



NOTICE OF PUBLIC HEARING Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.: HM/A-22:90

APPLICANTS: Agent M. Sabelli
Onwer TAHA Development Group Inc

SUBJECT PROPERTY: Municipal address **28 Arthur St. N., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended

ZONING: Urban Protected Residential - One and Two Family Dwellings district D

PROPOSAL: To permit the construction of a 6.096m (20') x 10.287m (33'9") third storey addition on the existing Single Family Dwelling and to establish a Secondary Dwelling Unit notwithstanding that:

1. A minimum front yard depth of 1.5m shall be provided instead of the minimum required front yard depth of 6.0m.
2. Eaves and gutters shall be permitted to project not more than 0.2m into the required front yard so that the eaves and gutters are permitted to be as close as 1.3m from the Arthur Avenue North street line instead of the requirement that an eave or gutter may project into a required front yard not more than 1.5 metre provided that no such projection shall be closer to a street line than 1.5m
3. A balcony shall be permitted to project not more than 1.0m into the required 1.5m front yard and shall not be closer than 0.5m to the front lot line instead of the requirement that a balcony may project into a required front yard not more than 1.0m, provided that no such projection shall be closer to a street line than 1.5 metres.
4. A minimum northerly side yard width of 0.1m shall be provided instead of the minimum required side yard width of 0.9m.
5. An uncovered rear porch at the first floor level shall be permitted to be distant 0.1m from the northerly side lot line instead of the requirement that a terrace, uncovered porch, platform or ornamental feature which does not extend more than 1.0m above the floor level of the first storey, may project into a required yard, if distant at least 0.5m.
6. A minimum southerly side yard width of 0.8m shall be provided instead of the minimum required side yard width of 0.9m.

7. The rear open fire escape/open stairway shall be permitted to project not more than 2.1m into the rear yard and may be as close as 5.4m to the rear lot line instead of the requirement that an open fire escape or open stairway may project into a required rear yard not more than 1.0m.

8. No front yard landscaped area shall be provided instead of the requirement that not less than 50% of the gross area of the front yard shall be used for a landscaped area excluding concrete, asphalt, gravel, pavers, or other similar materials.

9. The entrance to the Secondary Dwelling Unit shall be permitted to be oriented toward the front lot line instead of the requirement that any separate entrance and exit to the Secondary Dwelling Unit shall be oriented toward the interior side lot line or rear lot line.

10. A minimum parking space length of 5.4m shall be permitted instead of the minimum required parking space length of 6.0m.

NOTE:

i) The eaves and gutters shall not project over the north side lot line and onto the neighbouring lands known municipally as 30 Arthur Avenue North, Hamilton. If the eaves and gutter project onto the neighbouring property, an encroachment agreement between the owners of the abutting land and a maintenance easement entered into between the parties will be required to be properly registered on the title of each of the abutting lots (being both 28 Arthur Avenue North and 30 Arthur Avenue North).

ii) Variances for lot width and lot area are not required as this lot is considered a lot of record.

This application will be heard by the Committee as shown below:

DATE: Thursday, April 28th, 2022
TIME: 3:15 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

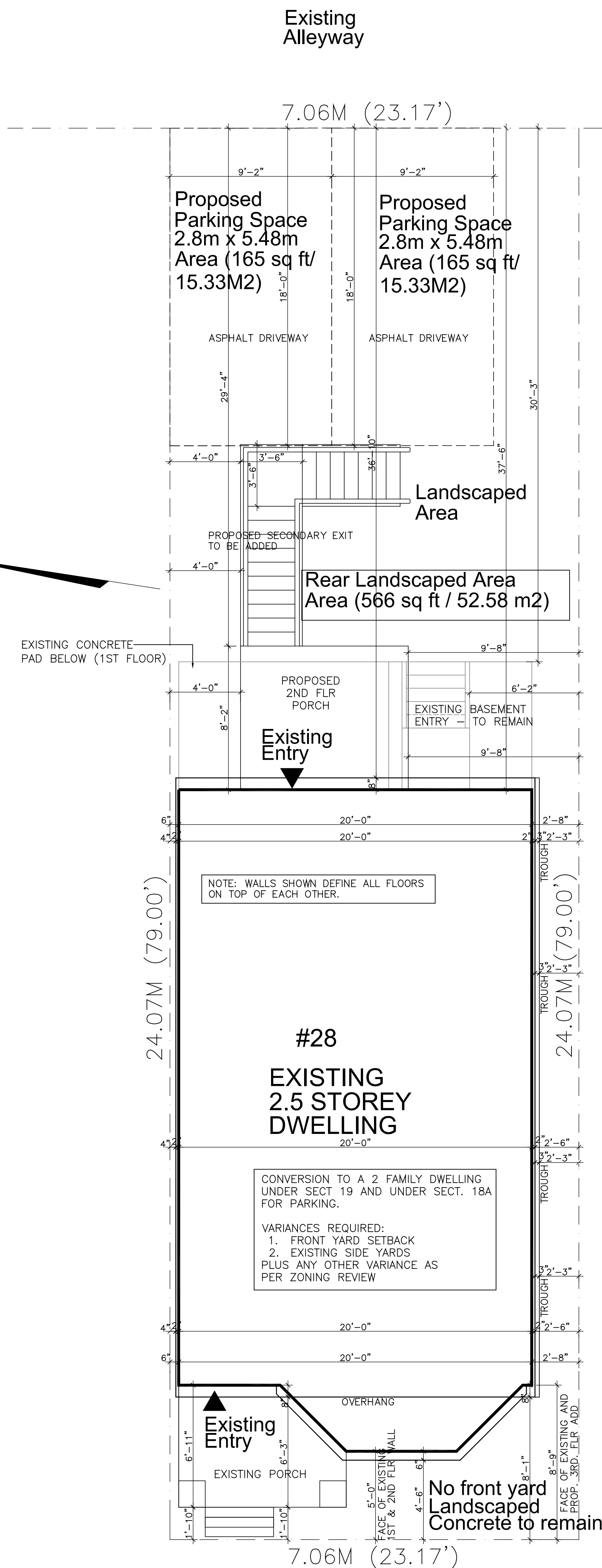
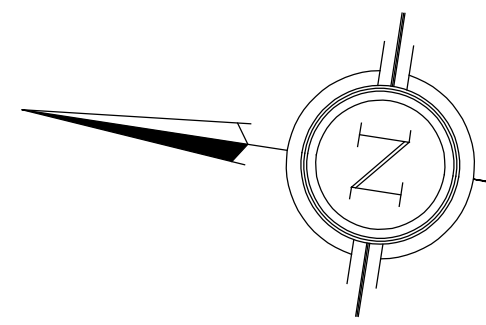
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: April 12th, 2022.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



SITE STATISTICS

MUNICIPAL ADDRESS
28 ARTHUR ST. N.
HAMILTON, ONT.

BUILDING CLASSIFICATION
RESIDENTIAL

ZONING
RESIDENTIAL - 'D' DISTRICT
SECTION 3, 18, 18A, 19

REQUIREMENTS

MIN. SIDE YARDS	1.2 M (3.94')
MIN. FRONT YARD	6.0 M (19.69')
MIN. REAR YARD	7.5 M (24.61')

EXISTING YARDS AT DWELLING

SIDE YARD (LEFT)	0.15 M (6") -EXISTING
SIDE YARD (RIGHT)	0.81 M (2'-8") -EXISTING
FRONT YARD	1.52 M (5'-0") -EXISTING
REAR YARD	11.45 M (37'-7") -EXISTING

LOT AREA
172.15 M2 (1853 SQ FT)

FRONT YARD - CLAUSE 19(1)(v)
DRIVEWAY TO REAR 100.89 M2 (1086 SQ FT)

SECTION 19 CONVERSION REQUIREMENTS.

MIN LOT WIDTH REQUIRED 18.0M (59.06') - EXISTING 23'-0" (7.01M)

19(i) - Req'd min unit 65m2 : Provided 66.15m2 /123.8m2

19(ii) - 540m2 min req'd lot area - EXIST 172.15m2 (1853 SQ FT)

SECTION NINETEEN
RESIDENTIAL CONVERSION REQUIREMENTS (92-281)

(i) each dwelling unit has a floor area of at least 65 square metres (699.65 square feet), contained within the unit and having a minimum clear height of 2.1m (6.9 ft.), but excluding the area of any porch, verandah or other such space which cannot lawfully be used as living quarters; (15-071)

(ii) The applicable zoning district regulations for a single family detached dwelling shall apply, except the minimum lot area shall be 270m2;

(iii) except as permitted in clause (v), the external appearance and character of the dwelling shall be preserved;

(iv) there shall be no outside stairway other than an exterior exit;

(v) parking spaces, access driveways and manoeuvring space shall be provided in accordance with Section 18A, except that parking for only one of the dwelling units may be provided in accordance with the following special provisions:

NOTE:
THIS PLOT PLAN IS NOT A SURVEY. UNIQUE DESIGNS INC. DOES NOT GUARANTEE THE ACCURACY OF THIS DOCUMENT NOR DOES UNIQUE DESIGNS INC. CLAIM TO HAVE THE QUALIFICATIONS TO PRODUCE A DRAWING INTENDED FOR THE USE AS A SURVEY. THE DRAWING PRODUCED IS INTENDED TO BE USED ONLY AS A DIAGRAM TO COMPLEMENT THE PROVIDED ARCHITECTURAL DRAWINGS. SPECIFICALLY, FOR THE PURPOSES OF ORIENTATION, ZONING, LIMITING DISTANCES AND BUILDING HEIGHT AND THEIR RELATIONSHIP WITH THE INTENDED USE OF THE BUILDING. TRUE SITE SETBACKS MAY NEED TO BE PROVIDED BY A QUALIFIED ONTARIO LAND SURVEYOR.

NOTE:
ALL PROPOSED RAIN WATER LEADERS TO DISCHARGE ANY RAIN WATER ON PROPERTY OR EXISTING SWALES.
NO WATER IS TO BE DRAINED ON TO ADJACENT PROPERTIES OR WALKWAYS OR DRIVEWAYS.

NOTE:
ALL SETBACKS SHOWN ON THIS PLOT PLAN IS FOR REFERENCE ONLY AS PROVIDED BY OWNER AND FIELD MEASURED.

DO NOT SCALE DRAWINGS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Qualification Information.
Required unless design is exempt under O.C.A. Article 12.5.1 of the Building Code
Signature: MAURO FORTINATO
Name: MAURO FORTINATO
15094 BCON

Registration Information
Job Number: 02.15.22
Date: 02.15.22

Required unless design is exempt under O.C.A. Article 12.4.1 of the Building Code
UNIQUE DESIGNS INC. 31090 BCON

ARTHUR ST N. PLOT PLAN

PROPOSED TWO FAMILY DWELLING

<p>PROPOSED 2 FAMILY DWELLING</p> <p>28 ARTHUR ST. N. HAMILTON, ONT</p>	<p>UNIQUE DESIGNS INC.</p> <p>DRAFTING DESIGN INC.</p>	<p>PLOT PLAN</p>	<p>1. 02.15.22 ISSUED FOR PERMIT</p>	<p>THESE DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT, AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.</p> <p>THE USE OF THIS DRAWING OR PART THEREOF IS FORBIDDEN WITHOUT THE WRITTEN APPROVAL OF THE DESIGNER.</p>
			<p>2. 03.24.22 RE-ISSUED FOR PERMIT</p>	
<p>3. 04.01.22 REV. FOR VARIANCE/PERMIT</p>				
4.				
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8.				

1.	02.15.22	ISSUED FOR PERMIT
2.	03.24.22	REVISED FOR PERMIT
3.	04.01.22	REV. FOR VARIANCE/PERMIT
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10.		

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THE USE OF THIS DRAWING OR PART THEREOF IS FORBIDDEN WITHOUT THE WRITTEN APPROVAL OF THE DESIGNER.

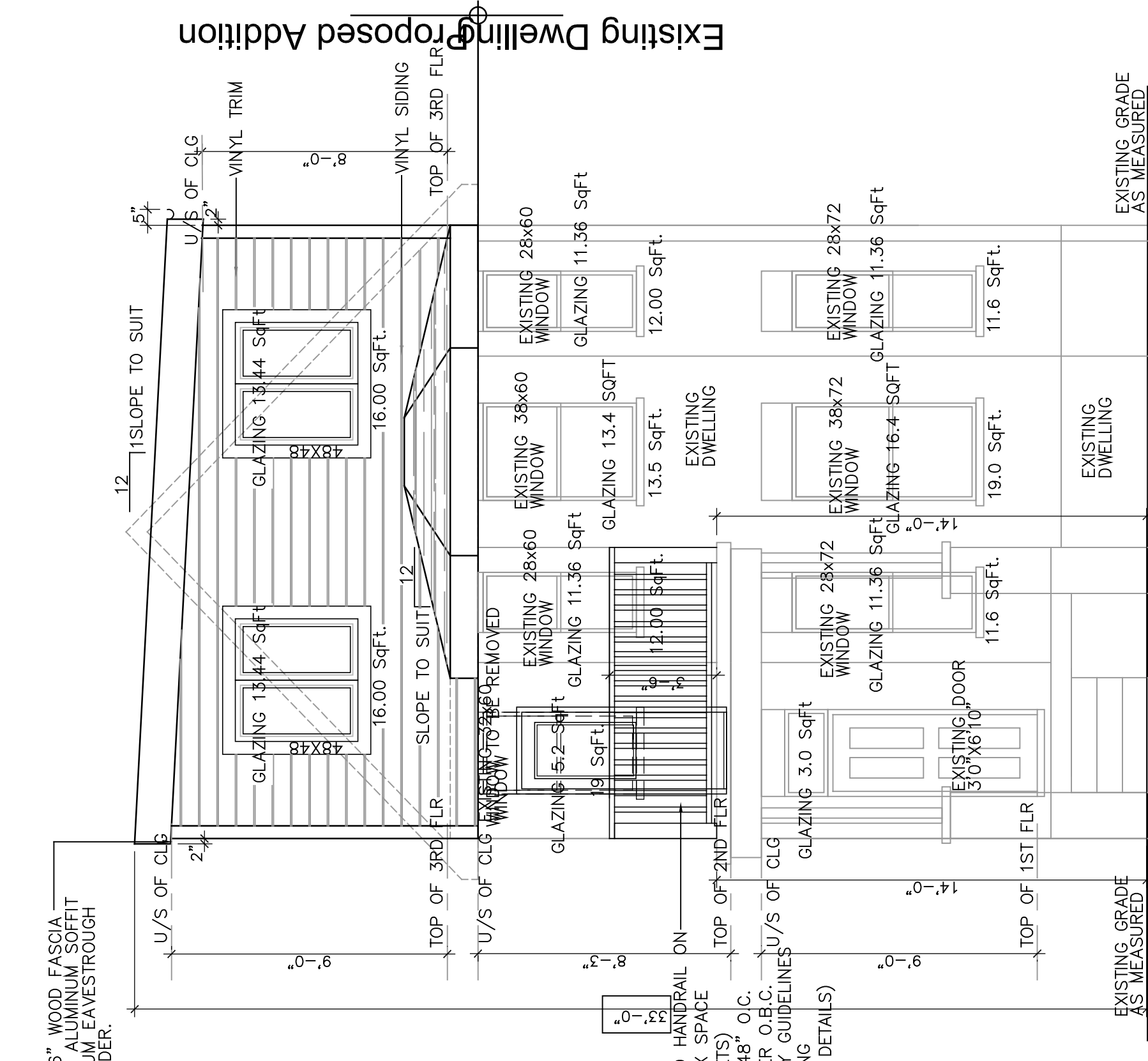
ELEVATIONS

UNIQUE DESIGNS INC.
UNIQUE DESIGNS INC.
UNIQUE DESIGNS INC.

PROPOSED
2 FAMILY DWELLING
28 ARTHUR ST. N.
HAMILTON, ONT.

