



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: SC/A-22:103

APPLICANTS: Agent Cam Lang
Owners P. & P. MacTaggart

SUBJECT PROPERTY: Municipal address **31 Waterford Crescent, Stoney Creek**

ZONING BY-LAW: Zoning By-law 3692-92, as Amended

ZONING: "R5-1" (Residential - Five) district

PROPOSAL: To permit a 37 square metre second storey addition to the existing semi-detached dwelling, notwithstanding that:

1. A minimum southerly side yard of 0.93 metres, and a minimum northerly side yard of 1.20 metres shall be permitted, instead of the minimum required side yard of 1.25 metres.
2. An accessory building ("Cabana House") may be located a minimum of 0.17 metres from the southerly side lot line, instead of the requirement that an accessory building shall be located a minimum of 0.5 metres from a side lot line.
3. An accessory building ("Shed") may be located a minimum of 0.09 metres from the rear lot line, instead of the requirement that an accessory building shall be located a minimum of 0.5 metres from a rear lot line.

NOTES:

1. Please note that the height of the proposed building addition has not been indicated as per the definition of "Height – Building" provided in Stoney Creek Zoning By-law No. 3692-92. It is noted that the Zoning Chart provided as part of the submitted Planning Justification Report indicates a building height of less than 11 metres for the principle dwelling, which is the maximum building height permitted in the "R5-1" Zone. Additional variances may be required if compliance with Section 6.6.3(f) cannot be achieved.
2. Please note that specific details regarding parking on the lot have not been indicated on the Site Plan, and therefore parking has not been reviewed for zoning compliance. It is noted that the Zoning Chart provided as part of the submitted Planning Justification Report indicates two (2) parking spaces are to be provided, which as per Section 6.6.4, is the minimum number of spaces required for the proposed development, however, due to insufficient information being provided, a full review of the applicable parking regulations could not be completed. Additional variances may be required if compliance with Stoney Creek Zoning By-law No. 3692-92 cannot be achieved.

3. Please note that projection of eaves/gutters for both the principle dwelling and the two (2) accessory buildings (i.e. “Cabana House” and “Shed”) has not been indicated. Please note that as per Section 4.19(b) eaves or gutters, for other than an accessory building may project into any required yard a distance of not more than 0.5 metres. As per Section 4.19(c), eaves or gutters for accessory buildings may project into any required yard a distance of 0.25 metres. Additional variances may be required if compliance with Section 4.19(b) and (c) cannot be achieved.

4. Please note elevation drawings have not been provided for the two (2) accessory buildings (i.e. “Cabana House” and “Shed”) to confirm the height of the buildings. As per Section 6.1.4(a), the maximum height for an accessory building is 4.5 metres. Additional variances may be required if compliance with Section 6.1.4(a) cannot be achieved.

This application will be heard by the Committee as shown below:

DATE: Thursday, May 12th, 2022
TIME: 1:20 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: April 26th, 2022.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

