



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

| | | | |
|-------------------------|--|--------------------------|--|
| APPLICATION NO.: | HM/A-22:84 | SUBJECT PROPERTY: | 112 St. Joseph's Dr., Hamilton |
| ZONE: | E (Multiple Dwellings, Lodges, Clubs and etc.) | ZONING BY-LAW: | Zoning By-law 6593 (former Hamilton), as Amended |

APPLICANTS: **Owner: 112 St. Joseph's Inc.**
 Agent: Gagnon Walker Domes c/o Marc DeNardis

The following variances are requested:

1. The minimum required parking shall be based on the provision of 0.69 parking spaces per Class A dwelling unit to require 16 parking spaces for 23 dwelling units instead of the provision of 1.0 parking spaces per Class A dwelling unit within area "B" of Schedule "H" which would require 23 parking spaces.
2. No loading space shall be required instead of the minimum requirement for the provision of 1 loading space having dimensions of 9.0m in length x 3.7m in width x 4.3m in height for a multiple dwelling having less than 30 dwelling units.
3. No visitors parking spaces shall be required instead of the minimum requirement for the provision of 5 visitors parking spaces for 23 required parking spaces based on 0.2 parking space per Class A dwelling unit within area "B" of Schedule "H".
4. The minimum aisle width shall be 3.0 metres instead of the minimum required 5.5 metre aisle width for mutual access for a parking area consisting of more than 5 parking spaces.
5. Parking spaces shall be located 0m from an abutting Residential District instead of the minimum required 1.5 metres from an abutting Residential District.
6. A parking space within 3.0m of a Residential District shall be located a minimum distance of 1.0 metre from the street line of St. Joseph's Drive instead of the minimum required 7.5 metres from the street line.

7. A planting strip shall not be required for parking spaces which abut the Residential District (“E” District), whereas parking areas abutting the Residential District are required to have an area landscaped with a planting strip.
8. A visual barrier shall not be required for parking spaces along the boundary of the lot abutting the Residential District whereas parking areas abutting the Residential District are required to have a visual barrier provided and maintained which is between 1.2 metres and 2.0 metres in height.
9. A parking area having 5 or more parking spaces shall not require the provision of any bumpers or wheel barriers, whereas parking areas having 5 or more parking spaces shall not require the provision of bumpers or wheel barriers to prevent physical encroachment beyond the parking area.

PURPOSE & EFFECT: To enable the number of units within an existing three (3) storey multiple dwelling to be increased from 18 dwelling units to 23 dwelling units.

Notes:

1. The variances written as #1-4 were written as requested by the applicant. Additional variances have been included however, due to the proposed modifications to the parking layout which do not meet the provisions of Zoning By-law 6593.
2. The property is recognized as a through lot with frontages along St. Joseph’s Drive and Arkledun Avenue. The front lot line is considered to be along St. Joseph’s Drive and the rear lot line is along Arkledun Avenue.
3. The applicant has submitted a detailed site plan to address the requested variances. Formal site plan approval is not typically required because the gross floor area of the existing multiple dwelling is not being expanded.
4. The subject property is located within area “B” of Schedule “H” in Zoning By-law 6593 which provides for a reduced parking requirement. Area B is located in the lower City surrounding the downtown.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

| | |
|---------------|---|
| DATE: | Thursday, April 28, 2022 |
| TIME: | 2:50 p.m. |
| PLACE: | Via video link or call in (see attached sheet for details) |
| | To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment |

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Email Committee of Adjustment staff at cofa@hamilton.ca
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

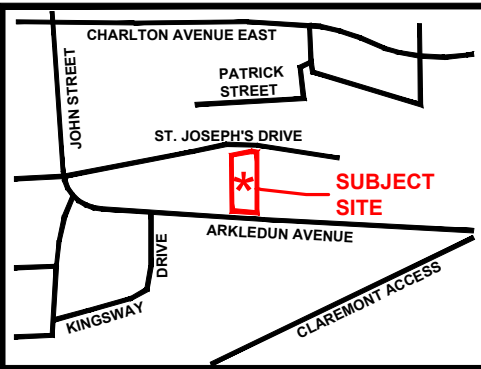


Subject Lands

DATED: April 12, 2022

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



KEYMAP - NTS

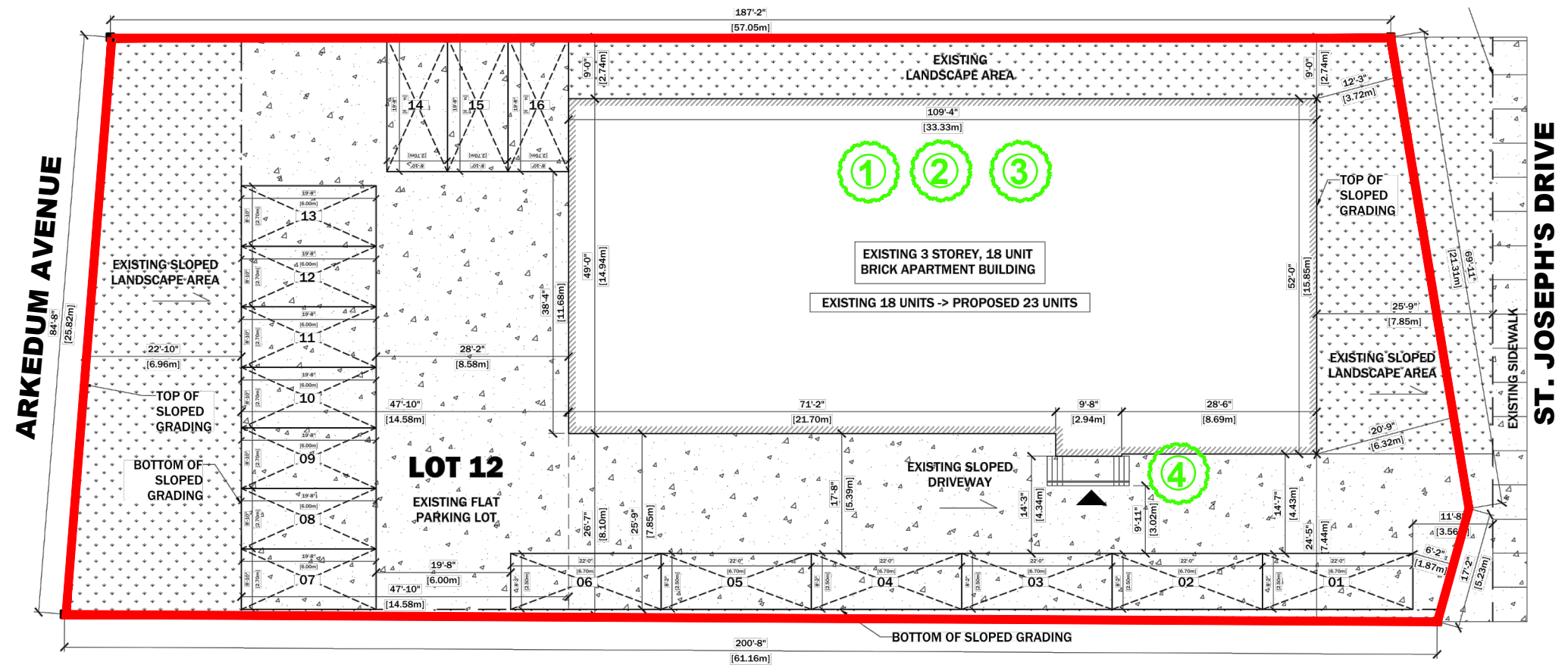
LEGEND

- Property Boundary
- Minor Variances

Minor Variances

1. To permit 16 parking spaces; whereas the By-law requires 23 parking spaces;
2. To permit 0 visitor parking spaces; whereas the By-law requires 5 visitor parking spaces;
3. To provide 0 loading spaces; whereas the By-law requires 1 loading space measuring 9.0 metres in length by 3.7 metres in width by 4.3 metres in height; and
4. To Permit a minimum driveway width of 3.02 metres, whereas the By-law requires a minimum driveway width of 6.0 metres.

MINOR VARIANCE
112 ST. JOSEPH'S INC.
112 ST. JOSEPH'S DRIVE
CITY of HAMILTON



| | |
|----------------|-----------------------------|
| P.N.: 21.2828 | Date: February 23, 2022 |
| Scale: N.T.S | Revised: |
| Drawn By: D.S. | File No.:2828 CoFA Feb_2022 |

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Principals

Michael Gagnon
Lena Gagnon
Andrew Walker
Richard Domes

March 10, 2022

**GWD File No:
21.2828.00 CofA**

**The Corporation of the City of Hamilton
Planning and Economic Development Department
71 Main Street West, 5th Floor
City of Hamilton, Ontario
L8p 4Y5**

**Attention: Ms. Jamila Sheffield
Secretary Treasurer, Committee of Adjustment**

**Re: Application to the Committee of Adjustment – Minor Variance
112 St. Joseph’s Inc.
112 St. Joseph’s Drive
Part City Lot 12 & Part City Lot 18
(Aka Unnumbered Lot Adjoining City Lot 12)
OM1431, (Aka Rham) as in VM165184. City Of Hamilton**

Dear Ms. Sheffield:

Gagnon Walker Domes Ltd. (GWD) acts as Planning Consultant to 112 St. Joseph’s Inc., the Registered Owner of 112 St. Josephs Drive, in the City of Hamilton, hereinafter referred to as the “subject site”.

The subject site is rectangular in shape and has an area of approximately 0.15 hectares (0.39 acres), with a frontage of 25.82 metres (84.71 feet) along the south side of St. Joseph’s Drive and the north side of Arkedum Avenue. It is currently occupied by a 3-storey, 18-unit residential apartment which to the best of our knowledge was constructed in the 1960s.

Appendix 1 includes aerial and street view photography of the existing apartment.

Overview of Development Proposal

As part of the property’s refurbishment program, the Owner is desirous of converting the vacated common laundry space, interior garage space, and a portion of the oversized boiler room into five (5) additional 1-bedroom units. No new structure(s) nor is an expansion to the building’s footprint proposed; the new units are to be fully contained within the existing structure. Below is a brief summary of the existing and proposed conditions:

GAGNON WALKER DOMES LTD.

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3601 Highway 7 East, Suite 310 • Markham ON Canada L3R 0M3 • P: 905-477-6556
www.gwdplanners.com • Toll Free: 1-855-771-7266

**CONFIDENTIALITY
CAUTION**

This document is Consultant-Client privileged and contains confidential information intended only for person(s) named above. Any distribution, copying or disclosure is strictly prohibited. If you have received this document in error, please notify us immediately by telephone and return the original to us by mail without making a copy.



Existing

- Building Height – 3 Storeys
- Apartment Units – 18
- Gross Floor Area – ~1,300 m²
- Parking Supply – 15 Spaces
- Density – 120 Units/Net Hectare

Proposed

- Building Height – 3 Storeys
- Apartment Units – 23
- Gross Floor Area – ~1,600 m²
- Parking Supply – 16
- Density – 153 Units/Net Hectare

Appendix 2 includes reduced copies of the Architectural Site Plan (SP), Ontario Building Codes Notes (A01), Existing and Proposed (A02) and Existing Typical Floor Plan (A02).

Minor Variance Application

GWD is pleased to submit the attached Application to the Committee of Adjustment to permit the following Variances:

1. To permit 16 parking spaces; whereas the By-law requires 23 parking spaces;
2. To permit 0 visitor parking spaces; whereas the By-law requires 5 visitor parking spaces.
3. To provide 0 loading spaces; whereas the By-law requires 1 loading space measuring 9.0 metres in length by 3.7 metres in width by 4.3 metres in height.
4. To Permit a minimum driveway width of 3.02 m, whereas the By-law permits 6.0 m.

In support of the Application, we submit the following:

- Completed Application Form;
- Covering Letter;
- Variance Plan (8½"x14") highlighting the requested Variances;
- Parking Justification Study;
- Preliminary Zoning Review; and
- Parcel Abstract serving as Proof of Ownership.



The Four Tests

Pursuant to Section 45(1) of the *Planning Act*, a Minor Variance Application must satisfy all 'Four Tests' as follows:

1. Does the Variance conform to the intent of the Official Plan?
2. Does the Variance conform to the intent of the Zoning By-law?
3. Is the proposal desirable for the appropriate development or use of the lands?
4. Is the proposal minor in nature?

Test 1 – Does the Minor Variance Conform to the Intent of the Official Plan?

The following is a summary of the City's Official Plan designations which apply to the subject site:

- "Neighbourhoods" on Schedule E – Urban Structure; and
- "Neighbourhoods" on Schedule E-1 – Urban Land Designations.

Appendix 3 includes copies of the above noted Schedules.

Neighbourhoods shall generally be regarded as physically stable areas with each having their own unique scale and character. Changes compatible with the existing character or function of the neighbourhood shall be permitted in consideration of the local context. The subject site is situated within a Neighbourhood area that is characterized by mix of residential built forms; including, low, mid and high-rise apartment buildings; most notably the 20-storey Arkledun Towers located at 130 St. Joseph's Drive and the 30-storey Olympia Apartments located at 150 Charlton Avenue East. The site is in close proximity to Woolverton Park and other community facilities. It is well serviced by public transit with access to the Hamilton GO Station and McNab Bus Terminal, as well as a comprehensive road and bicycle network. The subject site is in an ideal location to accommodate density and reduction in parking.

Neighbourhood residential land use is categorized as low, medium, and high density. The existing apartment building is best categorized as high density on account of its built form, density, frontage onto major arterial roads (St. Joseph's Drive and Arkledun Avenue), proximity to public transit, amenities, services, active or passive recreational facilities. The existing multiple dwelling is a permitted built form. The Official Plan allows for intensification that maintain, and where possible enhances and builds upon desirable established patterns and built form; as well as contributes to achieving a range of dwelling types.

For high density residential uses within Neighbourhoods the net residential density is greater than 100 units/hectare and not greater than 200 units/hectares. At present the subject site has a density of 120 Units/Net Hectare. The Owner's proposal to convert the vacated common laundry space, interior garage space, and a portion of the oversized boiler room to five (5) units will increase the density to 153 Units/Net Hectare. These densities are permitted in the Official Plan. Furthermore, the added units are in



keeping with the Official Plan's target of 40% intensification occurring within the Neighbourhood designation. The units, although a modest addition, are expected to contribute to the City maintaining and achieving a range of dwelling types and tenures.

Compatibility within the surrounding area is being maintained as no new structure(s) or building expansions are proposed and site alteration is limited. The Variances are performance related as opposed to land use and as such do not impact or conflict with the goals and objectives of the Official Plan.

The requested Variances are considered to conform to the general intent of the City Official Plan.

Test 2 – Does the Minor Variance Conform to the Intent of the Zoning By-Law?

The general intent and purpose of Zoning By-laws are to establish precise standards as to how land is developed. Restrictions on lot frontage and area, lot coverage, side yard setbacks, number of storeys, are used, in part, to achieve more uniform and consistent built form streetscapes, thereby contributing to a more predictable pattern of development.

City Zoning By-law No. 6593 zones the subject site "*E (Multiple Dwellings, Lodges, Clubs and etc.)*". Multiple dwellings are permitted under this Zoning. The property's existing condition is legal non-complying.

Variances #1 and #2 – Parking

The general intent and purpose of the Zoning By-law in regulating the minimum number of parking spaces is to ensure that the parking provided on a site can accommodate the demand generated by the existing and future uses on the site. Parking on site is based on a rate per use. Each use is assigned a rate based on the amount of parking the use is expected to generate. Furthermore, vehicles are to be able to safely access parking spaces with minimum risk to surrounding pedestrians, vehicles and property.

At present the subject site's parking condition is legal non-complying having a total supply of 15 parking spaces whereas 18 spaces are required equating to a deficiency of 17% (based on a reduced parking rate per Schedule H of the Zoning By-law). The parking spaces are located on the north and west side of the apartment accessed by a driveway fronting onto St. Joseph's Drive.

Under the proposed condition the Zoning By-law requires a total 23 parking spaces whereas 16 parking spaces are provided equating to a deficiency of 59%. A Parking Study, which is to be read in conjunction with this letter, was commissioned by a qualified transportation consultant in support of the parking Variance. The Study concluded that the 16 parking spaces is sufficient to accommodate the needs of the proposed condition. Vehicles will continue to safely access the parking spaces with minimal risk to surrounding pedestrians, vehicles and property. The parking Variance should be approved.



A present a total of 4 additional parking spaces are required for visitor parking. The second Variance is being requested to recognize the legal non-complying condition. To the best of our knowledge the subject site has functioned without visitor parking since its construction and occupancy. Moreover, the addition of five (5) 1-bedroom units will not significantly increase the needs for visitor parking, the Variance is appropriate.

Variance #3 – Loading Spaces

The general intent and purpose of the Zoning By-law in regulating the minimum number of loading spaces is to ensure the loading needs of the multiple dwelling are satisfied and occur on site.

This Variance is being requested to recognize the legal non-complying condition. To the best of our knowledge the subject site has functioned without a designated loading space since the building was constructed. The existing loading scenario will continue to satisfy the loading needs of the multiple dwelling. No change to the parking areas is proposed, loading can continue to occur utilizing available on-site parking spaces or if needed on the local street. Moreover, the addition of five (5) 1-bedroom units will not significantly increase the needs for loading and as the lack of loading space is an existing condition, the Variance is appropriate.

Variance #4 – Driveway Width

The intent of the driveway width provisions is to ensure that there is sufficient space for vehicles to safely access parking spaces with minimum risk to surrounding pedestrians, vehicles and property, to provide separation distances ensure that buildings do not interfere with vehicle sightlines and driveway giving ready access to street or alley.

Variance #4 is being requested to recognize the legal non-complying condition. There are no known issues related to access, visibility and maintenance.

Based on the forgoing, the four (4) Variances are considered to conform to the general intent of Zoning By-law No. 6593.

Test #3 – Is the Minor Variance Desirable and Appropriate for the Area?

The Zoning By-law contains numerical standards for such matters as height, density, lot size, lot depth, and other matters to ensure that development will be compatible with the existing physical character of the area. Variances 2 thru 4 recognize the historical legal non-complying condition.

With respect to Variance 1 the on-site parking supply is expected to satisfy the demand generated by the parking needs of tenants and visitors of the multiple dwelling. The requested parking relief will not conflict with the overall function of the site or create any negative impacts to the surrounding area. The Variances will permit the conversion of underutilized building space as part of the Owner's refurbishment program for the property.



The four (4) Variances are considered desirable and appropriate for the area.

Test #4 – Is the Minor Variance Minor in Nature?

The Variances do not pose a departure from the intended or historical use of the lands. The Variances are not excessive or out of character with the area context. No significant on-site or off-site impacts are anticipated from the requested relief.

The requested Variances are considered to be minor in nature.

Conclusions

The Minor Variance Application has been filed for the purposes of facilitating the addition of five (5) 1-bedroom units. The four (4) Variances have been reviewed in the context of the relevant provisions of the *Planning Act*. We are of the opinion that the Variances satisfy the four (4) tests and can be supported from a land use and policy perspective and represent good planning. We respectfully request that they be approved by the Committee of Adjustment.

Should you require additional information or have any questions, please do not hesitate to contact the undersigned.

Yours truly,

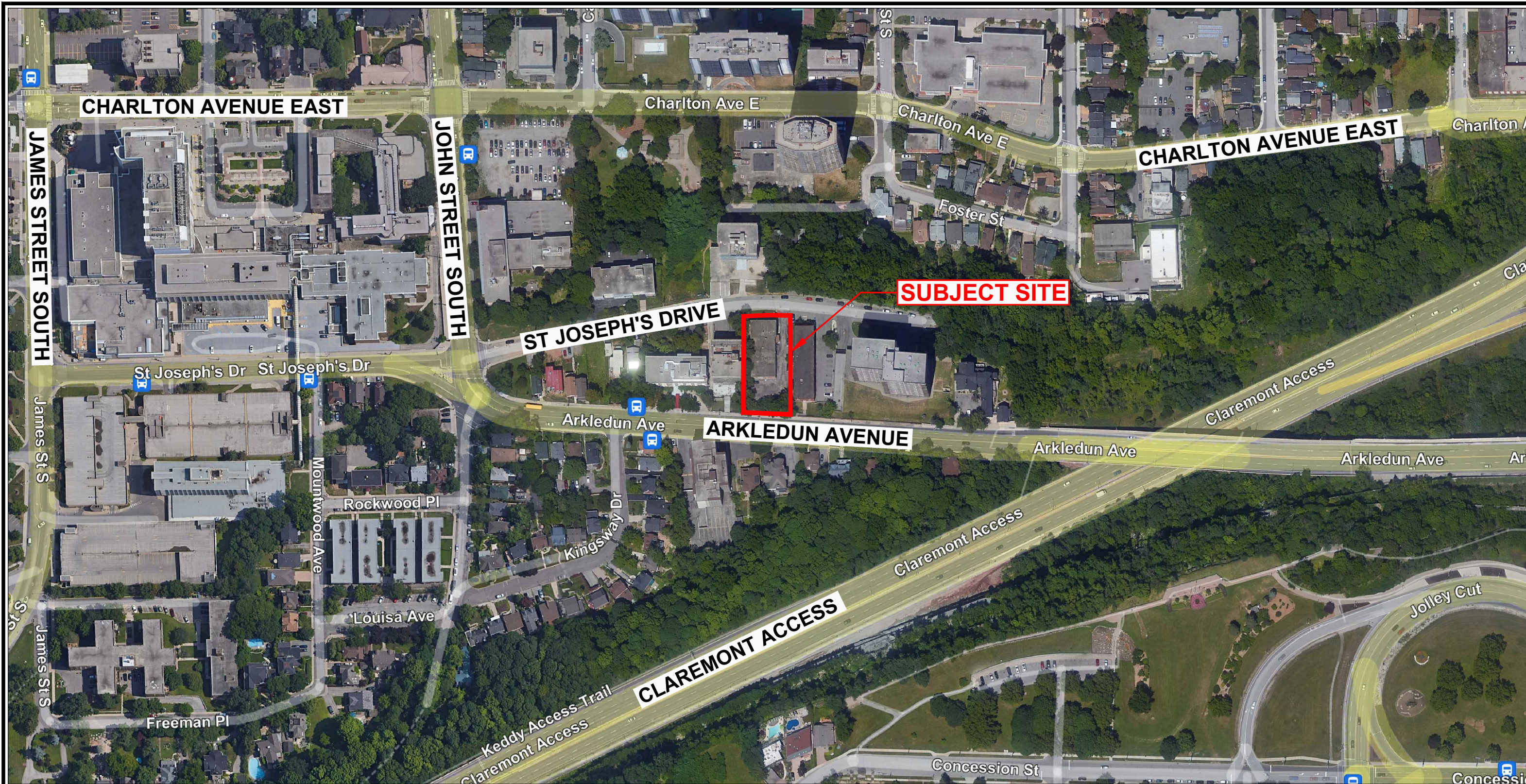
Marc De Nardis, B.U.R.Pl., M.C.I.P., R.P.P.
Planning Associate
mdenardis@gwdplanners.com

Michelle Harris, M. Sc.
Planning Associate
mharris@gwdplanners.com

C.c. 112 St. Joseph's Inc.
M. Gagnon, Gagnon Walker Domes Ltd.



APPENDIX 1



AERIAL IMAGE - CONTEXT PLAN
112 ST. JOSEPH'S DRIVE
CITY of HAMILTON

Image Source: Google Earth

LEGEND

 **SUBJECT SITE**

P.N.: 21.2828.00

Date: February 23, 2022

Scale: N.T.S

Revised:

Drawn By: D.S.