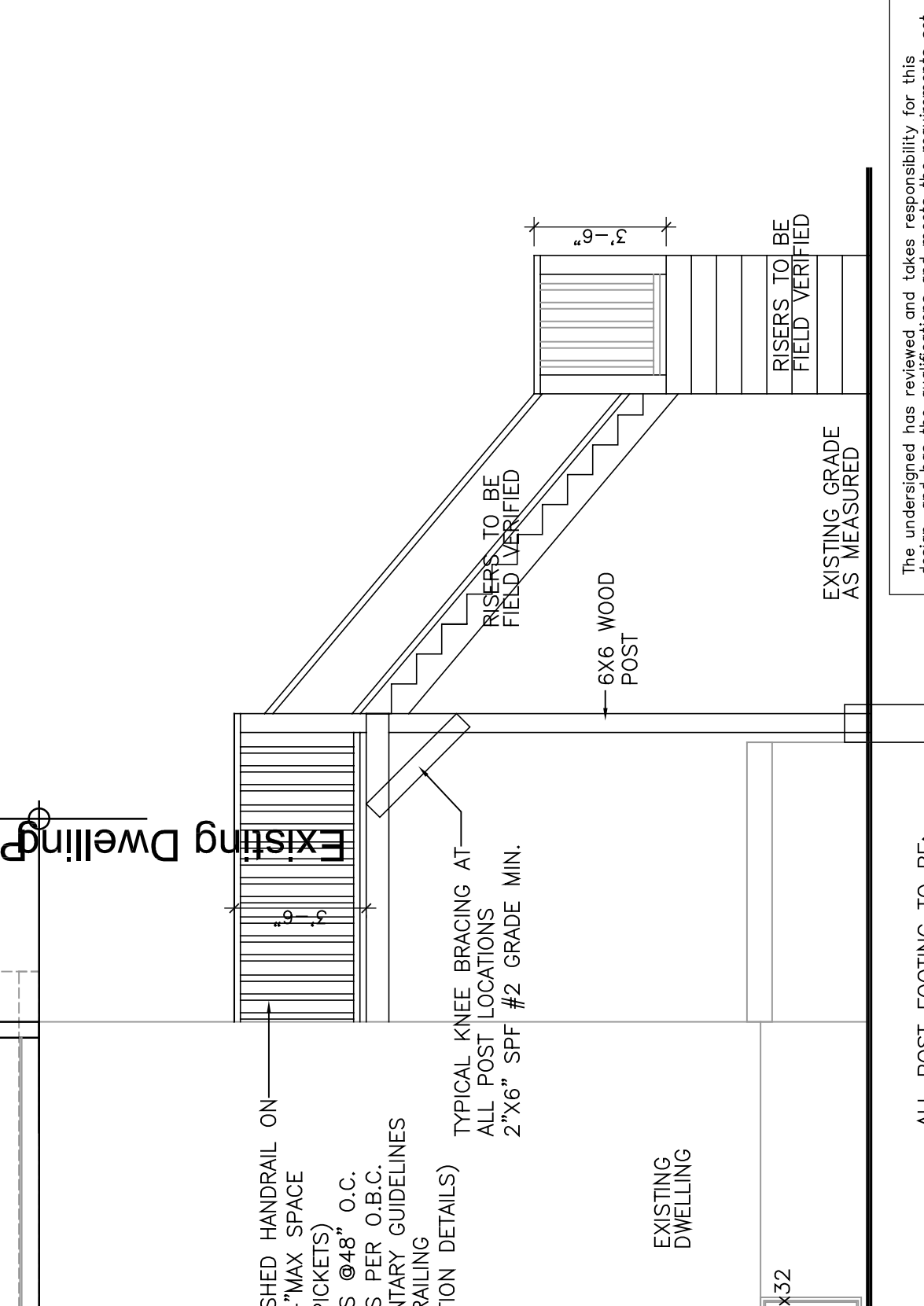
Scale: 1/4"=1'-0"
Date: 02.15.22
Job Number: 01822

A1



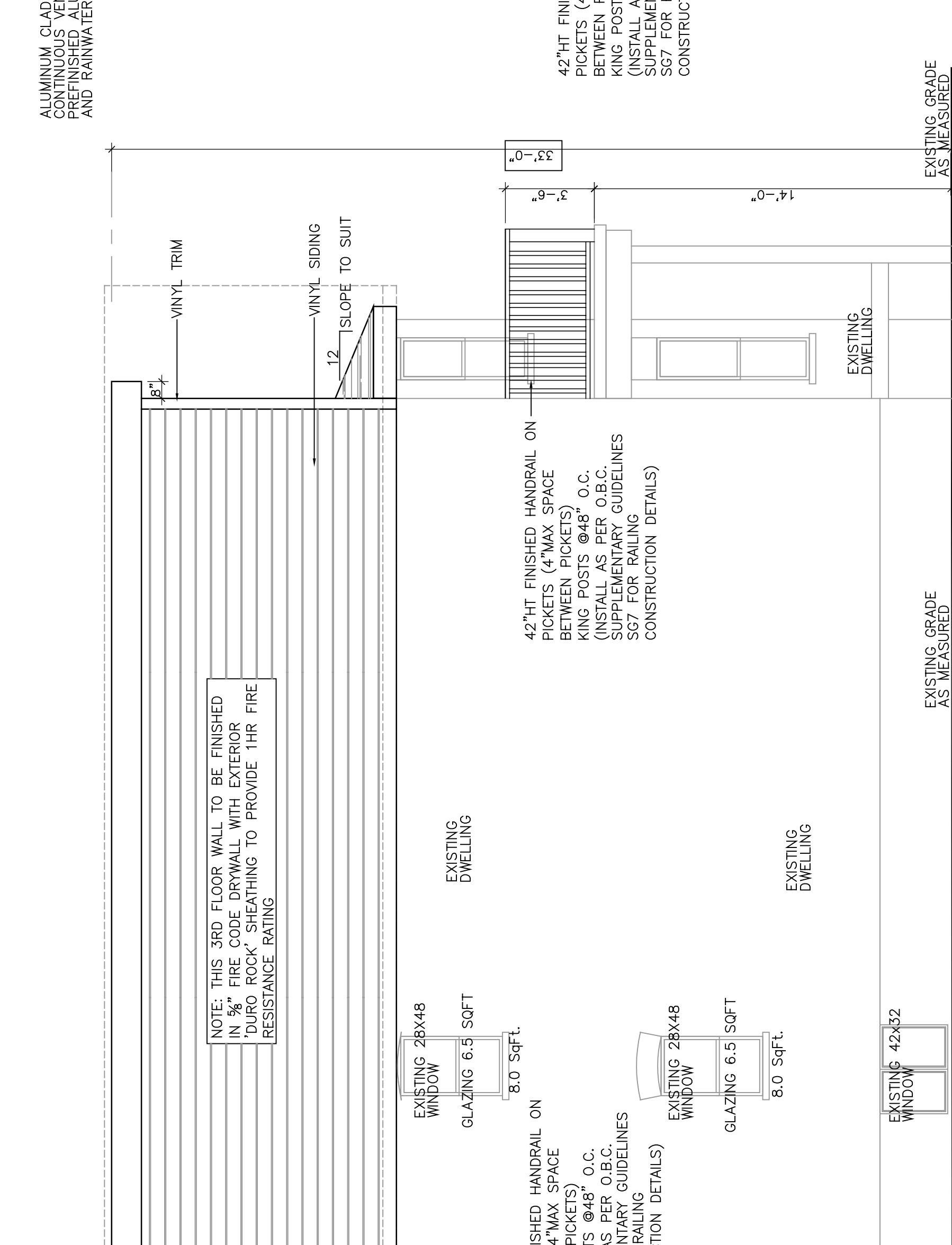
FRONT ELEVATION
ALL OVERHANGS 2"
UNLESS NOTED OTHERWISE

NOTE: ALL INTERIOR DIMENSIONS SHOWN ARE FIELD MEASURED AND ARE ALL +-. VERIFY ON SITE PRIOR TO CONSTRUCTION.
NOTE: ALL EXISTING ROOM SIZES, DIMENSIONS TO BE REFERRED BY THE OWNER CONTRACTOR, BEFORE PRIOR TO AND DURING CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE OWNER, CONTRACTOR, BUILDER TO FIELD VERIFY ALL EXISTING DIMENSIONS BEFORE ORDERING ANY MATERIALS.
NOTE: CONTRACTOR / BUILDER / OWNER TO BE CAREFUL WHEN CUTTING OUT NEW WINDOWS/OPENINGS. ENSURE PROPER SUPPORTS ARE IN PLACE DURING DEMOLITION PHASE.



