE TO 3 RIGIDLY CONNECTED FLOOR JOISTS AT 7'-10" MAX. ALL JOISTS TO HAVE BRIDGING OVER INTERIOR BEARING WALLS AND BEAMS. MIN. SILL PLATE 2"x6". SILL PLATES ANCHORS TO BE MIN. 1/2" DIA. BOLTS EMBEDDED 4" INTO FOUNDATION WALLS. SPACE FLOOR JOISTS AT 12" O.C. FOR CANTILEVERS. MIN. 1 1/2" END BEARING REQUIRED FOR FLOOR JOISTS, CEILING JOISTS, ROOF JOISTS AND RAFTERS. PROVIDE METAL JOIST HANGERS FOR SUPPORT OF JOISTS FRAMING INTO SIDES OF WOOD BEAMS, HEADER AND TRIMMER JOISTS WHEN REQUIRED.

**PRE-MANUFACTURED WOOD FRAMING**

1. ALL FRAMING MATERIALS AND METHODS FOR PRE-MANUFACTURED WOOD CONSTRUCTION (WOOD "I" FLOOR JOISTS) ARE TO BE INSTALLED AS PER MANUFACTURERS DETAILS AND SPECIFICATIONS.
2. PRE-MANUFACTURED WOOD SUPPLIER SHALL SUBMIT SHOP DRAWINGS SHOWING LOCATION, LOADING, ALLOWABLE AND ACTUAL DESIGN STRESSES, DEFLECTION LIMITATIONS, TEMPORARY AND PERMANENT BRACINGS, CONNECTION AND BEARING DETAILS AND SHALL BEAR THE SEAL OF A PROFESSIONAL ENGINEER LICENCED AND INSURED TO PRACTICE IN THE PROVINCE OF ONTARIO.
3. SHOP DRAWINGS ARE TO BE SUBMITTED TO THE DESIGNER FOR APPROVAL PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

**GLUE LAMINATED WOOD BEAMS**

1. ALL FRAMING MATERIALS AND METHODS FOR GLUE LAMINATED WOOD BEAMS TO BE INSTALLED AS PER MANUFACTURERS DETAILS AND SPECIFICATIONS.
2. ALL BEAM TO BEAM, AND BEAM TO COLUMN CONNECTIONS SHALL BE MIN. 1/4" METAL PLATE CONNECTIONS C/W MIN. 2 - 5/8" DIA. THROUGH BOLTS AT EACH MEMBER BEING CONNECTED.
3. ALL EXPOSED CONNECTIONS INCLUDING BOLTS MUST BE COATED TO RESIST CORROSION.
4. SUBSTITUTION OF BEAMS FOR DIFFERENT SIZES OR MATERIALS MUST BE APPROVED BY THE DESIGNER PRIOR TO INSTALLATION.
5. BEAM SUPPLIER SHALL SUBMIT SHOP DRAWINGS AND ENGINEERING CALCULATIONS FOR BEAMS SHOWN ON DRAWINGS OR FOR SUBSTITUTIONS BEING PROPOSED AND SHALL BEAR THE SEAL OF PROFESSIONAL ENGINEER LICENCED AND INSURED TO PRACTICE IN THE PROVINCE OF ONTARIO. SHOP DRAWING MUST BE SUBMITTED TO THE DESIGNER FOR APPROVAL PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

**MASONRY VENEER WALLS**

1. MIN. 3 5/8" THICKNESS UP TO 24'-0" MAX. HEIGHT.
2. MASONRY TIES TO BE GALVENIZED, CORROSION RESISTANT CORRUGATED 22ga., 7/8" WIDE SPACED 16" O.C. HORIZONTALLY, AND 24" O.C. VERTICALLY NAILED TO STUDS THROUGH THE SHEATHING.
3. PROVIDE 1" AIR SPACE BETWEEN VENEER AND WALL SHEATHING.
4. MAX. CORBEL OVER FOUNDATION WALL 1/2".