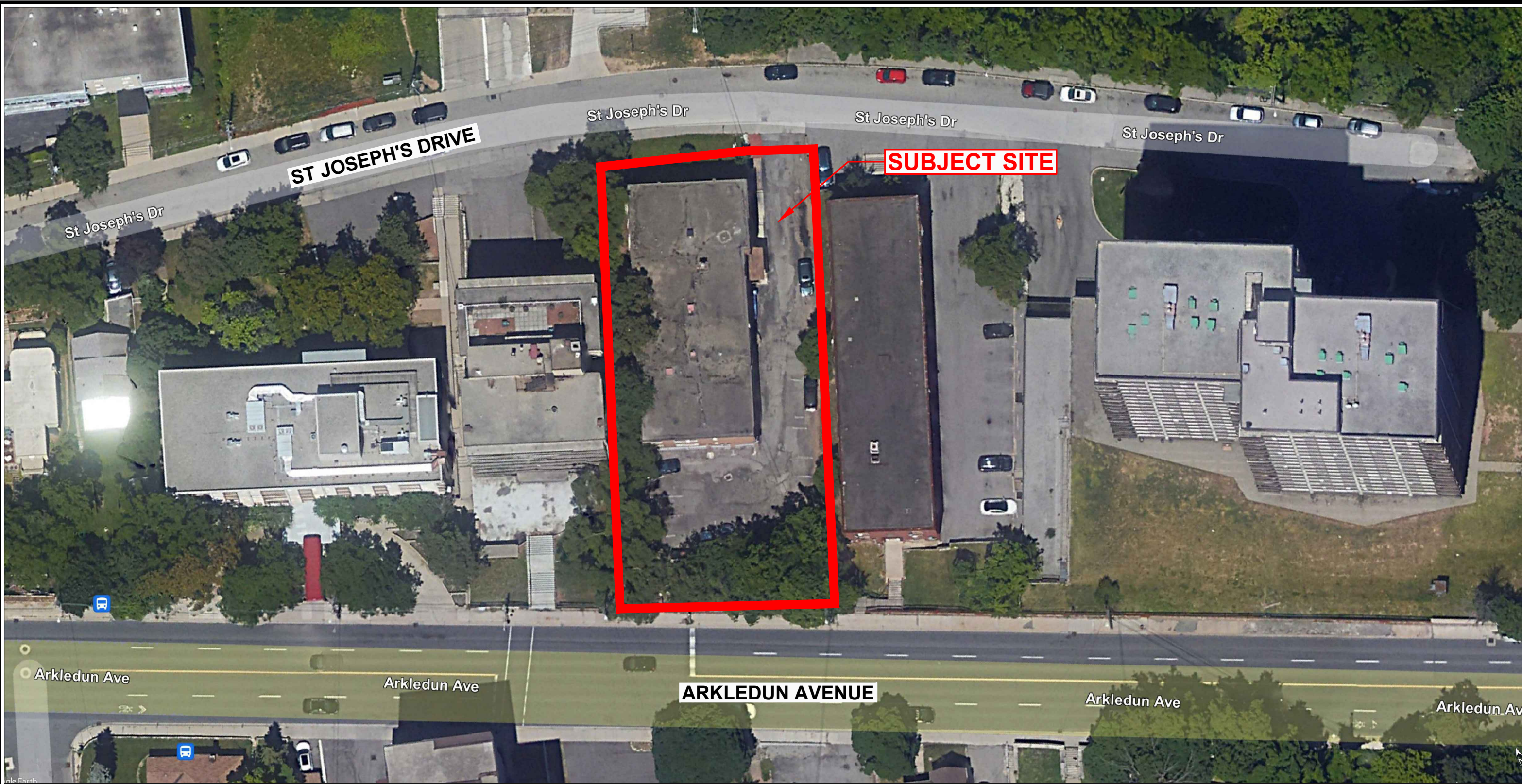
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AERIAL IMAGE - SUBJECT SITE
112 ST. JOSEPH'S DRIVE
CITY of HAMILTON

Image Source: Google Earth

LEGEND

 **SUBJECT SITE**

P.N.: 21.2828.00

Date: February 23, 2022

Scale: N.T.S

Revised:

Drawn By: D.S.

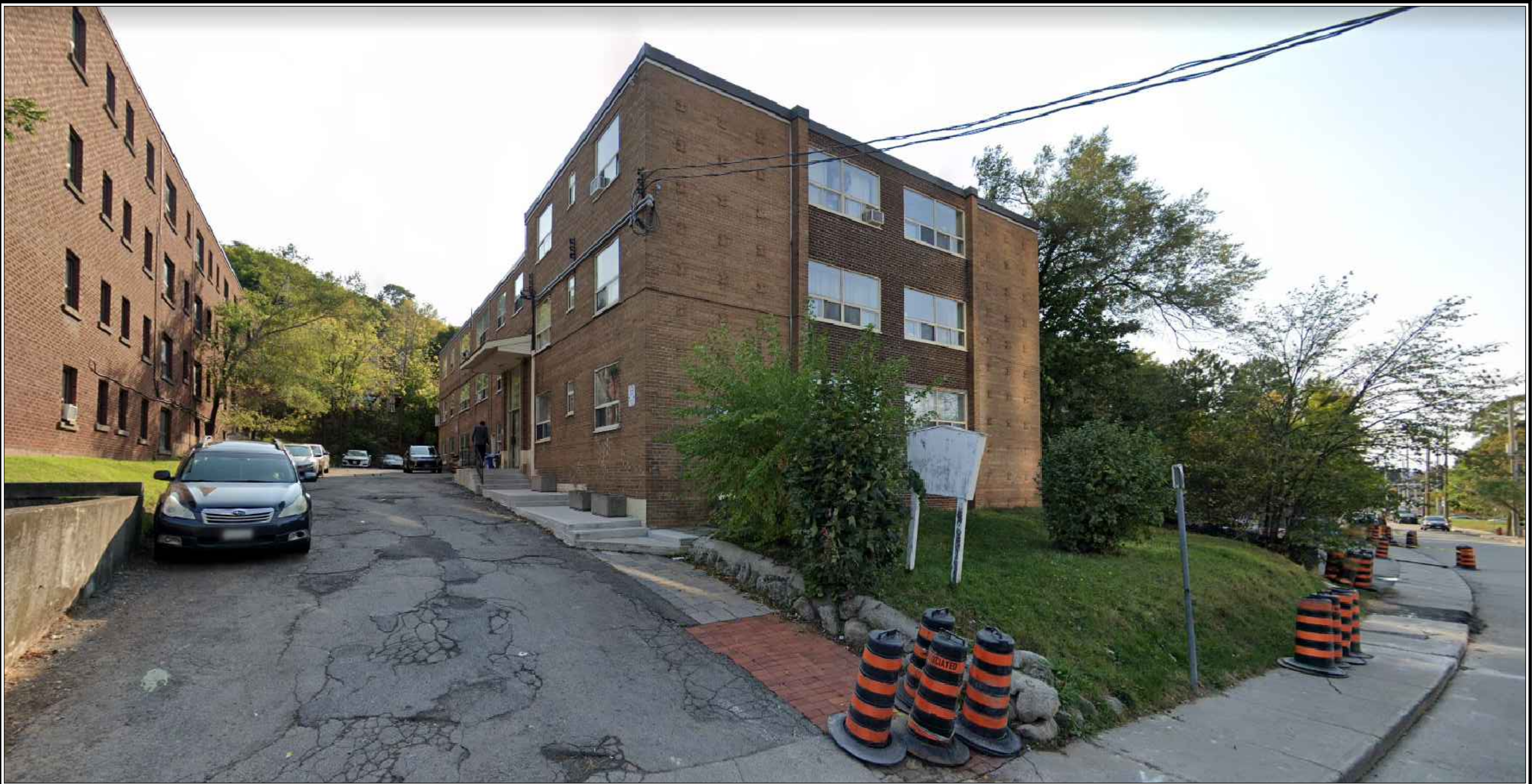
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**PHOTO 1: VIEW LOOKING TOWARD EXISTING 3 STOREY
RESIDENTIAL APARTMENT BUILDING from ST. JOSEPH'S DRIVE**

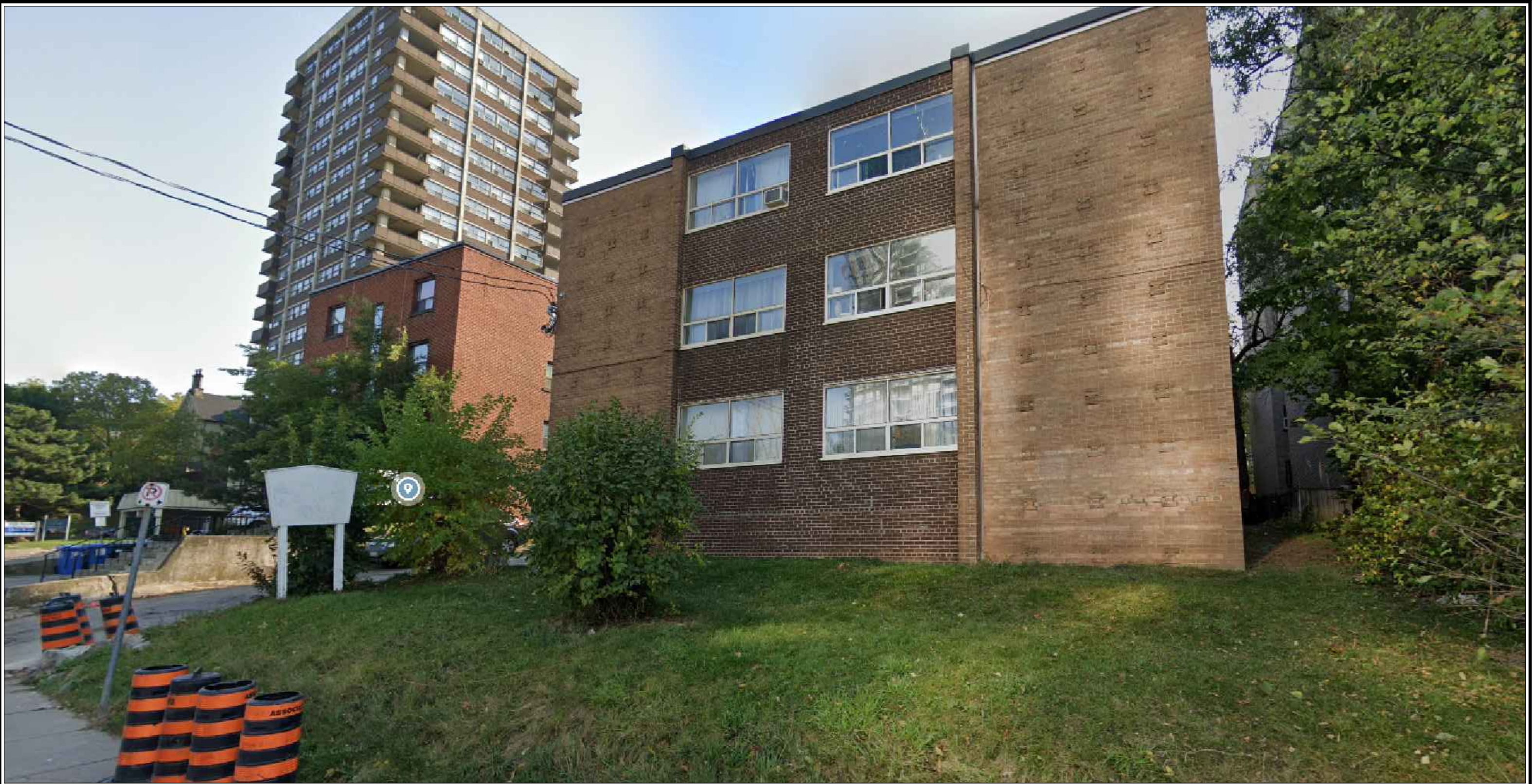
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| P.N.: 21.2828.00 | Date: February 24, 2022 |
| Scale: N.T.S | Revised: |
| Drawn By: D.S. | File No.: PN 2828_ Aerial_Images_FEB_2022 |

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Image Source: Google Earth



**PHOTO 2: VIEW LOOKING TOWARD EXISTING 3 STOREY
RESIDENTIAL APARTMENT BUILDING from ST. JOSEPH'S DRIVE**

| | |
|------------------|---|
| P.N.: 21.2828.00 | Date: February 24, 2022 |
| Scale: N.T.S | Revised: |
| Drawn By: D.S. | File No.: PN 2828_ Aerial_Images_FEB_2022 |

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Image Source: Google Earth



APPENDIX 2

| Item | Ontario Building Code Data Matrix Part 11 - Renovation of Existing Building | OBC Reference |
|-------|---|---|
| 11.00 | Building Code Version: O. Reg. 332/12 Last Amendment: O. Reg. 191/14 | |
| 11.01 | Project Type: <input type="checkbox"/> Addition <input checked="" type="checkbox"/> Renovation <input type="checkbox"/> Addition & Renovation <input type="checkbox"/> Change of Use Description: | [A]1.1.2. |
| 11.02 | Major Occupancy Classification: Occupancy GROUP C Use RESIDENTIAL - APARTMENT BUILDING | 3.1.2.1.(4) |
| 11.03 | Superimposed Major Occupancies: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Description: | 3.2.2.7. |
| 11.04 | Building Area (m2): Description: Existing New Total Unchanged Total | [A]1.4.1.2. |
| 11.05 | Building Height: 3 Storeys above grade 8.3 (m) Above grade 1 Storeys below grade | [A]1.4.1.2. & 3.2.1.1. |
| 11.06 | Number of Streets/Firefighter access: 1 street(s) | 3.2.1.10. & 3.2.5. |
| 11.07 | Building Size: <input type="checkbox"/> Small <input checked="" type="checkbox"/> Medium <input type="checkbox"/> Large <input type="checkbox"/> >Large | T.1.1.2.1. 1.B-N |
| 11.08 | Existing Building Classification: Change in Major Occupancy: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Net Applicable (no change of major occupancy) Construction Index: 8 Hazard Index: 6 Importance Category: <input type="checkbox"/> Low <input checked="" type="checkbox"/> Normal <input type="checkbox"/> High <input type="checkbox"/> Post-disaster | 11.2.1.1. T14.2.1.1A T11.2.1.1B to N 4.2.1.(3) 5.2.2.1.(2) |
| 11.09 | Renovation Type: <input type="checkbox"/> Basic Renovation <input checked="" type="checkbox"/> Extensive Renovation | 11.3.3.1. 11.3.3.2. |
| 11.10 | Occupant Load: Floor Level/Area Occupancy Type Based On Occupant Load (Persons) Basement Dwelling units Residential Uses 0 Persons Ground Dwelling units Residential Uses 22 Persons Second Dwelling units Residential Uses 22 Persons Third Dwelling units Residential Uses 22 Persons | 3.1.17. |
| 11.11 | Plumbing Fixture Requirements: Ratio: M/F = 1/1 Except as otherwise noted Floor Level/Area Occupancy Load OBC Reference Fixtures Required Fixtures Provided Basement 14 Persons 9.31.4.1 20 30 Ground 14 Persons 9.31.4.1 24 36 Second 14 Persons 9.31.4.1 24 36 | 3.7.4. |
| 11.12 | Barrier-free Design: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Unchanged | 11.3.3.2.(2) |
| 11.13 | Reduction in Performance Level: Structural: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By increase in occupant load: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By change of major occupancy: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Plumbing: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Sewage systems: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Extension of combustible construction: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes | 11.4.2.1. 11.4.2.2. 11.4.2.3. 11.4.2.4. 11.4.2.5. 11.4.2.6. |

SITE PLAN NOTES

- BASED ON THE DESIGNATED MAPS AND MEASUREMENTS ON SITE. DESIGNER ASSUMES NO RESPONSIBILITY FOR ACCURACY OF ABOVE MENTIONED MAPS. THIS SITE PLAN HAS NOT BE USED FOR ANY OTHER PURPOSES. NO WORK TO ENCR OACH ONTO ADJOINING PROPERTIES.
- ELEVATION REFERENCES ARE BASED ON 100'-0" = 131.70m GEODETIC ELEVATIONS AS NOTED ON SITE PLAN.
- ALL DIMENSIONS MUST BE CHECKED AGAINST THE ARCHITECTURAL DRAWINGS AND THE FIELD CONDITIONS BEFORE COMMENCING FABRICATION AND INCONSISTENCIES ARE TO BE REPORTED TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK.
- PROVIDE POSITIVE FRONT YARD SLOPE TO MUNICIPAL SEWER FOR WATER RUN-OFF.
- CONTRACTOR TO BE RESPONSIBLE FOR VERIFYING THE LOCATIONS OF ALL EXISTING UNDERGROUND AND ABOVE UTILITIES AND SERVICES.
- DESIGNER NOT RESPONSIBLE FOR ACCURACY OF SURVEY DRAWINGS

ZONING INFO

ZONING CODE: E (SECTION 11)
ZONING DESCRIPTION: MULTIPLE DWELLINGS, LODGES, CLUBS, ETC
PARENT BYLAW NUMBER: 6593 FORMER HAMILTON

CITY ELECTRONIC STAMP:

RED
DESIGNS THAT FORM THE FUTURE

ROJAS EMPIRE OF DESIGN INC

GENERAL NOTES:

- DO NOT SCALE DRAWINGS. FULL SCALE: 24" X 36"
- ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE BORN QUALIFIED DESIGNER MUST BE NOTIFIED IMMEDIATELY.
- FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
- UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
- USE LATEST REVISED DRAWINGS.
- ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.
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- CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

REVISIONS:

| NO. | DATE | GENERAL DESCRIPTION | INITIALS |
|-----|-------------|---------------------|----------|
| 01 | 04.NOV.2021 | ISSUED FOR PERMITS | HS |

WALL LEGEND:

EXISTING (dotted pattern) LOAD-BEARING (cross-hatched pattern)
DEMO (dashed line) FIRE SEPARATION (dashed line with dots)
PROPOSED (solid line)

DESIGNER'S INFO

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.9.1. OF THE BUILDING CODE

HENRY M SILVA ROJAS 106163
NAME SIGNATURE BCIN

REGISTRATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1. OF THE BUILDING CODE

ROJAS EMPIRE OF DESIGN INC 110279
FIRM NAME BCIN

ENGINEER'S STAMP:

*ONLY ITEMS MARKED WITH AN ASTERISK

PROJECT NAME/ADDRESS:

THE ST. JOSEPH RESIDENCE
112 ST. JOSEPH'S DR.
HAMILTON, ON L8N 2E7

SHEET NAME:

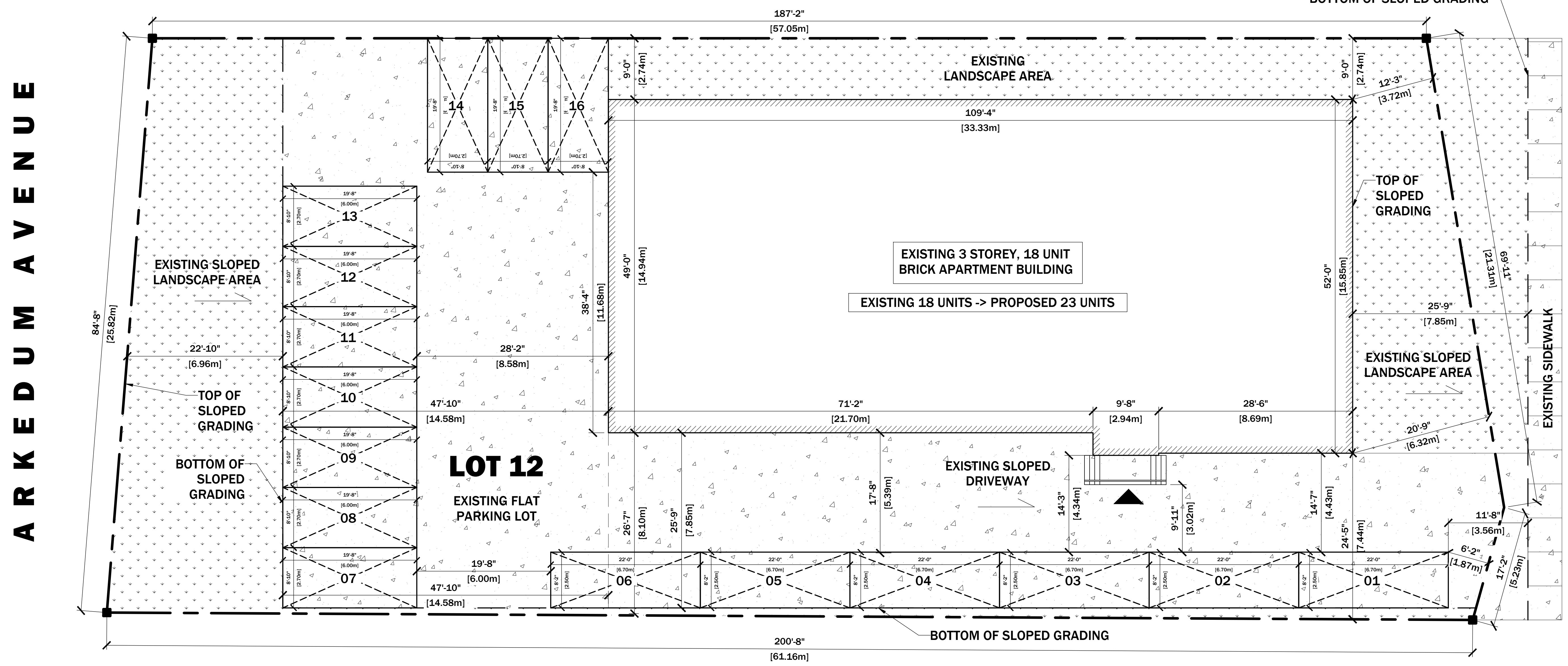
PROPOSED SITE PLAN

SCALE: 1/8" = 1'-0"

PROJECT NO. 210708 START DATE: 02.APR.2021

DRAWN BY: HENRY M SILVA ROJAS REVIEWED BY: HENRY M SILVA ROJAS

SHEET NO.



ARKEDUM AVENUE

ST. JOSEPH'S DRIVE

RED
DESIGNS THAT FORM THE FUTURE

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GENERAL NOTES:

- DO NOT SCALE DRAWINGS. FULL SCALE: 24" X 36"
- ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE BORN QUALIFIED DESIGNER MUST BE NOTIFIED IMMEDIATELY.
- FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
- UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
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HENRY M SILVA ROJAS 106163
NAME SIGNATURE BCIN

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HAMILTON, ON L8N 2E7

SHEET NAME:

PROPOSED SITE PLAN

SCALE: 1/8" = 1'-0"

PROJECT NO. 210708 START DATE: 02.APR.2021

DRAWN BY: HENRY M SILVA ROJAS REVIEWED BY: HENRY M SILVA ROJAS

SHEET NO.

SP

ONTARIO BUILDING CODE NOTES

TYPICAL PROJECT RELATED NOTES:

- 9.20.13 CONTROL OF RAIN WATER PENETRATION
9.20.13.1 MATERIALS FOR FLASHING
1. MATERIALS USED FOR FLASHING SHALL CONFORM TO TABLE 9.20.13.1 OF THE ONTARIO BUILDING CODE.
2. ALUMINUM FLASHING IN CONTACT WITH MASONRY OR CONCRETE SHALL BE EFFECTIVELY COATED OR SEPARATED FROM THE MASONRY OR CONCRETE BY AN IMPERVIOUS MEMBRANE.
9.20.0.2 FASTENING OF FLASHING
1. FASTENING DEVICES FOR FLASHING SHALL BE CORROSION RESISTANT AND WHERE METAL FLASHING IS USED, SHALL BE COMPATIBLE WITH THE FLASHING WITH RESPECT TO GALVANIC ACTION.
9.20.0.2 LOCATION OF FLASHING
1. FLASHING SHALL BE INSTALLED IN MASONRY AND MASONRY INSTALLED WALLS:
a. BENEATH JOINTED MASONRY WINDOW SILLS.
b. OVER THE BACK AND TOP OF PARAPET WALLS.
c. OVER THE HEAD OF GLASS BLOCK PANELS, BENEATH WEEP HOLES AND,
d. OVER THE HEAD OF WINDOW AND DOOR OPENINGS IN EXTERIOR WALLS WHEN THE VERTICAL DISTANCE BETWEEN THE TOP OF A WINDOW OR DOOR FRAME AND THE BOTTOM EDGE OF THE EAVES EXCEEDS 1/2 OF THE HORIZONTAL LEAVE OVERHANG.
2. THROUGHWALL FLASHING SHALL BE PROVIDED IN A MASONRY VENEER WALL SUCH THAT ANY MOISTURE WHICH ACCUMULATES IN THE AIR SPACE WILL BE DIRECTED TO THE EXTERIOR OF THE BUILDING.
9.20.0.2 EXTENSION OF FLASHING
1. A FLASHING MAY BE DELETED WHEN THE MASONRY AT THE SILL OF A WALL OPENING OR THE TOP OF A WALL IS PROTECTED BY AN IMPERVIOUS NON-JOINTED MASONRY COPING WHICH CONFORMS TO ARTICLE 9.20.13.12.
2. WHEN INSTALLED BENEATH JOINTED MASONRY WINDOW SILL AND JOINTED MASONRY COPINGS OR OVER THE HEADS OF OPENINGS, FLASHING SHALL EXTEND FROM THE FRONT EDGE OF THE MASONRY UP BEHIND THE SILL OR LINTEL
9.20.0.2 FLASHING FOR WEEP HOLES IN MASONRY VENEER/ MASONRY WALLS
1. FLASHING BENEATH WEEP HOLES IN CAVITY WALLS AND MASONRY VENEER/MASONRY BRICK-UP WALLS SHALL:
a) BE BEDDED NOT LESS THAN 25MM (1") IN THE INSIDE WYTHE,
b) EXTENDED TO NOT LESS THAN 5MM (1/16") BEYOND THE OUTER FACE OF THE BUILDING ELEMENT BELOW THE FLASHING, AND
c) BE INSTALLED WITH A NOMINALLY HORIZONTAL SLOPE TOWARDS THE OUTSIDE WYTHE.
9.20.0.2 FLASHING FOR WEEP HOLES IN VENEER
1. FLASHING BENEATH WEEP HOLES IN MASONRY VENEER OVER MASONRY BACK-UP WALLS SHALL CONFORM TO THE FLASHING REQUIREMENTS FOR CAVITY WALLS AND MASONRY VENEER/MASONRY BACK-UP WALLS IN ARTICLE 9.20.13.5.
2. FLASHING BENEATH WEEP HOLES IN MASONRY VENEER OVER WOOD-FRAME WALLS SHALL BE INSTALLED SO THAT IT EXTENDS FROM A POINT NOT LESS THAN 5MM (1/16") BEYOND THE OUTER FACE OF THE BUILDING ELEMENT BELOW THE FLASHING TO A POINT 150MM (5/8") UP TO WOOD FRAME WALL.
3. WHERE THE FRAME WALL IS SHEATHED WITH SHEATHING MEMBRANE, A NON-WOOD-BASED RIGID EXTERIOR INSULATING SHEATHING OR A SEMI-RIGID INSULATING SHEATHING WITH AN INTEGRAL SHEATHING MEMBRANE, THE FLASHING SHALL BE INSTALLED BEHIND THE SHEATHING MEMBRANE OR INSULATING SHEATHING.
4. FLASHING DESCRIBED IN SENTENCE (2) IS PERMITTED TO CONFORM TO THE REQUIREMENTS FOR CONCEALED FLASHING IN TABLE 9.20.13.1.