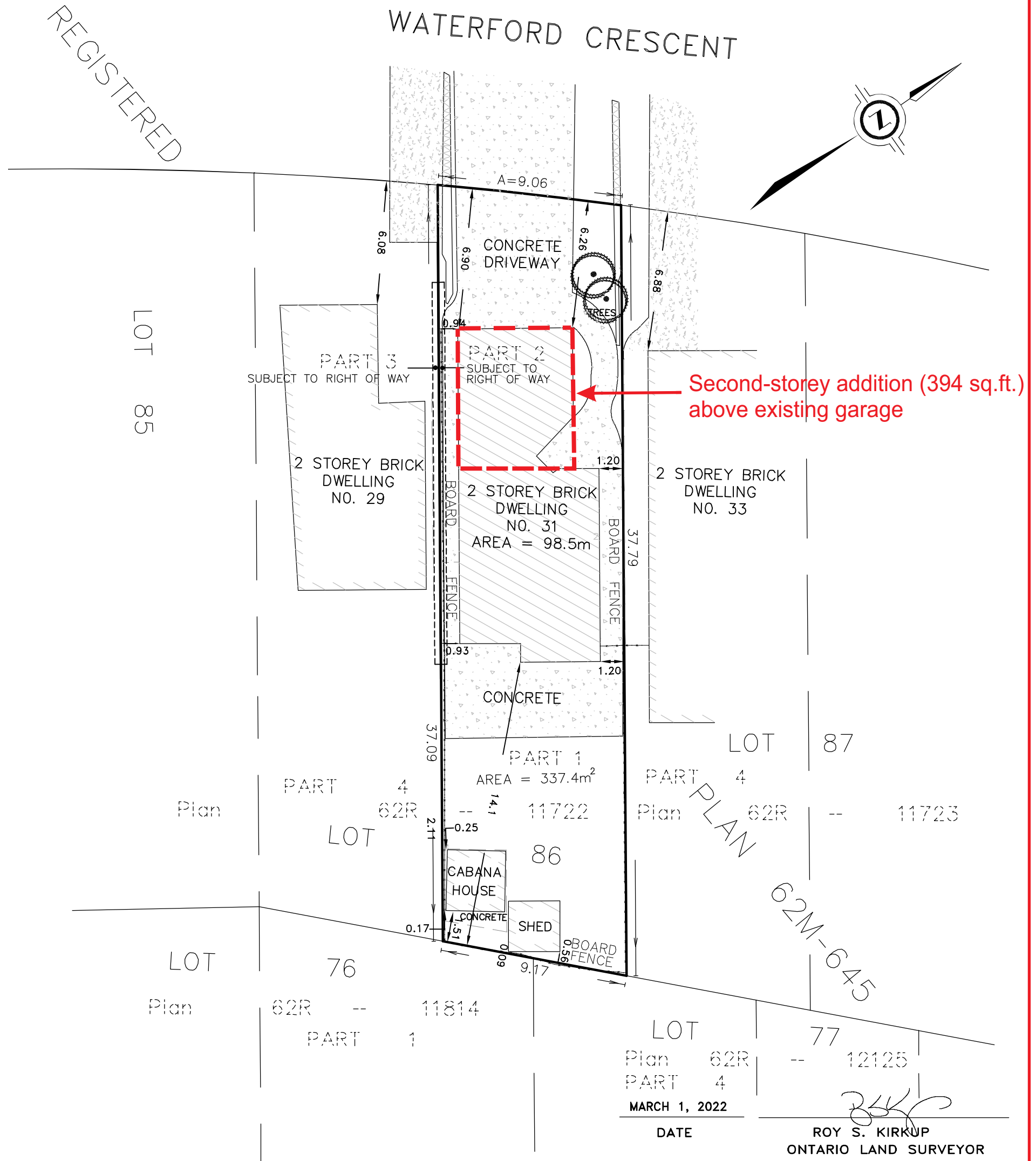
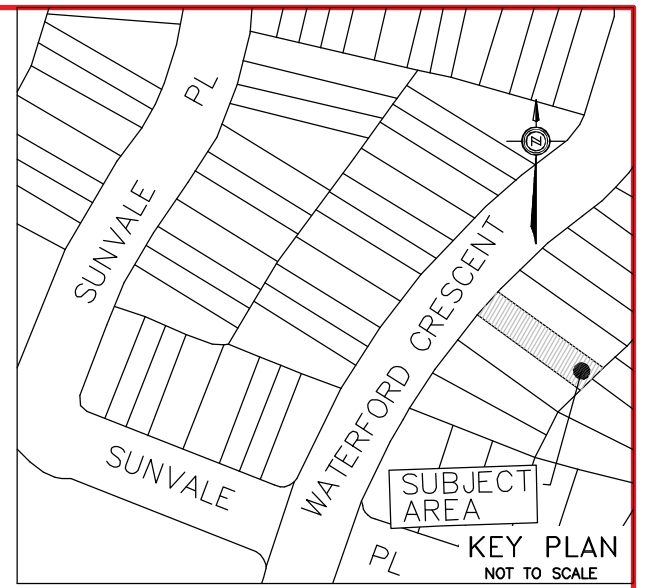
Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

**SKETCH TO SHOW
PART OF LOT 86, PLAN 62M-645
CITY OF HAMILTON
REGIONAL MUNICIPALITY OF HAMILTON
WENTWORTH**

SCALE 1 : 200



KIRKUP MASCOE URE SURVEYING
(A DIVISION OF J.D. BARNES LTD.)
ONTARIO LAND SURVEYORS



Second-storey addition (394 sq.ft.)
above existing garage

NOTE

THIS SKETCH IS INTENDED FOR USE OF THE COMMITTEE OF ADJUSTMENT ONLY MEASUREMENTS MAY VARY UPON FIELD SURVEY

METRIC NOTE

DISTANCES AND COORDINATED SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

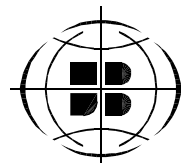
| PART | DESCRIPTION | AREA(m ²) | % |
|--------------|-------------------------|---------------------------|-------------|
| PART 1 | BUILDING AREA | = 98.5 m ² | 29.2% |
| | ACCESSORY BUILDING AREA | = 14.8 m ² | 4.4% |
| | DRIVEWAY & CONC. WALK | = 113.4 m ² | 33.6% |
| | LANDSCAPE OPEN SPACE | = 110.7 m ² | 32.8% |
| TOTAL | | 337.4m² | 100% |