**ROOF CONSTRUCTION**

1. ALL ROOF TRUSSES MUST BE DESIGNED AND FABRICATED IN ACCORDANCE WITH O.B.C./N.B.C. PART 4.
2. TRUSS SUPPLIER SHALL SUPPLY ALL NECESSARY PLANS INCLUDING PLACING DRAWING SHOWING LOCATION, LOADING, ALLOWABLE STRESSES, TEMPORARY AND PERMANENT BRACINGS AND SHALL BEAR THE SEAL OF PROFESSIONAL ENGINEER LICENCED AND INSURED TO PRACTICE IN THE PROVINCE OF ONTARIO. TRUSS DRAWINGS MUST BE SUBMITTED TO THE DESIGNER & THE CHIEF BUILDING OFFICIAL FOR APPROVAL AND TO VERIFY ALL BEAM AND LINTEL SIZES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
3. HIP AND VALLEY RAFTERS TO BE 2" DEEPER THAN COMMON RAFTERS.
4. ROOF EDGE SUPPORTS TO BE MIN. 2"x2" BLOCKING.
5. PROVIDE 1"x4" CONTINUOUS TRUSS BRIDGING AT 7'-0" O.C. MAXIMUM.
6. PROVIDE 2"x4" WALL TIES ACROSS JOINTS OR BOTTOM TRUSS CORDS AT MIN. 4'-0" O.C. FOR ROOF SLOPES 4/12 OR GREATER.

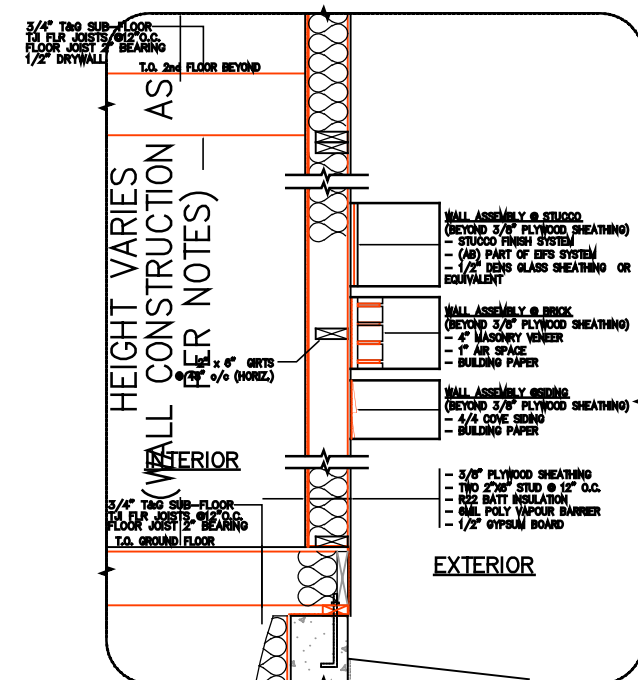
**FLASHING**

1. FLASHING IS REQUIRED UNDER ALL JOINTED SILLS AND OVERHEADS OF WINDOWS AND DOORS IN EXTERIOR WALLS IF DISTANCE BELOW EAVE IS MORE THAN 1/4 OF THE ROOF OVERHANG.
2. CHIMNEY FLASHING IS REQUIRED AT INTERSECTION WITH ROOF. FLASH OVER A CHIMNEY SADDLE WHEN WIDTH OF CHIMNEY EXCEEDS 1'-6".
3. FLASHING REQUIRED AT INTERSECTION OF ROOFS AND WALL, VALLEYS, AND OVER PARAPET WALLS.
4. FLASHING BETWEEN ROOF SHINGLES AND WALL SIDING TO BE 20ga. GALV. METAL AND TO EXTEND 3" VERTICALLY & HORIZONTALLY.