GLASS

- 9.6.1.2 TYPES OF GLASS AND PROTECTION OF GLASS
1. GLASS SIDELIGHTS GREATER THAN 500 mm WIDE THAT COULD BE MISTAKEN FOR DOORS, GLASS IN STORM DOORS AND GLASS IN SLIDING DOORS WITHIN OR AT EVERY ENTRANCE TO A DWELLING UNIT AND IN PUBLIC AREAS SHALL BE:
(a) SAFETY GLASS OF THE TEMPERED OR LAMINATED TYPE CONFORMING TO CAN/CGSB-12.1-M, "TEMPERED OR LAMINATED SAFETY GLASS", OR
(b) WIRED GLASS CONFORMING TO CAN/CGSB-12.11-M, "WIRED SAFETY GLASS".
2. EXCEPT AS PROVIDED IN SENTENCE (4), GLASS IN ENTRANCE DOORS TO DWELLING UNITS AND IN PUBLIC AREAS, OTHER THAN THE ENTRANCE DOORS DESCRIBED IN SENTENCE (1), SHALL BE SAFETY GLASS OR WIRED GLASS OF THE TYPE DESCRIBED IN SENTENCE (1) WHERE THE GLASS AREA EXCEEDS 0.5 m2 AND EXTENDS TO LESS THAN 900 mm FROM THE BOTTOM OF THE DOOR.
3. EXCEPT AS PROVIDED IN SENTENCE (4), TRANSPARENT PANELS THAT COULD BE MISTAKEN AS A MEANS OF EGRESS SHALL BE PROTECTED BY BARRIERS OR RAILINGS.
4. SLIDING GLASS PARTITIONS THAT SEPARATE A PUBLIC CORRIDOR FROM AN ADJACENT OCCUPANCY AND THAT ARE OPEN DURING NORMAL WORKING HOURS NEED NOT CONFORM TO SENTENCES (2), (3) AND (5), EXCEPT THAT SUCH PARTITIONS SHALL BE SUITABLY MARKED TO INDICATE THEIR EXISTENCE AND POSITION.
5. EXCEPT AS PROVIDED IN SENTENCE (4), EVERY GLASS OR TRANSPARENT DOOR ACCESSIBLE TO THE PUBLIC SHALL BE EQUIPPED WITH HARDWARE, BARS OR OTHER PERMANENT FIXTURES DESIGNED SO THAT THE EXISTENCE AND POSITION OF SUCH DOORS IS READILY APPARENT.
6. GLASS, OTHER THAN SAFETY GLASS, SHALL NOT BE USED FOR A SHOWER OR BATHTUB ENCLOSURE.

STAIRS

- 9.8.13 STAIR DIMENSION
9.8.13 STAIR WIDTH
1. REQUIRED EXIT STAIRS AND PUBLIC STAIRS SHALL HAVE A WIDTH, MEASURED BETWEEN WALL FACES OR GUARDS, OF NOT LESS THAN 900mm (2'-11").
2. AT LEAST ONE STAIRWAY BETWEEN EACH FLOOR LEVEL WITHIN A DWELLING UNIT, AND EXTERIOR STAIRS SERVING A SINGLE DWELLING UNIT EXCEPT REQUIRED EXIT STAIRS, SHALL HAVE A WIDTH OF NOT LESS THAN 860MM (2'-10")
9.8.0.1 HEIGHT OVER STAIRS
1. THE CLEAR HEIGHT OVER STAIRS MEASURED VERTICALLY FROM THE LINE DRAWN THROUGH THE LEADING EDGES OF THE TREADS, SHALL BE NOT LESS THAN,
a) 1,950mm (6'-5") FOR STAIRS WITHIN THE DWELLING UNIT AND
b) 2,050mm (6'-9") FOR STAIRS NOT WITHIN DWELLING UNITS
9.8.1 STEP DIMENSION
9.8.1.1 UNIFORMITY AND TOLERANCE FOR RISERS AND TREADS
1. EXCEPT AS PROVIDED IN SENTENCE (2), RISERS SHALL HAVE UNIFORM HEIGHT IN ANY ONE FLIGHT WITH A MAXIMUM TOLERANCE OF,
a) 6mm (1/4") BETWEEN ADJACENT TREADS OR LANDINGS, AND
b) 6mm (1/4") BETWEEN THE TALLEST AND SHORTEST RISERS IN A FLIGHT.
1. EXCEPT FOR REQUIRED EXIT STAIRS, WHERE THE TOP OR BOTTOM RISER IN A STAIR ADJOINS A SLOPING FINISHED WALKING SURFACE SUCH AS A GARAGE FLOOR, DRIVEWAY OR SIDEWALK, THE HEIGHT OF THE RISER ACROSS THE STAIR SHALL VARY BY NOT MORE THAN 1 IN 12.
2. TREADS SHALL HAVE UNIFORM RUN AND TREAD DEPTH, WITH A MAX. TOLERANCE OF,
a) 6mm (1/4") BETWEEN ADJACENT TREADS, AND
b) 6mm (1/4") BETWEEN THE DEEPEST AND SHALLOWEST RUNS AND TREADS IN A FLIGHT
1. WHERE ANGLED TREADS OR WINDERS ARE INCORPORATED INTO A STAIR, THE TREADS IN ALL SETS OF ANGLED TREADS OR WINDERS WITHIN A FLIGHT SHALL TURN IN THE SAME DIRECTION.
2. CROSS-SLOPE OF TREADS SHALL NOT EXCEED 1 IN 100

RAILINGS

- STAIRS AND GUARDS:
9.8.7.1 HANDRAILS
9.8.7.1 REQUIRED HANDRAILS
1. EXCEPT AS PERMITTED IN SENTENCE (2) AND (3), A HANDRAIL SHALL BE PROVIDED ON:
a) AT LEAST ONE SIDE OF STAIRS LESS THAN 1,400MM (3'-7") IN WIDTH,
b) 2 SIDES OF CURVED STAIRS OR RAMPS OF ANY WIDTH, EXCEPT CURVED STAIRS WITHIN DWELLING UNITS, AND
c) 2 SIDES OF STAIRS OR RAMPS 1,100mm (3'-7") IN WIDTH OR GREATER.
1. HAND RAILS ARE NOT REQUIRED FOR,
a) INTERIOR STAIRS HAVING NOT MORE THAN 2 RISERS, AND SERVING A SINGLE DWELLING UNIT,
b) EXTERIOR STAIRS HAVING NOT MORE THAN 3 RISERS, AND SERVING NOT MORE THAN A SINGLE DWELLING UNIT,
c) RAMPS WITH A SLOPE OF NOT MORE THAN 1 IN 12, OR
d) RAMPS RISING MORE THAN 400mm (15 1/2").
2. ONLY ONE HANDRAIL IS REQUIRED ON EXTERIOR STAIRS HAVING MORE THAN 3 RISERS PROVIDED SUCH STAIRS SERVE A SINGLE DWELLING UNIT.
9.8.0.1 CONTINUITY OF HANDRAILS (SEE APPENDIX A)
1. EXCEPT AS PROVIDED IN SENTENCE (2), AT LEAST ONE HANDRAIL SHALL BE CONTINUOUS THROUGHOUT THE LENGTH OF THE STAIRWAY OR RAMP, INCLUDING LANDINGS, EXCEPT WHERE INTERRUPTED BY:
a) DOORWAYS, OR
b) NEWEL POSTS AT CHANGES IN DIRECTION
2. FOR STAIRS SERVING ONLY A SINGLE DWELLING UNIT, AT LEAST ONE HANDRAIL, SHALL BE CONTINUOUS THROUGHOUT THE LENGTH OF THE STAIR OR RAMP, EXCEPT WHERE INTERRUPTED BY:
a) DOORWAYS,
b) LANDINGS, OR
c) NEWEL POSTS AT CHANGES IN DIRECTION
9.8.0.1 TERMINATION OF HANDRAILS
1. HANDRAILS SHALL BE TERMINATED IN A MANNER THAT WILL NOT OBSTRUCT PEDESTRIAN TRAVEL OR CREATE A HAZARD.
2. EXCEPT FOR STAIRS AND RAMPS SERVING A SINGLE DWELLING UNITS, AT LEAST ONE HANDRAIL AT THE SIDES OF A STAIR OR RAMP SHALL EXTEND HORIZONTALLY NOT LESS THAN 300MM (11 1/2") BEYOND THE TOP AND BOTTOM OF THE STAIRWAY OR RAMP.
9.8.0.1 HEIGHT OF HANDRAILS
1. HEIGHT OF HANDRAILS AND STAIRS AND RAMPS SHALL BE MEASURED VERTICALLY FROM THE TOP OF THE HANDRAIL TO,
a) A LINE DRAWN THROUGH THE LEADING EDGE OF THE STAIR TREADS SERVED BY THE HANDRAILS, OR
c) THE SURFACE OF THE RAMP, FLOOR OR LANDING SERVED BY THE HANDRAIL
2. EXCEPT AS PROVIDED IN SENTENCE (3), THE HEIGHT OF HANDRAILS ON STAIRS AND RAMPS SHALL BE,
a) NOT LESS THAN 800mm (2'-7"), AND
b) NOT MORE THAN 965mm (3'-2").
3. WHERE GUARDS ARE REQUIRED, HANDRAILS REQUIRED ON LANDINGS SHALL NOT BE MORE THAN 1,070mm (3'-6") IN HEIGHT.

MOISTURE PROTECTION

- 9.25.3.1 REQUIRE BARRIER TO AIR LEAKAGE
1. THERMALLY INSULATED WALL, CEILING AND FLOOR ASSEMBLIES SHALL BE CONSTRUCTED SO AS TO INCLUDE AN AIR BARRIER SYSTEM WHICH WILL PROVIDE A CONTINUOUS BARRIER TO AIR LEAKAGE;
a) FROM THE INTERIOR OF THE BUILDING INTO WALL, FLOOR, ATTIC OR ROOF SPACES SUFFICIENT TO PREVENT EXCESSIVE MOISTURE CONDENSATION IN SUCH SPACES DURING THE WINTER, AND
b) FROM THE EXTERIOR INWARD SUFFICIENT TO PREVENT MOISTURE CONDENSATION ON THE ROOM SIDE DURING WINTER.
9.25.3.3 CONTINUITY OF THE AIR BARRIER SYSTEM
1. WHERE THE AIR BARRIER SYSTEM CONSIST OF AN AIR IMPERMEABLE PANEL-TYPE MATERIAL, ALL JOINTS SHALL BE SEALED TO PREVENT AIR LEAKAGE.
2. WHERE THE AIR BARRIER SYSTEM CONSIST OF FLEXIBLE SHEET MATERIAL, ALL JOINTS SHALL BE,
a) SEALED OR
b) LAPPED NOT LESS THAN 100MM (4") AND CLAMPED, SUCH AS BETWEEN FURRING OR BLOCKING AND RIGID PANELS.
3. WHERE AN INTERIOR WALL MEETS AND EXTERIOR WALL, CEILING FLOOR OR ROOF REQUIRED TO BE PROVIDED WITH AN AIR BARRIER PROTECTION, THE AIR BARRIER SYSTEM SHALL EXTEND ACROSS THE INTERSECTION.
4. WHERE AN INTERIOR WALL PROJECTS THROUGH A CEILING OR EXTENDS TO BECOME AN EXTERIOR WALL SPACES IN THE WALL SHALL BE BLOCKED TO PROVIDE CONTINUITY ACROSS THOSE SPACES WITH THE AIR BARRIER SYSTEM IN THE ABUTTING WALLS OR CEILING.
5. WHERE AN INTERIOR FLOOR PROJECTS THOUGH AN EXTERIOR WALL OR EXTENDS TO BECOME AN EXTERIOR FLOOR, CONTINUITY OF THE AIR BARRIER SYSTEM SHALL BE MAINTAINED FROM THE ABUTTING WALLS ACROSS THE FLOOR ASSEMBLY.
6. PENETRATION OF THE AIR BARRIER SYSTEM, SUCH AS THOSE CREATED BY THE INSTALLATION OF DOORS, WINDOWS, ELECTRICAL WIRING, ELECTRICAL BOXES, PIPING OR DUCT WORK, SHALL BE SEALED TO MAINTAIN THE INTEGRITY OF THE AIR BARRIER SYSTEM OVER THE ENTIRE SURFACE.
7. ACCESS HATCHES INSTALLED THROUGH ASSEMBLIES CONSTRUCTED WITH AN AIR BARRIER SYSTEM SHALL BE WEATHERSTRIPPED AROUND THEIR PERIMETERS TO PREVENT AIR LEAKAGE.
8. CLEARNESS BETWEEN CHIMNEYS OR GAS VENTS AND THE SURROUNDING CONSTRUCTION WHICH WOULD PERMIT AIR LEAKAGE FROM WITHIN THE BUILDING INTO A WALL OR ATTIC OR ROOF SPACE SHALL BE SEALED BY NONCOMBUSTIBLE MATERIAL TO PREVENT SUCH LEAKAGE.
9.25.4.1 REQUIRED BARRIER TO VAPOR DIFFUSION
1. THERMALLY INSULATED WALL, CEILING AND FLOOR ASSEMBLIES SHALL BE CONSTRUCTED WITH A VAPOUR BARRIER SUFFICIENT TO PREVENT CONDENSATION IN THE WALL SPACES, FLOOR SPACES OR ATTIC OR ROOF SPACES.
9.25.4.1 INSTALLATION OF VAPOUR BARRIERS
1. VAPOUR BARRIER SHALL BE INSTALLED TO PROTECT THE ENTIRE SURFACES OF THERMALLY INSULATED WALL, CEILING AND FLOOR ASSEMBLIES
2. VAPOUR BARRIERS SHALL BE INSTALLED SUFFICIENTLY CLOSE TO THE WARM SIDE OF INSULATION TO PREVENT CONDENSATION AT DESIGN CONDITIONS.

DRAINS

- 9.3.1.4 FLOOR DRAINS
1. A FLOOR DRAIN SHALL BE INSTALLED IN THE BASEMENT FORMING PART OF A DWELLING UNIT.

DOORS

- 9.7.5.2 RESISTANCE TO FORCED ENTRY DOORS
1. EXCEPT FOR EXTERIOR DOORS TO GARAGES AND TO OTHER ANCILLARY SPACES, THIS ARTICLE APPLIES TO,
a) SWINGING ENTRANCE DOORS TO DWELLING UNITS,
b) SWINGING DOORS BETWEEN DWELLING UNITS AND ATTACHED GARAGES OR OTHER ANCILLARY SPACES, AND
c) SWINGING DOORS THAT PROVIDE ACCESS DIRECTLY OR INDIRECTLY FROM A STORAGE GARAGE TO A DWELLING UNIT.
2. DOORS, FRAMES AND HARDWARE THAT CONFORM TO A SECURITY LEVEL OF AT LEAST GRADE 10 AS DESCRIBED IN THE ANNEX TO ASTM F476, "SECURITY OF SWINGING DOOR ASSEMBLIES", ARE NOT REQUIRED TO CONFORM TO SENTENCES (3) TO (7).
3. EXCEPT AS PROVIDED IN SENTENCE (2), WOOD DOORS DESCRIBED IN SENTENCE (1) SHALL,
a) BE SOLID CORE OR STILE-AND-RAIL TYPE,
b) BE NOT LESS THAN 45 mm THICK, AND
c) IF OF THE STILE-AND-RAIL PANEL TYPE, HAVE A PANEL THICKNESS OF NOT LESS THAN 19 mm, WITH A TOTAL PANEL AREA NOT MORE THAN HALF OF THE DOOR AREA.
4. EXCEPT AS PROVIDED IN SENTENCE (2), DOORS DESCRIBED IN SENTENCE (1) SHALL BE PROVIDED WITH,
a) A DEADBOLT LOCK WITH A CYLINDER HAVING NO FEWER THAN FIVE PINS, AND
b) A BOLT THROW NOT LESS THAN 25 mm LONG, PROTECTED WITH A SOLID OR HARDENED FREE-TURNING RING OR BEVELLED CYLINDER HOUSING.
5. EXCEPT AS PROVIDED IN SENTENCE (2), AN INACTIVE LEAF IN DOUBLE DOORS USED IN LOCATIONS SPECIFIED IN SENTENCE (1) SHALL BE PROVIDED WITH HEAVY-DUTY BOLTS TOP AND BOTTOM HAVING AN ENGAGEMENT OF NOT LESS THAN 15 mm.
6. EXCEPT AS PROVIDED IN SENTENCE (2), HINGES FOR DOORS DESCRIBED IN SENTENCE (1) SHALL BE FASTENED,
a) TO WOOD DOORS WITH WOOD SCREWS NOT LESS THAN 25 mm LONG AND TO WOOD FRAMES WITH WOOD SCREWS SUCH THAT AT LEAST TWO SCREWS PER HINGE PENETRATE NOT LESS THAN 30 mm INTO SOLID WOOD, OR
b) TO METAL DOORS AND METAL FRAMES WITH MACHINE SCREWS NOT SMALLER THAN No. 10 AND NOT LESS THAN 10 mm LONG.
7. EXCEPT AS PROVIDED IN SENTENCE (2), STRIKEPLATES FOR DEADBOLTS DESCRIBED IN SENTENCE (4) SHALL BE FASTENED,
a) TO WOOD FRAMES WITH WOOD SCREWS THAT PENETRATE NOT LESS THAN 30 mm INTO SOLID WOOD, OR
b) TO METAL FRAMES WITH MACHINE SCREWS NOT SMALLER THAN No. 8 AND NOT LESS THAN 10 mm LONG.
8. EXCEPT FOR STORM DOORS OR SCREEN DOORS, DOORS DESCRIBED IN SENTENCE (1) THAT SWING OUTWARD SHALL BE PROVIDED WITH HINGES OR PINS SO THAT THE DOORS CANNOT BE REMOVED WHEN THEY ARE IN THE CLOSED POSITION.
9. SOLID BLOCKING SHALL BE PROVIDED ON BOTH SIDES AT THE LOCK HEIGHT BETWEEN THE JAMBS FOR DOORS DESCRIBED IN SENTENCE (1) AND THE STRUCTURAL FRAMING SO THAT THE JAMBS WILL RESIST SPREADING BY FORCE.
1.7.2.1 ENTRANCE DOORS
1. A DOOR SHALL BE PROVIDED AT EACH ENTRANCE TO A DWELLING UNIT.
2. MAIN ENTRANCE DOORS TO DWELLING UNITS SHALL BE PROVIDED WITH,
a) A DOOR VIEWER OR TRANSPARENT GLAZING IN THE DOOR, OR
b) SIDELITE
9.20.13.1 FLASHING JOINTS
1. JOINTS IN FLASHING SHALL BE MADE WATERTIGHT.
9.20.13.1 REQUIRED WEEP HOLES
1. WEEP HOLES SPACED NOT MORE THAN 800MM (2'-7") APART SHALL BE PROVIDED AT THE BOTTOM OF:
a) CAVITIES IN CAVITY WALLS, AND
b) CAVITIES OR AIR SPACES IN MASONRY VENEER WALLS.
2. THE CAVITIES OR AIR SPACES DESCRIBED IN SENTENCE (1) SHALL INCLUDE THOSE ABOVE LINTELS OVER WINDOW AND DOOR OPENINGS REQUIRED TO BE FLASHED IN CONFORMANCE WITH ARTICLE 9.20.13.4.
3. THE WEEP HOLES REQUIRED IN SENTENCE (1) SHALL BE IN LOCATION SUCH THAT ANY WATER THAT COLLECTS IN THE CAVITY OR SPACE WILL BE DIRECTED TO THE EXTERIOR OF THE BUILDING.

FIREPLACES

- 9.22.1.1 MASONRY ON CONCRETE
1. EXCEPT AS OTHERWISE STATED IN THIS SECTION, UNIT MASONRY SHALL CONFORM TO SECTION 9.20. AND CONCRETE TO SECTION 9.3.
2. MASONRY ABOVE OPENINGS SHALL BE SUPPORTED BY STEEL LINTELS CONFORMING TO SENTENCE 9.20.5.2.(2), REINFORCED CONCRETE OR A MASONRY ARCH.
9.22.1.1 COMBUSTION AIR
1. EVERY SOLID FUEL-FIRED FIREPLACE, INCLUDING A FACTORY-BUILT FIREPLACE, SHALL HAVE A SUPPLY OF COMBUSTION AIR FROM OUTDOORS IN ACCORDANCE WITH SENTENCES (2) TO (7).
2. THE COMBUSTION AIR SHALL BE SUPPLIED BY A NONCOMBUSTIBLE AND CORROSION-RESISTANT SUPPLY DUCT.
3. THE SUPPLY DUCT SHALL HAVE,
a) A DIAMETER OR NOT LESS THAN 100mm (4") OR EQUIVALENT AREA, AND
b) AN EXTERIOR INTAKE FOR ENTRY OF AIR FROM THE OUTDOORS.
4. THE SUPPLY DUCT SHALL CONTAIN A TIGHT-FITTING DAMPER THAT SHALL BE LOCATED CLOSE TO THE INTERIOR OUTLET AND BE OPERABLE FROM THE ROOM CONTAINING THE FIREPLACE.
5. THE OPERATING MECHANISM SHALL CLEARLY INDICATE THE ACTUAL POSITION OF THE DAMPER.
6. THE INTERIOR OUTLET WALL SHALL,
a) BE LOCATED AS CLOSE AS POSSIBLE TO THE OPENING IN THE FACE OF THE FIREPLACE, AND
b) BE DESIGNED TO PREVENT EMBERS FROM ENTERING THE SUPPLY DUCT.
9.22.2 FIREPLACE LINERS
9.22.1.1 BRICK OR STEEL LINERS
1. EXCEPT WHERE FIREPLACE IS EQUIPPED WITH A STEEL LINER, EVERY FIREPLACE SHALL HAVE A FIREBRICK LINER.
9.22.0.1 FIREBRICK LINERS
1. FIREPLACE LINERS SHALL BE NOT LESS THAN
a) 50mm (2") THICK FOR THE SIDES AND BACK, AND
b) 25mm (1") THICK FOR THE FLOOR.
2. FIREBRICK LINERS SHALL BE LAID IN HIGH TEMPERATURE CEMENT MORTAR CONFORMING TO CAN.CGSB-10.3, "AIR SETTING REFRACTORY MORTAR".
3. JOINTS BETWEEN A FIREBRICK LINER AND THE ADJACENT BACK-UP MASONRY SHALL BE OFFSET.
9.22.0.1 STEEL LINERS
1. STEEL LINERS FOR FIREPLACES SHALL CONFORM TO CAN/ULC-S639M, "STEEL LINER ASSEMBLIES FOR SOLID-FUEL BURNING MASONRY FIREPLACES", AND SHALL BE INSTALLED IN ACCORDANCE WITH THE INSULATION INSTRUCTIONS IN THAT STANDARD.