MARCH 1, 2022

DATE

ROY S. KIRKUP
ONTARIO LAND SURVEYOR

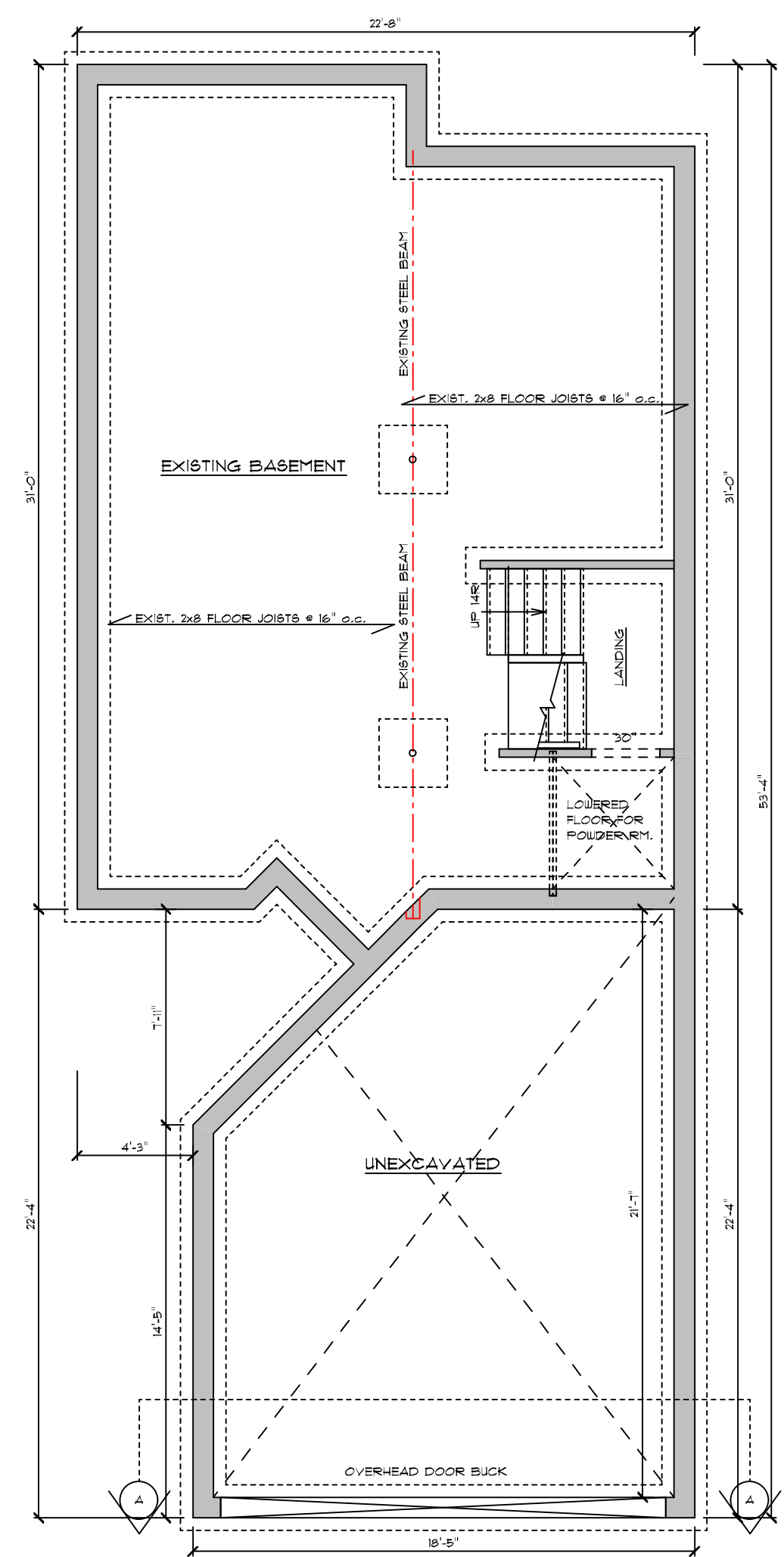
THIS PLAN IS NOT VALID UNLESS EMBOSSED WITH THE ORIGINAL SURVEYORS SEAL



Kirkup Mascoe Ure Surveying SURVEYING
A Division of J.D. Barnes Limited MAPPING GIS

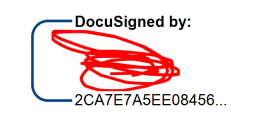
4318 PORTAGE ROAD UNIT 2, NIAGARA FALLS, ON L2E 6A4
T: (905) 641-1007 F: (905) 641-4424 www.jdbarnes.com

| | | |
|------------------------|--------------------|--------------------------------|
| DRAWN BY: CN | CHECKED BY: RSK | REFERENCE NO.: 21-49-199-00 |
| PLOTTED: MARCH 1, 2022 | | DATED: MARCH 1, 2022 |



FOUNDATION PLAN (EXISTING)

I review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under sub-section 3.2.5. of Division C, of the Building Code
Individual BCIN: 26172