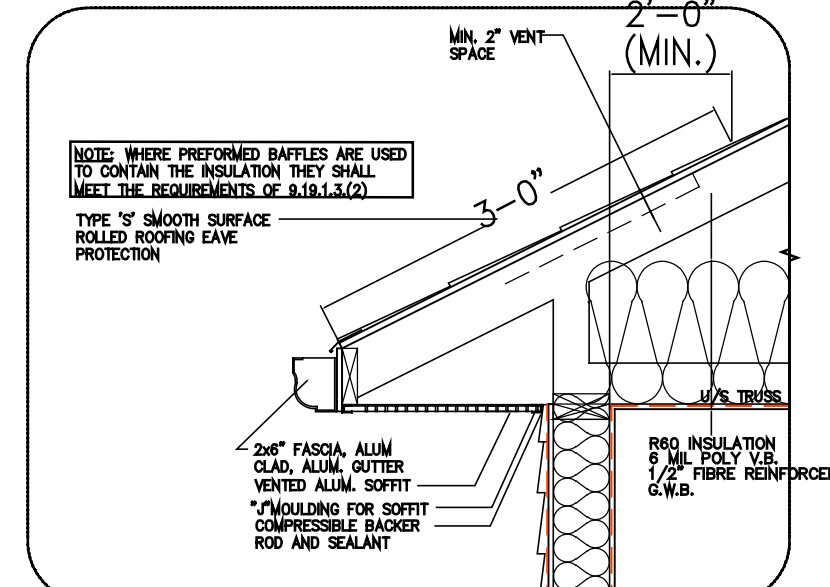
**HEATING**

1. HEATING DESIGN HAS BEEN LOCATED AS A SUGGESTED GUIDE ONLY. INSTALLATION AND DESIGN IS TO BE AS PER THE ONTARIO BUILDING CODE, PART 6. HEATING PLANS AND HEAT LOSS/HEAT GAIN CALCULATIONS ARE TO BE SUBMITTED TO THE LOCAL BUILDING OFFICIAL AND THE DESIGNER FOR REVIEW AND APPROVAL PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

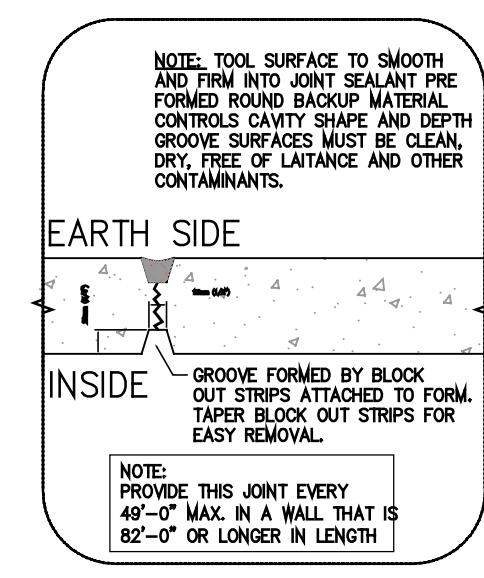
9.19.1.2. Vent Requirements  
 (1) Except as provided in Sentence (2), the unobstructed vent area shall be not less than 1/300 of the insulated ceiling area.  
 (2) Where the roof slope is less than 1 in 6 or in roofs that are constructed with roof joists, the unobstructed vent area shall be not less than 1/150 of the insulated ceiling area.