ABBREVIATION LIST

Table with 2 columns: Abbreviation and Full Name. Includes items like AB ANCHOR BOLT, ACST ACOUSTIC, GYBD GYPSUM BOARD, etc.

ARCHITECTURAL SYMBOLS

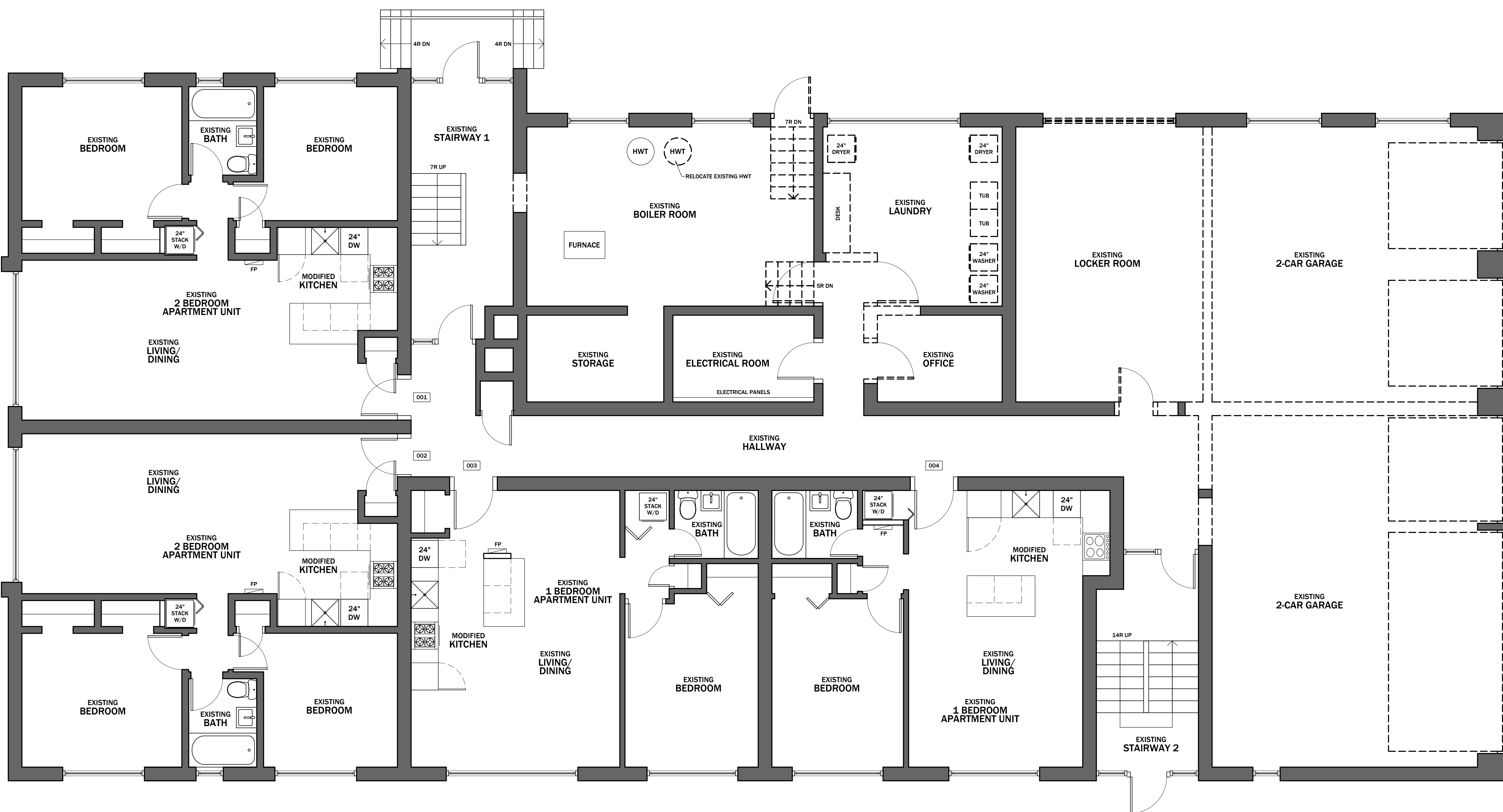
Table with 3 columns: Symbol, Description, and Note. Includes symbols for EP ELECTRICAL/HYDRO/FUSE PANEL, CMD CARBON MONOXIDE DETECTOR, W# WINDOW TAG, etc.

CITY ELECTRONIC STAMP:

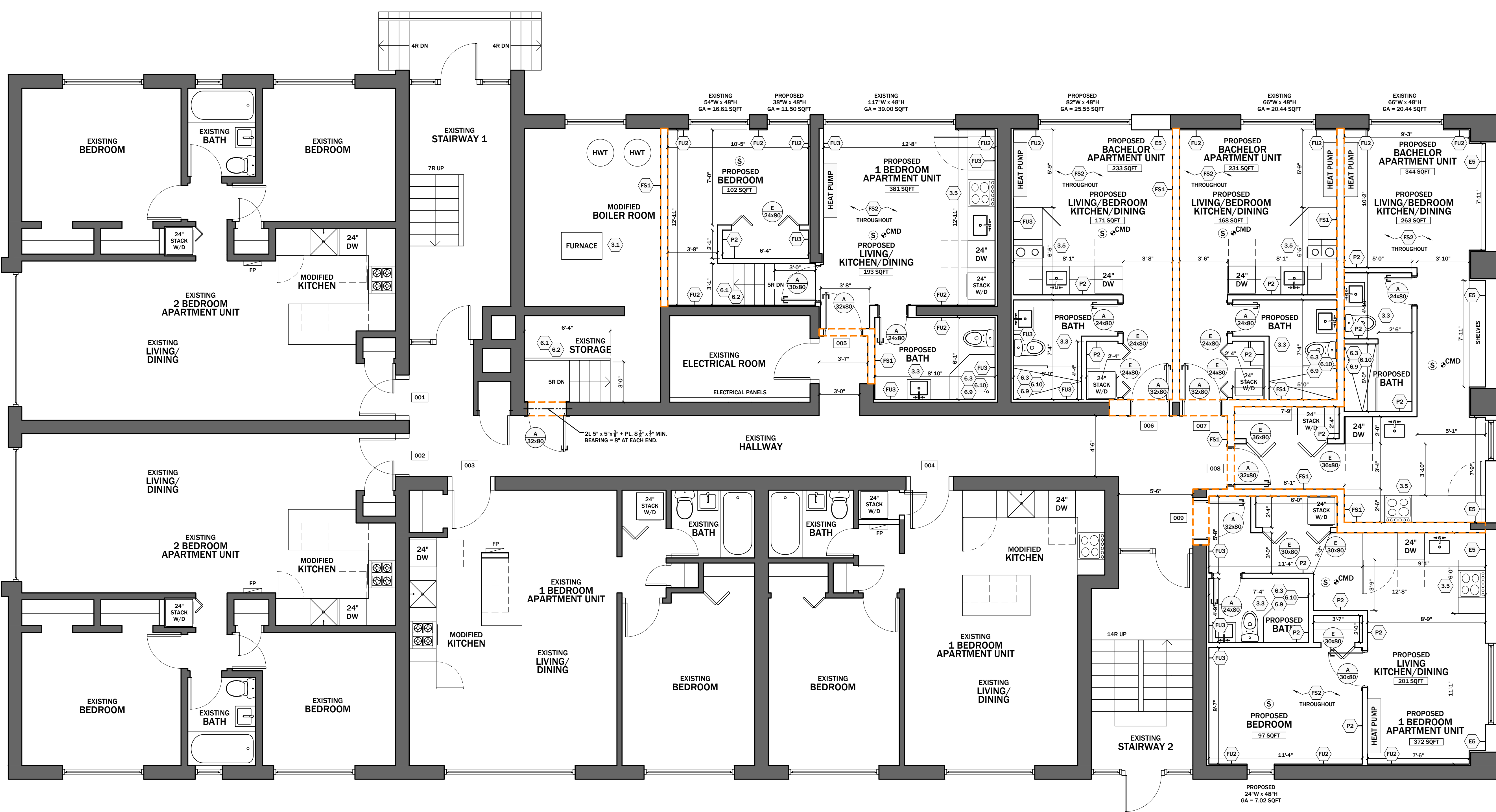
Professional Engineer Stamp for S. Rajkarnik, 100073532, 2021 10 05, Licensed Professional Engineer, Province of Ontario.

Project Information Form for The St. Joseph Residence, 112 St. Joseph's Dr., Hamilton, ON L8N 2E7. Includes sections for Designer's Info, Registration Information, Firm Name, and Sheet Name (OBC INFO & OTHER GENERAL INFO).



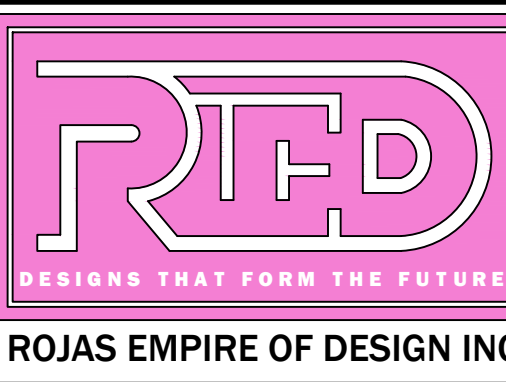


01 EXISTING GROUND FLOOR PLAN
A02 1/4" = 1/4"



02 PROPOSED GROUND FLOOR PLAN
A02 1/4" = 1/4"

| EXTERIOR WALL TYPES | | MULTI-UNIT CONVERSION NOTES | | | | | | | | | | | | | | |
|--|--|-----------------------------|----------|---------------|------------|----------------|------------|---------|------------------|--------------|---------------|--------------|---------------|-----------|--|--|
| <p>EXTERIOR STONE / BRICK CONSTRUCTION</p> <ul style="list-style-type: none"> 4" STONE OR BRICK VENEER AS PER ELEVATIONS COLOUR TO BE BY OWNER PRIOR TO CONSTRUCTION UNOBSTRUCTED WEEP SYSTEM @24" o.c. WITH MORTAR DRAIN CONTROL IN 2" AIR SPACE TYPE 'X' OR EQUAL MOISTURE PROTECTION 1/2" SPRUCE PLYWOOD SHEATHING 2x6 SFF C/W WOOD STUDS @ 16" o.c. MINERAL WOOL INSULATION (R VALUE AS PER HVAC) 6 MIL POLY VAPOUR BARRIER, TAPE & SEAL ALL JOINTS 1/2" GYPSUM BOARD TAPED & MUD, PRIMED & MIN. 2 COATS OF PAINT | <p>VENTILATION</p> <p>NATURAL</p> <p>1. NATURAL VENTILATION IS REQUIRED TO BE PROVIDED TO LIVING ROOMS, DINING ROOMS, BEDROOMS AND KITCHENS BY PROVIDING A MIN WINDOW AREA OF 0.20m² IN ACCORDANCE WITH SENTENCE 9.32.2.1.1. AND TABLE 9.32.2.1. NATURAL VENTILATION IS REQUIRED TO BE PROVIDED TO BATHROOMS BY A MIN WINDOW AREA OF 0.09m² ALSO IN ACCORDANCE WITH SENTENCE 9.32.2.1.1. AND TABLE 9.32.2.1.</p> <p>NATURAL (ALTERNATE)</p> <p>2. AS AN ALTERNATIVE TO PROVIDING A WINDOW FOR NATURAL VENTILATION, MECHANICAL VENTILATION IS PERMITTED TO BE PROVIDED IN THESE SPACES.</p> | | | | | | | | | | | | | | | |
| <p>BASEMENT INSULATION OPTION - MIN. R20</p> <p>BASEMENT INSULATION - OPTION 1 CONSTRUCTION</p> <ul style="list-style-type: none"> POURED CONCRETE FOUNDATION WALLS AS PER PLANS 1" THICK R10 CONTINUOUS INSULATION WRAP 2x4 SFF #2 WOOD STUDS @ 16" o.c. R14 MINERAL WOOL INSULATION IN STUD CAVITY 6 MIL POLY VAPOUR BARRIER, TAPE AND SEAL ALL JOINTS TO 3" ABOVE FLOOR IN BASEMENT 1" GYPSUM BOARD, TAPED AND MUD, PRIMED WITH MINIMUM 2 COATS OF PAINT, GIBB GYPSUM BOARD LAYER IF BASEMENT IS UNFINISHED | <p>EXHAUST FAN</p> <p>3. ALL KITCHENS AND BATHROOMS WITH THE SECONDARY SUITE MUST HAVE AN EXHAUST FAN INSTALLED WITH A CAPACITY OF 25L/s WHERE THE DUCT FROM THE FAN TO THE OUTSIDE IS NOT LESS THAN 6" (152mm) IN DIAMETER AND 50L/s WHERE THE DUCT IS < 150mm IN DIAMETER.</p> <p>MEANS OF EGRESS</p> <p>STAIR MIN DIMENSIONS</p> <p>4. THE MIN WIDTH OF A STAIR IN A MEANS OF EGRESS SHOULD BE NOT LESS THAN 27" (700mm) COMPLIANCE ALTERNATIVES C109.</p> <p>HEADROOM MIN DIMENSIONS</p> <p>5. THE MIN HEADROOM HEIGHT OVER AN EXISTING STAIR SHOULD BE TO 7' (1800mm) COMPLIANCE ALTERNATIVE C109.</p> <p>6. WHERE A NEW STAIR IS BEING INSTALLED THE MIN HEIGHT OVER THE STAIRS SHOULD BE NOT LESS THAN 76" (1930mm)</p> <p>DOORS MIN DIMENSIONS</p> <p>7. THE MIN HEIGHT OF A DOOR IN A MEANS OF EGRESS SHOULD BE NOT LESS THAN 76" (1930mm) COMPLIANCE ALTERNATIVES C127</p> | | | | | | | | | | | | | | | |
| <p>PARTITION TYPES</p> <p>INTERIOR WALL CONSTRUCTION (2x4, 2x6 or 2x8) (4" & 6" & 8") (NONLOADBEARING)</p> <ul style="list-style-type: none"> 1/2" GYPSUM BOARD EACH SIDE, TAPED & MUD PRIMED & MIN. 2 COATS OF PAINT 2x4 SFF #2 (AS DIMENSIONED IN FLOOR PLAN) SFF #2 WOOD STUDS @ 16" o.c. PROVIDE SINGLE BOTTOM PLATE & DOUBLE TOP PLATE PROVIDE 2x4 WOOD BLOCKING IN JOISTS BELOW AT 3'x12" O.C. MAX W/FLOOR JOISTS WHEN NONLOADBEARING WALLS ARE PARALLEL TO FLOOR JOISTS | <p>ELECTRICAL</p> <p>EXTERIOR LIGHTS</p> <p>8. AN EXTERIOR LIGHT IS REQUIRED AT THE ENTRANCE TO SECONDARY SUITE.</p> <p>LIGHT SWITCH</p> <p>9. A 3-WAY SWITCH IS REQUIRED AT THE TOP AND BOTTOM OF EVERY STAIR.</p> <p>EMERGENCY LIGHTING</p> <p>10. PROVIDE 1 EMERGENCY LIGHTING FIXTURE IN SHARED EGRESS STAIRS CONFORMING TO 9.9.32.3.</p> <p>EARLY WARNING SYSTEM</p> <p>11. SMOKE ALARMS SHOULD BE INSTALLED ON EACH STOREY AND IN EACH SLEEPING ROOM WITH A VISUAL SIGNALING COMPONENT IN ACCORDANCE WITH ARTICLE 9.30.19.3.</p> <p>SMOKE ALARMS (S)</p> <p>12. ACCORDING TO COMPLIANCE ALTERNATIVE (E15.20) WHERE A 15 MIN HORIZONTAL FIRE SEPARATION IS PROVIDED BETWEEN THE DWELLING UNITS THE SMOKE ALARMS THROUGHOUT THE HOUSE ARE REQUIRED TO INTERCONNECTED.</p> <p>13. WHERE THERE IS A SHARED MEANS OF EGRESS OR A COMMON AREA, SMOKE ALARMS SHOULD BE INSTALLED IN THESE AREAS IN ACCORDANCE WITH SENTENCE 9.30.19.3.2.</p> <p>CARBON MONOXIDE (CMO)</p> <p>14. CARBON MONOXIDE ALARMS SHOULD BE INSTALLED ADJACENT TO EACH SLEEPING ROOM WHERE THERE IS A SELF-FIRED APPLIANCE LIKE A GAS FURNACE IN ACCORDANCE WITH SENTENCE 9.33.4.2.1.</p> <p>15. THE CARBON MONOXIDE ALARMS ARE PERMITTED TO BE BATTERY OPERATED OR PLUGGED INTO AN ELECTRICAL OUTLET. COMPLIANCE ALTERNATIVE C197.</p> | | | | | | | | | | | | | | | |
| <p>FURRING TYPES</p> <p>INTERIOR HAT CHANNEL FURRING</p> <ul style="list-style-type: none"> 1" REGULAR GYPSUM BOARD 1" METAL HAT CHANNEL @ 16" o.c. ON SUBSTRATE EXISTING CONSTRUCTION <p>INTERIOR STUD FURRING</p> <ul style="list-style-type: none"> 1" REGULAR GYPSUM BOARD 1" METAL STUDS @ 16" o.c. EXISTING CONSTRUCTION | <p>HEATING SYSTEM</p> <p>16. WHERE A SINGLE FORCED AIR HEATING SYSTEM SUPPLIES BOTH DWELLING UNITS IN THE HOUSE A DUCT TYPE SMOKE DETECTOR SHOULD BE INSTALLED IN THE SUPPLY OR RETURN AIR DUCT WHICH WILL TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM IN ACCORDANCE WITH SENTENCE 6.2.4.17.(4).</p> <p>FIRE SEPARATION</p> <p>FOR DOORS</p> <p>17. ANY DOORS LOCATED IN A FIRE SEPARATION SHOULD HAVE A 20 MIN FIRE PROTECTION RATING OR BE AT LEAST 45mm THICK SOLID CORE WOOD OR METAL WITH A SELF CLOSING DEVICE. COMPLIANCE ALTERNATIVE C156.</p> <p>BETWEEN UNITS</p> <p>18. SEPARATION BETWEEN SUITES TO HAVE A FIRE RESISTANCE RATING OF 30 MINS AS PER O.C. 9.10.9.14 (1), PART 11 C152 (a) AND PART 9.3.1.2.1.1; STC 50. REFER TO S83 TABLE 1 AND 2 FOR ASSEMBLY DETAILS.</p> <p>SERVICE RM</p> <p>19. SMOKE DETECTOR TO BE INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM TO TURN OFF POWER AND FUEL SUPPLY UPON ACTIVATION.</p> <p>OTHERS</p> <p>HANDRAILS & GUARDS</p> <p>20. EXISTING HANDRAILS AND GUARDS ARE ACCEPTABLE UNLESS THEY COULD BE CONSIDERED TO BE UNSAFE. COMPLIANCE ALTERNATIVE C113. NEW HANDRAILS AND GUARDS ARE REQUIRED TO COMPLY WITH SECTION 9.8.</p> <p>CEILING HEIGHTS</p> <p>21. THE MIN HEIGHT OF CEILING OVER THE ABOVE ROOMS AREAS IS NOT TO BE LESS THAN 76" (1930mm). COMPLIANCE ALTERNATIVE C102.</p> <p>WINDOW WELLS</p> <p>22. WHERE A WINDOW OPENS INTO A WINDOW WELL A CLEARANCE OF NOT LESS THAN 21.5" (550mm) SHALL BE PROVIDED IN FRONT OF THE WINDOW. EVERY WINDOW WELL SHALL BE DRAINED TO THE FOOTING LEVEL OR OTHER SUITABLE LOCATION WITH 4"x4" JOIST WITH WEEPING TILE C/W A FILTER CLOTH WRAP AND FILLED WITH CRUSHED STONE. (9.7.1.4, 9.14.3.3)</p> <p>NEW LAUNDRY SERVICE</p> <p>23. INSTALL NEW LAUNDRY WASHER AND VENT LESS DRYER. CONNECT PLUMBING TO NEAREST ON SITE CONDITION. CAPPED DRYER EXHAUST VENT TO EXTERIOR. CONFORMING TO 9.32.2 AND PART 6. USE LOUVER TYPE DOORS TO ALLOW DRYER TO VENT OUT. USE IF APPLICABLE.</p> <p>FOR PIPE & WIRE PENETRATIONS</p> <p>24. USE FIRE RATED FOAM TESTED IN ACCORDANCE WITH CAN/ULC-5115 (EG. HULTI FIRE FOAM CP 620 OR 3M FIRE BARRIER SEALANT CP 25W+)</p> <p>25. FOR HVAC DUCTING, ADDRESS WITH IN DUCT SMOKE DETECTOR. SMOKE DETECTOR TO BE INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM TO TURN OFF POWER AND FUEL SUPPLY UPON ACTIVATION.</p> <p>26. FOR SERVICE UNITS IN FIRE SEPARATION (VALVES, METERS, ELECTRICAL BOXES, ETC.) USE ULC RATED FIRE RATED ACCESS PANELS (MIN. 45 MINS).</p> | | | | | | | | | | | | | | | |
| <p>ARCHITECTURAL HEX NOTES</p> <p>3.0 MECHANICAL VENTILATION & FIREPLACES</p> <p>3.1 MECHANICAL LOCATION LOCATION OF FURNACE, HOT WATER TANK, H.V., WATER DRAIN, SUMP PUMP, AND ELECTRICAL PANEL IS APPROXIMATE</p> <p>3.2 MECHANICAL VENTILATION (9.32.1.3)</p> <p>3.3 MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR, TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR. SEE GENERAL NOTE 8.7</p> <p>3.4 RANGE HOODS & RANGE-TOP FANS (9.32.3.9, 9.32.3.10)</p> <p>DUCTWORK FOR RANGE HOODS AND RANGE-TOP FANS SHALL BE OF NON-COMBUSTIBLE, CORROSION RESISTANT MATERIAL, INSTALLED WITH A GREASE FILTER AT THE INTAKE AND SHALL LEAD DIRECTLY TO THE OUTDOORS WITHOUT CONNECTION TO OTHER EXHAUST FANS OR DUCTS.</p> <p>6.0 STAIRS, RAILINGS, INTERIOR & MISCELLANEOUS ITEMS</p> <p>6.1 INTERIOR & EXTERIOR STAIRS (9.8.2, 9.8.4, 9.8.7)</p> <table border="1"> <tr><td>MAX RISE</td><td>7' 7" (200)</td></tr> <tr><td>MIN. RUN</td><td>8' 1/4" (210)</td></tr> <tr><td>MIN. TREAD</td><td>11' 1/4" (280)</td></tr> <tr><td>MAX NOSING</td><td>1" (25)</td></tr> <tr><td>MIN. STAIR WIDTH</td><td>3' 6" (1090)</td></tr> <tr><td>MIN. HEADROOM</td><td>6' 8" (2030)</td></tr> <tr><td>MIN. ENG. RUN</td><td>8' (2440)</td></tr> </table> <p>6.2 INTERIOR & EXTERIOR GUARDS (9.8.8)</p> <p>FINISHED NON-CUMBERABLE GUARD/RAILING (4" TO 38" ABOVE FLOOR) WITH 4" (100) O.C. MAXIMUM SPACING BETWEEN PICKETS. THE MINIMUM SPECIFIED HORIZONTAL LOAD APPLIED INWARD OR OUTWARD AT THE TOP OF EVERY REQUIRED GUARD SHALL BE: i) A UNIFORM LOAD OF 133 lb/ft OR CONCENTRATED LOAD OF 225 lb. ii) A VERTICAL LOAD OF 168 lb/ft, WHICH NEED NOT ACT SIMULTANEOUSLY WITH THE HORIZONTAL LOAD. iii) INDIVIDUAL ELEMENTS ARE TO BE DESIGNED FOR A CONCENTRATED LOAD OF 133 LB AT ANY MOMENT.</p> <p>GUARD HEIGHTS - O.B.C. 9.8.8 INTERIOR GUARDS: 2'-11" (900) MIN. EXTERIOR GUARDS: 2'-11" (900) MIN. (LESS THAN 9'-11" TO GRADE) 3'-0" (1070) MIN. (MORE THAN 9'-11" TO GRADE)</p> <p>PORCH GUARDS PORCH SLABS HIGHER THAN 23.5' (8' ABOVE ADJACENT FINISHED GRADE SHALL BE PROTECTED WITH GUARDS PER CONSTRUCTION</p> <p>6.3 INTERIOR STUD BATHROOM REINFORCEMENT PROVIDE STUD WALL REINFORCEMENT IN MAIN BATHROOM CONFORMING TO 3.8.3.8.(1)(4) FOR WATER CLOSETS AND 3.8.3.13.(1) FOR SHOWERS OR BATHUBS. (9.5.2.3)</p> <p>6.4 SHOWER TOILET ENCLOSURE TEMPERED GLASS ENCLOSURE C/W 24" x 72" TEMPERED GLASS DOOR, 4" CURB AND CERAMIC TILE WALLS AND CEILING, UNLESS OTHERWISE NOTED.</p> <p>6.5 BATHROOM & LAUNDRY MILLWORK BATHROOM AND OR LAUNDRY MILLWORK AS PER CABINERY MANUFACTURERS LAYOUT AND SPECIFICATIONS, MIRROR TBD BY OWNER.</p> | MAX RISE | 7' 7" (200) | MIN. RUN | 8' 1/4" (210) | MIN. TREAD | 11' 1/4" (280) | MAX NOSING | 1" (25) | MIN. STAIR WIDTH | 3' 6" (1090) | MIN. HEADROOM | 6' 8" (2030) | MIN. ENG. RUN | 8' (2440) | | |
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| <p>DOOR PANEL TYPES (ELEVATIONS)</p> <p>DOOR PANEL WIDTH DOOR PANEL WIDTH DOOR PANEL WIDTH DOOR PANEL WIDTH DOOR PANEL WIDTH</p> <p>DOOR HEIGHT DOOR HEIGHT DOOR HEIGHT DOOR HEIGHT DOOR HEIGHT</p> <p>DOOR PANEL TYPES: TYPE 'A' (SINGLE FLUSH PANEL), TYPE 'B' (DOUBLE FLUSH PANEL), TYPE 'C' (GLASS SIDING PANEL), TYPE 'D' (LOUVERED PANEL), TYPE 'E' (BI-FOLD PANEL)</p> <p>FLOOR LEVEL</p> | | | | | | | | | | | | | | | | |