- 3) PLANS ARE TO BE REVIEWED BY THE LOCAL BUILDING DEPT. BEFORE PROCEEDING ANY WORK
- 2) ALL CONSTRUCTION SHALL CONFORM TO THE OBC 2012 (O.Reg. 332/12 AS AMENDED)
- 1) OWNER AND/OR CONTRACTOR TO BE RESPONSIBLE FOR CHECKING AND CONFIRMING ALL MEASUREMENTS

GENERAL NOTES:

PROJECT NAME

*MacTAGGART
RESIDENCE*

PROJECT TITLE

31 WATERFORD CRES.
STONE CREEK

**JONKMAN
DESIGN**

519-448-3214

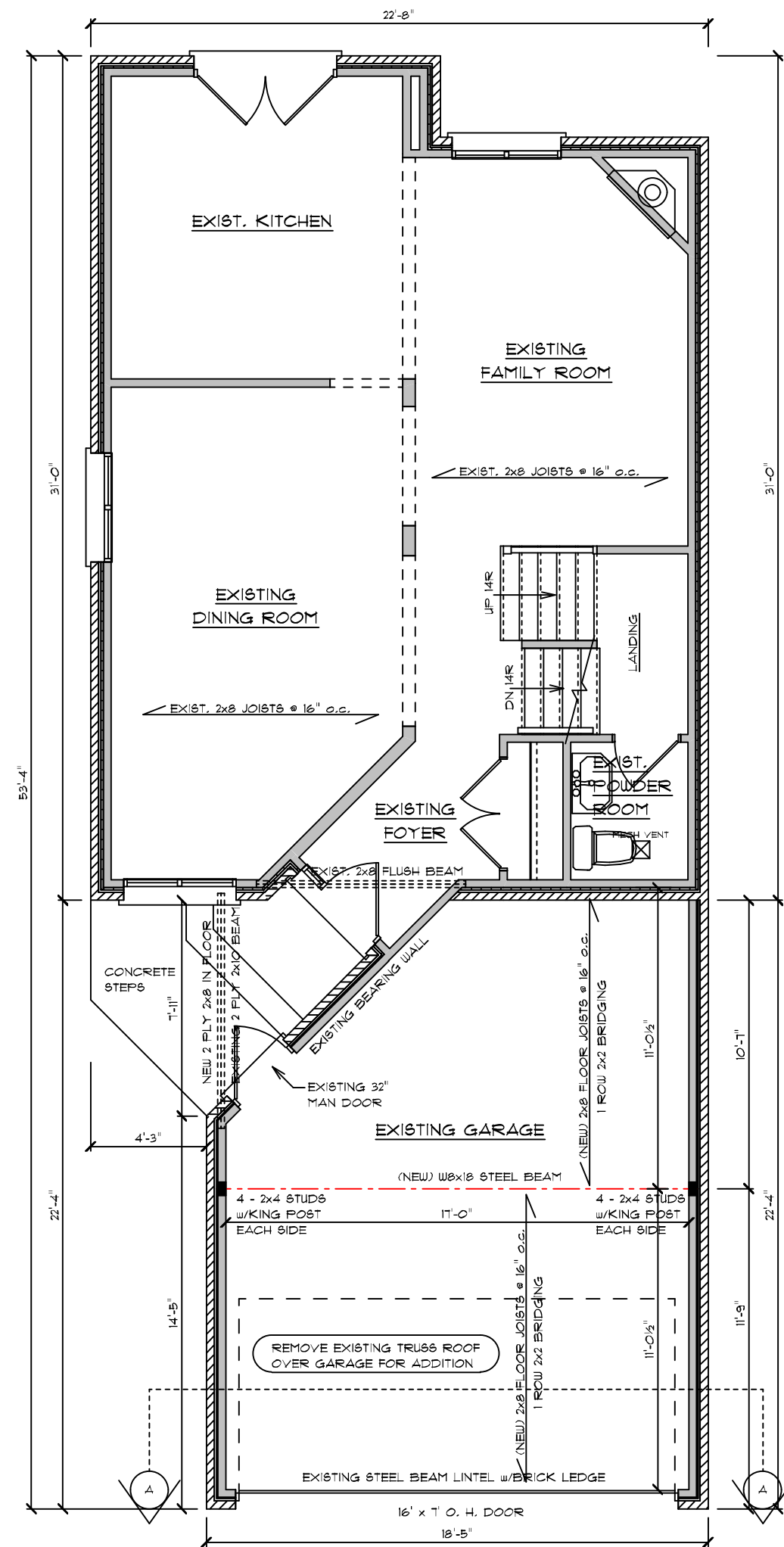
REVISIONS

| | |
|----------|---------------|
| DATE | MAY 20/21 |
| SCALE | 3/16" = 1'-0" |
| DRAWN BY | JIM J. |

APPROVED

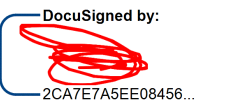
FILE NAME MACT-2005-21

DRAWING NUMBER
4 OF 8



MAIN FLOOR PLAN (EXISTING)
678 SQ. FT.