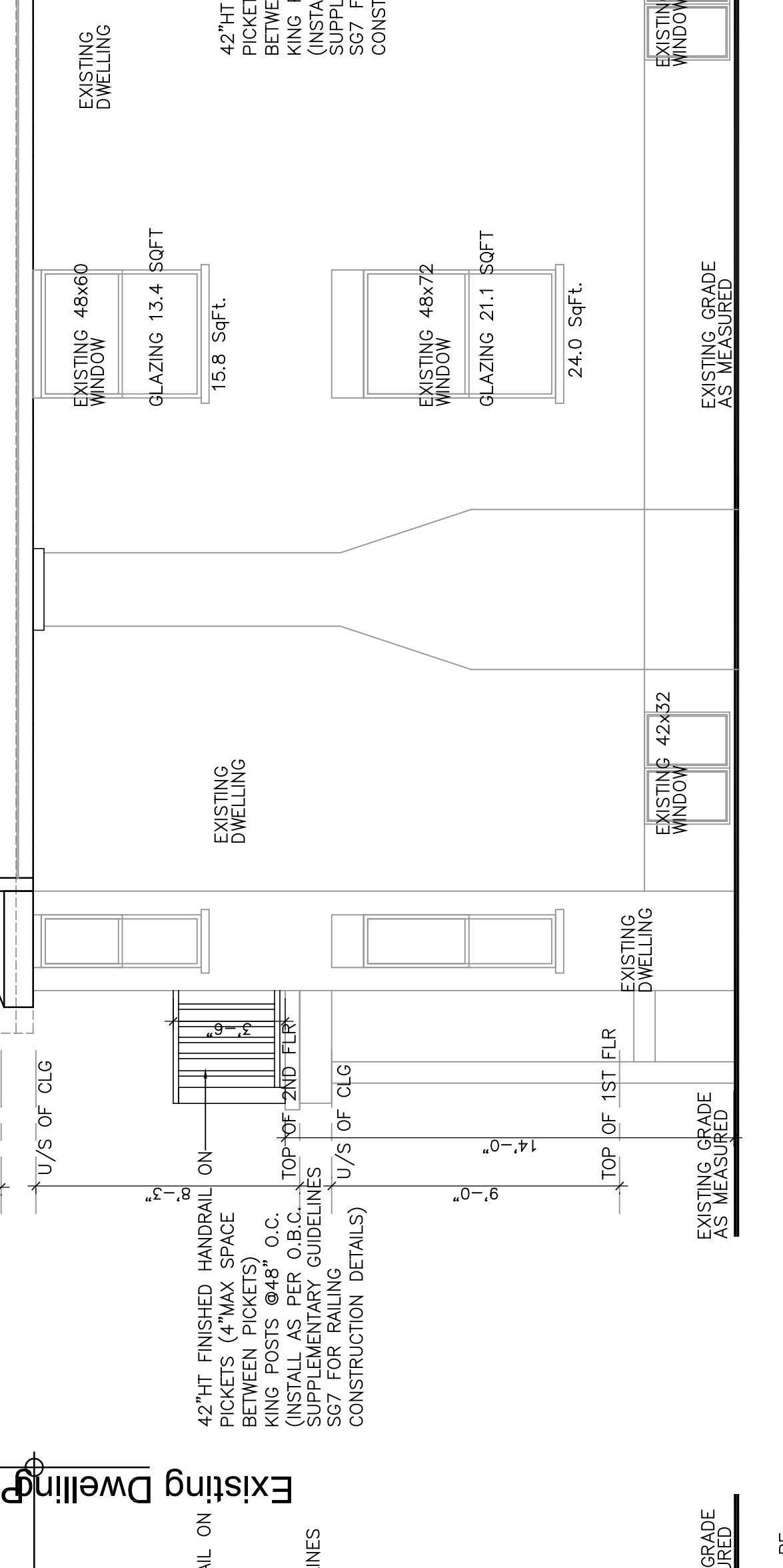
RIGHT SIDE ELEVATION

ALL POST FOOTING TO BE:
12\"/>



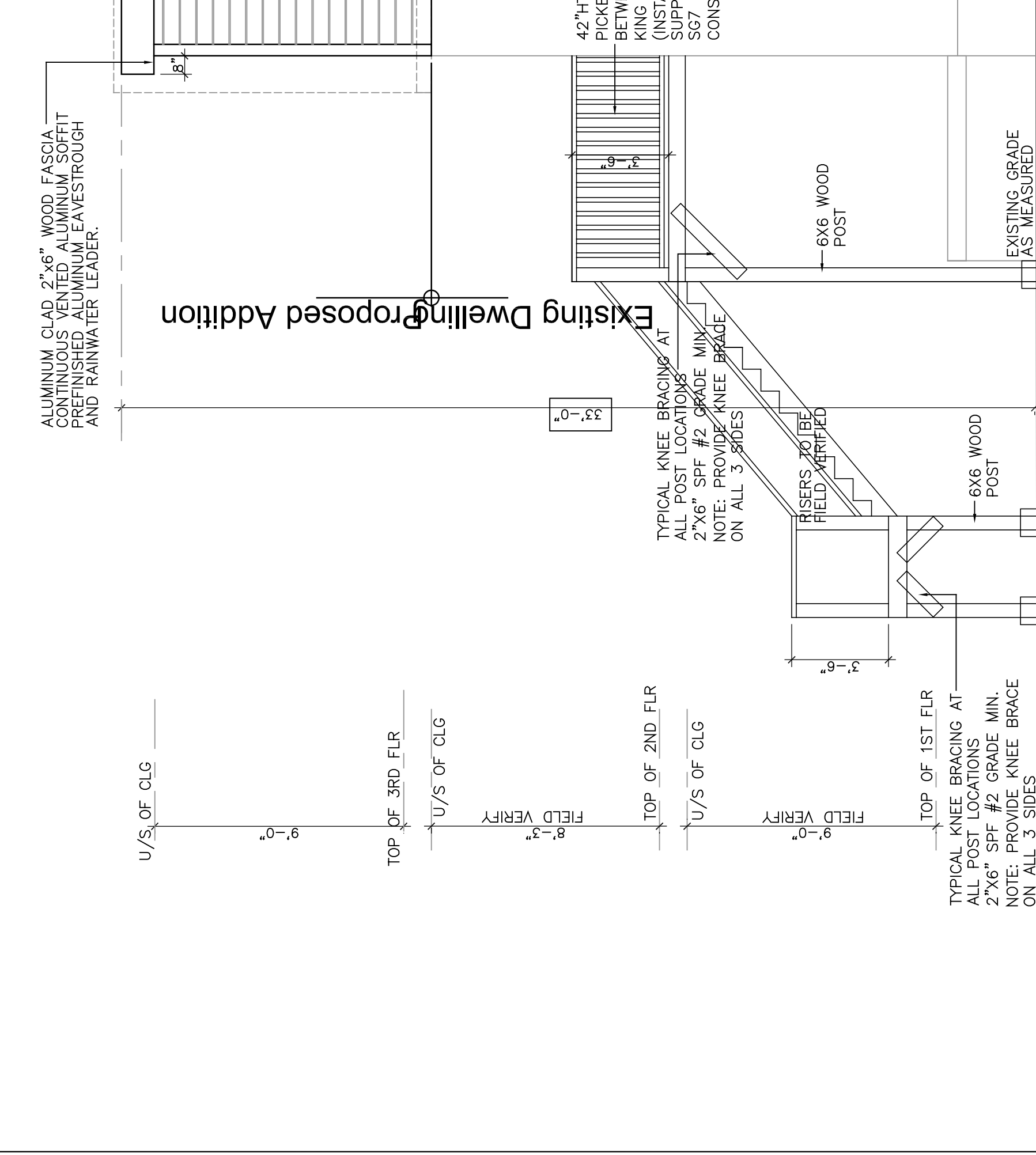
LEFT SIDE ELEVATION

ALUMINUM CLAD 2x6\"/>



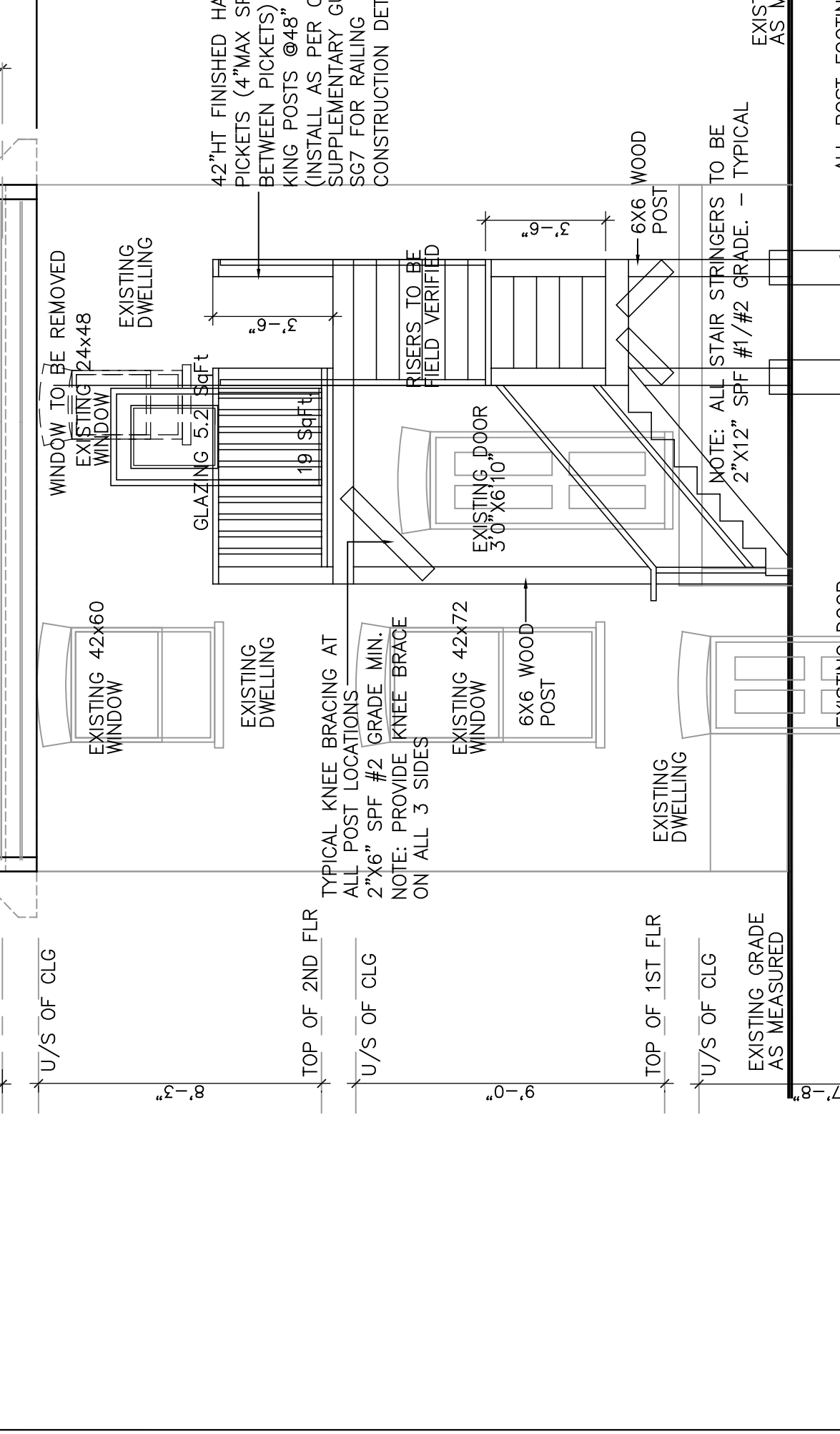
REAR ELEVATION

ALL POST FOOTING TO BE:
8\"/>



FRONT ELEVATION
ALL OVERHANGS 2"
UNLESS NOTED OTHERWISE

NOTE: ALL INTERIOR DIMENSIONS SHOWN ARE FIELD MEASURED AND ARE ALL +-. VERIFY ON SITE PRIOR TO CONSTRUCTION.
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RIGHT SIDE ELEVATION

ALL POST FOOTING TO BE:
12\"/>

PROPOSED TWO FAMILY DWELLING

C107 - 9.7.2.3
 a) Where windows are not used as a means of egress and where they do not conflict with ventilation requirements, the minimum glass areas as shown in Table 9.7.2.3. may be reduced by 50%, and
 (b) an existing room converted to an interior room, created by an addition, shall not require a window, provided there is an opening in a dividing wall occupying not less than 30% of the separating plane to an adjoining room, where the adjoining room has a minimum of 5% window area of the combined floor area, and provided the required ventilation for the combined room is maintained.

C102 - 9.5.3.1
 In detached houses, semi-detached houses, townhouses and row houses containing not more than two dwelling units,
 (a) minimum room height shall not be less than 1 950 mm over at least 50% of the required floor area, provided that any part of the floor having a clear height of less than 1 400 mm shall not be considered in computing the required floor area.

C109 - 9.8.1 to 9.8.4
 Replacement or extension of existing stair systems shall be exempt from the provisions of these Subsections, except that they shall have:
 (a) a minimum width between wall faces of 700 mm, and
 (b) a minimum clear height over tread nosing or landing of 1 800 mm.

C136 - 9.9.9
 In detached houses, semi-detached houses, townhouses and row houses containing not more than two dwelling units, exit requirements are acceptable if at least one of the following conditions exists:
 (a) a door, including a sliding door, that opens directly to the exterior from a dwelling unit and has reasonable access to ground level, and the dwelling units are equipped with smoke alarms installed in conformance with Subsection 9.10.19.,
 (b) in detached houses, semi-detached houses, townhouses and row houses containing not more than two dwelling units, 15 min horizontal fire separation is acceptable where,
 (i) smoke alarms are installed in every dwelling unit and in common areas in conformance with Subsection 9.10.19., and
 (ii) smoke alarms are interconnected.
 (c) In detached houses, semi-detached houses, townhouses and row houses containing not more than two dwelling units, the fire resistance rating of the fire separation is waived where the building is sprinklered.

C147 - 9.10.8.1; 9.10.8.3; 9.10.8.8(g)
 Except as provided in (b) and (c), 30 min rating is acceptable.
 (b) In detached houses, semi-detached houses, townhouses and row houses containing not more than two dwelling units, 15 min horizontal fire separation is acceptable where,
 (i) smoke alarms are installed in every dwelling unit and in common areas in conformance with Subsection 9.10.19., and
 (ii) smoke alarms are interconnected.
 (c) In detached houses, semi-detached houses, townhouses and row houses containing not more than two dwelling units, the fire resistance rating of the fire separation is waived where the building is sprinklered.

C167 - 9.10.13.13(1)
 Except as permitted in C.A. C168, in a building containing not more than four dwelling units, the existing heating or air-conditioning system may be altered to serve more than one dwelling unit, provided smoke alarms are installed in each dwelling unit and provided a smoke detector is installed in the supply or return air duct system serving the entire building which would turn off the fuel supply and electrical power to the heating system upon activation of such detector.

NOTE: STAIR TO BE REMOVED. FILL IN WITH 2"x10" FLR JSTS @12"O.C. TO MAKE NEW CLOSET. USE HANGERS TO CONNECT TO EXISTING BEAMS. (TYPICAL)

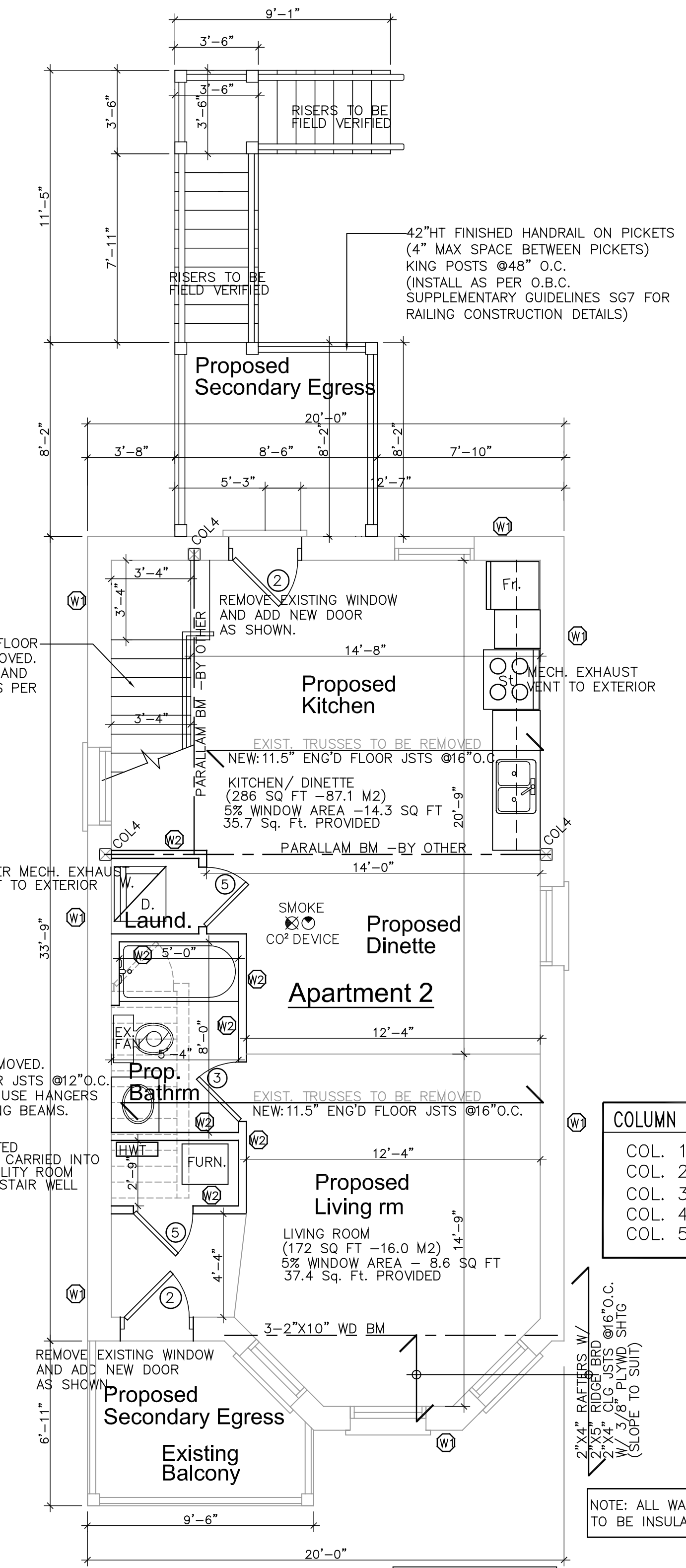
1 HR FIRE RATED CEILING TO BE CARRIED INTO CEILING OF UTILITY ROOM AND EXISTING STAIR WELL

LUMBER SUPPLIER TO PROVIDE TJ-EXPERT FRAMING LAYOUTS INCLUDING APPROPRIATE DETAILS/HANGER SPECS/ JOIST AND BEAM SIZING/ HOLE CHARTS FOR JOISTS/ RIM BOARD SPECS ETC. AND ARE TO SPECIFY FLOOR PERFORMANCE TJ PRO RATING FOR REVIEW AND APPROVAL BY DESIGNER IF REQUIRED

NOTE: ALL EXISTING ROOM SIZES, DIMENSIONS TO BE VERIFIED BY THE OWNER/ CONTRACTOR/BUILDER PRIOR TO AND DURING CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR/BUILDER TO FIELD VERIFY ALL EXISTING DIMENSIONS BEFORE ORDERING ANY MATERIALS.

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NOTE: CONTRACTOR, BUILDER, OWNER TO MAKE ALL NECESSARY PRECAUTIONS WHEN REMOVING EXISTING WALLS AND ADDING NEW BEAM SUPPORTS. MAKE SURE CEILINGS ON BOTH SIDES ARE SHORED UP PRIOR TO REMOVING ANY LOAD BEARING WALLS.

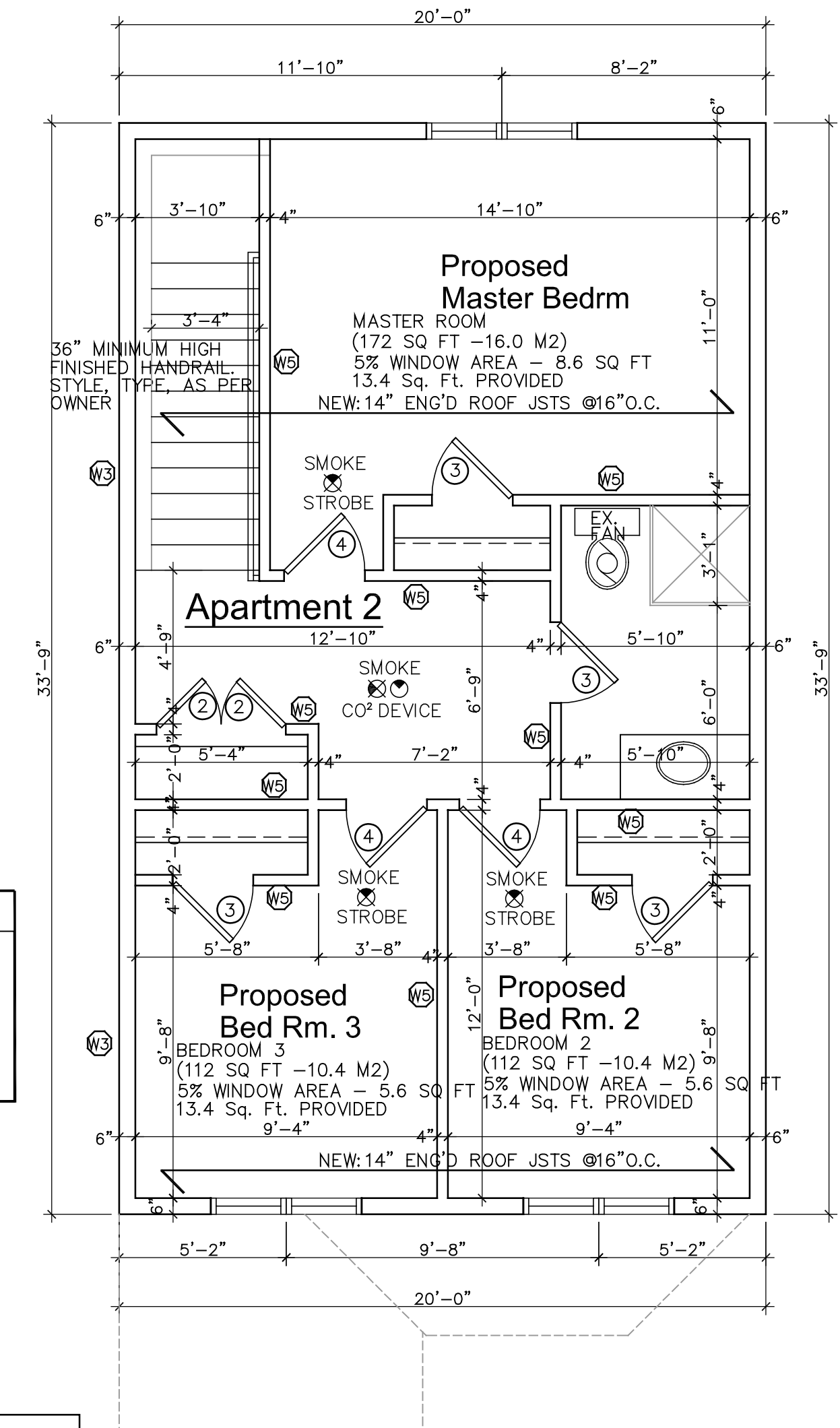


Second Floor Plan
 712.00 Sq.Ft.

LUMBER SUPPLIER TO PROVIDE TJ-EXPERT FRAMING LAYOUTS INCLUDING APPROPRIATE DETAILS/HANGER SPECS/ JOIST AND BEAM SIZING/ HOLE CHARTS FOR JOISTS/ RIM BOARD SPECS ETC. AND ARE TO SPECIFY FLOOR PERFORMANCE TJ PRO RATING FOR REVIEW AND APPROVAL BY DESIGNER IF REQUIRED

Stair Detail
 (typical throughout)

RISER HEIGHTS FOR STEPS/STAIRS MAY VARY THROUGHOUT DEPENDING ON FLOOR THICKNESSES (TO BE DETERMINED BY CONTRACTOR)



Third Floor Plan
 618.00 Sq.Ft. (9'-0"/8'-0" CLG. HT.)