GENERAL NOTES:

- ON ALL SMALL DRAWINGS, SCALE SHALL BE 1/4" = 1/4"
- ALL OPERATIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REFERRED TO THE DRAWING PARTIES. THIS INCLUDES EXISTING CONDITIONS OR SERVICES AS FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS. THESE DISCREPANCIES SHOULD BE NOTICED IMMEDIATELY.
- REVISED OR CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE SHOWN FOR SIMILAR CONDITIONS.
- UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONSTRUCTION ACCORDING TO THE CONSTRUCTION OF THE DRAWING PARTIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY DETAILS, MATERIALS, SHOP DETAILS, AND OTHER NECESSARY SUPPORTS, TO SATISFACTION ALL EXISTING OR REVISIONS AND ORIGINAL INTENTIONS.
- USE LATEST REVISED DRAWINGS.
- ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE 9.9.32.3.
- ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF ROJAS EMPIRE OF DESIGN INC. ANY REUSE OR REPRODUCTION OF ANY PART OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF ROJAS EMPIRE OF DESIGN INC. IS STRICTLY PROHIBITED UNLESS A WRITTEN PERMISSION IS OBTAINED FROM ROJAS EMPIRE OF DESIGN INC. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.
- CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

REVISIONS:

| NO. | DATE | GENERAL DESCRIPTION | INITIALS |
|-----|-------------|--------------------------|----------|
| 01 | XX JAN 2023 | ISSUED FOR DESIGN REVIEW | HS |

| WALL LEGEND | |
|-------------|-----------------|
| [Symbol] | EXISTING |
| [Symbol] | DEMOL |
| [Symbol] | PROPOSED |
| [Symbol] | LOAD BEARING |
| [Symbol] | FIRE SEPARATION |

DESIGNER'S INFO:

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN AND THE QUALIFICATIONS AND BEING THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION: REQUIRED UNLESS DESIGN IS EXEMPT UNDER 13.4.1 OF THE BUILDING CODE

NAME: HENRY M SILVA ROJAS (100163) R.O.N.

REGISTRATION INFORMATION: REQUIRED UNLESS DESIGN IS EXEMPT UNDER 13.4.1 OF THE BUILDING CODE

ROJAS EMPIRE OF DESIGN INC. (100735) R.O.N.

FIRM NAME: ROJAS EMPIRE OF DESIGN INC.

ENGINEER'S STAMP:

LICENSED PROFESSIONAL ENGINEER
S. RAJKARNIKAR
10073532
2021 10 05
PROVINCE OF ONTARIO

PROJECT NAME / ADDRESS:

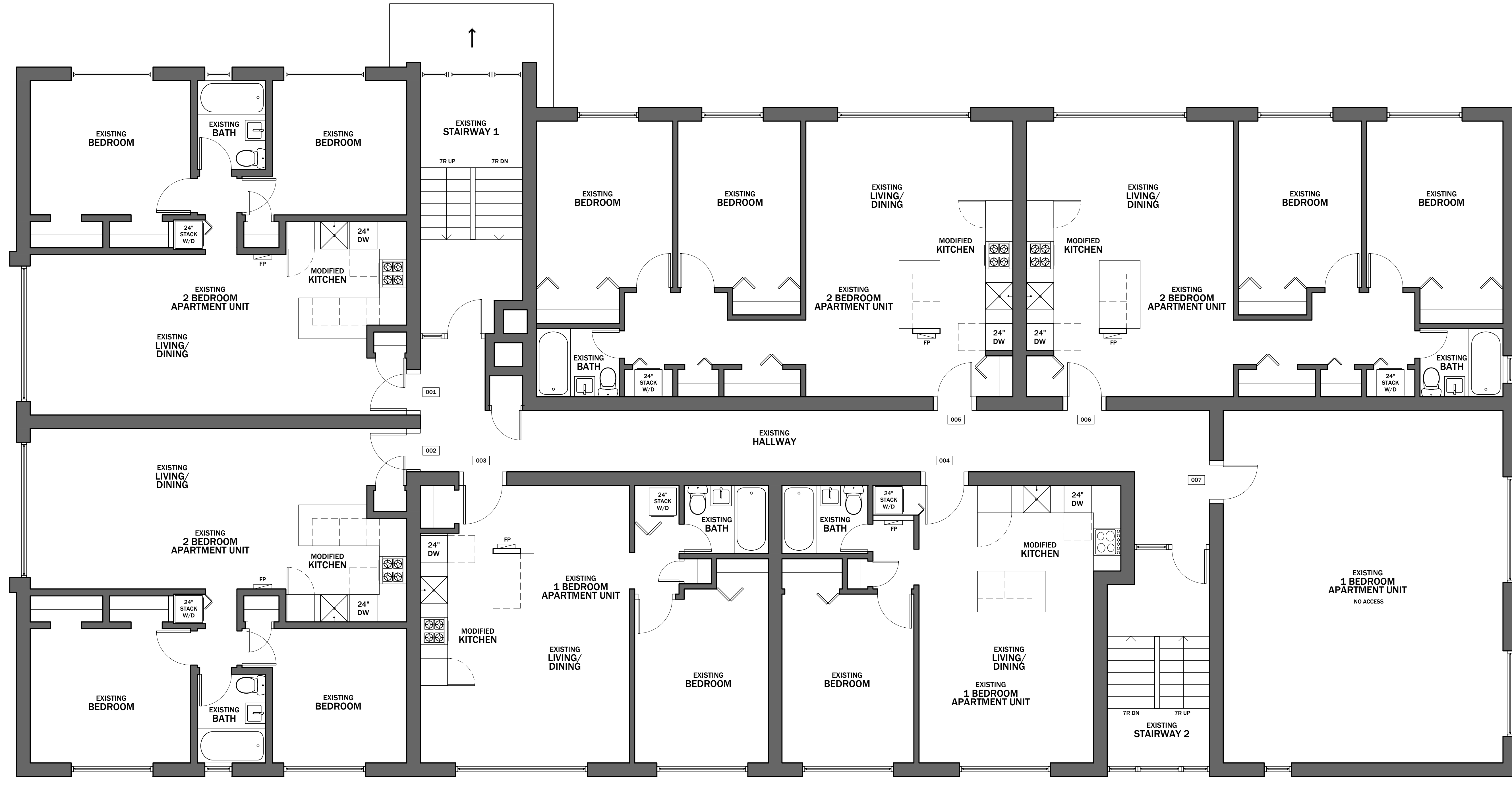
THE ROSGOLD
RESIDENCE
29 BRIDLEWOOD GLENDE
SCARBOROUGH, ON M1P 3J5

SHEET NAME:
GROUND FLOOR PLANS

PROJECT NO: 210003 START DATE: XX JAN 2023 SCALE: AS NOTED

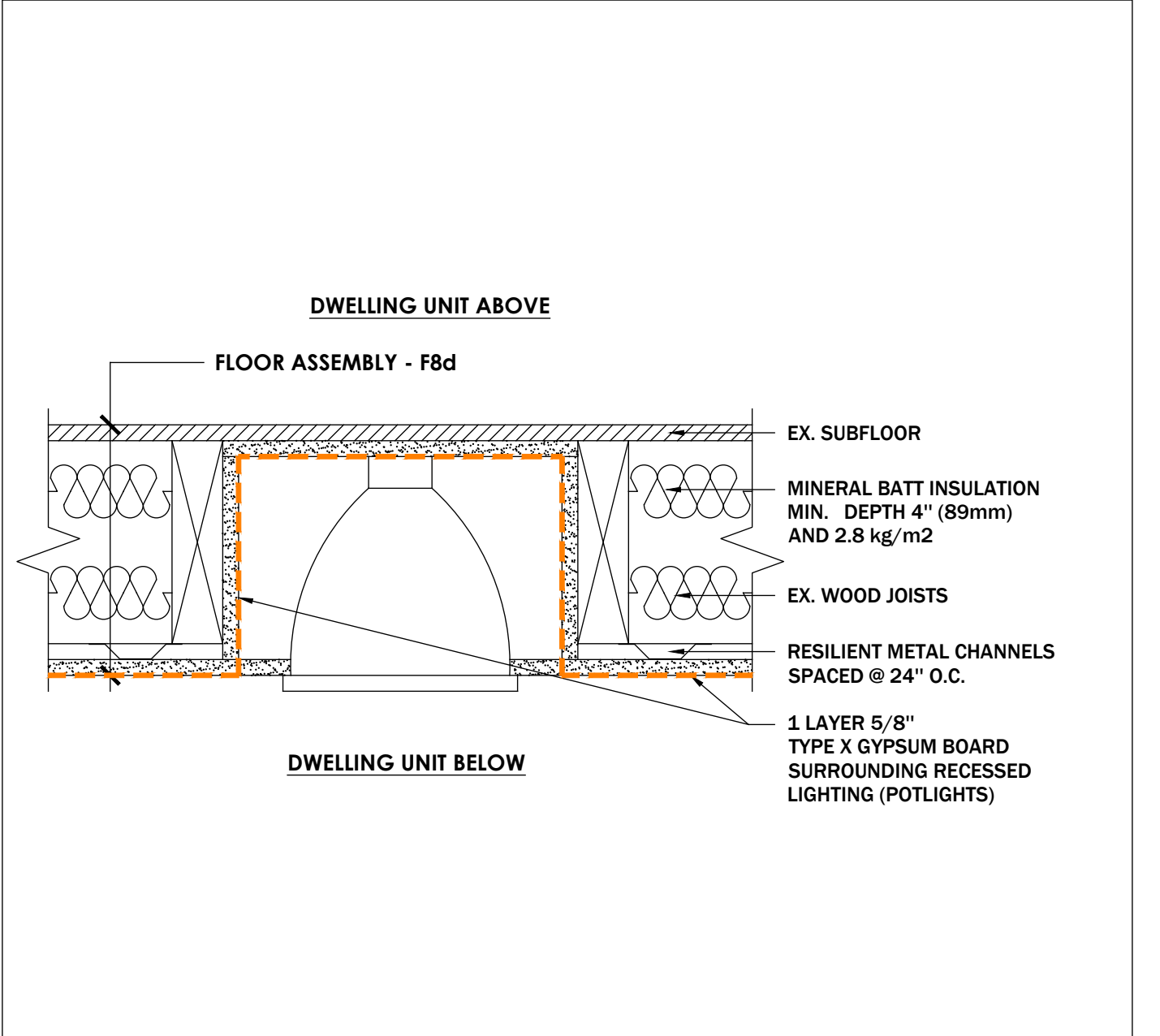
DRAWN BY: HENRY M SILVA ROJAS REVIEWED BY: HENRY M SILVA ROJAS

SHEET NO: **A02**

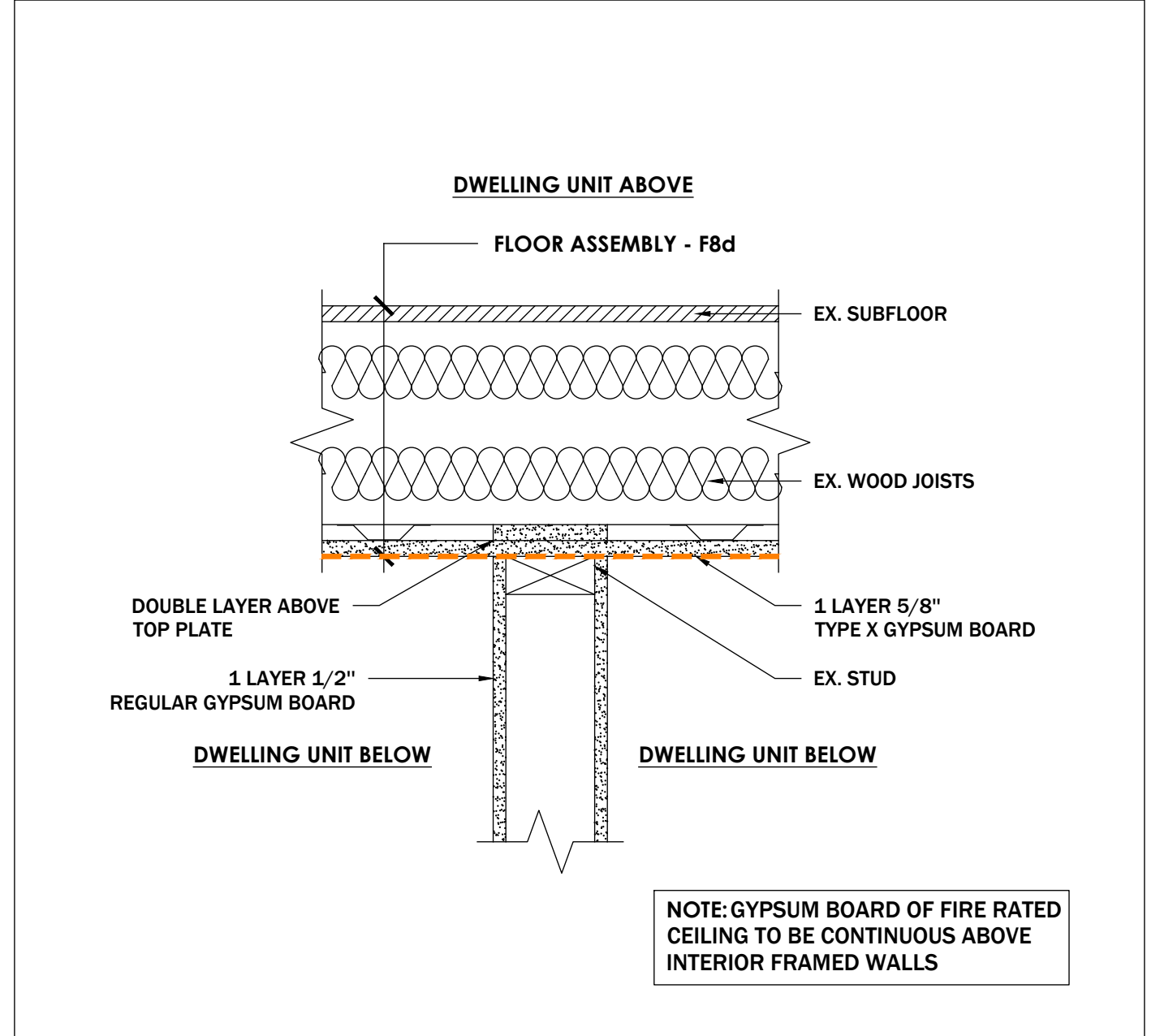


| EXTERIOR WALL TYPES | | MULTI-UNIT CONVERSION NOTES | | | |
|---|--|--|--|--|--|
| <p>EXTERIOR STONE / BRICK CONSTRUCTION</p> <ul style="list-style-type: none"> 4" STONE OR BRICK VENER AS PER ELEVATIONS COLOR TBD BY OWNER PRIOR TO CONSTRUCTION UNOBSTRUCTED WEEP SYSTEM @24" o.c. WITH MORTAR DRIP CONTROL IN 2" AIR SPACE "TYVEK" OR EQUAL MOISTURE PROTECTION 1/2" SPRUCE PLYWOOD SHEATHING 2x8 2" C WOOD STUDS @ 16" o.c. MINERAL WOOL INSULATION (R VALUE AS PER HVAC) 6 MIL POLY VAPOUR BARRIER, TAPE & SEAL ALL JOINTS 1/2" GYPSUM BOARD TAPED & MUD, PRIMED & MIN. 2 COATS OF PAINT | <p>VENTILATION</p> <p>NATURAL</p> <ol style="list-style-type: none"> 1. NATURAL VENTILATION IS REQUIRED TO BE PROVIDED TO LIVING ROOMS, DINING ROOMS, BEDROOMS AND KITCHENS BY PROVIDING A MIN WINDOW AREA OF 0.20m² IN ACCORDANCE WITH SENTENCE 9.32.2.1.(1) AND TABLE 9.32.2.1. NATURAL VENTILATION IS REQUIRED TO BE PROVIDED TO BATHROOMS BY A MIN WINDOW AREA OF 0.09m² ALSO IN ACCORDANCE WITH SENTENCE 9.32.2.1.(1) AND TABLE 9.32.2.1. <p>NATURAL (ALTERNATIVE)</p> <ol style="list-style-type: none"> 2. AS AN ALTERNATIVE TO PROVIDING A WINDOW FOR NATURAL VENTILATION, MECHANICAL VENTILATION IS PERMITTED TO BE PROVIDED IN THESE SPACES. | <p>EXHAUST FAN</p> <ol style="list-style-type: none"> 3. ALL KITCHENS AND BATHROOMS WITH THE SECONDARY SUITE MUST HAVE AN EXHAUST FAN INSTALLED WITH A CAPACITY OF 25L/s WHERE THE DUCT FROM THE FAN TO THE OUTSIDE IS NOT LESS THAN 6" (152mm) IN DIAMETER AND 50L/s WHERE THE DUCT IS > (150mm) IN DIAMETER. <p>MEANS OF EGRESS</p> <p>STAIR MIN DIMENSIONS</p> <ol style="list-style-type: none"> 4. THE MIN WIDTH OF A STAIR IN A MEANS OF EGRESS SHOULD BE NOT LESS THAN 27" (700mm) COMPLIANCE ALTERNATIVES C109. <p>HEADROOM MIN DIMENSIONS</p> <ol style="list-style-type: none"> 5. THE MIN HEADROOM HEIGHT OVER AN EXISTING STAIR SHOULD BE TO (1800mm) COMPLIANCE ALTERNATIVE C109. 6. WHERE A NEW STAIR IS BEING INSTALLED THE MIN HEIGHT OVER THE STAIRS SHOULD BE NOT LESS THAN 76" (1950mm) <p>DOORS MIN DIMENSIONS</p> <ol style="list-style-type: none"> 7. THE MIN HEIGHT OF A DOOR IN A MEANS OF EGRESS SHOULD BE NOT LESS THAN 76" (1950mm) COMPLIANCE ALTERNATIVES C127 <p>ELECTRICAL</p> <p>EXTERIOR LIGHTS</p> <ol style="list-style-type: none"> 8. AN EXTERIOR LIGHT IS REQUIRED AT THE ENTRANCE TO SECONDARY SUITE. <p>LIGHT SWITCH</p> <ol style="list-style-type: none"> 9. A 3-WAY SWITCH IS REQUIRED AT THE TOP AND BOTTOM OF EVERY STAIR. <p>EMERGENCY LIGHTING</p> <ol style="list-style-type: none"> 10. PROVIDE 1 EMERGENCY LIGHTING FIXTURE IN SHARED EGRESS STAIRS CONFORMING TO 9.9.32.3. <p>EARLY WARNING SYSTEM</p> <p>SMOKE ALARMS (S)</p> <ol style="list-style-type: none"> 11. SMOKE ALARMS SHOULD BE INSTALLED ON EACH STOREY AND IN EACH SLEEPING ROOM WITH A VISUAL SIGNALING COMPONENT IN ACCORDANCE WITH ARTICLE 9.30.19.3. 12. ACCORDING TO COMPLIANCE ALTERNATIVE (E1520) WHERE A 15 MIN HORIZONTAL FIRE SEPARATION IS PROVIDED BETWEEN THE DWELLING UNITS THE SMOKE ALARMS THROUGHOUT THE HOUSE ARE REQUIRED TO INTERCONNECTED 13. WHERE THERE IS A SHARED MEANS OF EGRESS OR A COMMON AREA, SMOKE ALARMS SHOULD BE INSTALLED IN THESE AREAS IN ACCORDANCE WITH SENTENCE 9.30.19.3.(2). <p>CARBON MONOXIDE (CM)</p> <ol style="list-style-type: none"> 14. CARBON MONOXIDE ALARMS SHOULD BE INSTALLED ADJACENT TO EACH SLEEPING ROOM WHERE THERE IS A SELF-HEATED APPLIANCE LIKE A GAS FURNACE IN ACCORDANCE WITH SENTENCE 9.33.4.2.(1). 15. THE CARBON MONOXIDE ALARMS ARE PERMITTED TO BE BATTERY OPERATED OR PLUGGED INTO AN ELECTRICAL OUTLET. COMPLIANCE ALTERNATIVE C197. <p>HEATING SYSTEM</p> <ol style="list-style-type: none"> 16. WHERE A SINGLE FORCED AIR HEATING SYSTEM SUPPLIES BOTH DWELLING UNITS IN THE HOUSE A DUCT TYPE SMOKE DETECTOR SHOULD BE INSTALLED IN THE SUPPLY OR RETURN AIR DUCT WHICH WILL TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM IN ACCORDANCE WITH SENTENCE 6.2.4.7.(4). <p>FIRE SEPARATION</p> <p>FOR DOORS</p> <ol style="list-style-type: none"> 17. ANY DOORS LOCATED IN A FIRE SEPARATION SHOULD HAVE A 20 MIN FIRE PROTECTION RATING OR BE AT LEAST 45mm THICK SOLID CORE WOOD OR METAL WITH A SELF CLOSING DEVICE. COMPLIANCE ALTERNATIVE C156. <p>BETWEEN UNITS</p> <ol style="list-style-type: none"> 18. SEPARATION BETWEEN SUITES TO HAVE A FIRE RESISTANCE RATING OF 30 MINS AS PER O.C. 9.30.9.3.4 (1), PART 11 C152 (a) AND PART 9.31.2.1(1); STC 50. REFER TO S83 TABLE 1 AND 2 FOR ASSEMBLY DETAILS. <p>SERVICE RM</p> <ol style="list-style-type: none"> 19. SMOKE DETECTOR TO BE INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM TO TURN OFF POWER AND FUEL SUPPLY UPON ACTIVATION. <p>OTHERS</p> <p>HANDRAILS & GUARDS</p> <ol style="list-style-type: none"> 20. EXISTING HANDRAILS AND GUARDS ARE ACCEPTABLE UNLESS THEY COULD BE CONSIDERED TO BE UNSAFE. COMPLIANCE ALTERNATIVE C113. NEW HANDRAILS AND GUARDS ARE REQUIRED TO COMPLY WITH SECTION 9.8. <p>CEILING HEIGHTS</p> <ol style="list-style-type: none"> 21. THE MIN HEIGHT OF CEILING OVER THE ABOVE ROOMS AREAS IS NOT TO BE LESS THAN 76" (1950mm). COMPLIANCE ALTERNATIVE C102. <p>WINDOW WELLS</p> <ol style="list-style-type: none"> 22. WHERE A WINDOW OPENS INTO A WINDOW WELL, A CLEARANCE OF NOT LESS THAN 21.5" (550mm) SHALL BE PROVIDED IN FRONT OF THE WINDOW. EVERY WINDOW WELL SHALL BE DRAINAGE TO THE FOOTING LEVEL OR OTHER SUITABLE LOCATION WITH A 4" (100mm) WEEPING TILE C-W A FILTER CLOTH WRAP AND FILLED WITH CRUSHED STONE (9.7.1.4, 9.14.6.3). <p>NEW LAUNDRY SERVICE</p> <ol style="list-style-type: none"> 23. INSTALL NEW LAUNDRY WASHER AND VENT LESS DRYER. CONNECT PLUMBING TO NEAREST ON SITE CONDITION. CAPPED DRYER EXHAUST VENTED TO EXTERIOR. CONFORMING TO 9.32.2 AND PART 6. USE LOUVER TYPE DOORS TO ALLOW DRYER TO VENT OUT. USE IF APPLICABLE. <p>FOR PIPE & WIRE PENETRATIONS</p> <ol style="list-style-type: none"> 24. USE FIRE RATED FOAM TESTED IN ACCORDANCE WITH CAN/ULC-S115 (E, EG, HULTI FIRE FOAM PC 620 OR 3M FIRE BARRIER SEALANT CP 25WB+) 25. FOR HVAC DUCTING, ADDRESS WITH IN DUCT SMOKE DETECTOR/ SMOKE DETECTOR TO BE INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM TO TURN OFF POWER AND FUEL SUPPLY UPON ACTIVATION. 26. FOR SERVICE ITEMS IN FIRE SEPARATION (VALVES, METERS, ELECTRICAL BOXES, ETC) USE ILC RATED FIRE RATED ACCESS PANELS (MIN. 45 MINS). | | | |
| <p>BASEMENT INSULATION - OPTION 1 CONSTRUCTION</p> <ul style="list-style-type: none"> POURED CONCRETE FOUNDATION WALLS AS PER PLANS 1" THICK R10 CONTINUOUS INSULATION WRAP 2x4 SFF #2 WOOD STUDS @ 16" O.C. R14 MINERAL WOOL INSULATION IN STUD CAVITY 6 MIL POLY VAPOUR BARRIER, TAPE AND SEAL ALL JOINTS TO 3" ABOVE FLOOR IN BASEMENT 1" GYPSUM BOARD, TAPED AND MUD, PRIMED WITH MINIMUM 2 COATS OF PAINT, OMT GYPSUM BOARD LAYER IF BASEMENT IS UNFINISHED | | | | | |
| <p>PARTITION TYPES</p> <p>INTERIOR WALL CONSTRUCTION (2x4, 2x6 or 2x8) (4 1/2" @ 16" o.c.) (NON-LOADBEARING)</p> <ul style="list-style-type: none"> 1/2" GYPSUM BOARD EACH SIDE, TAPED & MUD PRIMED & MIN. 2 COATS OF PAINT 2x4, 2x6, 2x8 (AS DIMENSIONED IN FLOOR PLAN) SFF #2 WOOD STUDS @ 16" o.c. PROVIDE SINGLE BOTTOM PLATE & DOUBLE TOP PROVIDE 2x4 WOOD BLOCKING IN JOISTS BELOW AT 2'x12" O.C. MAX @ 8' W FLOOR JOISTS WHEN NON-LOADBEARING WALLS ARE PARALLEL TO FLOOR JOISTS | | | | | |
| <p>FURRING TYPES</p> <p>INTERIOR HAT CHANNEL FURRING</p> <ul style="list-style-type: none"> 1" REGULAR GYPSUM BOARD METAL HAT CHANNEL @ 16" O.C ON SUBSTRATE EXISTING CONSTRUCTION <p>INTERIOR STUD FURRING</p> <ul style="list-style-type: none"> 1" REGULAR GYPSUM BOARD METAL STUDS @ 8" O.C EXISTING CONSTRUCTION | | | | | |
| <p>FIRE SEPARATION TYPES</p> <p>OBC WALL ASSEMBLY: W4a</p> <p>FR: 1HR STC: 51</p> <ul style="list-style-type: none"> 1 LAYER 5/8" TYPE X GYPSUM BOARD ON ONE SIDE 2x4 WOOD STUD SPACED 16" O.C W/ 3.5" THICK ABSORPTIVE MATERIAL RESILIENT METAL CHANNELS SPACED 16" O.C 2 LAYERS 5/8" TYPE X GYPSUM BOARD ON CHANNEL SIDE <p>OBC FLOOR ASSEMBLY: F8d</p> <p>FR: 30MIN STC: 50</p> <ul style="list-style-type: none"> EXISTING FLOOR JOISTS @ 16" O.C 6" THICK ABSORPTIVE MATERIAL IN CAVITY RESILIENT METAL CHANNELS SPACED @ 16" O.C 1 LAYER 5/8" TYPE X GYPSUM BOARD ON CEILING SIDE | | | | | |