TYP. CLEAR STOREY FRAMING DETAIL



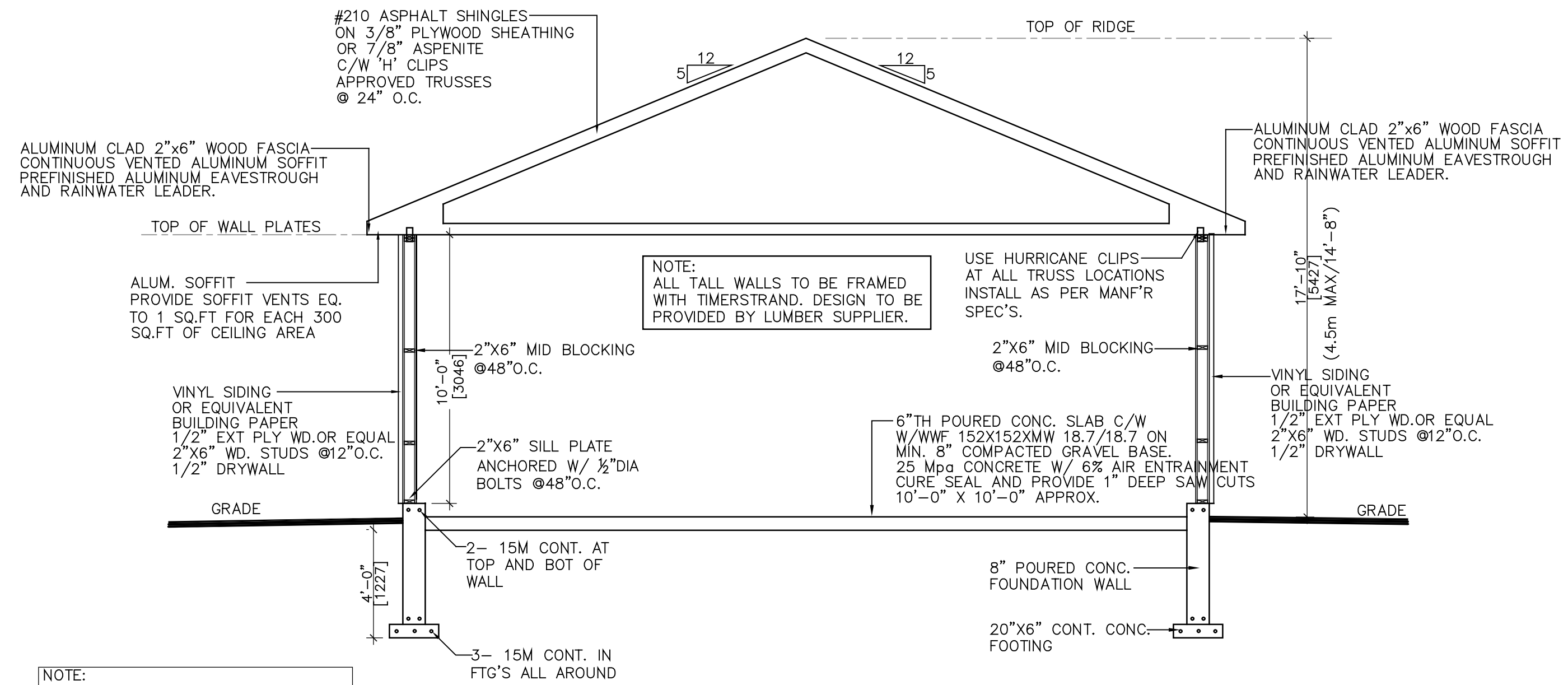
TYP. EAVES DETAIL



TYP. CONTROL JOINT DETAIL

CLEAR SPAN	LINTEL SIZE	
	BRICK	STONE
2'-6"	L 3"x3"x1/4"	L 4"x3"x1/4"
3'-11"	L 3 1/2"x3 1/2"x1/4"	L 5"x3 1/2"x5/16"
4'-11"	L 3 1/2"x3 1/2"x5/16"	L 5"x3 1/2"x5/16"
5'-11"	L 4"x3 1/2"x5/16"	L 5"x5"x5/16"
6'-11"	L 5"x3 1/2"x5/16"	L 5"x5"x5/16"
7'-10"	L 5"x3 1/2"x5/16"	L 5"x5"x5/16"
8'-10"	L 5"x3 1/2"x3/8"	L 5"x5"x3/8"
9'-10"	L 6"x4"x3/8"	L 5"x5"x1/2"

STEEL LINTELS SHOWN IN ABOVE CHART SHALL HAVE EVEN AND LEVEL BEARING AND SHALL HAVE NOT LESS THAN 6" LENGTH OF BEARING AT END SUPPORTS.



TYP. CROSS SECTION

NOTE: VERIFY ALL GRADE AND FLOOR HEIGHTS PRIOR TO CONSTRUCTION. MAKE ANY ADJUSTMENTS REQUIRED TO NUMBER OF RISERS/ STEPS PRIOR TO COMMENCING CONSTRUCTION.

NOTE: ALL OVERHANGS 16" UNLESS NOTED OTHERWISE.

Note to Truss Manufacture. The Truss Manufacture will; (1) Design and specify all Girder Trusses and Beams that only carry roof loads. (2) Ensure that all Roof Beams and Girder Trusses have been designed around the Architectural structural design and therefore have full bearing to the footings in the basement. (3) Automatically upgrade and provide calculations for any Architecturally specified beams that will carry roof point loads. (4) Design and specify all Conventional Roof Framing over and between manufactured roof trusses systems needed to complete overall roof shape. (5) Provide the Local Municipality with Engineered documents for any of the above mentioned items if required.