COLUMN SCHEDULE

COL. 1=3-2x4
COL. 2=4-2x4
COL. 3=2-2x6
COL. 4=3-2x6
COL. 5=4-2x6

WALL TYPE SCHEDULE

- W1 EXISTING DBLE BRICK EXT. WALL OR EXIST. PARTITION WALLS
- W2 FIRE RATED PARTITION - W4a
 SB-3, W4a (1HR F.R.R.) STC-51
 -2"x4" STUDS @16"O.C.
 -89MM THICK ABSORPTIVE MATERIAL
 -RESILIENT METAL CHANNELS @16"O.C.
 -1 LAYER 15.9MM TYPE 'X' GYPSUM EA. SIDE
- W3 NEW EXTERIOR WALL - S10a
 SB-3, S10a (1HR F.R.R.) STC 38
 VINYL SIDING
 STRUCTURAL SHEATHING AS REQUIRED
 2"x6" STUDS @16"O.C.
 R-22 BATT INSUL
 6 MIL POLY V.B.
 2/ 15.9mm TYPE 'X' GYPSUM BOARD
- W4 EXISTING NON-LOAD BRG PARTITION WALL TO BE REMOVED
- W5 NEW INTERIOR PARTITION WALL
 1/2" DRYWALL
 2"x4" WOOD STUDS @16"O.C.
 1/2" DRYWALL

DOOR SCHEDULE

- 1 EXISTING DOORS TO BE REPLACED. SAME SIZE SAME LOCATION
- 2 24" STEEL DOOR
- 3 28" WOOD DOOR
- 4 30" WOOD DOOR
- 5 36" STEEL DOOR

GENERAL NOTES:

SMOKE ALARMS :	FLOOR PLAN DIMENSIONS :
NOTE ALL SMOKE ALARMS	ALL DIMENSIONS ON FLOOR PLANS
WITH-IN A SINGLE DWELLING UNIT	ARE FROM NOMINAL STUD FACE TO
SHALL BE INTERCONNECTED.	NOMINAL STUD FACE OR FACE OF
	EXTERIOR FINISH MATERIAL.

design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
 QUALIFICATION INFORMATION
 Required unless design is exempt under Div.C, Article 3.2.5.1 of the Building Code
 MAURO FORTUNATO 15084
 Name Signature BCN
 REGISTRATION INFORMATION
 Required unless design is exempt under Div.C, Article 3.2.4.1 of the Building Code
 UNIQUE DESIGNS INC 31090
 Firm Name BCN

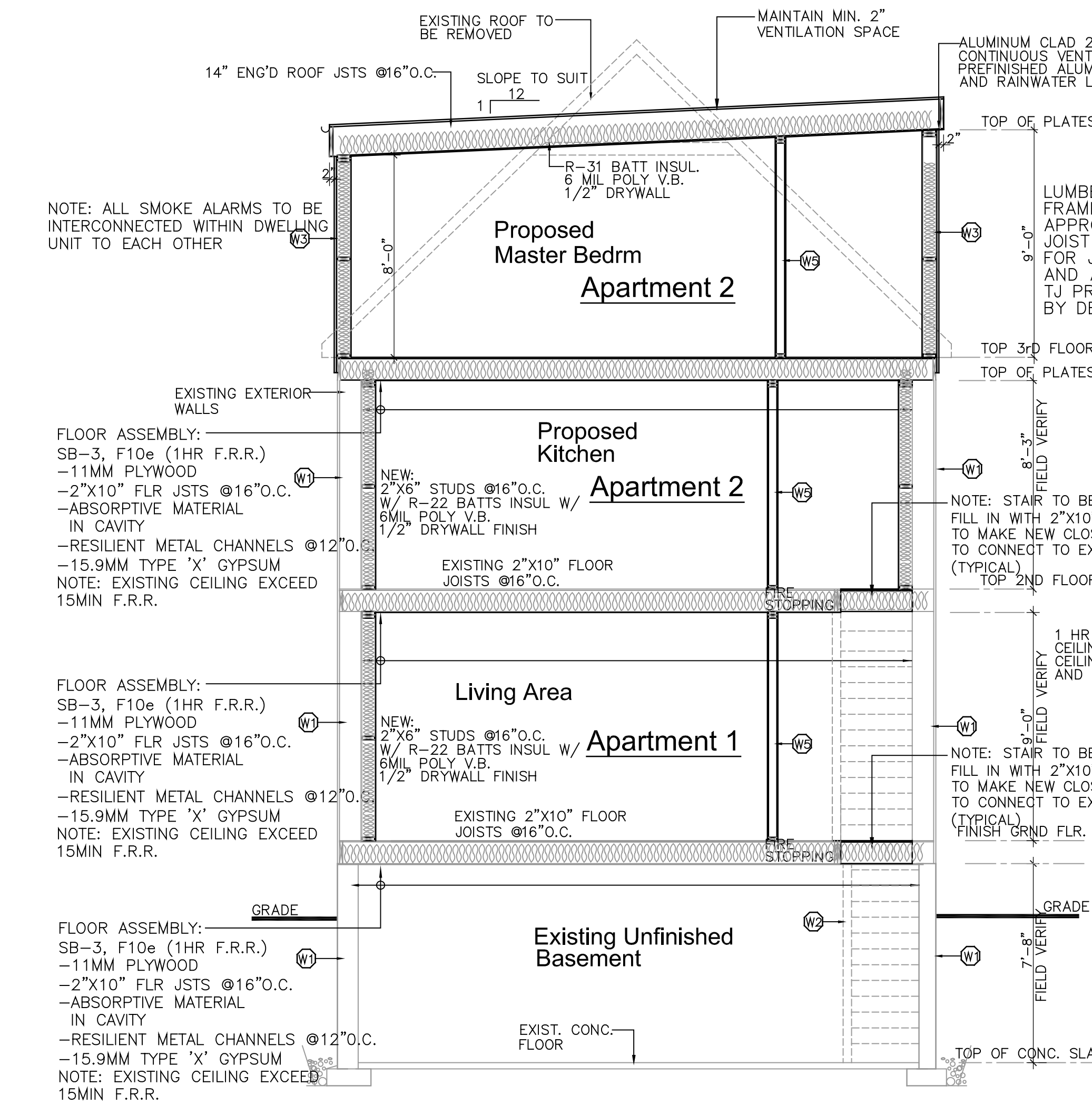
NOTE: OWNER TO VERIFY EXISTING MECH. AND ELECTRICAL PANEL MEETS OR EXCEEDS REQUIREMENTS OF THE O.B.C. AN INDEPENDANT QUALIFIED PERSON SHALL DETERMINE IF EXISTING MECH./ELECT. SERVICES MEETS THE REQUIRED INTENT OF THE USE TO BE PROVIDED.

NOTE: FIRE PROTECTION RATING (FPR) OF THE FIRE DAMPERS AT HVAC PENETRATIONS MUST SUIT THE FRR OF THE PROTECTED ASSEMBLY OR, A DUCT-MOUNTED SMOKE DETECTOR MUST BE IN THE RETURN AIR DROP OF THE FURNACE.

NOTE: 9.5.7.1(1) - EXCEPT AS PROVIDED IN ARTICLES 9.5.7.2. AND 9.5.7.3., BEDROOMS IN DWELLING UNITS SHALL HAVE AN AREA NOT LESS THAN 7m2 WHERE BUILT-IN CABINETS ARE NOT PROVIDED AND NOT LESS THAN 6m2 WHERE BUILT-IN CABINETS ARE PROVIDED.

9.5.5. Dining Rooms or Spaces within Dwelling Units
 9.5.5.1. Area of Dining Rooms or Spaces (1) A dining space in combination with other space shall have an area of not less than 3.25 m². (2) Dining rooms not combined with other space shall have a minimum area of 7 m².

9.5.6. Kitchens within Dwelling Units
 9.5.6.1. Kitchen Areas (1) Kitchen areas within dwelling units either separate from or in combination with other spaces, shall have an area of not less than 4.2 m² including the area occupied by the base cabinets, except that in dwelling units containing sleeping accommodation for not more than two persons, the minimum area shall be 3.7 m².



Typical Section

1	02.15.22	ISSUED FOR PERMIT
2	03.24.22	RE-ISSUED FOR PERMIT
3	04.01.22	REV. FOR VARIANCE/PERMIT
4		
5		
6		
7		
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UNIQUE DESIGNS INC.
 FLOOR PLANS, SECTION, NOTES

PROPOSED 2 FAMILY DWELLING
 28 ARTHUR ST. N. HAMILTON, ONT

Drawn By	Scale
Date:	1/4"=1'-0"
Job Number	A3
	011822

DO NOT SCALE DRAWINGS



Hamilton

Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS	Phone: E-mail:
Registered Owners(s)	TANA DEVELOPMENT GROUP INC.	8438 AIRPORT ROAD, MOUNT HOPE, ONT	647 446 0679 SUBWAY.MVC@BMAILS.COM
Applicant(s)*			Phone: E-mail:
Agent or Solicitor	MICHAEL P. SABELLI	343 DELANCEY BLVD. HAMILTON ONT, L9B 2B4	905-383-6792 msabelli@rogers.com

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

2689918 ONTARIO INC.
129 APPLEBY PLACIF
BURLINGTON ONTARIO
L7M 2X2

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

- NORTH SIDE YARD PROVIDED - 0.15M SOUTH SIDE YARD - PROVIDED 0.81M
- FRONT YARD PROVIDED - 1.52M LOT AREA PROVIDED - 172.15 M²
- LOT WIDTH PROVIDED - 7.06M PROPOSED PARKING SPACES - 28M x 5.8M

Second Dwelling Unit Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

LOT IS EXISTING WITH AN EXISTING 2.5 STOREY DWELLING. THIS IS TO APPROVE AN EXISTING SITUATION

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

28 ARTHUR STREET NORTH
HAMILTON

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial

Agricultural Vacant

Other _____

8.1 If Industrial or Commercial, specify use _____

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

PREVIOUS OWNER

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

MARCH 7/2022

TARA DEVELOPMENT GROUP INC PER.

Date Signature Property Owner(s) TARA PRESIDENT

TARA DEVELOPMENT GROUP INC. Print Name of Owner(s),

10. Dimensions of lands affected:

Frontage 7.06m
Depth 24.07m
Area 172.15M^2
Width of street 20M

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:

EXISTING 2.5 STOREY DWELLING, HOUSE WIDTH 6.1M, LENGTH 11.43M, HEIGHT 10.1M, GROSS FLOOR AREA 190M^2, GROUND FLOOR AREA 66.14M^2, SECOND FLOOR AREA 66.14M^2, THIRD FLOOR AREA 57.41M

Proposed

NO CHANGE

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

EXISTING NORTH SIDE YARD - 0.15M
EXISTING SOUTH SIDE YARD - 0.81M
FRONT YARD SETBACK - 1.52M
REAR YARD SETBACK - 11.45M

Proposed:

NO CHANGE

13. Date of acquisition of subject lands: OCT 6 BIR 10, 2024
14. Date of construction of all buildings and structures on subject lands: MORE THAN 50 YEARS
15. Existing uses of the subject property (single family, duplex, retail, factory etc.): SINGLE - FAMILY
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.): SINGLE - FAMILY
17. Length of time the existing uses of the subject property have continued: MORE THAN 50 YEARS
18. Municipal services available: (check the appropriate space or spaces)
 Water _____ Connected
 Sanitary Sewer _____ Connected
 Storm Sewers _____
19. Present Official Plan/Secondary Plan provisions applying to the land: RESIDENTIAL
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land: "D" DISTRICT
21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance) Yes No
 If yes, please provide the file number: _____
- 21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired? Yes No
- 21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*? Yes No
23. Additional Information (please include separate sheet if needed)

24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.

PART 25 AFFIDAVIT OR SWORN DECLARATION

This declaration to be sworn by a Commissioner of Oaths.

I, OMRIS TANA of the CITY of HAMILTON
in the PROVINCE of ONTARIO solemnly declare that:

All of the above statements are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.


Declared before me at the


at the CITY of HAMILTON

in the PROVINCE

of ONTARIO

this 7th day of MARCH A.D. 2022


Applicant OMRIS TANA



A Commissioner, etc.

PART 26 OWNERS AUTHORIZATION

As of the date of this application, I (NAME) OMRIS TANA am the PRESIDENT OF registered Owner(s) of the lands described in this application, and I have examined the contents of this application and hereby certify that the information submitted with the application is correct insofar as I have knowledge of these facts, and I hereby authorize:

MICHAEL P. SABELL of HAMILTON

to act as my agent in this matter and to provide any of my personal information that will be included in this application or collected during the processing of the application.

DATE MARCH 7, 2022 SIGNED  OMRIS TANA

PART 27 CONSENT OF THE OWNER


Complete the consent of the owner concerning personal information set out below.

Consent of Owner to the Disclosure of Application Information and Supporting Documentation

Application information is collected under the authority of the Planning Act, R.S.O. 1990, c. P.13. In accordance with that Act, it is the policy of the City of Hamilton to provide public access to all Planning Act applications and supporting documentation submitted to the City.

I, OMRIS TANA, the Owner(s), hereby agree and acknowledge
(Print name of Owner(s))

that the information contained in this application and any documentation, including reports, studies and drawings, provided in support of the application, by myself, my agents, consultants and solicitors, constitutes public information and will become part of the public record. As such, and in accordance with the provisions of the Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, c. M.56, I hereby consent to the City of Hamilton making this application and its supporting documentation available to the general public, including copying and disclosing the application and its supporting documentation to any third party upon their request.

Date MARCH 7, 2022 
Signature of Owner(s) OMRIS TANA

PART 28 PERMISSION TO ENTER


Date: MARCH 7/2022

Secretary/Treasurer
Committee of Adjustment
City of Hamilton,
City Hall

Dear Secretary/Treasurer;
Re: Application to Committee of Adjustment

Location of Land: 28 ARTHUR STREET NORTH
(Municipal address)

I hereby authorize the members of the Committee of Adjustment and members of the staff of the City of Hamilton to enter on to the above-noted property for the limited purposes of evaluating the merits of this application.

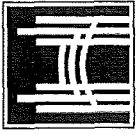

Signature of Owner or Authorized agent
CHRIS TARA

Please print name

Note: The Committee of Adjustment requires that all properties be identified with the municipal address clearly visible from the street. Where there is no municipal address or the property is vacant then the property shall be identified in accordance with the Committee's policy included on the back of the Application Form. Failure to properly identify the subject property may result in the deferral of the application.

PART 29 COLLECTION OF INFORMATION

The personal information contained on this form is collected under the authority of the *Planning Act*, R.S.O. 1990, c. P.13, and will be used for the purpose of processing the application. This information will become part of the public record and will be made available to the general public. Questions about the collection of this information should be directed to the Coordinator of Business Facilitation, Planning and Economic Development Department, City of Hamilton, 1st floor, 71 Main Street West, City Hall, Hamilton, Ontario, Telephone: 905-546-2424, ext.1284.



Hamilton

Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

CITY OF HAMILTON

COST ACKNOWLEDGEMENT AGREEMENT

This Agreement made this 7th day of MARCH, 20 22.

BETWEEN: TANA DEVELOPMENT GROUP INC

Applicant's name(s) hereinafter referred to as the "Developer"

-and-

City of Hamilton hereinafter referred to as the "City"

WHEREAS the Developer represents that he/she is the registered owner of the lands described in Schedule "A" attached hereto, and which lands are hereinafter referred to as the "lands";

AND WHEREAS the Developer has filed for an application for a (circle applicable) consent/rezoning/official plan amendment/subdivision approval/minor variance.

AND WHEREAS it is a policy of the City that any City costs associated with an appeal to the Ontario Land Tribunal, by a party other than the Developer, of an approval of a consent, rezoning, official plan amendment, plan of subdivision, and/or minor variance, such as, but not limited to, legal counsel costs, professional consultant costs and City staff costs, shall be paid by the Developer.

NOW THEREFORE THIS AGREEMENT WITNESSETH that in consideration of the sum of two dollars (\$2.00) now paid by the City to the Developer, the receipt of which is hereby acknowledged, the parties hereto agree as follows:

1. In this Agreement:
 - (a) "application" means the application(s) for a (circle applicable) consent/rezoning/official plan amendment/subdivision approval or minor variance dated _____ with respect to the lands described in Schedule "A" hereto.
 - (b) "Expenses" means all expenses incurred by the City if the application is: (a) approved by the City; (b) appealed to the Ontario Land Tribunal by a party other than the developer; and (c) the City appears before the Ontario Land Tribunal or any other tribunal or Court in support of the application, including but not limited to: City staff time, City staff travel expenses and meals, City disbursements, legal counsel fees and disbursements and all consultant fees and disbursements including, without limiting the generality of the foregoing planning, engineering or other professional expenses
2. The City agrees to process the application and, where the application is approved by the City but appealed to the Ontario Land Tribunal by a party other than the Developer, the Developer shall file an initial deposit, in the form of certified cheque or cash with the General Manager, Finance & Corporate Services within fifteen days of the date of the appeal of the application by a third party in the amount of 50% of the estimated expenses associated with the appeal as estimated by the City Solicitor in his sole discretion which shall be credited against the Expenses.