I review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under sub-section 3.2.5. of Division C, of the Building Code Individual BCIN: **26172**



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PROJECT TITLE

31 WATERFORD CRES.
STONE CREEK

JONKMAN DESIGN

519-448-3214

REVISIONS

DATE MAY 20/21

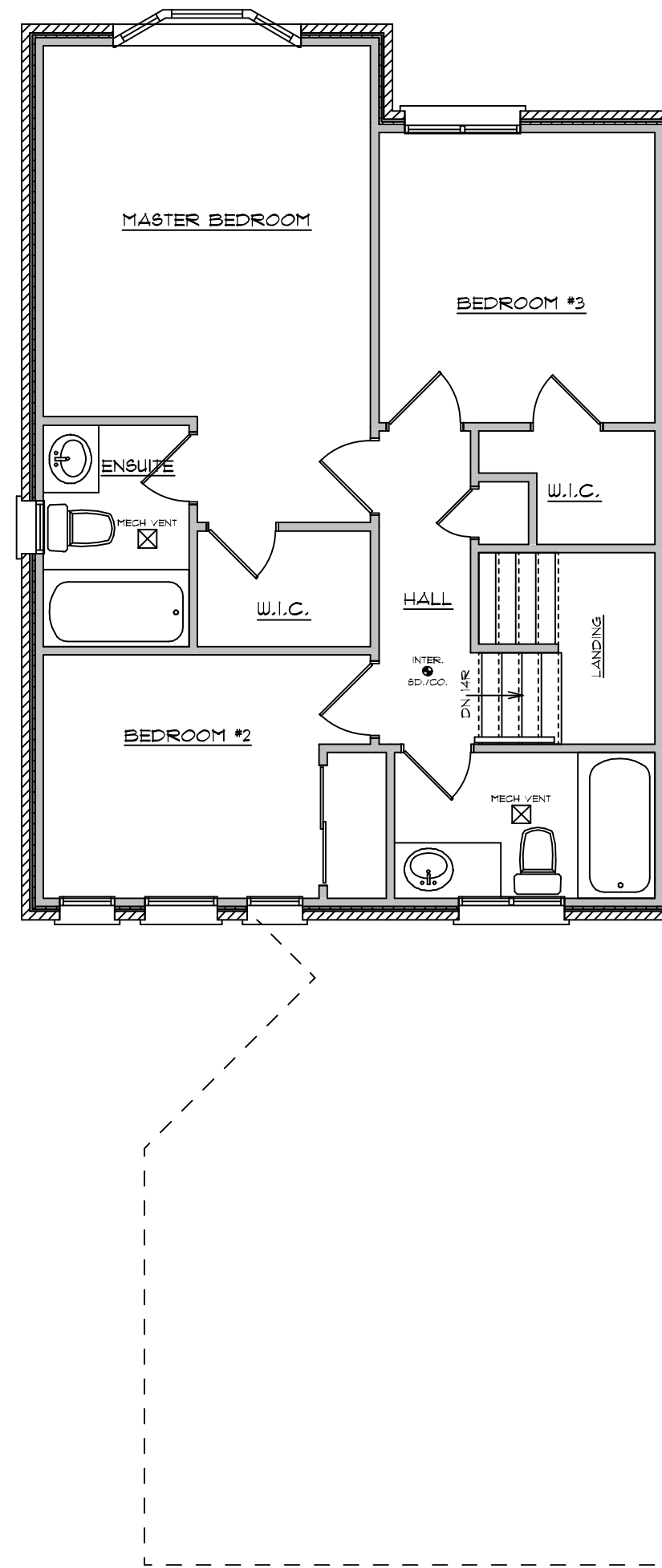
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DRAWN BY JIM J.

APPROVED

FILE NAME MACT-2005-21

DRAWING NUMBER
5 OF 8



I review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under sub-section 3.2.5. of Division C, of the Building Code
 Individual BCIN: 26172

DocuSigned by:

 ZCATE7A5EE08456...