FOR LATERALLY SUPPORTED / UNSUPPORTED FOUNDATION WALLS AT TOP - SEE TABLE 9.15.4.2.A. FOR MAX. HT. PERMITTED

NOTE: NEW CONCRETE FOOTINGS AND FOUNDATION WALL SOIL BEARING CAPACITY IS ASSUMED AT 75 kpa OR GREATER.

No.	DATE	DESCRIPTION
1.	01.28.22	ISSUED FOR PERMIT
2.		
3.		
4.		
5.		
6.		
7.		
8.		

**UNIQUE DESIGNS INC.**

SECTION, NOTES  
DETAILS

STORAGE  
BUILDING

**M. DELSORDO**

**RESIDENCE**

91 CENTENNIAL PKWY S.  
HAMILTON, ONT.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	
QUALIFICATION INFORMATION	
Required unless design is exempt under Div.C, Article 3.2.5.1 of the Building Code	MAURO FORTUNATO
Date: 01.28.22	Signature
Job Number: 011022	15084 BGN
REGISTRATION INFORMATION	
Required unless design is exempt under Div.C, Article 3.2.4.1 of the Building Code	UNIQUE DESIGNS INC.
	31090 BGN

Drawn By	Scale
	1/4"=1'-0"
Date:	
01.28.22	
Job Number	
011022	

**A4**

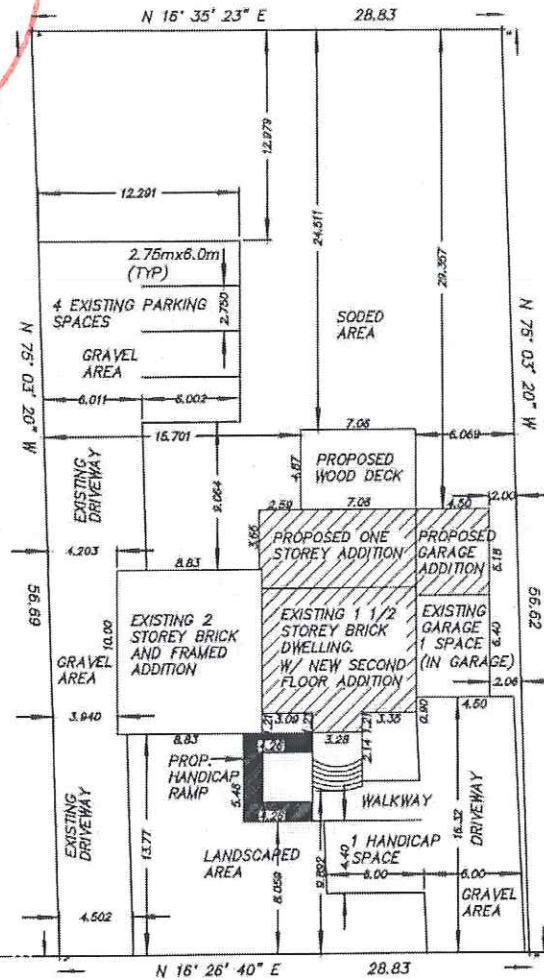
**DO NOT SCALE DRAWINGS**



SCALE 1:300



**METRIC NOTE:**  
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.



CENTENNIAL PARKWAY N.

PROPOSED FOUR PLEX: RM 1 ZONING

1. MIN LOT AREA REQUIRED 650 SQ.M. PROVIDED 1632.58 SQ.M.
2. MIN LOT FRONTAGE 20M PROVIDED 28.83M
3. MIN FRONT YARD 7.5M PROVIDED 13.77M
4. MIN SIDE YARD AT GARAGE 2.0M PROVIDED 2.0M
5. MIN REAR YARD 7.5M PROVIDED 24.51M
6. MAX BLDG HT. 11M PROVIDED 9M
7. MAX LOT COVERAGE 40% PERMITTED 653.03 SQ.M PROVIDED 297.59 SQ.M.
8. MIN NUMBER OF PARKING SPACES 2 PER UNIT PROVIDED 6 TOTAL WITH 1 HANDICAP

6.1.B - PARKING RESTRICTIONS IN RESIDENTIAL ZONES:

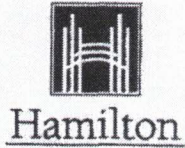
(E) ONE-WAY DRIVEWAY OF AT LEAST 4.5M IN WIDTH REQUIRED. PROVIDED 3.94M - SUBJECT TO VARIANCE REQUIREMENTS.