3. It is hereby acknowledged that if the deposit required pursuant to section 2 of this Agreement is not paid by the Developer the City shall have the option, at its sole discretion, of taking no further steps in supporting the Developer's application before the Ontario Land Tribunal.
4. It is hereby acknowledged that all expenses shall be paid for by the Developer. The Developer shall reimburse the City for all expenses the City may be put to in respect of the application upon demand.
5. It is hereby acknowledged and agreed that all expenses shall be payable by the Developer whether or not the Developer is successful before the Ontario Land Tribunal or any other tribunal or Court in obtaining approval for their application.
6. The City shall provide the Developer with copies of all invoices of external legal counsel or consultants included in the expenses claimed by the City.
7. The City shall provide the Developer with an accounting of all staff costs and City disbursements included in the expenses claimed by the City.
8. The City may, at any time, draw upon the funds deposited in accordance with sections 2 and 9 of this Agreement to satisfy expenses incurred pursuant to the appeal of the application.
9. In the event that the amount deposited pursuant to section 2 of this Agreement is reduced to less than 10% of the initial deposit, the City may halt all work in respect of the appeal of the application until the Developer deposits with the City a sum sufficient to increase the deposit to an amount which is equal to 100% of the expenses estimated pursuant to paragraph 2 of this Agreement and still to be incurred by the City.
10. Within 60 days of: (a) a decision being rendering in respect of the appeal or any legal proceedings resulting from the decision, whichever is later; or (b) the termination of all legal proceedings in respect of the application, the City shall prepare and submit a final account to the Developer. If there are any deposit funds remaining with the City they shall be applied against the account. Any amount owing in respect of the final account in excess of deposit funds shall be paid by the Developer within 30 days of the date of the final account. If any deposit funds are remaining after the final account has been paid they shall be returned to the developer within 30 days of the date of the final account.
11. This Agreement shall not be construed as acceptance of the application and nothing herein shall require or be deemed to require the City to approve the application.
12. This Agreement shall not stand in lieu of or prejudice the rights of the City to require such further and other agreements in respect of the application that the City may deem necessary.
13. Every term, covenant, obligation and condition in this Agreement ensures to the benefit of and is binding upon the parties hereto and their respective heirs, executors, administrators, successors, trustees and assigns.
14. When the context so requires or permits, the singular number is to be read as if the plural were expressed, and the masculine gender as if the feminine, as the case may be, were expressed; and,
15. This Agreement and the schedules hereto constitute the entire agreement between the parties in respect of the subject matter contained herein and is not subject to, or in addition to, any other agreements, warranties or understandings, whether written, oral or implied. This Agreement may not be modified or amended except by instrument in writing signed by the Developer and the City, and,
16. The waiver or acquiescence by the City of any default by the Developer under any obligation to comply with this Agreement shall not be deemed to be a waiver of that obligation or any subsequent or other default under this Agreement.

17. The Developer covenants and agrees to be bound by the terms and conditions of this Agreement and not to seek a release from the provisions thereof until such time as the Developer's obligations hereunder have been assumed by its successor, assignee or transferee by way of written agreement in the form set out in Schedule "B" to this Agreement.

IN WITNESS WHEREOF the parties hereto have set their corporate seals under the hands of their duly authorized officers.

DATED at Hamilton this 7th day of MARCH, 2022.

TOHA DEVELOPMENT GROUP INC.

WITNESS

Per: PERAMJIT TOHA, PRES

I have authority to bind the corporation.

WITNESS

Per: _____

I have authority to bind the corporation

DATED at Hamilton, Ontario this ___ day of ___, 20__.

City of Hamilton

Per: _____

Mayor

Per: _____

Clerk

Schedule "A"
Description of Lands

SIGNED, SEALED AND DELIVERED

Omke Tahga c/s

Owner:

Title:

I have authority to bind the corporation

~~[Signature]~~ c/s

~~Assignee:~~

~~Title:~~

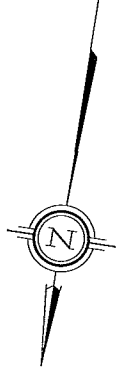
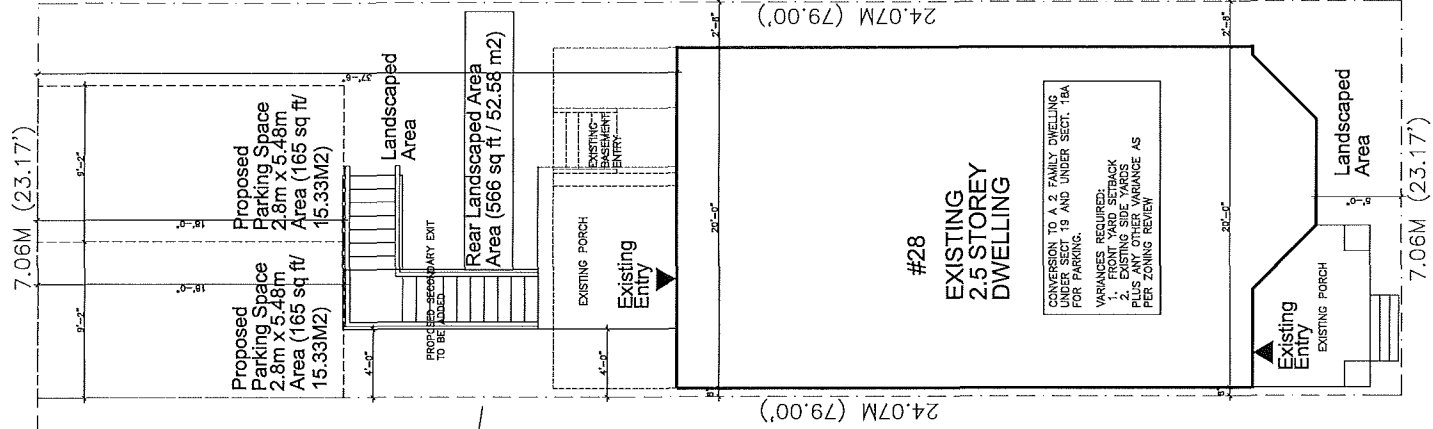
~~I have authority to bind the corporation~~

CITY OF HAMILTON

Mayor

Clerk

Existing Alleyway



SITE STATISTICS

MUNICIPAL ADDRESS
28 ARTHUR ST. N.
HAMILTON, ONT.

BUILDING CLASSIFICATION
RESIDENTIAL

ZONING
RESIDENTIAL - 19 DISTRICT
REQUIREMENTS
MIN. SIDE YARDS 1.2 M (3.94')
MIN. FRONT YARD 5.0 M (16.40')
MIN. REAR YARD 7.5 M (24.61')

EXISTING YARDS AT DWELLING
SIDE YARD (LEFT) 0.15 M (0') -EXISTING
SIDE YARD (RIGHT) 0.81 M (2'-8") -EXISTING
FRONT YARD 1.52 M (5'-0") -EXISTING
REAR YARD 11.45 M (37'-7") -EXISTING

LOT AREA
17219 M2 (1663 SQ FT)

FRONT YARD - CLAUSE 19(1)(V)
DRIVEWAY TO REAR 100.89 M2 (1088 SQ FT)

SECTION 19 CONVERSION REQUIREMENTS
MIN LOT WIDTH REQUIRED 16.0M (59.05') - EXISTING 23'-0" (7.01M)
19(1) - Req'd min unit 65m2 : Provided 66.15m2 /123.8m2
19(1) - 540m2 min req'd lot area - EXIST 172.15m2 (1853 SQ FT)

SECTION 19(1)(V) RESIDENTIAL CONVERSION REQUIREMENTS (02-201)

(1) each dwelling unit has a floor area of at least 65 square metres (696.65 square feet), contained within the unit and having a minimum of one bedroom, one bathroom, one kitchen, one living room, one porch, veranda or other such space which cannot lawfully be used as living quarters; (16-07)

(2) The applicable zoning district regulations for a single family detached dwelling shall apply, except the minimum lot area shall be 270m2;

(3) except as permitted in clause (4), the external appearance and character of the dwelling shall be preserved;

(4) there shall be no outside alleyway other than an exterior walk;

(5) parking spaces, storage (including motorcycle) spaces shall be provided in accordance with Section 6.9.4, except that parking for any one of the dwelling units may be provided in accordance with the following specific provisions:

NOTE:
THIS PLOT PLAN IS NOT A SURVEY. UNIQUE DESIGNS INC. DOES NOT CLAIM TO MAKE ANY GUARANTEE OR WARRANTY FOR THIS PLAN. INTENDED FOR THE USE AS A SURVEY, THE DRAWING PRODUCED IS INTENDED TO BE USED AS A PART OF THE PROCESS OF OBTAINING MUNICIPAL DISTANCES AND BUILDING HEIGHT AND THEIR RELATIONSHIP WITH THE INTENDED USE OF THE BUILDING. THE SITE SETBACKS MAY NEED TO BE PROVIDED BY A QUALIFIED SURVEYOR AND SURVEYOR.

NOTE:
ALL PROPOSED RAIN WATER LEADERS TO EXISTING SWALES OR ADJACENT PROPERTIES OR WALKWAYS OR DRIVEWAYS.

NOTE:
ALL SETBACKS SHOWN ON THIS PLOT PLAN ARE REFERRED TO AS PROVIDED BY ZONING AND FIELD MEASUREMENTS.

ARTHUR ST N.
PLOT PLAN

DO NOT SCALE DRAWINGS

The undersigned has reviewed and takes responsibility for this design and meets the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Section 3.2.2.1 of the Building Code

WALID FORTUNAID
Name Signature 15064 BCN

REGISTRATION INFORMATION
Required unless design is exempt under Div.4, Article 3.2.4.1 of the Building Code

UNIQUE DESIGNS INC
Firm Name 31090 BCN

**PROPOSED
2 FAMILY DWELLING**
28 ARTHUR ST. N.
HAMILTON, ONT.

UNIQUE DESIGNS INC.
UNIQUE DESIGNS INC.

PLOT PLAN

NO.	DATE	ISSUED FOR PERMIT
1.	02.15.22	
2.		
3.		
4.		
5.		
6.		

THESE DRAWINGS ARE NOT TO BE USED FOR ANY OTHER PURPOSES AND EVERYONE USING THESE DRAWINGS SHALL BE RESPONSIBLE FOR THE DESIGNER BEFORE PROCEEDING WITH THE WORK.

THE USE OF THIS DRAWING OR PART THEREOF IS FORBIDDEN WITHOUT THE WRITTEN APPROVAL OF THE DESIGNER.

STRUCTURAL NOTES

- ALL MATERIALS AND METHODS OF CONSTRUCTION MUST COMPLY WITH THE LATEST ADDITION OF THE O.B.C. 2012.
- DO NOT SCALE THESE DRAWINGS.
- SUBMIT STRUCTURAL STEEL SHOP DRAWINGS FOR REVIEW BY THE DESIGNER PRIOR TO FABRICATION. MAKE FIELD MEASUREMENTS NECESSARY FOR FABRICATION AND ERECTION.
- THE CONTRACTOR SHALL PROVIDE INSPECTION REPORTS PREPARED BY AN INSPECTION AND TESTING AGENCY ON THE STRUCTURAL STEEL ERECTION AND CONCRETE STRENGTH.
- ALL FOOTING SHALL BEAR ON UNDISTURBED SOL CAPABLE OF SUSTAINING A LOAD OF 4 KPS.
- SPECIFIED 28 DAY CONCRETE STRENGTH IS 20 MPA. ALL CONCRETE EXPOSED TO FREEZE-THAW CYCLES IN A SATURATED CONDITION SHALL BE CLASSIFICATION C-1 TO CSA-A23.1-M90
- REINFORCING STEEL: C30.18M GRADE 400R.
- STRUCTURAL STEEL: CSA C40.21M.
- HSS SECTIONS GRADE 300 CLASS H
- ANCHOR BOLTS GRADE 250W
- PIPE MATERIAL ASTM A53
- OTHER STEEL GRADE 300W
- WELDING TO CONFORM TO CSA W59 AND W47.1
- LOAD BEARING MASONRY MATERIALS:
 - HOLLOW BLOCK CSA A168.1M-H/15/XX
 - SOLID BLOCK CSA A168.1M-S/15/XX
 - BELOW GRADE MORTAR CSA A178.4-TYPE 3
 - ABOVE GRADE MORTAR CSA A178.4-TYPE 1
 - GRAVEL BY VOLUME, 8" SLUMP
 - ALL LUMBER TO BE KILN DRIED, GRADED TO CONFORM TO CSA 0141, SPF NO.2 UNLESS NOTED
- STRUCTURAL LUMBER:
 - C107 - 9.7.2.3
 - C102 - 9.5.3.1
 - C109 - 9.5.1 TO 9.5.4
- SUPPLY JOIST HANGERS TO THE JOIST MANUFACTURER'S SPECIFICATIONS.
- PROVIDE WEB STIFFENERS WHERE T-JOISTS CONNECTED TO USING HANGERS

NOTES:

THESE NOTES COMPLY WITH THE REQUIREMENTS OF THE ONTARIO BUILDING CODE (REG. 2012) UNLESS SPECIFICALLY ALTERED BY MUNICIPALITY HAVING JURISDICTION. IT SHALL BE THE RESPONSIBILITY OF THE BUILDER TO CONFORM WITH THESE SECTIONS WHERE APPLICABLE AND FAMILIARIZE HIMSELF SPECIFICALLY WITH PART 9 OF THE CODE.

ALL STRUCTURAL LUMBER TO BE EASTERN SPRUCE NO.2 CONSTRUCTION GRADE, UNLESS OTHERWISE NOTED. SIZES ARE DETERMINED FROM SPAN OFF TABLES OF THE BUILDING CODE - ONTARIO REG. 413/97

ALL WINDOWS ARE DOUBLE GLAZED OR THERMOPLANE

ALL WINDOW HEADS TO BE 6"-10" (OR 7"-10") ABOVE FIN. FLOOR OR TO MATCH DOOR HEAD FRAMING HEIGHTS

ALL EXTERIOR DOORS, IF WOOD TO HAVE STORM DOORS OR TO BE OF METAL INSULATED TYPE.

ALL TIMBER TO BE SUPPORTED MIN 6" ABOVE FIN. GRADE UNLESS PRESSURE TREATED AGAINST TERMITES

REMOVE WOOD DEBRIS OR VEGETABLE MATTER FROM BACKFILL

IT SHALL BE THE RESPONSIBILITY OF THE BUILDER TO HAVE ALL GRADES AND SERVICES CHECKED AND VERIFIED GRADING AND SERVICES ENGINEER

FOUNDATION WALLS TO BE CONSTRUCTED TO A MIN 6" ABOVE APPROVED GRADES AT HOUSE

PROPOSED GRADE LINE AS INDICATED ARE FOR REFERENCE ONLY AND DO NOT NECESSARILY DEPICT FINISHED GRADING CONDITIONS OF ANY PARTICULAR LOT

NOTE: ALL INTERIOR DIMENSIONS SHOWN ARE FIELD MEASURED AND ARE ALL +, - VERIFY ON SITE PRIOR TO CONSTRUCTION.

NOTE: ALL EXISTING ROOM SIZES, DIMENSIONS TO BE VERIFIED BY THE OWNER CONTRACTOR, BUILDER PRIOR TO AND DURING CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE OWNER, CONTRACTOR, BUILDER TO FIELD VERIFY ALL EXISTING DIMENSIONS BEFORE ORDERING ANY MATERIALS.

NOTE: CONTRACTOR / BUILDER / OWNER TO BE CAREFUL WHEN CUTTING OUT NEW WINDOWS/OPENINGS. ENSURE PROPER SUPPORTS ARE IN PLACE DURING DEMOLITION PHASE.

NOTE: PENETRATIONS OF FIRE SEPARATIONS AS PER O.B.C. 9.10.8.6

NOTE: PROVIDE FIRE STOPPING IN JOIST SPACE AS REQUIRED, AS PER O.B.C. 3.1.11

NOTE: PROVIDE FIRE DAMPERS AS PER O.B.C. 3.1.8.7 AND AS PER O.B.C. 3.1.8.9

NOTE: EXISTING NON-LOAD BRG PARTITION WALL TO BE REMOVED

NOTE: NEW INTERIOR PARTITION WALL

CLEAR SPAN	LINTEL SIZE	
	BRICK	STONE
2'-6"	L 3"x3"x1/4"	L 4"x3"x1/4"
3'-11"	L 3 1/2"x3 1/2"x1/4"	L 5"x3 1/2"x5/8"
4'-11"	L 3 1/2"x3 1/2"x5/8"	L 5"x3 1/2"x5/8"
6'-11"	L 4"x3 1/2"x5/8"	L 5"x3 1/2"x5/8"
8'-11"	L 5"x3 1/2"x5/8"	L 5"x3 1/2"x5/8"
7'-10"	L 5"x3 1/2"x5/8"	L 5"x3 1/2"x5/8"
8'-10"	L 5"x3 1/2"x3/8"	L 5"x3 1/2"x3/8"
8'-10"	L 6"x4"x3/8"	L 5"x3 1/2"x2"

STEEL LINTELS SHOWN IN ABOVE CHART SHALL HAVE EYEB AND LEVEL BEARING AND SHALL HAVE NOT LESS THAN 6" LENGTH OF BEARING

NOTE: OWNER TO VERIFY EXISTING MECH. AND ELECTRICAL PANEL MEETS OR EXCEEDS REQUIREMENTS OF THE O.B.C. AN INDEPENDENT QUALIFIED PERSON SHALL DETERMINE IF EXISTING MECH./ELECT. SERVICES MEETS THE REQUIRED INTENT OF THE USE TO BE PROVIDED.