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- 1) OWNER AND/OR CONTRACTOR TO BE RESPONSIBLE FOR CHECKING AND CONFIRMING ALL MEASUREMENTS

GENERAL NOTES:

PROJECT NAME

*MacTAGGART
 RESIDENCE*

PROJECT TITLE

31 WATERFORD CRES.
 STONEY CREEK

**JONKMAN
 DESIGN**

519-448-3214

REVISIONS

DATE MAY 20/21

SCALE 3/16" = 1'-0"

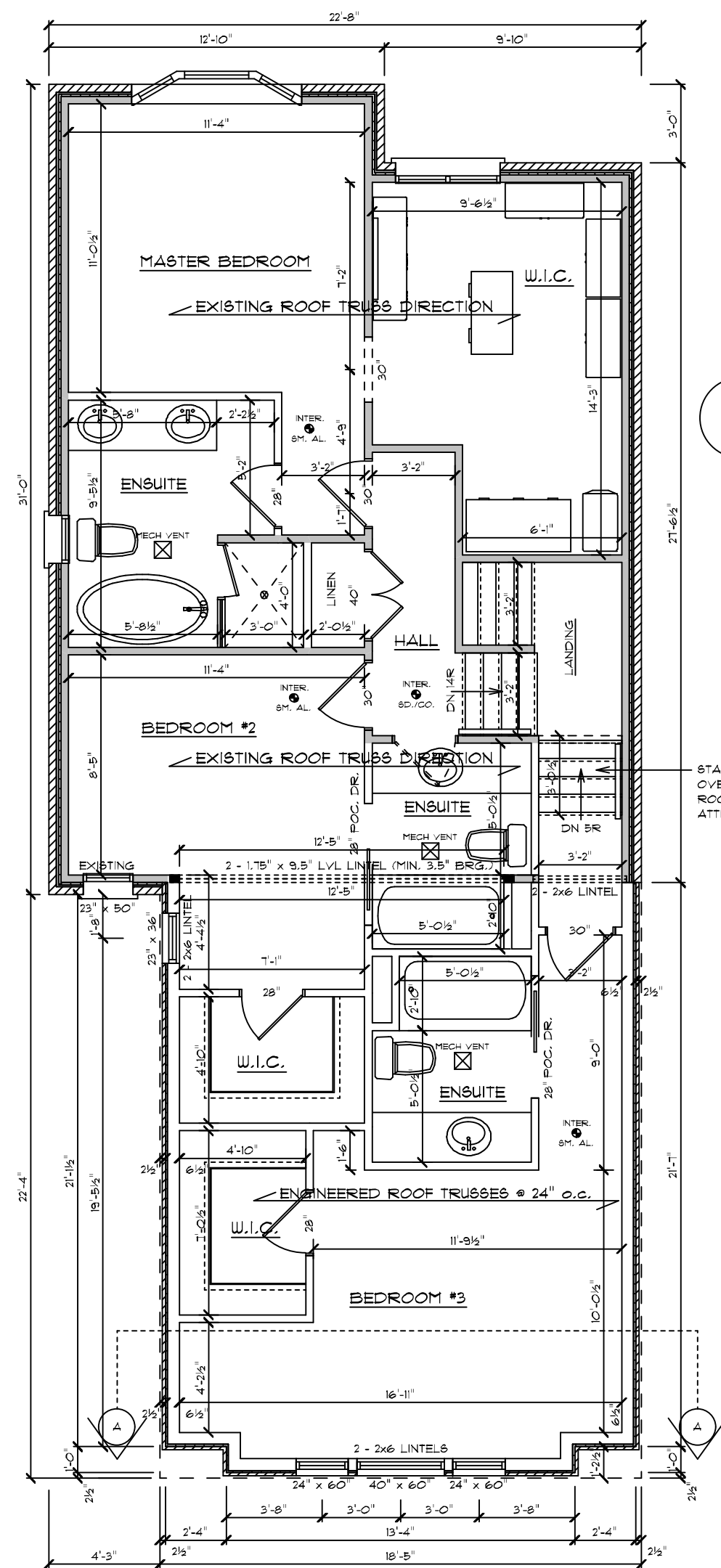
DRAWN BY JIM J.

APPROVED

FILE NAME MACT-2005-21

DRAWING NUMBER
6 OF 8

SECOND FLOOR PLAN (EXISTING)
 673 SQ. FT.

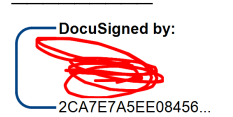


NOTE:
ALL EXISTING INTERIOR 2x4 STUD WALLS ARE NON-LOAD BEARING AND CAN BE REMOVED OR HAVE OPENINGS ADDED

STAIRS TO BE INSTALLED OVER TOP OF POWDER ROOM CEILING CLOSED ATTIC SPACE

NOTE:
ALL LINTEL SIZES AND FLOOR JOIST SPANS TAKEN FROM THE CANADIAN WOOD COUNCIL - SPAN BOOK (2009 EDITION)

I review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under sub-section 3.2.5. of Division C, of the Building Code
Individual BCIN: 26172



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PROJECT NAME
MacTAGGART RESIDENCE

PROJECT TITLE
31 WATERFORD CRES.
STONE CREEK

JONKMAN DESIGN
519-448-3214

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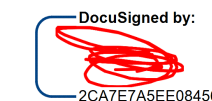
REVISIONS

| | |
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| DATE | MAY 20/21 |
| SCALE | 3/16" = 1'-0" |
| DRAWN BY | JIM J. |
| APPROVED | |
| FILE NAME | MACT-2005-21 |

SECOND FLOOR PLAN (ADDITION)
ADDITION - 394 SQ. FT.