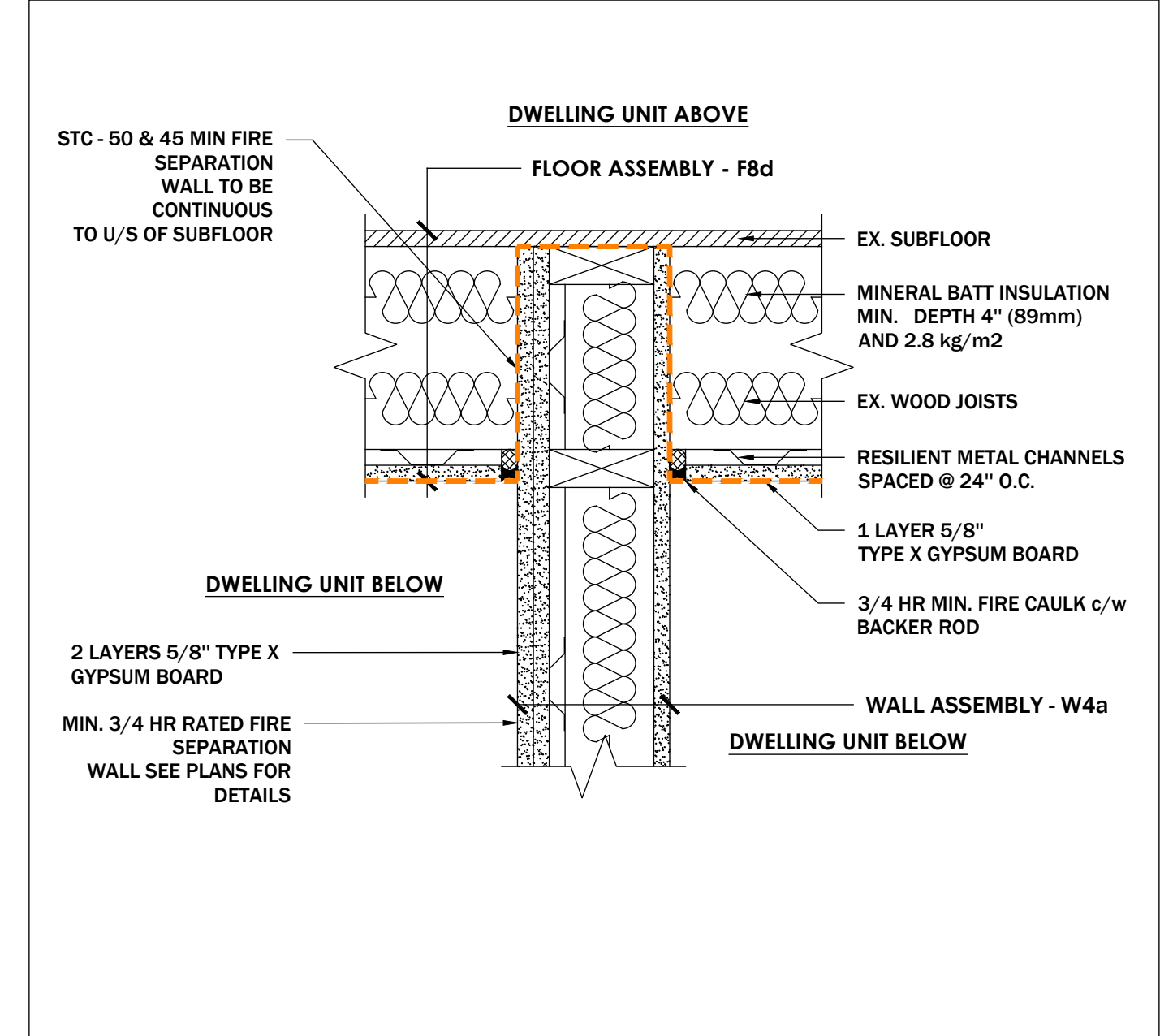
01 EXISTING TYPICAL FLOOR PLAN
A03 1/8" = 1/4"



02 RECESSED LIGHTS FIRE RATED
A03 NOT TO SCALE



03 INTERIOR WALL - NON-LOAD BEARING FIRE SEPARATION
A03 NOT TO SCALE



04 VERTICAL FIRE SEPARATION @ CEILING DETAIL
A03 NOT TO SCALE

| DOOR PANEL TYPES (ELEVATIONS) | |
|--|--------------------|
| <p>DOOR PANEL WIDTH</p> <p>DOOR HEIGHT</p> <p>TYPE "A" (SINGLE FLUSH PANEL)</p> <p>TYPE "B" (DOUBLE FLUSH PANEL)</p> <p>TYPE "C" (GLASS SIDING PANEL)</p> <p>TYPE "D" (LOUVERED PANEL)</p> <p>TYPE "E" (BI-FOLD PANEL)</p> | <p>FLOOR LEVEL</p> |

CITY ELECTRONIC STAMP

RFD
DESIGNS THAT FORM THE FUTURE

ROJAS EMPIRE OF DESIGN INC

GENERAL NOTES

1. ON ALL SHEETS DRAWINGS SHALL SCALE 1/8" = 1/4"
2. ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REFERRED TO THE ORIGINAL DRAWINGS. DIMENSIONS REFERRED TO IN THESE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY MATERIALS, SUPPLIES, AND FINISHES UNLESS OTHERWISE SPECIFIED. THE DESIGNER SHALL BE RESPONSIBLE FOR THE PROPERITY UNLESS IT IS CLEARLY NOTED OTHERWISE.
3. MATERIALS OF CONSTRUCTION NOT FULLY DEFINED ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
4. UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO FINISHES HAVE BEEN MADE IN THE DESIGN FOR CONSTRUCTION. ACCORDING TO CONSTRUCTION, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY MATERIALS, SUPPLIES, AND FINISHES UNLESS OTHERWISE SPECIFIED. THE DESIGNER SHALL BE RESPONSIBLE FOR THE PROPERITY UNLESS IT IS CLEARLY NOTED OTHERWISE.
5. USE LATEST REVISION DRAWINGS.
6. ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.
7. ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF ROJAS EMPIRE OF DESIGN INC. NO PART IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ROJAS EMPIRE OF DESIGN INC.
8. BUILDING OWNERS WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER THESE DRAWINGS.
9. CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

REVISIONS:

| NO. | DATE | GENERAL DESCRIPTION | INITIALS |
|-----|-------------|--------------------------|----------|
| 01 | XX.JAN.2025 | ISSUED FOR DESIGN REVIEW | HS |

CARBON MONOXIDE (CM)

HEATING SYSTEM

FIRE SEPARATION

FOR DOORS

BETWEEN UNITS

SERVICE RM

OTHERS

HANDRAILS & GUARDS

CEILING HEIGHTS

WINDOW WELLS

NEW LAUNDRY SERVICE

FOR PIPE & WIRE PENETRATIONS

FOR HVAC DUCTING, ADDRESS WITH IN DUCT SMOKE DETECTOR/ SMOKE DETECTOR TO BE INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM TO TURN OFF POWER AND FUEL SUPPLY UPON ACTIVATION.

FOR SERVICE ITEMS IN FIRE SEPARATION (VALVES, METERS, ELECTRICAL BOXES, ETC) USE ILC RATED FIRE RATED ACCESS PANELS (MIN. 45 MINS).

WALL LEGEND:

| | |
|----------|-----------------|
| EXISTING | LOAD BEARING |
| DEMOS | FIRE SEPARATION |
| PROPOSED | |

DESIGNER'S INFO

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN AND THAT THE QUALIFICATIONS AND BIRTH DATE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 13.4.1 OF THE BUILDING CODE

HENRY M SALVA ROJAS 100163

NAME: HENRY M SALVA ROJAS 100163

REGISTRATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 13.4.1 OF THE BUILDING CODE

ROJAS EMPIRE OF DESIGN INC 133776

FIRM NAME: ROJAS EMPIRE OF DESIGN INC

ENGINEER'S STAMP:

LICENCED PROFESSIONAL ENGINEER

S. RAJAKARNIKAR 10075332

2021 10 05

PROVINCE OF ONTARIO

*ONLY ITEMS MARKED WITH AN ASTERISK

PROJECT NAME / ADDRESS:

THE ROSEGLOR RESIDENCE

28 HERRINGWOOD DRIVE, SCARBOROUGH, ON M1P 3J5

SHEET NAME: TYPICAL FLOOR PLAN & FIRE SEP. DETAILS

SCALE: AS NOTED

PROJECT NO: 2100XX START DATE: XX.JAN.2025

DRAWN BY: HENRY M SALVA ROJAS REVIEWED BY: HENRY M SALVA ROJAS

SHEET NO: A03



APPENDIX 3

APPEALS

--- The southern urban boundary that generally extends from Upper Centennial Parkway and Mud Street East in the east, following the hydro corridor and encompassing the Red Hill Business Park to Upper James Street remains under appeal.

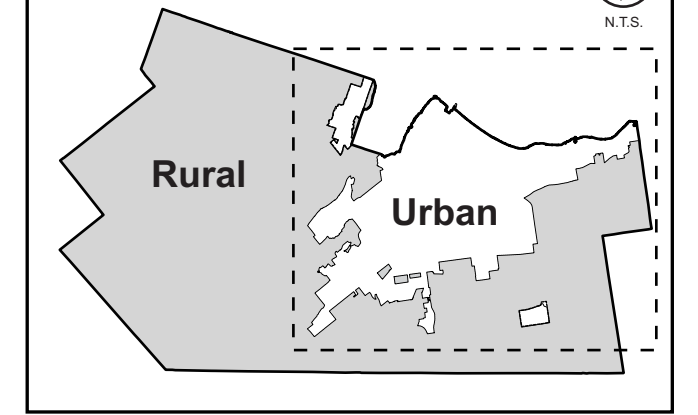
UHOPA NO. 69 APPEALS - PL171450

- ★ - 71 Main Street West and 10 Baldwin Street, Appellant # 8
- 3011 Homestead Drive (Glanbrook), Appellant # 4
- 221-225 John Street South and 70-78 Young Street (Hamilton), Appellant # 20
- 237 Upper Centennial Parkway (Stoney Creek), Appellant # 14

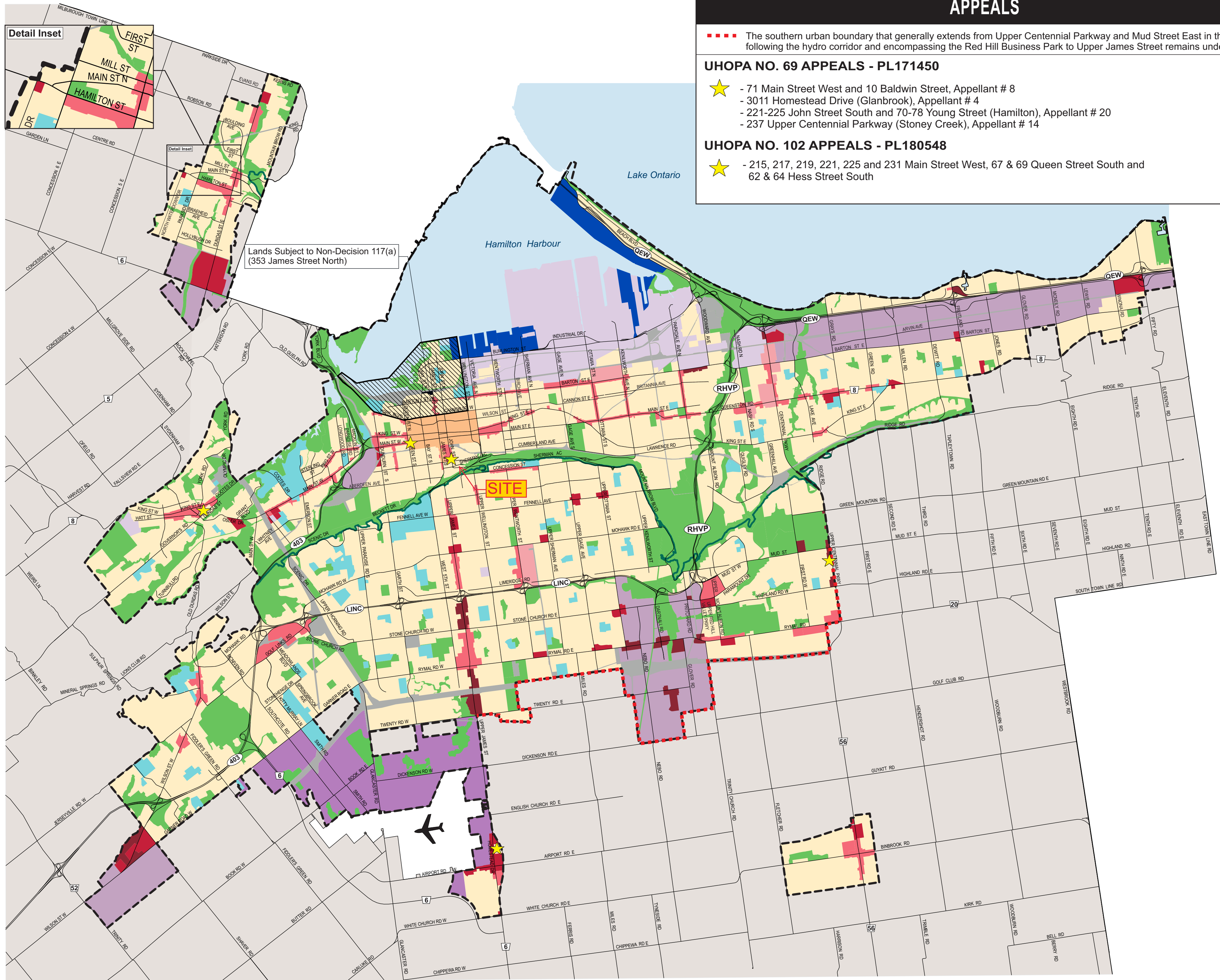
UHOPA NO. 102 APPEALS - PL180548

- ★ - 215, 217, 219, 221, 225 and 231 Main Street West, 67 & 69 Queen Street South and 62 & 64 Hess Street South

Key Map



Note: For Rural Land Use Designations, refer to Schedule D of the Rural Hamilton Official Plan.



Lands Subject to Non-Decision 117(a)
(353 James Street North)

- Neighbourhoods
- Open Space
- Institutional
- Utility

Commercial and Mixed Use Designations

- Downtown Mixed Use Area
- Mixed Use - High Density
- Mixed Use - Medium Density
- District Commercial
- Arterial Commercial

Employment Area Designations

- Industrial Land
- Business Park
- Airport Employment Growth District
- Shipping & Navigation

Other Features

- Rural Area
- John C. Munro Hamilton International Airport
- Niagara Escarpment
- Urban Boundary
- Municipal Boundary
- Lands Subject to Non Decision 113 West Harbour Setting Sail

Council Adoption: July 9, 2009
Ministerial Approval: March 16, 2011
Effective Date: August 16, 2013

Urban Hamilton Official Plan Schedule E-1 Urban Land Use Designations



Date: Sept. 2021



PLANNING & ECONOMIC DEVELOPMENT DEPARTMENT

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PARKING JUSTIFICATION STUDY

Proposed Renovations to a Residential Development
112 St. Joseph's Drive
Hamilton, ON

February 2022

Prepared for
Mr. Mark Baltazar and Mr. Mike
Rockall
Peak Multifamily Investments

c/o Mr. Marc De Nardis
Gagnon Walker Domes
Professional Planners



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February 18, 2022

Mr. Mark Baltazar and Mr. Mike Rockall
Peak Multifamily Investments

c/o Mr. Marc De Nardis
Gagnon Walker Domes Professional Planners
21 Queen Street East, Suite 500
Brampton, ON, L6W 3P1

Re: Proposed Renovations to a Residential Development, 112 St. Joseph's Drive, Hamilton, ON, Parking Study

Dear Mr. Baltazar and Mr. Rockall,

Trans-Plan is pleased to submit this Parking Justification Study report for the proposed renovations to an existing residential development at 112 St. Joseph's Drive in the City of Hamilton.

Our Parking Justification Study findings indicate that the existing parking supply of 16 spaces is able to accommodate the parking demands of the site. The parking requirements were reviewed using the City of Hamilton Zoning By-law. The subject site is located in an accessible location with convenient transit services to nearby facilities including St. Joseph's Healthcare Hamilton and the Hamilton GO Station. Our study includes utilizing proxy parking surveys conducted at similar existing residential developments to obtain a peak parking demand rate to estimate parking demands of the subject site.

Sincerely,



Anil Seegobin, P.Eng.
Partner, Engineer

Trans-Plan Transportation Inc.
Transportation Consultants



Vivian Leung
Traffic Analyst

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Transmittal Letter

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1. INTRODUCTION

Trans-Plan has been retained by Peak Multifamily Investments to complete a Parking Justification Study in support of the proposed renovations to an existing residential building located at 112 St. Joseph's Drive in the City of Hamilton.

This parking report includes the following study components:

- A review of the study area context and the existing and proposed uses at the site
- A review of on-site parking requirements, as per the City of Hamilton Zoning By-laws, in comparison to the total proposed on-site parking supply
- Comparison of parking utilization surveys at a nearby proxy site with a similar site context as the subject site
- Comparison of the survey results to the proposed parking supply and parking recommendations with additional measures, as required
- Providing parking recommendations for the proposed development, including confirmation that the existing / proposed on-site parking supply is sufficient to accommodate the development

2. SITE LOCATION AND CONTEXT

2.1 Site Location

The site, shown in Figure 1, is located on the northeast quadrant of St. Joseph's Drive/ Arkledun Avenue and John Street South, in the City of Hamilton, Ward 2. The address of the site is 112 St. Joseph's Drive, Hamilton, ON. The surrounding land uses in the study area are mainly low-density residential units to the south-east of the site and high-rise residential buildings to the north of the site. Nearby uses include St. Joseph's Healthcare Hamilton, Hamilton GO Station, Woolverton Park and Queen Victoria Elementary School.

2.2 Existing Site Statistics

The proposed site plan, by Rojas Empire of Design Inc., is provided in Figure 2.

The subject property consists of an existing 3-storey apartment building with 18 units. The existing on-site parking supply is approximately 16 vehicular parking spaces. Access to the site is provided by a full moves access onto St. Joseph's Drive. The subject site currently has 60 percent of units occupied, while the remaining are vacant.

2.3 Transit Connections

The site is served by Hamilton Street Railway (HSR), which provides public transit across the city.

The transit service frequencies on weekdays and weekends in the study area are shown in Table 1. The local transit map is shown in Figure 3.

Route 22, Upper Ottawa is a bus route operating mainly along Upper Ottawa Street, connecting riders to MacNab Terminal and St. Joseph's Healthcare Hamilton. The nearest bus stop is located at Kingsway Drive and Arkledun Avenue (approximately 300m south of the site).

Route 23, Upper Gage is a bus route operating mainly along Upper Gage Avenue, connecting riders to MacNab Terminal and Juravinski Hospital. The nearest bus stop is located at Kingsway Drive and Arkledun Avenue (approximately 300m south of the site).

Route 24, Upper Sherman is a bus route operating mainly along Upper Sherman Avenue, connecting riders to MacNab Terminal and St. Joseph's Healthcare Hamilton. The nearest bus stop is located at Kingsway Drive and Arkledun Avenue (approximately 300m south of the site).