NOTE: FIRE PROTECTION RATING (FPR) OF THE FIRE DAMPERS AT HVAC PENETRATIONS MUST SUIT THE FPR OF THE PROTECTED ASSEMBLY OR, A DUCT-MOUNTED SMOKE DETECTOR MUST BE IN THE RETURN AIR DROP OF THE FURNACE.

NOTE: 9.5.7.1(1) - EXCEPT AS PROVIDED IN ARTICLES 9.5.7.2, AND 9.5.7.3, BEDROOMS IN DWELLING UNITS SHALL HAVE AN AREA NOT LESS THAN 7m² WHERE BUILT-IN CABINETS ARE NOT PROVIDED AND NOT LESS THAN 6m² WHERE BUILT-IN CABINETS ARE PROVIDED.

C107 - 9.7.2.3

(c) Where windows are not used as a means of egress and where they do not conflict with ventilation requirements, the minimum glass area as shown in Table 9.7.2.3, may be reduced by 50%, and

(b) an existing room converted to an interior room, created by an addition, shall not require a window, provided there is an opening in a dividing wall occupying not less than 30% of the separating plane to an adjoining room, where the adjoining room has a minimum of 5% window area of the combined floor area, and provided the required ventilation for the combined room is maintained.

C102 - 9.5.3.1

In detached houses, semi-detached houses, townhouses and row houses containing not more than two dwelling units,

(a) minimum room height shall not be less than 1 800 mm over the required floor area and in any location that would normally be used as a means of egress, or

(b) minimum room height shall not be less than 2 030 mm over at least 50% of the required floor area, provided that any part of the floor having a clear height of less than 1 400 mm shall not be considered in computing the required floor area.

C109 - 9.5.1 TO 9.5.4

Replacement or extension of existing stair systems shall be exempt from the provisions of these Subsections, except that they shall have:

(a) a minimum width between wall faces of 700 mm, and

(b) a minimum clear height over tread nosing or landing of 1 800 mm.

C167 - 9.10.13.13(1)

Except as permitted in C.A. C168, in a building containing not more than four dwelling units, the existing heating or air-conditioning system may be altered to serve more than one dwelling unit, provided smoke alarms are installed in each dwelling unit and provided a smoke detector is installed in the supply or return air duct system serving the entire building which would turn off the fuel supply and electrical power to the heating system to upon activation of such detector.

9.5.5. Dining Rooms or Spaces within Dwelling Units

9.5.5.1. Area of Dining Rooms or Spaces (1) A dining space in combination with other space shall have an area of not less than 3.25 m² (2) Dining rooms not combined with other space shall have a minimum area of 7 m².

9.5.6. Kitchens within Dwelling Units

9.5.6.1. Kitchen Area (1) Kitchen areas within dwelling units either separate from or in combination with other space, shall have an area of not less than 4.2 m² including the area occupied by the base cabinets, except that in dwelling units containing sleeping accommodation for not more than two persons, the minimum area shall be 3.7 m².

C136 - 9.9.9

In detached houses, semi-detached houses, townhouses and row houses containing not more than two dwelling units, exit requirements are acceptable if at least one of the following conditions exists:

(a) a door, including a sliding door, that opens directly to the exterior from a dwelling unit, serves only that dwelling unit and has reasonable access to ground level, and the dwelling units are equipped with smoke alarms installed in conformance with Subsection 9.10.19,

C147 - 9.10.8.1, 9.10.8.3, 9.10.8.8(a)

Except as provided in (b) and (c), 30 min rating is acceptable.

(b) In detached houses, semi-detached houses, townhouses and row houses containing not more than two dwelling units, 15 min horizontal fire separation is acceptable where,

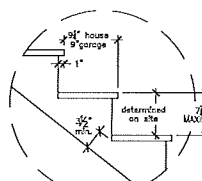
(i) smoke alarms are installed in every dwelling unit and in common areas in conformance with Subsection 9.10.19, and

(ii) smoke alarms are interconnected.

(c) In detached houses, semi-detached houses, townhouses and row houses containing not more than two dwelling units, the fire resistance rating of the fire separation is waived where the building is sprinklered.

C167 - 9.10.13.13(1)

Except as permitted in C.A. C168, in a building containing not more than four dwelling units, the existing heating or air-conditioning system may be altered to serve more than one dwelling unit, provided smoke alarms are installed in each dwelling unit and provided a smoke detector is installed in the supply or return air duct system serving the entire building which would turn off the fuel supply and electrical power to the heating system to upon activation of such detector.



SECTON NINETEEN
RESIDENTIAL CONVERSION REQUIREMENTS (92-281)

(i) each dwelling unit has a floor area of at least 65 square metres (699.65 square feet), contained within the unit and having a minimum clear height of 2.1 m (6.9 ft), but excluding the area of any porch, veranda or other such space which cannot lawfully be used as living quarters; (15-071)

(ii) the applicable zoning district regulations for a single family detached dwelling shall apply, except the minimum lot area shall be 270m²;

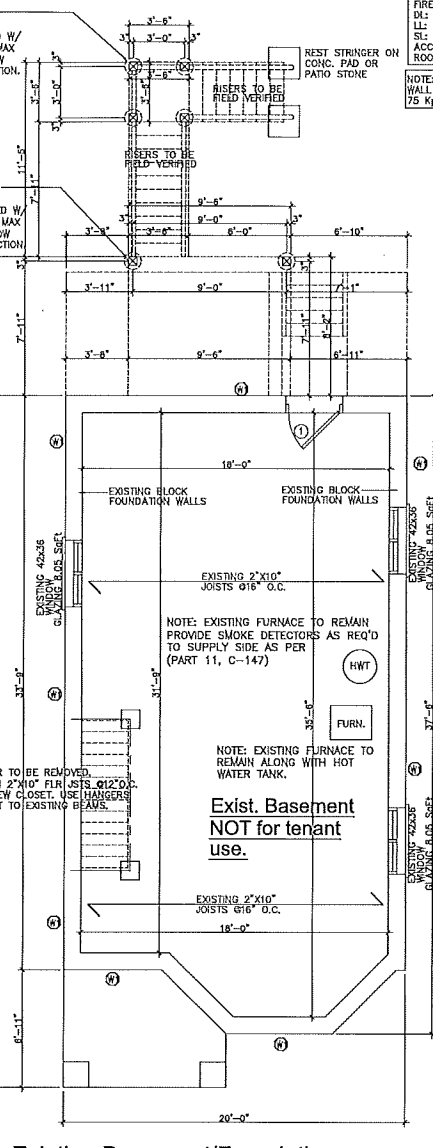
(iii) except as permitted in clause (iv), the external appearance and character of the dwelling shall be preserved;

(iv) there shall be no outside stokey other than on exterior exit;

(v) parking spaces, access driveways and manoeuvring space shall be provided in accordance with Section 16A, except that parking for only one of the dwelling units may be provided in accordance with the following special provisions:

ALL POST FOOTING TO BE: 8" DIA PERS W/ 4-16M VERTICAL BARS TIED W/ 10M STRIRUPS @12" O.C. MAX -FT'S TO BE 4'-0" BELOW GRADE FOR FROST PROTECTION. (AT MID LANDING)

ALL POST FOOTING TO BE: 12" DIA PERS W/ 4-16M VERTICAL BARS TIED W/ 10M STRIRUPS @12" O.C. MAX -FT'S TO BE 4'-0" BELOW GRADE FOR FROST PROTECTION



Existing Basement/Foundation

All windows are existing
All alterations as marked

NOTE: ALL SMOKE ALARMS TO BE INTERCONNECTED WITHIN DWELLING UNIT TO EACH OTHER

WALL TYPE SCHEDULE

- EXISTING DBLE BRICK EXT. WALL OR EXIST. PARTITION WALLS
- ENTRY PARTITION - W4a SB-3, W4a (1HR F.R.R.) STC-61 - 2"x4" STUDS @16" O.C. - 89MM THICK ABSORPTIVE MATERIAL - RESIDENTIAL METAL CHANNELS @16" O.C. - 1" LAYER 15.9MM TYPE "X" GYPSUM EA. SIDE
- NEW EXTERIOR WALL - S10a SB-3, S10a (1HR F.R.R.) STC 38 ALUMINUM SIDING 7/16.9mm TYPE "X" GYPSUM BOARD STRUCTURAL SHEATHING AS REQUIRED 2"x6" WOOD STUDS @16" O.C. 5 MIL POLY V.B.
- 1/2" DRYWALL
- EXISTING NON-LOAD BRG PARTITION WALL TO BE REMOVED
- NEW INTERIOR PARTITION WALL 1/2" DRYWALL 2"x4" WOOD STUDS @16" O.C. 1/2" DRYWALL

DOOR SCHEDULE

- EXISTING DOORS TO BE REPLACED, SAME SIZE SAME LOCATION
- 24" STEEL DOOR
- 28" WOOD DOOR
- 30" WOOD DOOR
- 36" STEEL DOOR

FIRE ESCAPE LOADING:
DL: 10 PSF
LL: 100 PSF
SL: 26.7 PSF
ACCUMULATED SNOW LOAD FROM ROOF INCLUDED IN DESIGN.

NOTE: EXISTING FOOTINGS AND FOUNDATION WALL SOIL BEARING CAPACITY IS ASSUMED AT 75 Kps OR GREATER.

NOTE: PENETRATIONS OF FIRE SEPARATIONS AS PER O.B.C. 9.10.8.6

NOTE: PROVIDE FIRE STOPPING IN JOIST SPACE AS REQUIRED, AS PER O.B.C. 3.1.11

NOTE: PROVIDE FIRE DAMPERS AS PER O.B.C. 3.1.8.7 AND AS PER O.B.C. 3.1.8.9

NOTE: EXISTING NON-LOAD BRG PARTITION WALL TO BE REMOVED

NOTE: NEW INTERIOR PARTITION WALL

NOTE: STAIR TO BE REMOVED. FILL IN WITH 2"x10" FLR JOISTS @12" O.C. TO MAKE NEW CLOSET. USE HANGERS TO CONNECT TO EXISTING BEAMS. (TYPICAL)

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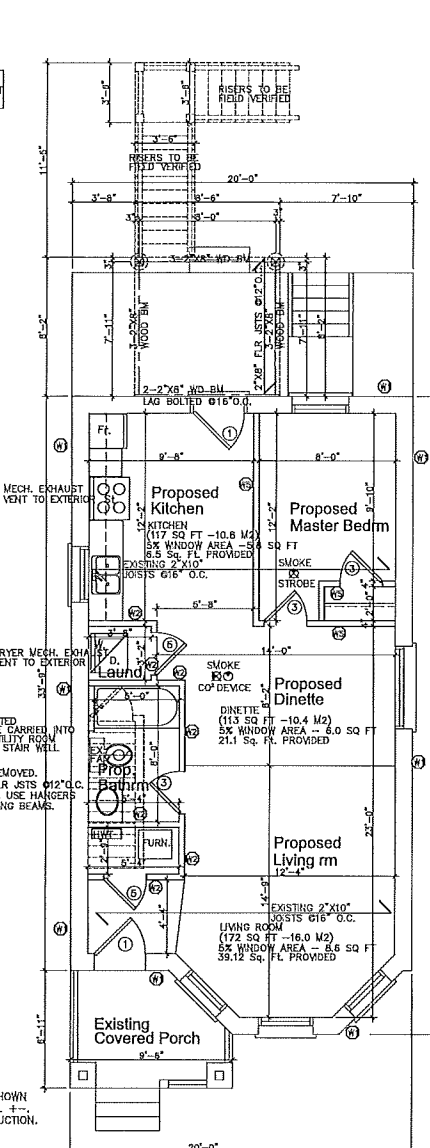
NOTE: EXISTING FURNACE TO REMAIN ALONG WITH HOT WATER TANK.

NOTE: EXISTING FURNACE TO REMAIN ALONG WITH HOT WATER TANK.

NOTE: EXISTING FURNACE TO REMAIN ALONG WITH HOT WATER TANK.

COLUMN SCHEDULE	
COL. 1=	3-2x4
COL. 2=	4-2x4
COL. 3=	2-2x6
COL. 4=	3-2x6
COL. 5=	4-2x6

NOTE: ALL INTERIOR DIMENSIONS SHOWN ARE FIELD MEASURED AND ARE ALL +, - VERIFY ON SITE PRIOR TO CONSTRUCTION.



Ground Floor Plan

All windows are existing
All alterations as marked

NOTE: ALL WALLS ABOVE GRADE TO BE INSULATED W/ R2 Batts

Apartment 1

1 BEDROOM
712.00 sq. ft.
(9'-0" CLG. HT.)

NOTE: ALL WALLS ABOVE GRADE TO BE INSULATED W/ R2 Batts

9.5.7.2. Area of Master Bedrooms (1) Except as provided in Article 9.5.7.3, at least one bedroom in every dwelling unit shall have an area of not less than 9.8 m² where built-in cabinets are not provided and not less than 8.8 m² where built-in cabinets are provided.

USE ONLY WHERE "LVL'S" ARE NOT SPECIFIED

WOOD LANTER LEGS	FOR WOOD OPENINGS:
44" OR LESS USE 2"x2"x8"	66" OR LESS USE 2"x2"x10"
66" OR LESS USE 2"x2"x12"	88" OR LESS USE 2"x2"x12"

PROVIDE INSUL. BETWEEN HEADERS IF POSSIBLE

GENERAL NOTES:
SMOKE ALARMS -
NOTE ALL SMOKE ALARMS
WITH-IN A SINGLE DWELLING UNIT
SHALL BE INTERCONNECTED.
EXTERIOR FINISH MATERIAL

FLOOR PLAN DIMENSIONS:
ALL DIMENSIONS ON FLOOR PLANS
WITH-IN A SINGLE DWELLING UNIT
ARE FROM NOMINAL STUD FACE TO
NOMINAL STUD FACE OR FACE OF
EXTERIOR FINISH MATERIAL

DESIGNER: UNIQUE DESIGNS INC. 31000 BCL
DATE: 02.15.22
JOB NUMBER: 011822

THESE DRAWINGS ARE NOT TO BE SCALED. CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH THE WORK. THE USE OF THESE DRAWINGS OR PART THEREOF IS FORBIDDEN WITHOUT THE WRITTEN APPROVAL OF THE DESIGNER.