DRAWING NUMBER
1 OF 8

I review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under sub-section 3.2.5. of Division C, of the Building Code
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RESIDENCE*

PROJECT TITLE

31 WATERFORD CRES.
STONEY CREEK

**JONKMAN
DESIGN**

519-448-3214

REVISIONS

DATE MAY 20/21

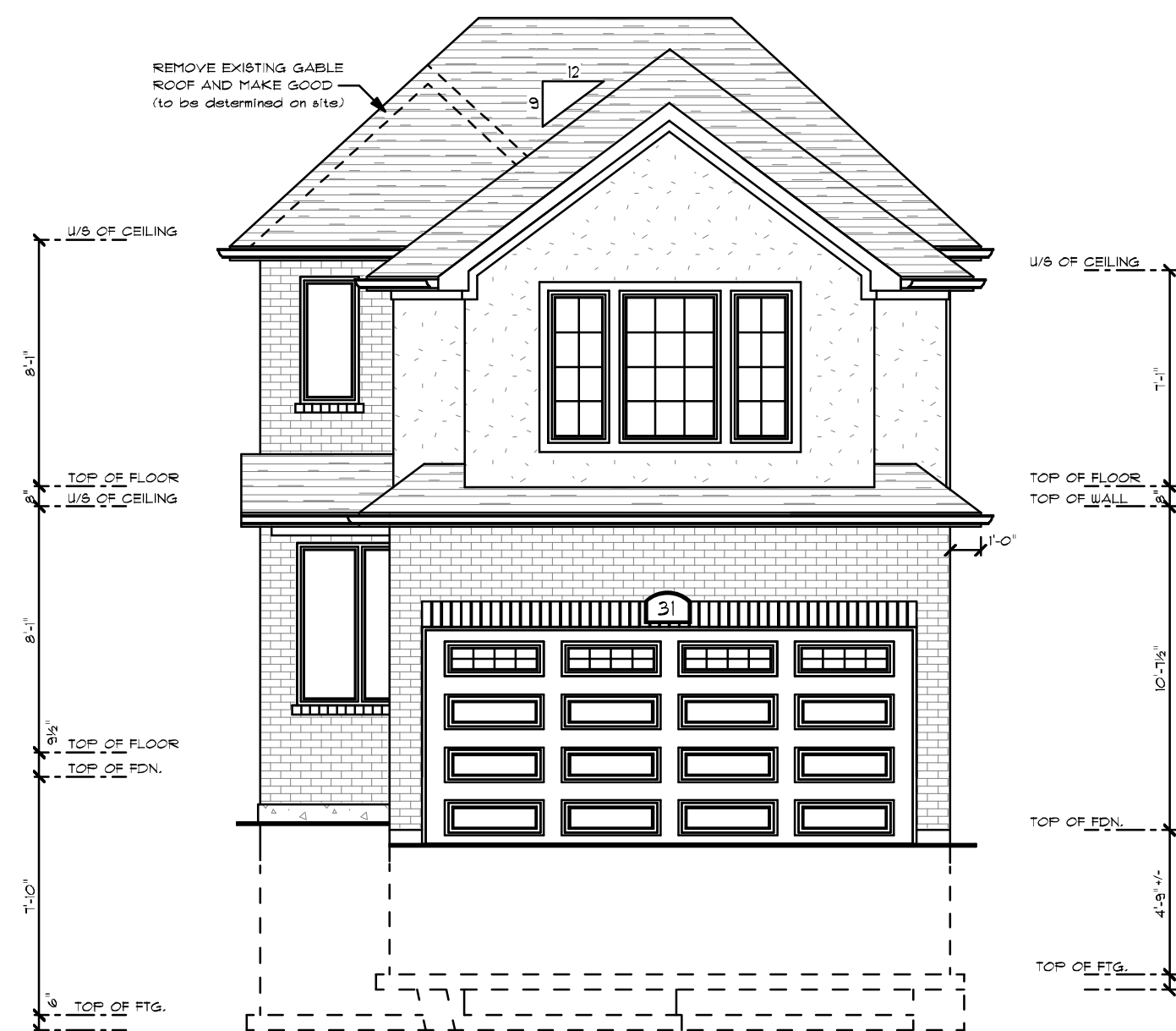
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DRAWN BY JIM J.