Route 25, Upper Wentworth is a bus route operating mainly along Upper Wentworth Street, connecting riders to MacNab Terminal and CF Lime Ridge Mall. The nearest bus stop is located at Kingsway Drive and Arkledun Avenue (approximately 300m south of the site).

Route 26, Upper Wellington is a bus route operating mainly along Upper Wellington Street and Upper Wentworth Street, connecting riders to MacNab Terminal, St. Joseph's Healthcare Hamilton and CF Lime Ridge Mall. The nearest bus stop is located at Kingsway Drive and Arkledun Avenue (approximately 300m south of the site).

Route 27, Upper James is a bus route operating mainly along Upper James Street, connecting riders to Sam Lawrence Park and St. Joseph's Healthcare Hamilton. The nearest bus stop is located at Kingsway Drive and Arkledun Avenue (approximately 300m south of the site).

Table 1 – Transit Service Frequencies in the Study Area

| Route | No. | Approximate Peak Service Frequency* (min) | | | |
|------------------|-----|---|---------|----------|----------|
| | | AM Peak | PM Peak | Off-Peak | Sat-Peak |
| Upper Ottawa | 22 | 20 | 20 | 20 | 20 |
| Upper Gage | 23 | 20 | 20 | 20 | 20 |
| Upper Sherman | 24 | 20 | 20 | 20 | 20 |
| Upper Wentworth | 25 | 20 | 20 | 20 | 20 |
| Upper Wellington | 26 | 20 | 20 | 20 | 20 |
| Upper James | 27 | 20 | 20 | 20 | 20 |

Note: (*) Peak period service frequency refers to weekdays between the hours of 7:00am to 9:00am and 4:00pm to 6:00pm.

GO Transit Service

Although there is no accessible GO Transit service in the study area, the Hamilton GO Station is located approximately 1km north of the site, an approximate 11-minute walk, and connects riders on GO routes 16, 18, 40, 41 and 47 to the City of Toronto and York Region.

3. PROPOSED RENOVATIONS

The proposed renovations of the property include renovations to the existing units to include an in-suite laundry facility and the conversion of the vacated common laundry space, interior garage space and a portion of the boiler room to accommodate an additional 5 units. The total number of proposed units after the renovations is 23 units. The existing parking supply of 16 spaces is to be maintained for use by the tenants.

4. PARKING REQUIREMENTS

4.1 Zoning By-law Parking Requirements

The parking requirements of the existing/ proposed additional units in the residential apartment building use was reviewed based on the City of Hamilton Zoning By-law No. 6593 (See Appendix A for source information). The parking requirements and supply is shown in Table 2.

Table 2 – Parking Requirements, City of Hamilton Zoning By-law

| Land Use | Minimum Parking Requirement | | Parking Supply (spaces) | Deficiency (spaces) |
|-----------------------|--|-----------------|-------------------------|---------------------|
| | Rate | Required Spaces | | |
| Class A Dwelling Unit | <u>Standard City Wide</u> 1.25 spaces per Class A dwelling unit 0.25 visitor space per Class A dwelling unit | 29 + 6 visitor | 16 | 19 |
| | <u>Area "A"</u> 0.8 space per Class A dwelling unit 0.16 visitor space per Class A dwelling unit | 18 + 4 visitor | | 6 |
| | <u>Area "B"</u> 1.0 space per Class A dwelling unit 0.2 visitor space per Class A dwelling unit | 23 + 5 visitor | | 12 |

Source: City of Hamilton Zoning By-Law No. 6593

The City of Hamilton standard city-wide parking rates, parking rates for the lands in Area "A" and parking rates for the lands in Area "B" for multiple dwelling units for standard city wide were reviewed. However, the proposed land is right on the south side of the Area A boundary and located within the Area "B" on Schedule H. Therefore, the rate of 1 space per Class A dwelling unit is required for the proposed development. Based on the City of Hamilton Zoning By-Law No. 6593, 23 regular parking spaces and 5 visitor spaces are required for the residential development. The existing parking supply is deficient of the requirement by 12 spaces.

5. PROXY SITE PARKING SURVEYS

Parking surveys were not conducted at the subject site due to a low occupancy rate of 60 percent. A parking survey at the site would likely not generate sufficient data when compared to a fully occupied building. To estimate the parking activity of the site, proxy sites from Trans-Plan's historical parking survey database was selected with similar characteristics. The proxy site data was collected prior to the pandemic and would reflect typical site operations of residential uses within the City of Hamilton.

5.1 Proxy Site Details

The proxy sites selected are existing residential buildings with similar characteristics located at 75 Carling Street and 70 Carling Street in the City of Hamilton. The proxy sites have similar number of units and parking supply that includes visitor spaces provided as the subject site. The site statistics of the subject site was compared with the proxy sites and summarized in Table 3.

Table 3 - Proxy Site Details, Site Statistics

| Site | Parking Supply (Spaces) | No. of Units | No. of Storeys |
|--------------------------------|-------------------------|--------------|----------------|
| Subject Site: | | | |
| 112 St. Joseph Drive, Hamilton | 16 | 23 | 3 |
| Proxy Site: | | | |
| 75 Carling Street, Hamilton | 18 | 27 | 3 |
| 70 Carling Street, Hamilton | 18 | 24 | 6 |

5.2 Proxy Site Survey Methodology

The proxy parking surveys were conducted on two weekdays at the subject site. Details of the parking utilization surveys conducted by Trans-Plan are as follows:

- Conducted during the following days and times:
 - Wednesday June 12th, 2019 from 11:00am and 00:00am;
 - Thursday June 13th, 2019 from 11:00am and 00:00am;
 - Tuesday June 25th, 2019 from 12:00pm and 00:00am;
 - Wednesday September 4th, 2019 from 2:00pm and 00:00am;
 - Thursday September 5th, 2019 from 01:00am and 00:00am;
 - Friday September 6th, 2019 from 01:00am and 00:00am;
- Surveys were conducted at 60-minute intervals, recording parking demand (number of spaces occupied) at the on-site parking lot.
- Recorded the number of vehicles parked at the lot, any illegal parking, and any spillover parking occurring off-site (on adjacent lots or streets) for the development.

5.3 Proxy Site Parking Demand Results

The survey results, showing the peak parking demand (maximum number of vehicles occupying the lot) on each day of surveys conducted in June and September are summarized in Table 4 and Table 5, respectively. The detailed survey results are shown in tabular form in Appendix B.

Table 4 – June 2019 Parking Utilization Survey Results, Peak Parking Demands

| Survey Day | 70 Carling Street | | | 75 Carling Street | | |
|------------|-------------------|-------------------|-------|-------------------|-------------------|-------|
| | Units | Peak Demand (Veh) | Rate | Units | Peak Demand (Veh) | Rate |
| 12- Jun | 24 | 8 | 0.333 | 27 | 11 | 0.407 |
| 13- Jun | | 7 | 0.292 | | 10 | 0.370 |
| 25- Jun | | 8 | 0.333 | | 11 | 0.407 |
| Average | | | 0.319 | | | 0.395 |

Table 5 - September 2019 Parking Utilization Survey Results, Peak Parking Demands

| Survey Day | 70 Carling Street | | | 75 Carling Street | | |
|------------|-------------------|-------------------|-------|-------------------|-------------------|-------|
| | Units | Peak Demand (Veh) | Rate | Units | Peak Demand (Veh) | Rate |
| 4- Sept | 24 | 9 | 0.375 | 27 | 11 | 0.407 |
| 5- Sept | | 9 | 0.375 | | 12 | 0.444 |
| 6- Sept | | 8 | 0.333 | | 12 | 0.444 |
| Average | | | 0.361 | | | 0.419 |

6. FUTURE PARKING DEMAND RESULTS

6.1 Estimated Future Parking Demands for the Subject Site

As previously mentioned, the subject site has a low occupancy rate of 60 percent and would likely not generate sufficient data when compared to a fully occupied building. Proxy site parking survey data were utilized to estimate the parking activity of the site.

The average of the observed peak parking demand of 0.42 vehicles per residential unit was utilized to estimate the parking demands of the subject site. The ratio was applied to the existing 18 units and to the proposed 5 additional units to result in the demand of 10 vehicles, which could be easily contained by the existing supply of 16 spaces.

The estimated future weekday parking demand is summarized and shown below in Table 6.

Table 6 – Estimated Future Weekday Parking Demand, Subject Site

| | Parking Capacity | Estimated Parking Demands for Subject Site | |
|---|------------------|--|-------------------------|
| | | Proxy Site Observed Rate | Parking Demand (Spaces) |
| Existing Site Units (18 Units) | 16 Spaces | 0.42 | 8 |
| Proposed Additional Units (5 Units) | | | 2 |
| Estimated Future Peak Parking Demand (spaces) | | | 10 |
| Provided Parking Supply | | | 16 |
| On-site Parking Surplus / Available Parking (spaces) | | | +6 |

Given the parking surplus of 6 spaces, we conclude that parking at the site will remain sufficient and is able to accommodate the parking demand of the subject site with an additional 5 proposed units.

7. CONCLUSIONS

This Parking Justification Study report for the proposed renovations to an existing residential building located at 112 St. Joseph's Drive in the City of Hamilton is summarized as follows:

- The subject site is an existing 3-storey 18-unit residential building. Renovations to the site is proposed to provide an in-suite laundry facility to the existing units and the conversion of the vacated common laundry space, interior garage and a portion of the boiler room to accommodate an additional 5 units. The total number of proposed units after the renovations is 23 units. The total parking supply is approximately 16 spaces provided by a surface parking lot.
- The building is located in an accessible location with convenient transit services to nearby facilities, which is located approximately 300m from the site. The Hamilton Street Railway (HSR) provides 6 bus routes that connect riders across Hamilton with headways of approximately 20- minutes. The Hamilton GO Station is located approximately 1km north of the site, an approximate 11-minute walk, which provide riders with 5 routes that offer connections to the City of Toronto and York Region.
- Parking surveys were not conducted at the subject site due to the low occupancy rate of 60 percent and the minimal activity at the subject site. The proxy sites parking demand survey data was obtained from Trans-Plan's database and were completed at 70 Carling Street and 75 Carling Street in the City of Hamilton.
- The results of the proxy site parking survey indicate an average maximum peak parking demand ratio of 0.42 vehicles per residential unit. The future parking demand accounting for the additional 5 proposed units is estimated to be 10 spaces (0.42 x 23 total units). The parking demand can be easily accommodated by the existing parking supply of 16 spaces.

In conclusion, based on our survey results, the parking supply of 16 spaces can accommodate the needs of the existing and proposed additional residential units.

Respectfully submitted,



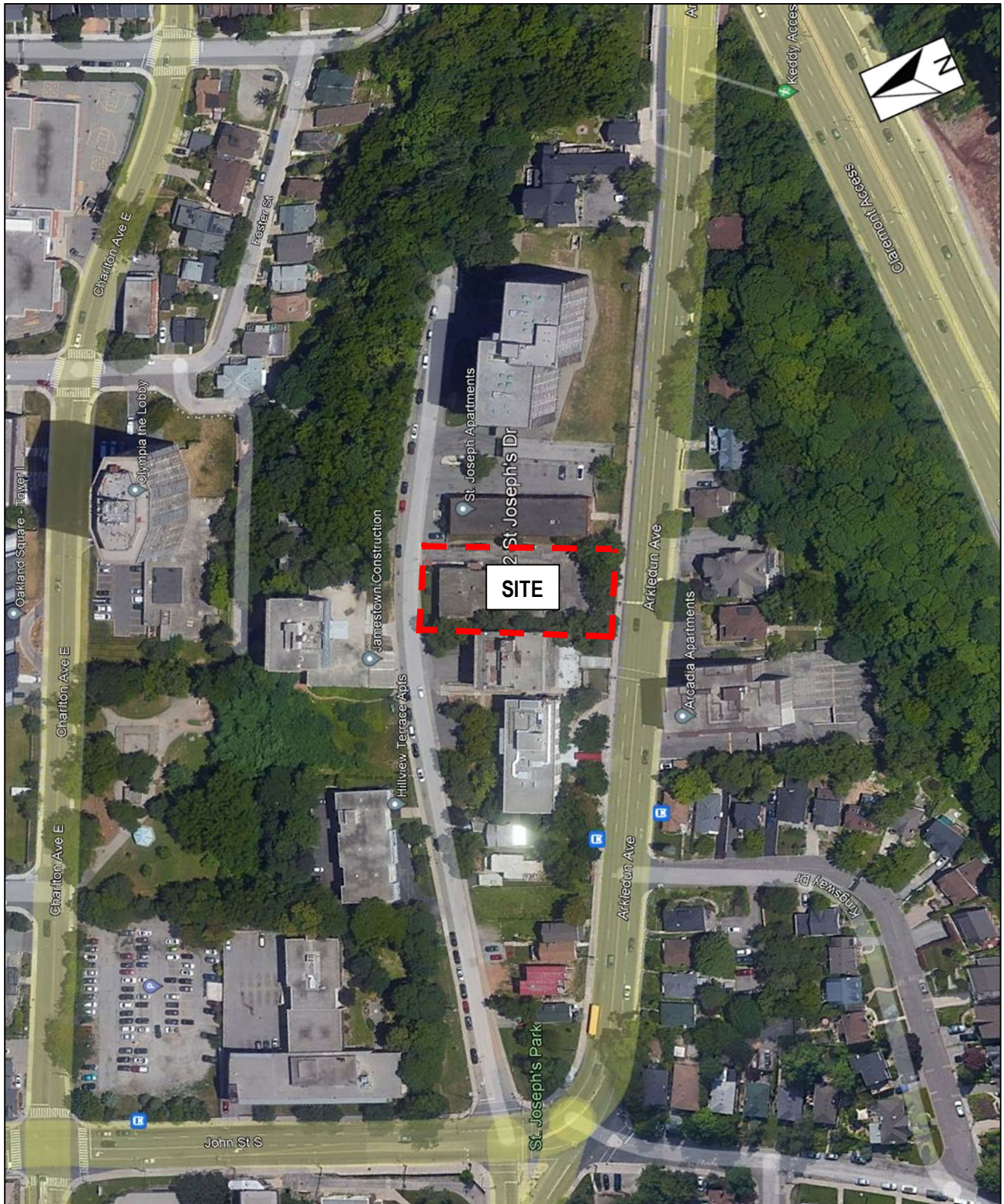
Anil Seegobin, P.Eng.
Partner, Engineer

Trans-Plan Transportation Inc.
Transportation Consultants



Vivian Leung
Traffic Analyst

Figure 1 – Site Location



Source: Google Earth

Figure 2- Proposed Site Plan

| Item | Ontario Building Code Data Matrix Part 41 - Renovation of Existing Building | OSBC Reference |
|-------|---|--|
| 11.00 | Building Code Version: A, Reg. 332.12 Last Amendment: O.Reg. 191/14 | |
| 11.01 | Project Type: <input type="checkbox"/> Addition <input checked="" type="checkbox"/> Renovation <input type="checkbox"/> Addition & Renovation <input type="checkbox"/> Change of Use | 9.1.1.2.1 |
| 11.02 | Major Occupancy Group/Classification: RESIDENTIAL - APARTMENT BUILDING | 3.1.2.1.1.1 |
| 11.03 | Supplemental Major Occupancy Group/Classification: <input type="checkbox"/> None <input type="checkbox"/> Yes | 3.1.2.1.1 |
| 11.04 | Building Area (m ²): Description: Unchanged Existing: New: Total: 9,324.14 0 0 9,324.14 | 9.1.2.1.1, 9.1.2.1.2, 9.1.2.1.3 |
| 11.05 | Building Height: Storage above grade: 3.6m above grade Total: 3.6m | 9.1.2.1.1, 9.1.2.1.2, 9.1.2.1.3 |
| 11.06 | Number of Storeys/Levels: 1 (storeys) | 3.1.2.1.1.1, 3.1.2.1.1.2, 3.1.2.1.1.3 |
| 11.07 | Building Size: <input type="checkbox"/> Small <input type="checkbox"/> Medium <input type="checkbox"/> Large <input type="checkbox"/> Large | 3.1.2.1.1.1, 3.1.2.1.1.2, 3.1.2.1.1.3 |
| 11.08 | Existing Building Classification: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (SMA) (SMA is the change of major occupancy) | 3.1.2.1.1.1, 3.1.2.1.1.2, 3.1.2.1.1.3 |
| 11.09 | Renovation Type: <input type="checkbox"/> Basic Renovation <input type="checkbox"/> High <input type="checkbox"/> Non-Residential <input checked="" type="checkbox"/> Residential Renovation | 3.1.2.1.1.1, 3.1.2.1.1.2, 3.1.2.1.1.3 |
| 11.10 | Occupant Load: Occupancy Type: Based On: Occupant Load (Persons) (Persons) | 3.1.2.1.1 |
| 11.11 | Permitted Future Requirements: Occupancy Load: Occupancy Reference: Occupancy Reference Provided: Basement: 14 Persons, 9.21 x 4.1, 20 30 Second: 14 Persons, 9.21 x 4.1, 20 30 Third: 14 Persons, 9.21 x 4.1, 24 36 | 3.1.2.1.1 |
| 11.12 | Structural Design: <input type="checkbox"/> No <input checked="" type="checkbox"/> Indicated | 11.3.3.2.1, 11.3.3.2.2 |
| 11.13 | Performance Level: <input type="checkbox"/> No <input checked="" type="checkbox"/> By increase in occupant load: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By change of major occupancy: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By change of use: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> By change of occupancy: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes | 11.3.3.2.1, 11.3.3.2.2, 11.3.3.2.3, 11.3.3.2.4, 11.3.3.2.5 |
| 11.14 | Structural or combustible construction: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes | 11.3.3.2.1, 11.3.3.2.2 |

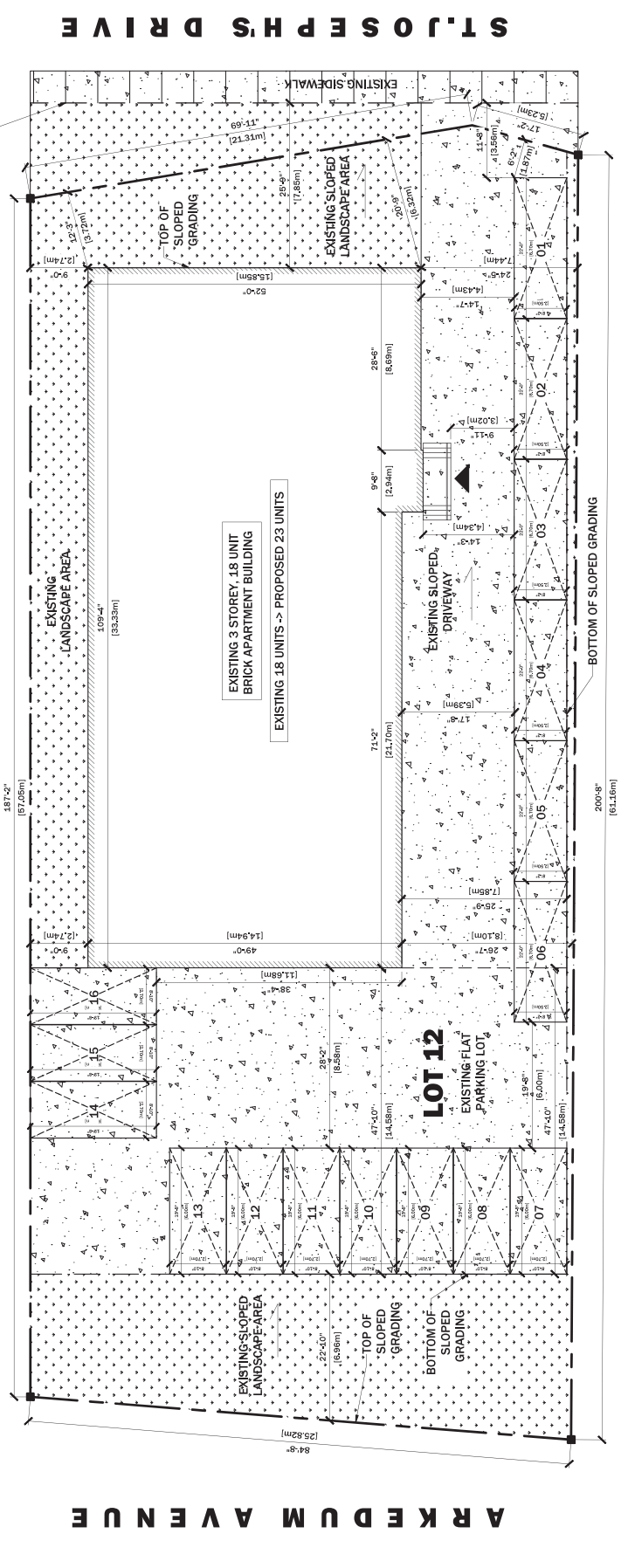
- SITE PLAN NOTES**
- BASED ON THE DESIGNATED MAPS AND MEASUREMENTS ON SITE. DESIGNER ASSUMES NO RESPONSIBILITY FOR ACCURACY OF ABOVE MENTIONED MAPS. THIS SITE PLAN HAS NOT BEEN VERIFIED BY A PROFESSIONAL ENGINEER OR SURVEYOR.
 - ELEVATION REFERENCES ARE BASED ON 100'0" = 3.048m GEODETIC ELEVATIONS AS NOTED ON THE DESIGNATED MAPS.
 - ALL DIMENSIONS MUST BE CHECKED AGAINST THE ARCHITECTURAL DRAWINGS AND THE FIELD DIMENSIONS MUST BE CHECKED AGAINST THE ARCHITECTURAL DRAWINGS AND THE FIELD DIMENSIONS.
 - PROVIDE POSITIVE FRONT YARD DRAINAGE TO MUNICIPAL SEWER PER WATER RUNOFF, INTERCONNECTED AND ABOVE UTILITIES AND SERVICES.
 - DESIGNER NOT RESPONSIBLE FOR ACCURACY OF SURVEY DRAWINGS.

ZONING INFO

ZONING CODE: E (SECTION 11.3)
 ZONING REGULATIONS: MULTIPLE DWELLING UNITS, CLUBS, ETC.
 ADDRESS: 1200 WINDYBUSH ROAD, MISSISSAUGA, ONT. L4V 1L7



ROJAS EMPIRE OF DESIGN INC.
 1. 10 WEST FALCON DRIVE, FALLS CREEK, ONT. L4S 1P4
 2. 905-881-1111
 3. ALL DRAWINGS AND INSTRUMENTS CANNOT BE USED FOR CONSTRUCTION WITHOUT THE SIGNATURE AND SEAL OF A PROFESSIONAL ENGINEER OR ARCHITECT. THE SIGNATURE AND SEAL OF A PROFESSIONAL ENGINEER OR ARCHITECT IS REQUIRED FOR ALL CONSTRUCTION PERMITS AND FOR ALL CONSTRUCTION CONTRACTS.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING ALL NECESSARY APPROVALS FROM ALL APPLICABLE AGENCIES.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM ALL APPLICABLE AGENCIES.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM ALL APPLICABLE AGENCIES.
 7. ALL DIMENSIONS, SPACING, AND LOCATIONS AND ALL MATERIALS AND METHODS SHALL BE AS SHOWN ON THE DRAWINGS AND AS APPROVED BY THE ENGINEER OR ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM ALL APPLICABLE AGENCIES.
 8. ALL DIMENSIONS SHALL BE AS SHOWN ON THE DRAWINGS AND AS APPROVED BY THE ENGINEER OR ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM ALL APPLICABLE AGENCIES.
 9. ALL DIMENSIONS SHALL BE AS SHOWN ON THE DRAWINGS AND AS APPROVED BY THE ENGINEER OR ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM ALL APPLICABLE AGENCIES.
 10. ALL DIMENSIONS SHALL BE AS SHOWN ON THE DRAWINGS AND AS APPROVED BY THE ENGINEER OR ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM ALL APPLICABLE AGENCIES.