NO.	DATE	ISSUED FOR PERMIT
1	02.15.22	ISSUED FOR PERMIT
2		
3		
4		
5		
6		

UNIQUE DESIGNS INC.
28 ARTHUR ST. N.
HAMILTON, ONT

FLOOR PLANS, NOTES

PROPOSED
2 FAMILY DWELLING

28 ARTHUR ST. N.
HAMILTON, ONT

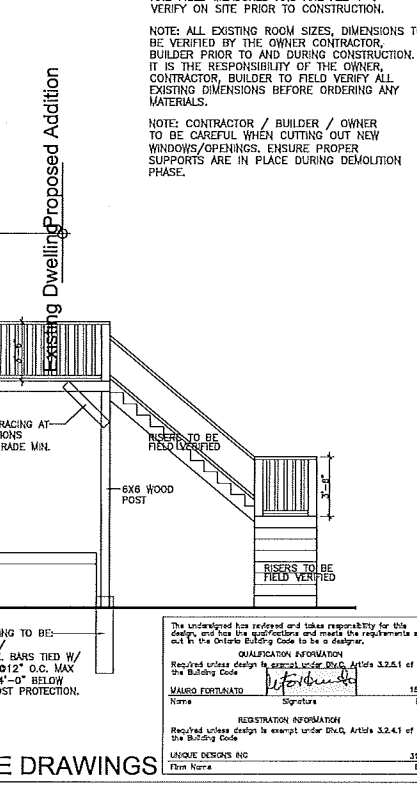
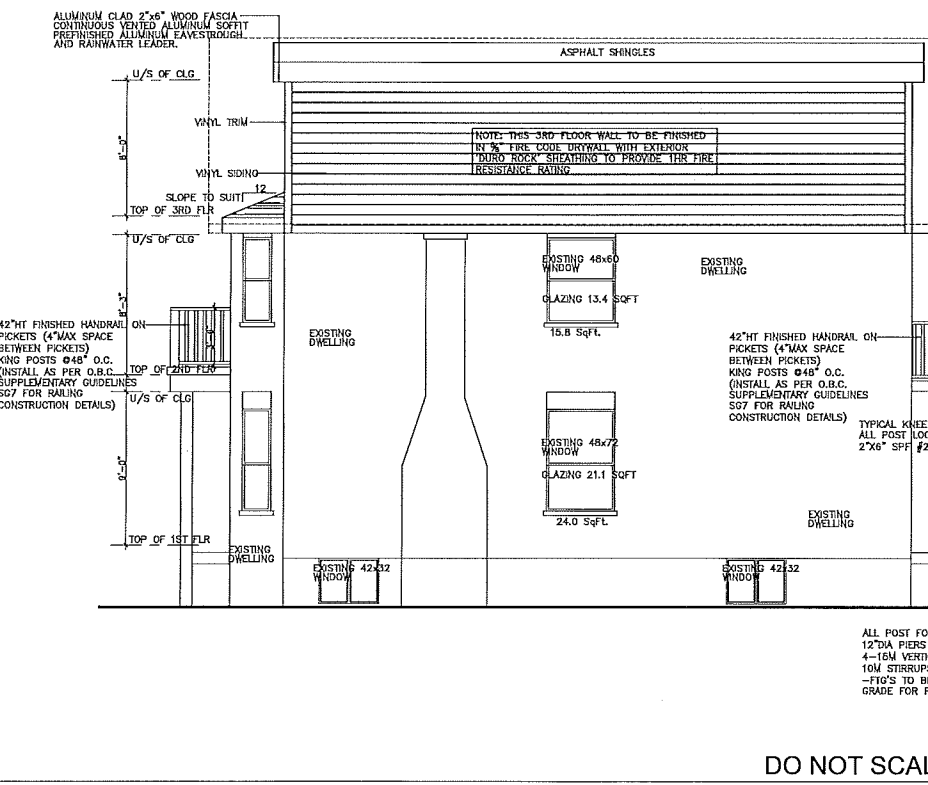
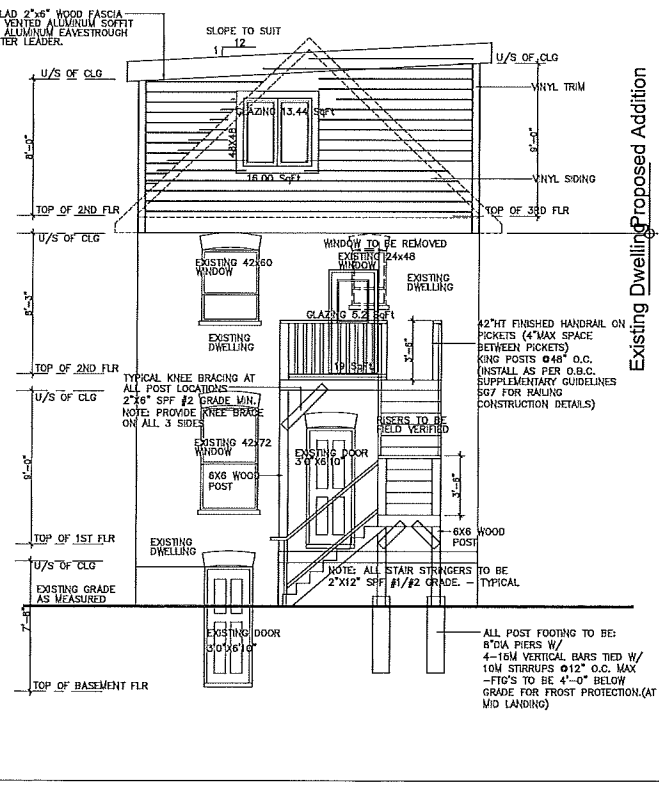
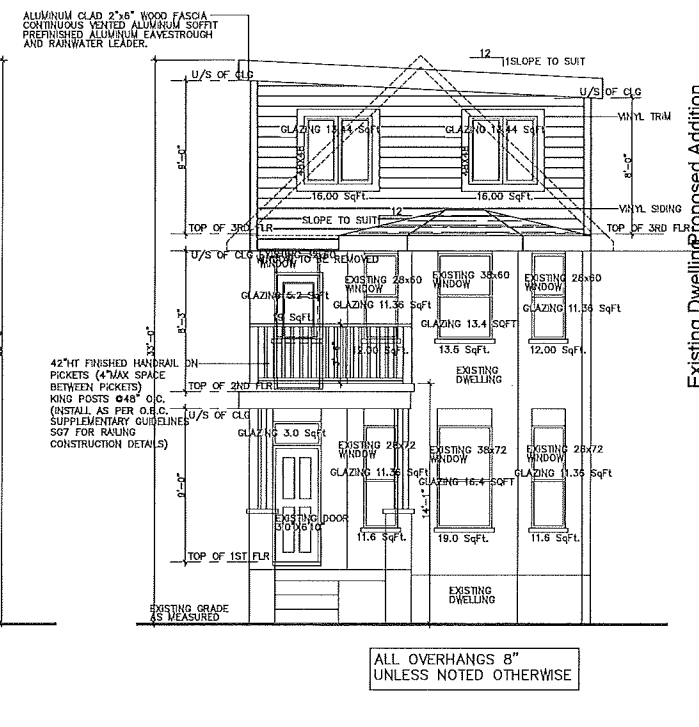
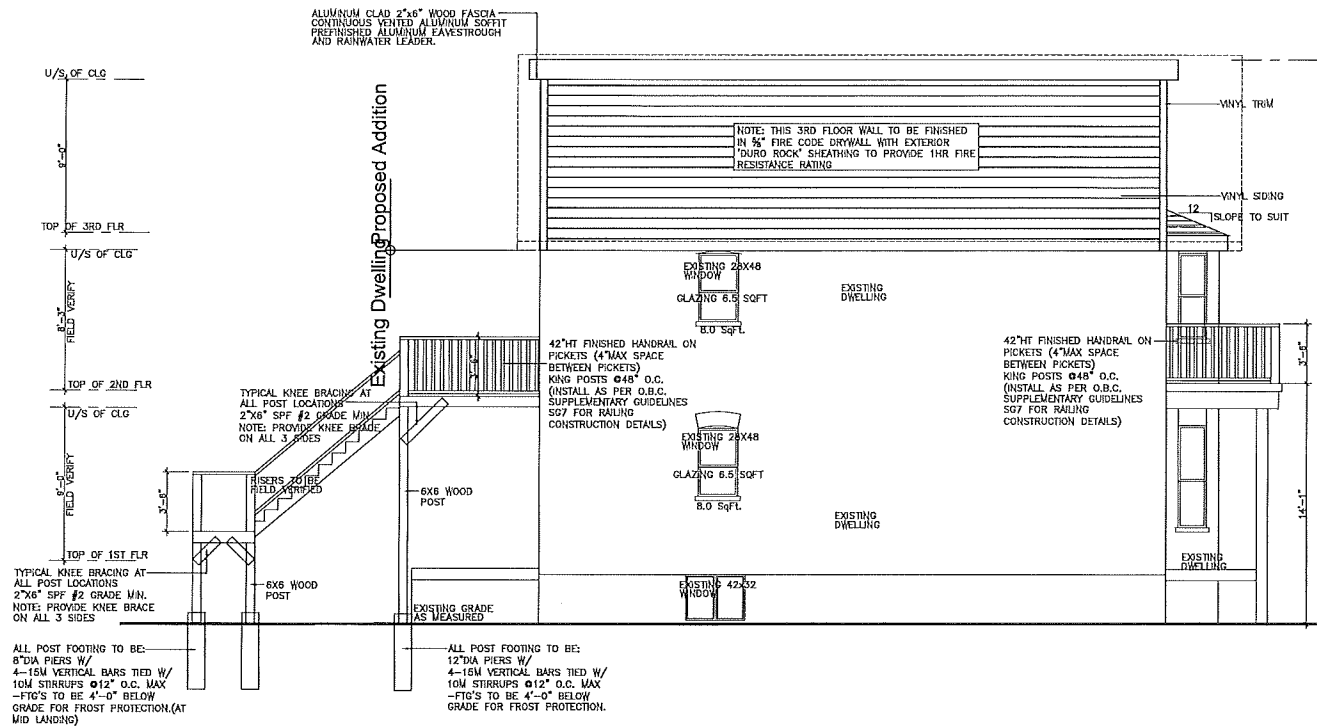
Scale: 1/4"=1'-0"

Date: 02.15.22

Job Number: 011822

UNIQUE DESIGNS INC. 31000 BCL

DO NOT SCALE DRAWINGS



The undersigned has reviewed and taken responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
 Required unless design is exempt under Article 3.2.2.1.1 of the Building Code
 MAURO FORTIATO *Mauro Fortiato* 15034
 Name Signature BCG

REGISTRATION INFORMATION
 Required unless design is exempt under Article 3.2.4.1 of the Building Code
 UNIQUE DESIGNS INC 31000
 Firm Name BCG

UNIQUE DESIGNS INC.		ELEVATIONS	
PROPOSED 2 FAMILY DWELLING			
28 ARTHUR ST. N. HAMILTON, ONT			
Drawn By	Scale	Date	Job Number
	1/4"=1'-0"	02.15.22	011822
A1			

DO NOT SCALE DRAWINGS

STRUCTURAL NOTES

- ALL MATERIALS AND METHODS OF CONSTRUCTION MUST COMPLY WITH THE LATEST ADDITION OF THE O.B.C. 2012.
- DO NOT SCALE THESE DRAWINGS.
- SUBMIT STRUCTURAL STEEL SHOP DRAWINGS FOR REVIEW BY THE DESIGNER PRIOR TO FABRICATION. MAKE FIELD MEASUREMENTS NECESSARY FOR FABRICATION AND ERECTION. THE CONTRACTOR SHALL PROVIDE INSPECTION REPORTS PREPARED BY AN INSPECTION AND TESTING AGENCY ON THE STRUCTURAL STEEL ERECTION AND CONCRETE STRENGTH. ALL FOOTING SHALL BEAR ON UNDISTURBED SOIL CAPABLE OF SUSTAINING A LOAD OF 4 KSF.
- SPECIFIED 28 DAY CONCRETE STRENGTH IS 20 MPA. ALL CONCRETE EXPOSED TO FREEZE-THAW CYCLES IN A SATURATED CONDITION SHALL BE CLASSIFICATION C-1 TO CSA-423.1-M90.
- REINFORCING STEEL: G30.18M GRADE 400R.
- STRUCTURAL STEEL CSA G40.21M :
 - HSS SECTIONS GRADE 350W CLASS H
 - ANCHOR BOLTS GRADE 250W
 - PIPE MATERIAL ASTM A53
 - OTHER STEEL GRADE 300W
 - WELDING TO CONFORM TO CSA W59 AND W47.1
- LOAD BEARING MASONRY MATERIALS:
 - HOLLOW BLOCK CSA A165.1M-H/15/X/X
 - SOLID BLOCK CSA A165.1M-S/15/X/X
 - BELOW GRADE MORTAR CSA A179M-TYPE S
 - ABOVE GRADE MORTAR CSA A179M-TYPE N
 - GROUT FOR BLOCK CORES CSA A179M 1:3:2 CEMENT: SAND PEA GRAVEL BY VOLUME, 8" SLUMP
- STRUCTURAL LUMBER:
 - ALL LUMBER TO BE KILN-DRIED, GRADED TO CONFORM TO CSA 0141, SPF NO.2 UNLESS NOTED
- SUPPLY JOIST HANGERS TO THE JOIST MANUFACTURER'S SPECIFICATIONS.
- PROVIDE WEB STIFFENERS WHERE TJI JOISTS CONNECTED
- PROVIDE FIRE PROTECTION WHEN WELDING CLOSE TO USING HANGERS

NOTE: OWNER TO VERIFY EXISTING MECH. AND ELECTRICAL PANEL MEETS OR EXCEEDS REQUIREMENTS OF THE O.B.C. AN INDEPENDENT QUALIFIED PERSON SHALL DETERMINE IF EXISTING MECH./ELECT. SERVICES MEETS THE REQUIRED INTENT OF THE USE TO BE PROVIDED.

NOTE: FIRE PROTECTION RATING (FPR) OF THE FIRE DAMPERS AT HVAC PENETRATIONS MUST SUIT THE FRR OF THE PROTECTED ASSEMBLY OR, A DUCT-MOUNTED SMOKE DETECTOR MUST BE IN THE RETURN AIR DROP OF THE FURNACE.

NOTE: 9.5.7.1.(1) - EXCEPT AS PROVIDED IN ARTICLES 9.5.7.2. AND 9.5.7.3., BEDROOMS IN DWELLING UNITS SHALL HAVE AN AREA NOT LESS THAN 7m² WHERE BUILT-IN CABINETS ARE NOT PROVIDED AND NOT LESS THAN 6m² WHERE BUILT-IN CABINETS ARE PROVIDED.

C107 - 9.7.2.3
 a) Where windows are not used as a means of egress and where they do not conflict with ventilation requirements, the minimum glass areas as shown in Table 9.7.2.3. may be reduced by 50%, and
 (b) an existing room converted to an interior room, created by an addition, shall not require a window, provided there is an opening in a dividing wall occupying not less than 30% of the separating plane to an adjoining room, where the adjoining room has a minimum of 5% window area of the combined floor areas, and provided the required ventilation for the combined room is maintained.

C102 - 9.5.3.1
 In detached houses, semi-detached houses, townhouses and row houses containing not more than two dwelling units,
 (a) minimum room height shall not be less than 1 950 mm over the required floor area and in any location that would normally be used as a means of egress, or
 (b) minimum room height shall not be less than 2 030 mm over at least 50% of the required floor area, provided that any part of the floor having a clear height of less than 1 400 mm shall not be considered in computing the required floor area.

C109 - 9.8.1 to 9.8.4
 Replacement or extension of existing stair systems shall be exempt from the provisions of these Subsections, except that they shall have:
 (a) a minimum width between wall faces of 700 mm, and
 (b) a minimum clear height over tread nosing or landing of 1 800 mm.

9.5.5. Dining Rooms or Spaces within Dwelling Units
 9.5.5.1. Area of Dining Rooms or Spaces (1) A dining space in combination with other space shall have an area of not less than 3.25 m². (2) Dining rooms not combined with other space shall have a minimum area of 7 m².

9.5.6. Kitchens within Dwelling Units
 9.5.6.1. Kitchen Areas (1) Kitchen areas within dwelling units either separate from or in combination with other spaces, shall have an area of not less than 4.2 m² including the area occupied by the base cabinets, except that in dwelling units containing sleeping accommodation for not more than two persons, the minimum area shall be 3.7 m².

C136 - 9.9.9
 In detached houses, semi-detached houses, townhouses and row houses containing not more than two dwelling units, exit requirements are acceptable if at least one of the following conditions exists:
 (a) a door, including a sliding door, that opens directly to the exterior from a dwelling unit, serves only that dwelling unit and has reasonable access to ground level, and the dwelling units are equipped with smoke alarms installed in conformance with Subsection 9.10.19.,
 (b) In detached houses, semi-detached houses, townhouses and row houses containing not more than two dwelling units, 15 min horizontal fire separation is acceptable where,
 (i) smoke alarms are installed in every dwelling unit and in common areas in conformance with Subsection 9.10.19., and
 (ii) smoke alarms are interconnected.
 (c) In detached houses, semi-detached houses, townhouses and row houses containing not more than two dwelling units, the fire-resistance rating of the fire separation is waived where the fire separation is
 (i) a sprinkler.

C147 - 9.10.8.1.; 9.10.8.3.; 9.10.8.8(a)
 Except as provided in (b) and (c), 30 min rating is acceptable.
 (b) In detached houses, semi-detached houses, townhouses and row houses containing not more than two dwelling units, 15 min horizontal fire separation is acceptable where,
 (i) smoke alarms are installed in every dwelling unit and in common areas in conformance with Subsection 9.10.19., and
 (ii) smoke alarms are interconnected.
 (c) In detached houses, semi-detached houses, townhouses and row houses containing not more than two dwelling units, the fire-resistance rating of the fire separation is waived where the fire separation is
 (i) a sprinkler.

C167 - 9.10.13.13(1)
 Except as permitted in C.A. C168, in a building containing not more than four dwelling units, the existing heating or air-conditioning system may be altered to serve more than one dwelling unit, provided smoke alarms are installed in each dwelling unit and provided a smoke detector is installed in the supply or return air duct system serving the entire building which would turn off the fuel supply and electrical power to the heating system upon activation of such detector.

ALL POST FOOTING TO BE:
 8" DIA PIERS W/
 4-15M VERTICAL BARS TIED W/
 10M STIRRUPS @12" O.C. MAX
 -FTG'S TO BE 4'-0" BELOW GRADE FOR FROST PROTECTION. (AT MID LANDING)

ALL POST FOOTING TO BE:
 12" DIA PIERS W/
 4-15M VERTICAL BARS TIED W/
 10M STIRRUPS @12" O.C. MAX
 -FTG'S TO BE 4'-0" BELOW GRADE FOR FROST PROTECTION.