**NOTE:**

SURVEY INFO TAKEN FROM ORIGINAL COMPLETED BY SIDNEY W. WOODS INC. SEPT 24, 1985. CITY OF STONEY CREEK (HAMILTON) ONT.

PROPOSED SITE PLAN		1&2 STOREY ADDITION		CONTRACTOR WILL CHECK AND VERIFY ALL DIMENSIONS AND CHECK ALL JOB CONDITIONS BEFORE PROCEEDING WITH THE WORK.	
		91 Centennial Prkwy Hamilton, Ont..		SCALE: 1:300	
				DATE: OCT 3, 2011	PROJECT No: DELSORB3160311
					PL1





Committee of Adjustment  
City Hall, 5<sup>th</sup> Floor,  
71 Main St. W.,  
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221  
Email: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

### APPLICATION FOR A MINOR VARIANCE

<b>FOR OFFICE USE ONLY.</b>	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

#### The Planning Act

#### Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS
Registered Owners(s)		
Applicant(s)*		
Agent or Solicitor		

**Note:** Unless otherwise requested all communications will be sent to the agent, if any.

- Names and addresses of any mortgagees, holders of charges or other encumbrances:  
TD Canada Trust, \$300,000 line of credit

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:  
variance for height to build a 4 car garage with a motor home garage.

Second Dwelling Unit       Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?  
height restrictions

*Height restrictions to 15'  
and 1 require 17'*

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):  
91 Centennial Parkway South, Stoney Creek, On. L8G 2C7

7. PREVIOUS USE OF PROPERTY

Residential       Industrial       Commercial

Agricultural       Vacant

Other *existing triplex adding garage to vacant land at the rear of the property*

- 8.1 If Industrial or Commercial, specify use *N/A*
- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?  
Yes       No       Unknown
- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?  
Yes       No       Unknown
- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?  
Yes       No       Unknown
- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?  
Yes       No       Unknown
- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?  
Yes       No       Unknown
- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?  
Yes       No       Unknown
- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?  
Yes       No       Unknown
- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?  
Yes       No       Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?  
Yes  No  Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?  
spoke with city hall back in 2011 and 2012 when i purchased the property

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes  No

**9. ACKNOWLEDGEMENT CLAUSE**

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

FEB 15, 2020  
Date

*[Signature]*  
Signature, Property Owner(s)

Marina DeSordo  
Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage 95'  
Depth 189'  
Area under 1/2 acre  
Width of street 40'

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: vacant land see sketch attached for proposed garage/storage shed.

Proposed  
4 car garage - 30' deep and 69' wide - vaulted ceiling, 1 story 18' high, attached motor home garage is 20' wide and 40' deep - 1 story 24' high - flat ceiling

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing: vacant land see sketch attached.

Proposed:  
3' on both sides and rear of new garage

13. Date of acquisition of subject lands:  
August 27, 2011
14. Date of construction of all buildings and structures on subject lands:  
original house built in 1945, in 1975 Ted Pauls purchased the lands and converted
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):  
triplex
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):  
retirement home on the southside, St David's school in the rear and residential ar
17. Length of time the existing uses of the subject property have continued:  
converted to triplex in 1975
18. Municipal services available: (check the appropriate space or spaces)  
Water yes Connected yes  
Sanitary Sewer yes Connected yes  
Storm Sewers yes
19. Present Official Plan/Secondary Plan provisions applying to the land:  
City of Stoney Creek
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:  
height restrictions
21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)  
 Yes  No  
If yes, please provide the file number:  
Application No SC/A-11:286
- 21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?  
 Yes  No
- 21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?  
 Yes  No
23. Additional Information (please include separate sheet if needed)
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.