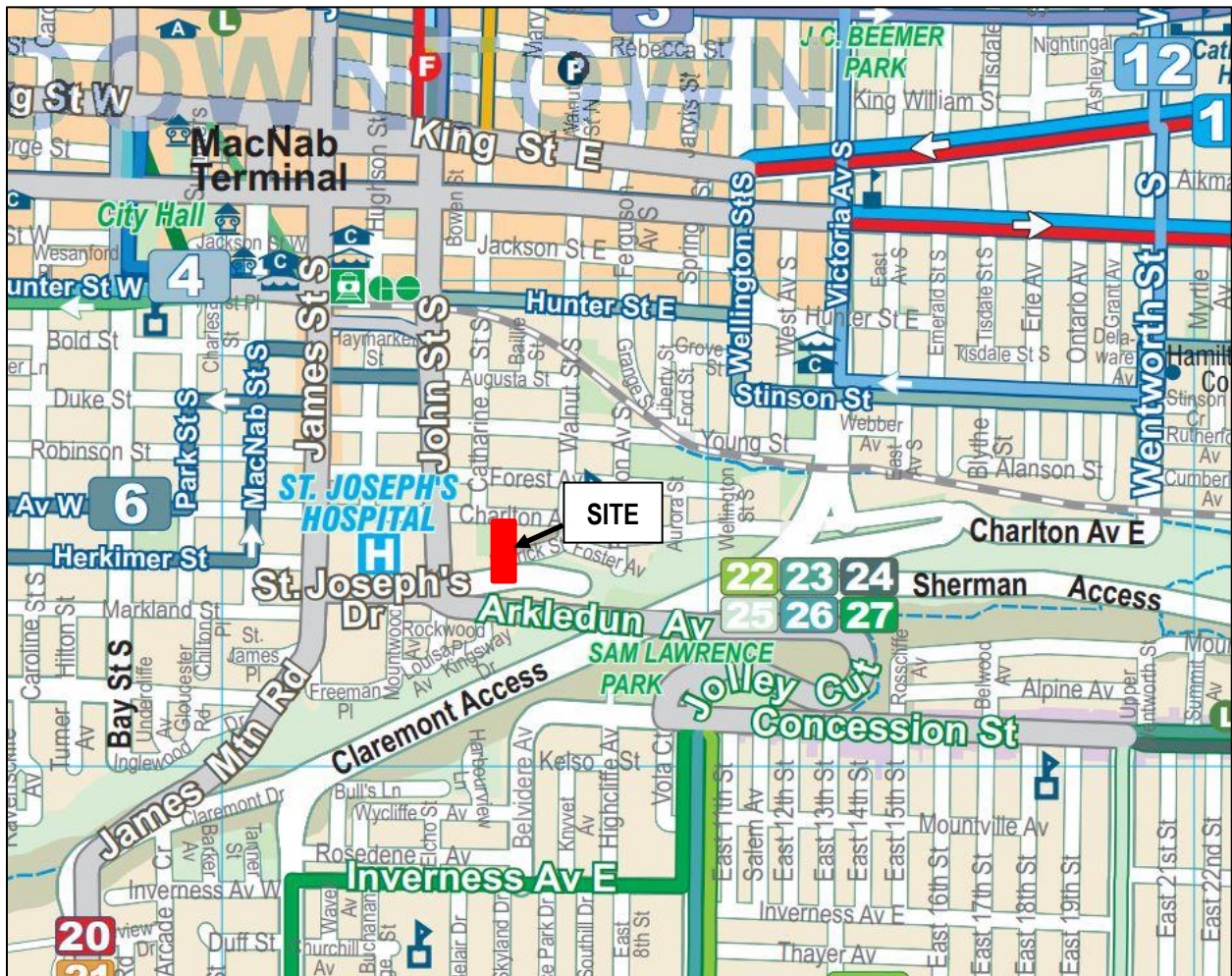


PROPOSED SITE PLAN

PROJECT NAME: THE ST. JOSEPH RESIDENCE
 PROJECT ADDRESS: 1200 WINDYBUSH ROAD, MISSISSAUGA, ONT. L4V 1L7
 PROJECT NUMBER: 202008
 PROJECT DATE: 2020
 PROJECT ENGINEER: ROJAS EMPIRE OF DESIGN INC.
 PROJECT ARCHITECT: ROJAS EMPIRE OF DESIGN INC.
 PROJECT SURVEYOR: ROJAS EMPIRE OF DESIGN INC.
 PROJECT LANDSCAPE ARCHITECT: ROJAS EMPIRE OF DESIGN INC.
 PROJECT ELECTRICAL ENGINEER: ROJAS EMPIRE OF DESIGN INC.
 PROJECT MECHANICAL ENGINEER: ROJAS EMPIRE OF DESIGN INC.
 PROJECT CIVIL ENGINEER: ROJAS EMPIRE OF DESIGN INC.
 PROJECT STRUCTURAL ENGINEER: ROJAS EMPIRE OF DESIGN INC.
 PROJECT ENVIRONMENTAL ENGINEER: ROJAS EMPIRE OF DESIGN INC.
 PROJECT HISTORIC PRESERVATION ENGINEER: ROJAS EMPIRE OF DESIGN INC.
 PROJECT TRANSPORTATION ENGINEER: ROJAS EMPIRE OF DESIGN INC.
 PROJECT WATER ENGINEER: ROJAS EMPIRE OF DESIGN INC.
 PROJECT WASTE ENGINEER: ROJAS EMPIRE OF DESIGN INC.
 PROJECT SAFETY ENGINEER: ROJAS EMPIRE OF DESIGN INC.
 PROJECT SECURITY ENGINEER: ROJAS EMPIRE OF DESIGN INC.
 PROJECT SPECIALTY ENGINEER: ROJAS EMPIRE OF DESIGN INC.

SP

Figure 3 – Transit Map



Source: Hamilton Transit Website

APPENDICES

Appendix A – City of Hamilton Zoning By-law, Excerpts

Appendix B – Proxy Site Parking Utilization Survey Data



APPENDIX A

City of Hamilton Zoning By-Law, Excerpts



Hamilton

CITY OF HAMILTON ZONING

BY-LAW NO. 6593

OFFICE CONSOLIDATION

THIS EDITION IS PREPARED FOR PURPOSES OF CONVENIENCE ONLY AND FOR ACCURATE REFERENCE PLEASE REFER TO THE OFFICIAL BY-LAW.

April 12, 2019

**TABLE 1 - MINIMUM REQUIRED PARKING FOR,
RESIDENTIAL, INSTITUTIONAL, PUBLIC AND COMMERCIAL USES**

TABLE 1

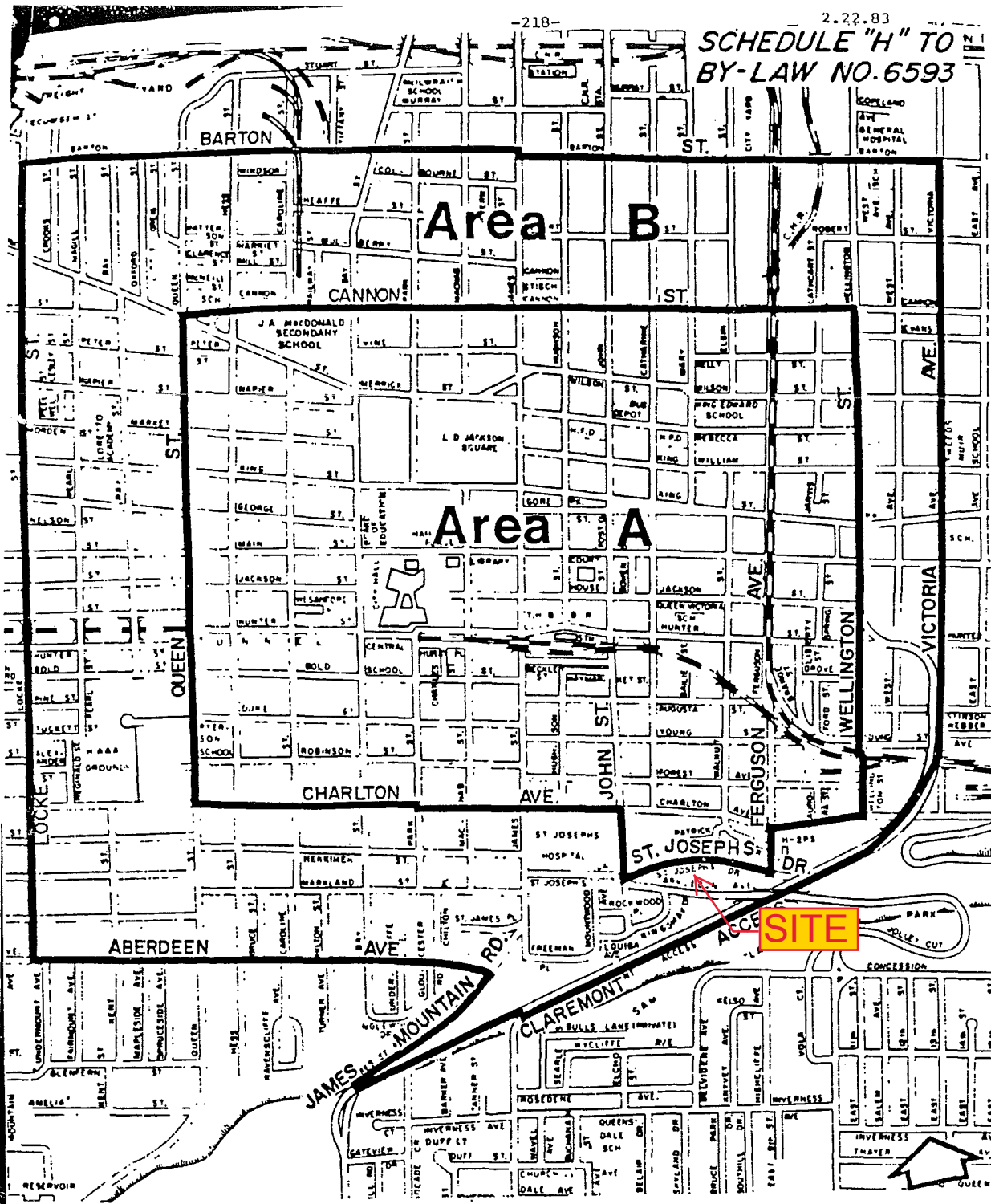
| <u>Class of Use (Column 1)</u> | <u>Minimum Number of Required Parking Spaces (Column 2)</u> |
|---|--|
| 1. <u>Residential Uses</u> | |
| (a) Single family dwelling; | (a) 2 parking spaces for each Class A dwelling unit, for the first 8 habitable rooms in the dwelling unit plus 0.5 parking space for each additional habitable room; (97-112) |
| (b) Two family dwelling; | (b) 1 space per Class A dwelling unit; |
| (c) Three family dwelling; | (c) 1.33 spaces per Class A dwelling unit; |
| (d) Townhouse dwelling, Maisonette dwelling, Maisonette dwelling; | (d) 1.5 spaces per Class A dwelling unit; |
| (e) Street Townhouse dwelling; | (e) 1 space per Class A dwelling unit; |
| (f) Townhouse dwelling, Maisonette dwelling with garage parking space enclosed or attached to each dwelling unit; | (f) 1.3 spaces per dwelling unit of which 1 space shall be covered and attached to or enclosed within each dwelling unit; |
| (g) Multiple dwelling; | (g) 1.25 spaces per Class A dwelling unit except as follows: <ul style="list-style-type: none"> (i) 0.8 of a space per Class A dwelling unit within area "A", shown on Schedule "H"; (ii) 1 space per Class A dwelling unit within area "B", shown on Schedule "H"; |
| (h) Student Residence not located on a campus, containing separate dwelling units for each student; | (h) 1 space per Class A dwelling unit; |

TABLE 2 - MINIMUM REQUIRED RESIDENTIAL VISITOR PARKING

TABLE 2

| <u>Class of Residential Use (Column 1)</u> | <u>Minimum Number of Required Parking Spaces (Column 2)</u> |
|---|--|
| 1. Multiple dwellings within area "A", shown on Schedule "H". | 0.16 of a space per Class A dwelling unit. |
| 2. Multiple dwellings within area "B", shown on Schedule "H". | 0.20 of a space per Class A dwelling unit. |
| 3. Multiple dwellings not in areas referred to in paragraphs 1 and 2. | 0.25 of a space per Class A dwelling unit. |
| 4. (Home for Elderly Persons - Deleted by 01-143) | |
| 5. Townhouse dwelling, Maisonette dwelling. | 0.30 of a space per Class A dwelling unit. |
| 6. Three family dwelling. | 0.33 of a space per Class A dwelling unit. |

SCHEDULE "H" TO BY-LAW NO. 6593



LEGEND

Delineates boundary of those areas in which parking requirements for Multiple Residential uses are reduced.

Bill No. D-33

This is Schedule "A" to By-law No. 83-66 passed the 22nd day of February, 1983.

THE CORPORATION OF THE CITY OF HAMILTON

[Signature]
 City Clerk

[Signature]
 Mayor



APPENDIX B

Proxy Site Parking Utilization Survey Data

Parking Utilization Survey



Location: 75 Carling Street, Hamilton
 Parking Supply: 18 Spaces
 Survey Dates: Wednesday June 12th, 2019, Thursday June 13th, 2019, Tuesday June 25th, 2019
 Surveyor: Trans-Plan

| Time | Parking Demand | | |
|-------|------------------------------|------------------------------|------------------------------|
| | Wednesday June 12, 2019 | Thursday June 13, 2019 | Tuesday June 25, 2019 |
| | Total On-site Parking Demand | Total On-site Parking Demand | Total On-site Parking Demand |
| 11:00 | 11 | 3 | |
| 12:00 | 10 | 5 | 6 |
| 13:00 | 8 | 2 | 6 |
| 14:00 | 8 | 3 | 6 |
| 15:00 | 11 | 3 | 5 |
| 16:00 | 9 | 4 | 7 |
| 17:00 | 10 | 7 | 6 |
| 18:00 | 10 | 7 | 8 |
| 19:00 | 9 | 7 | 9 |
| 20:00 | 11 | 8 | 9 |
| 21:00 | 11 | 9 | 10 |
| 22:00 | 8 | 9 | 10 |
| 23:00 | 8 | 10 | 10 |
| 0:00 | 9 | 10 | 11 |

Parking Utilization Survey



Location: 70 Carling Street, Hamilton
 Parking Supply: 18 Spaces
 Survey Dates: Wednesday June 12th, 2019, Thursday June 13th, 2019, Tuesday June 25th, 2019
 Surveyor: Trans-Plan

| Time | Parking Demand | | |
|-------|------------------------------|------------------------------|------------------------------|
| | Wednesday June 12, 2019 | Thursday June 13, 2019 | Tuesday June 25, 2019 |
| | Total On-site Parking Demand | Total On-site Parking Demand | Total On-site Parking Demand |
| 11:00 | 3 | 6 | |
| 12:00 | 3 | 5 | 4 |
| 13:00 | 2 | 5 | 4 |
| 14:00 | 3 | 5 | 5 |
| 15:00 | 3 | 7 | 5 |
| 16:00 | 3 | 4 | 4 |
| 17:00 | 4 | 3 | 5 |
| 18:00 | 5 | 5 | 3 |
| 19:00 | 4 | 3 | 4 |
| 20:00 | 5 | 4 | 5 |
| 21:00 | 6 | 6 | 8 |
| 22:00 | 7 | 6 | 7 |
| 23:00 | 8 | 7 | 7 |
| 0:00 | 8 | 7 | 7 |

Parking Utilization Survey



Location: 75 Carling Street, Hamilton
 Parking Supply: 18 Spaces
 Survey Dates: Wednesday September 4th 2019 , Thursday September 5th 2019, Friday September 6th 2019
 Surveyor: Trans-Plan

| Time | Parking Demand | | |
|-------|------------------------------|------------------------------|------------------------------|
| | Wednesday Sept 4th, 2019 | Thursday Sept 5th, 2019 | Friday Sept 6th, 2019 |
| | Total On-site Parking Demand | Total On-site Parking Demand | Total On-site Parking Demand |
| 0:00 | | 11 | 10 |
| 1:00 | | 11 | 11 |
| 2:00 | | 11 | 11 |
| 3:00 | | 11 | 11 |
| 4:00 | | 11 | 12 |
| 5:00 | | 11 | 12 |
| 6:00 | | 11 | 12 |
| 7:00 | | 10 | 10 |
| 8:00 | | 7 | 9 |
| 9:00 | | 7 | |
| 10:00 | | 7 | |
| 11:00 | | 5 | |
| 12:00 | | 4 | |
| 13:00 | | 5 | |
| 14:00 | 3 | 4 | |
| 15:00 | 3 | 4 | |
| 16:00 | 4 | 8 | |
| 17:00 | 6 | 8 | |
| 18:00 | 8 | 9 | |
| 19:00 | 9 | 10 | |
| 20:00 | 10 | 10 | |
| 21:00 | 9 | 10 | |
| 22:00 | 9 | 10 | |
| 23:00 | 11 | 10 | |

Parking Utilization Survey



Location: 70 Carling Street, Hamilton
 Parking Supply: 18 Spaces
 Survey Dates: Wednesday September 4th 2019 , Thursday September 5th 2019, Friday September 6th 2019
 Surveyor: Trans-Plan

| Time | Parking Demand | | |
|-------|------------------------------|------------------------------|------------------------------|
| | Wednesday Sept 4th, 2019 | Thursday Sept 5th, 2019 | Friday Sept 6th, 2019 |
| | Total On-site Parking Demand | Total On-site Parking Demand | Total On-site Parking Demand |
| 0:00 | | 9 | 8 |
| 1:00 | | 9 | 8 |
| 2:00 | | 9 | 8 |
| 3:00 | | 9 | 8 |
| 4:00 | | 9 | 8 |
| 5:00 | | 9 | 8 |
| 6:00 | | 9 | 8 |
| 7:00 | | 9 | 8 |
| 8:00 | | 7 | 8 |
| 9:00 | | 8 | 7 |
| 10:00 | | 8 | |
| 11:00 | | 7 | |
| 12:00 | | 8 | |
| 13:00 | | 7 | |
| 14:00 | 6 | 7 | |
| 15:00 | 6 | 8 | |
| 16:00 | 6 | 5 | |
| 17:00 | 6 | 7 | |
| 18:00 | 8 | 6 | |
| 19:00 | 9 | 8 | |
| 20:00 | 9 | 8 | |
| 21:00 | 9 | 8 | |
| 22:00 | 7 | 8 | |
| 23:00 | 8 | 8 | |

ZONING BY-LAW NO. 6593 REVIEW

Site Address: 112 St. Josephs Drive, Hamilton

Date Reviewed: March 10, 2022

Zone: E

| Category | Requirement | Condition | Conformity |
|---|--|--|----------------|
| Use | Multiple Dwelling, Dwelling Unit Class A | Multiple Dwelling, Dwelling Unit Class A | YES |
| Building Height | 8 Storeys or 26 m (MAX) | 3 Storeys (8.3 m) | YES |
| Lot Area | 450 m ² | 1,553.10 m ² | YES |
| Lot Width (Street) | 15.0m (MIN) | 26.04m | YES |
| Front Yard Depth | 3.0 m (MIN) 7.5 m (MAX) | 3.72 m | Yes (LNC) |
| Exterior Side Yard Depth | 3.0 m (MIN) 7.5 m (MAX) | N/A | |
| Interior Side Yard Depth | 4.5 m (MIN) 13.5 m (MAX) | 2.74 m – West 7.44 m - East | LNC LNC |
| Rear Yard Depth | 3.0 m (MIN) 13.5 m (MAX) | 21.54 m | LNC |
| Gross Floor Area | 2,640.27m ² (MAX) | ~1,300 m ² (Existing) ~1,600 m ² (Proposed) | |
| Landscaped Area | 25% (MIN) | 24.39% | LNC |
| Parking Space Dimensions | 2.7 m x 6.0 m (Standard Space) | 2.7 m x 6.0 m | YES |
| Parking Space Driveway Width | 6.0 m (MIN) | 3.02 m ± | NO (LNC) |
| Residential Parking | 1.0 per Unit 18 Units – 18 Spaces 23 Units – 23 Spaces | 15 Spaces (Existing) 16 Spaces (Proposed) | NO (LNC) NO |
| Residential Visitor Parking | 0.20 per Unit 5 spaces | NIL (Existing) NIL (Proposed) | NO (LNC) NO |
| Loading Space Dimensions | 9.0 m x 3.7 m (5-30 Units) | NIL (Existing) NIL (Proposed) | NO (LNC) NO |

LNC = Legal Non-Complying

Requested Variances

1. To permit 16 parking spaces; whereas the By-law requires 23 parking spaces;
2. To permit 0 visitor parking spaces; whereas the By-law requires 5 visitor parking spaces; and
3. To provide 0 loading spaces; whereas the By-law requires 1 loading space measuring 9.0 metres in length by 3.7 metres in width by 4.3 metres in height.
4. To Permit a minimum driveway width of 3.02 m, whereas the By-law requires 6.0m.



Hamilton

Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

| | |
|-----------------------------|--|
| FOR OFFICE USE ONLY. | |
| APPLICATION NO. _____ | DATE APPLICATION RECEIVED _____ |
| PAID _____ | DATE APPLICATION DEEMED COMPLETE _____ |
| SECRETARY'S SIGNATURE _____ | |

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

| 1, 2 | NAME | MAILING ADDRESS |
|----------------------|------|-----------------|
| Registered Owners(s) | | |
| Applicant(s)* | | |
| Agent or Solicitor | | |

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

| |
|--|
| Whitehall Apartments Corp. 220 Wycroft Road Oakville, Ontario L6K 3V1 |
|--|

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

- 1. To permit 16 parking spaces; whereas the By-law requires 19 parking spaces
- 2. To permit 0 visitor parking spaces; whereas the By-law requires 5 visitor parking spaces
- 3. To provide 0 loading spaces; whereas the By-law requires 1 loading space measuring 9.0 metres in length by 3.7 metres in width by 4.3 metres in height
- 4. To Permit a minimum driveway width of 3.02 m, whereas the By-law permits 5.5 m

Second Dwelling Unit Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

- 1. Section 18a. Table 1 requires a minimum number of 23 parking spaces
- 2. Section 18a. Table 2 requires a minimum number of 5 visitor parking spaces
- 3. Section 18b. Table 3 requires a minimum of 1 loading spaces (18.0 m X 3.7 m)
- 4. Section 18a (f) Table 6 requires a minimum of 3.7 metres.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):

Part City Lot 12 & Part City Lot18 (AKA Unnumbered Lot Adjoining City Lot12),
OM1431, (AKA RHAM) AS IN VM165184. City of Hamilton

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial

Agricultural Vacant

Other N/A

8.1 If Industrial or Commercial, specify use N/A

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?
 Yes No Unknown


8.11 What information did you use to determine the answers to 8.1 to 8.10 above?
 Historic aerial photography, property survey, owner communication, parcel registry and Zoning By-law.

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.
 Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

March 1, 2022

 Date Signature Property Owner(s)


 Mark Baltazar (112 St. Joseph's Inc.)
 Print Name of Owner(s)

10. Dimensions of lands affected:
 Frontage 25.82 metres
 Depth 60.20 metres
 Area 0.15 hectares
 Width of street N/A

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:

| | |
|-------------------|-----------------------|
| Building Heights: | 3-Storeys |
| Total Units: | 18 |
| Gross Floor Area: | ~1,300m ² |
| Parking Supply: | 15 |
| Density: | 116 Units/Net Hectare |

Proposed

| | |
|-------------------|-----------------------|
| Building Heights: | 3-Storeys |
| Total Units: | 23 |
| Gross Floor Area: | ~1,600m ² |
| Parking Supply: | 16 |
| Density: | 148 Units/Net Hectare |

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

| | |
|---------------------------|------------------------------------|
| Front Yard Depth: | 3.72 metres |
| Interior Side yard Depth: | 2.74 metres (West) and 7.44 (East) |
| Rear yard Depth: | 21.54 metres |

Proposed:
 Same as above - No Change

13. Date of acquisition of subject lands:
January 6, 2021
14. Date of construction of all buildings and structures on subject lands:
Estimated - 1960s
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
Residential Apartment
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
Residential Apartments, single detached residential dwelling
17. Length of time the existing uses of the subject property have continued:
Estimated - 40-60 Years
18. Municipal services available: (check the appropriate space or spaces)
- | | | | |
|----------------|-------------------------------------|-----------|------------------------------|
| Water | <input checked="" type="checkbox"/> | Connected | <input type="checkbox"/> Yes |
| Sanitary Sewer | <input checked="" type="checkbox"/> | Connected | <input type="checkbox"/> Yes |
| Storm Sewers | <input checked="" type="checkbox"/> | | |
19. Present Official Plan/Secondary Plan provisions applying to the land:
City of Hamilton Official Plan: "Neighbourhood"
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
E (Multiple Dwellings, Lodges, Clubs, Etc.)
21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)
- Yes No
- If yes, please provide the file number:
N/A
- 21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?
- Yes No
- 21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
- Yes No
23. Additional Information (please include separate sheet if needed)
N/A
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.