FIRE ESCAPE LOADING:
 DL: 10 PSF
 LL: 100 PSF
 SL: 26.7 PSF
 ACCUMULATED SNOW LOAD FROM ROOF INCLUDED IN DESIGN.

NOTE: EXISTING FOOTINGS AND FOUNDATION WALL SOIL BEARING CAPACITY IS ASSUMED AT 75 Kpa OR GREATER.

NOTES:

THESE NOTES COMPLY WITH THE REQUIREMENTS OF THE ONTARIO BUILDING CODE.(REG. 2012) UNLESS SPECIFICALLY ALTERED BY MUNICIPALITY HAVING JURISDICTION. IT SHALL BE THE RESPONSIBILITY OF THE BUILDER TO CONFORM WITH THESE SECTIONS WHERE APPLICABLE AND FAMILIARIZE HIMSELF SPECIFICALLY WITH PART 9 OF THE CODE
 ALL STRUCTURAL LUMBER TO BE EASTERN SPRUCE NO.2 CONSTRUCTION GRADE, UNLESS OTHERWISE NOTED. SIZES ARE DETERMINED FROM SPAN OFF TABLES OF THE BUILDING CODE.- ONTARIO REG. 413/97
 ALL WINDOWS ARE DOUBLE GLAZED OR THERMOPANE
 ALL WINDOW HEADS TO BE 6"-10"(OR 7"-10") ABOVE FIN. FLOOR OR TO MATCH DOOR HEAD FRAMING HEIGHTS
 ALL EXTERIOR DOORS, IF WOOD TO HAVE STORM DOORS OR TO BE OF METAL INSULATED TYPE.
 ALL TIMBER TO BE SUPPORTED MIN 6" ABOVE FIN. GRADE UNLESS PRESSURE TREATED AGAINST TERMITES
 REMOVE WOOD DEBRIS OR VEGETABLE MATTER FROM BACKFILL

IT SHALL BE THE RESPONSIBILITY OF THE BUILDER TO HAVE ALL GRADES AND SERVICES CHECKED AND VERIFIED GRADING AND SERVICES ENGINEERED

FOUNDATION WALLS TO BE CONSTRUCTED TO A MIN 6" ABOVE APPROVED GRADES AT HOUSE

PROPOSED GRADE LINE AS INDICATED ARE FOR REFERENCE ONLY AND DO NOT NECESSARILY DEPICT FINISHED GRADING CONDITIONS OF ANY PARTICULAR LOT

PROPOSED TWO FAMILY DWELLING

NOTE: ALL INTERIOR DIMENSIONS SHOWN ARE FIELD MEASURED AND ARE ALL +/-, VERIFY ON SITE PRIOR TO CONSTRUCTION.

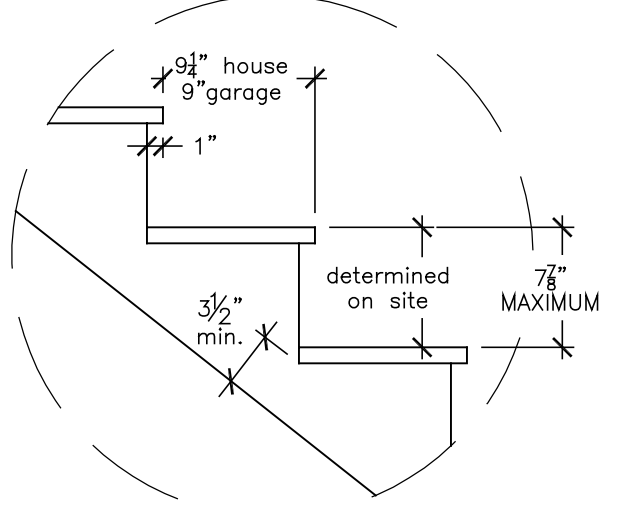
NOTE: ALL EXISTING ROOM SIZES, DIMENSIONS TO BE VERIFIED BY THE OWNER CONTRACTOR, BUILDER PRIOR TO AND DURING CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE OWNER, CONTRACTOR, BUILDER TO FIELD VERIFY ALL EXISTING DIMENSIONS BEFORE ORDERING ANY MATERIALS.

NOTE: CONTRACTOR / BUILDER / OWNER TO BE CAREFUL WHEN CUTTING OUT NEW WINDOWS/OPENINGS. ENSURE PROPER SUPPORTS ARE IN PLACE DURING DEMOLITION PHASE.

CLEAR SPAN	LINTEL SIZE	
	BRICK	STONE
2'-6"	L 3"x3"x1/4"	L 4"x3"x1/4"
3'-11"	L 3 1/2"x3 1/2"x1/4"	L 5"x3 1/2"x5/16"
4'-11"	L 3 1/2"x3 1/2"x5/16"	L 5"x3 1/2"x5/16"
5'-11"	L 4"x3 1/2"x5/16"	L 5"x5"x5/16"
6'-11"	L 5"x3 1/2"x5/16"	L 5"x5"x5/16"
7'-10"	L 5"x3 1/2"x5/16"	L 5"x5"x5/16"
8'-10"	L 5"x3 1/2"x3/8"	L 5"x5"x3/8"
9'-10"	L 6"x4"x3/8"	L 5"x5"x1/2"

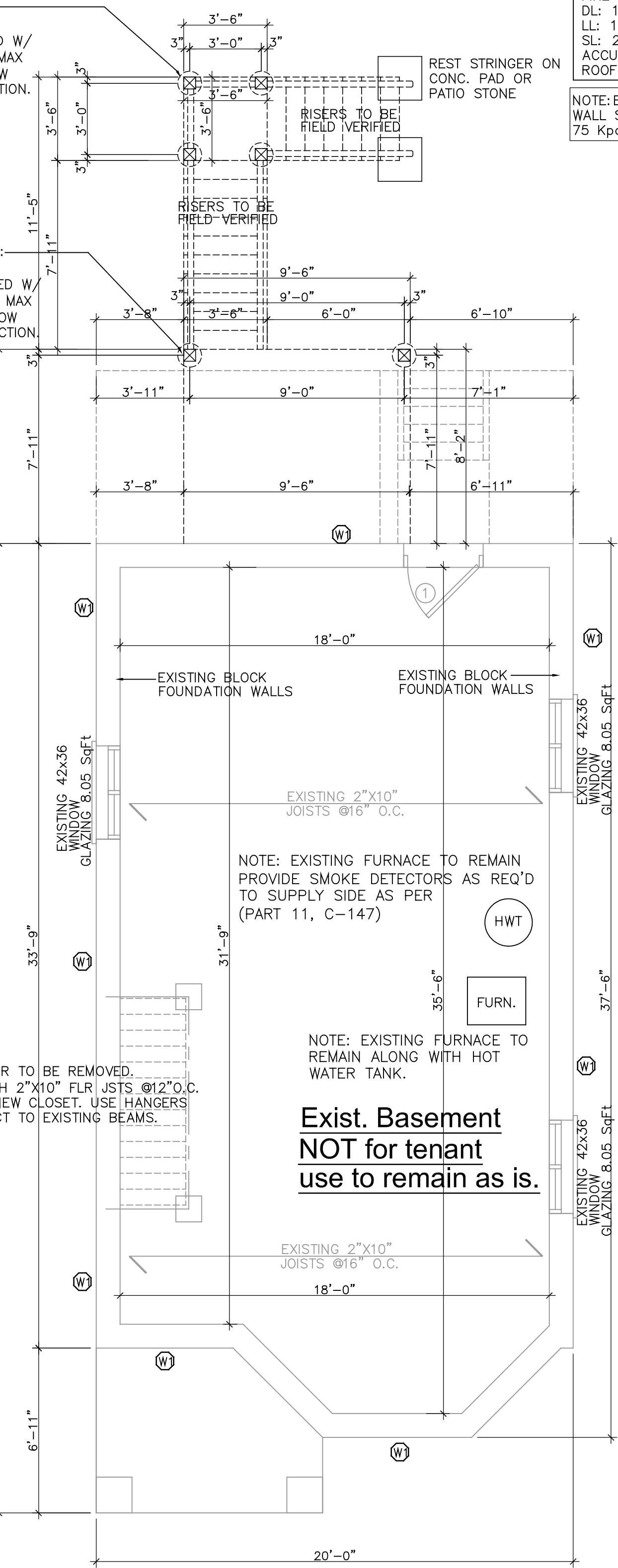
STEEL LINTELS SHOWN IN ABOVE CHART SHALL HAVE EVEN AND LEVEL BEARING AND SHALL HAVE NOT LESS THAN 6" LENGTH OF BEARING

SECTION NINETEEN RESIDENTIAL CONVERSION REQUIREMENTS (92-281)
 (i) each dwelling unit has a floor area of at least 65 square metres (699.65 square feet), contained within the unit and having a minimum clear height of 2.1m (6.9 ft.), but excluding the area of any porch, verandah or other such space which cannot lawfully be used as living quarters; (15-071)
 (ii) The applicable zoning district regulations for a single family detached dwelling shall apply, except the minimum lot area shall be 270m²;
 (iii) except as permitted in clause (iv), the external appearance and character of the dwelling shall be preserved;
 (iv) there shall be no outside stairway other than an exterior exit;
 (v) parking spaces, access driveways and manoeuvring space shall be provided in accordance with Section 18A, except that parking for only one of the dwelling units may be provided in accordance with the following special provisions:



Stair Detail (typical throughout)

RISER HEIGHTS FOR STEPS/STAIRS MAY VARY THROUGHOUT DEPENDING ON FLOOR THICKNESSES (TO BE DETERMINED BY CONTRACTOR)



Existing Basement/Foundation

All windows are existing
 All alterations as marked

WALL TYPE SCHEDULE

- W1 EXISTING DBLE BRICK EXT. WALL OR EXIST. PARTITION WALLS
- W2 ENTRY PARTITION - W4a
 SB-3, W4a (1HR F.R.R.) STC-51
 -2"x4" STUDS @16"O.C.
 -89MM THICK ABSORPTIVE MATERIAL -RESILIENT METAL CHANNELS @16"O.C.
 -1 LAYER 15.9MM TYPE 'X' GYPSUM EA. SIDE
- W3 NEW EXTERIOR WALL - S10a
 SB-3, S10a (1HR F.R.R.) STC 38
 ALUMINUM SIDING
 2/ 15.9mm TYPE 'X' GYPSUM BOARD
 STRUCTURAL SHEATHING AS REQUIRED
 2"x6" STEEL STUDS @16"O.C.
 R-22 BATT INSUL
 6 MIL POLY V.B.
 2/ 15.9mm TYPE 'X' GYPSUM BOARD
- W4 EXISTING NON-LOAD BRG PARTITION WALL TO BE REMOVED
- W5 NEW INTERIOR PARTITION WALL
 1/2" DRYWALL
 2"x4" WOOD STUDS @16"O.C.
 1/2" DRYWALL

DOOR SCHEDULE

- 1 EXISTING DOORS TO BE REPLACED, SAME SIZE SAME LOCATION
- 2 24" STEEL DOOR
- 3 28" WOOD DOOR
- 4 30" WOOD DOOR
- 5 36" STEEL DOOR

NOTE: PENETRATIONS OF FIRE SEPARATIONS AS PER O.B.C. 9.10.9.6
 NOTE: PROVIDE FIRE STOPPING IN JOIST SPACE AS REQUIRED. AS PER O.B.C. 3.1.11
 NOTE: PROVIDE FIRE DAMPERS AS PER O.B.C. 3.1.8.7 AND AS PER O.B.C. 3.1.8.9

SMOKE ALARMS :	FLOOR PLAN DIMENSIONS :
WITH-IN A SINGLE DWELLING UNIT SHALL BE INTERCONNECTED.	ALL DIMENSIONS ON FLOOR PLANS ARE FROM NOMINAL STUD FACE TO NOMINAL STUD FACE OR FACE OF EXTERIOR FINISH MATERIAL.

NOTE: ALL INTERIOR DIMENSIONS SHOWN ARE FIELD MEASURED AND ARE ALL +/-, VERIFY ON SITE PRIOR TO CONSTRUCTION.

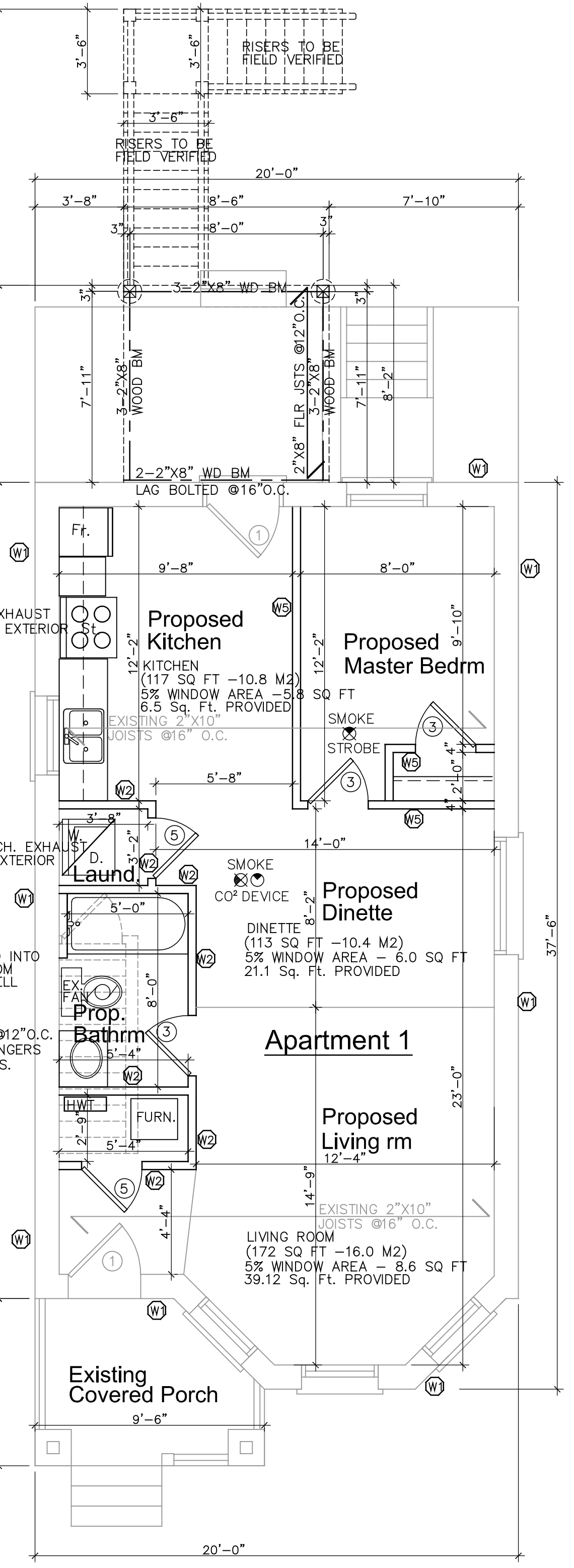
Ground Floor Plan

All windows are existing
 All alterations as marked

9.5.7.2. Areas of Master Bedrooms
 (1) Except as provided in Article 9.5.7.3., at least one bedroom in every dwelling unit shall have an area of not less than 9.8 m² where built-in cabinets are not provided and not less than 8.8 m² where built-in cabinets are provided.

SMOKE ALARMS :	FLOOR PLAN DIMENSIONS :
WITH-IN A SINGLE DWELLING UNIT SHALL BE INTERCONNECTED.	ALL DIMENSIONS ON FLOOR PLANS ARE FROM NOMINAL STUD FACE TO NOMINAL STUD FACE OR FACE OF EXTERIOR FINISH MATERIAL.

Apartment 1
 1 BEDROOM
 712.00 sq. ft.
 (9'-0" CLG. HT.)
 NOTE: ALL WALLS ABOVE GRADE TO BE INSULATED W/ R22 BATTS



UNIQUE DESIGNS INC. ARCHITECTURAL DESIGN INC.

PROPOSED 2 FAMILY DWELLING
 28 ARTHUR ST. N.
 HAMILTON, ONT

Drawn By: MAURO FORTUNATO
 Scale: 1/4"=1'-0"
 Date: 02.15.22
 Job Number: 011822
A2

THESE DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL SERVICES PRIOR TO ANY DISPLACEMENTS TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.
 THE USE OF THIS DRAWING OR PART THEREOF IS FORBIDDEN WITHOUT THE WRITTEN APPROVAL OF THE DESIGNER.

NO.	DATE	DESCRIPTION
1.	02.15.22	ISSUED FOR PERMIT
2.	03.24.22	RE-ISSUED FOR PERMIT
3.	04.01.22	REV. FOR VARIANCE/PERMIT
4.		
5.		
6.		
7.		
8.		

DO NOT SCALE DRAWINGS