APPROVED

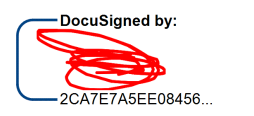
FILE NAME MACT-2005-21

DRAWING NUMBER
1 OF 8



FRONT ELEVATION

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MacTAGGART RESIDENCE

PROJECT TITLE

31 WATERFORD CRES.
STONE CREEK

JONKMAN DESIGN

519-448-3214

REVISIONS

DATE MAY 20/21

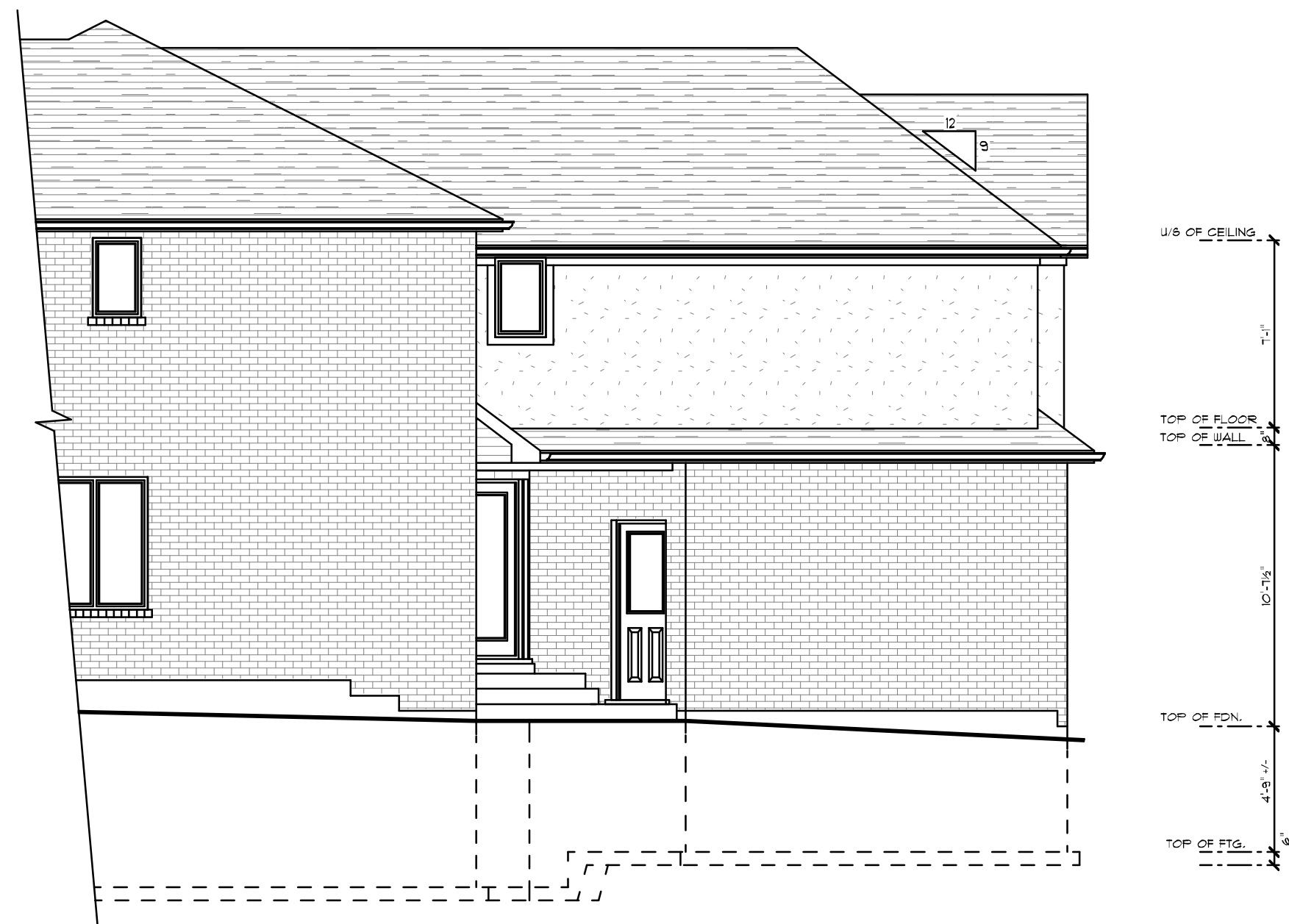
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DRAWN BY JIM J.

APPROVED

FILE NAME MACT-2005-21

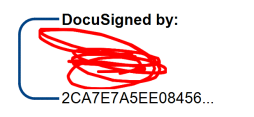
DRAWING NUMBER
2 OF 8



LEFT SIDE ELEVATION

I review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under sub-section 3.2.5. of Division C, of the Building Code Individual BCIN: 26172

6/29/2021



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GENERAL NOTES:

PROJECT NAME

MacTAGGART RESIDENCE

PROJECT TITLE

31 WATERFORD CRES.
STONE CREEK

JONKMAN DESIGN

519-448-3214

REVISIONS

DATE MAY 20/21

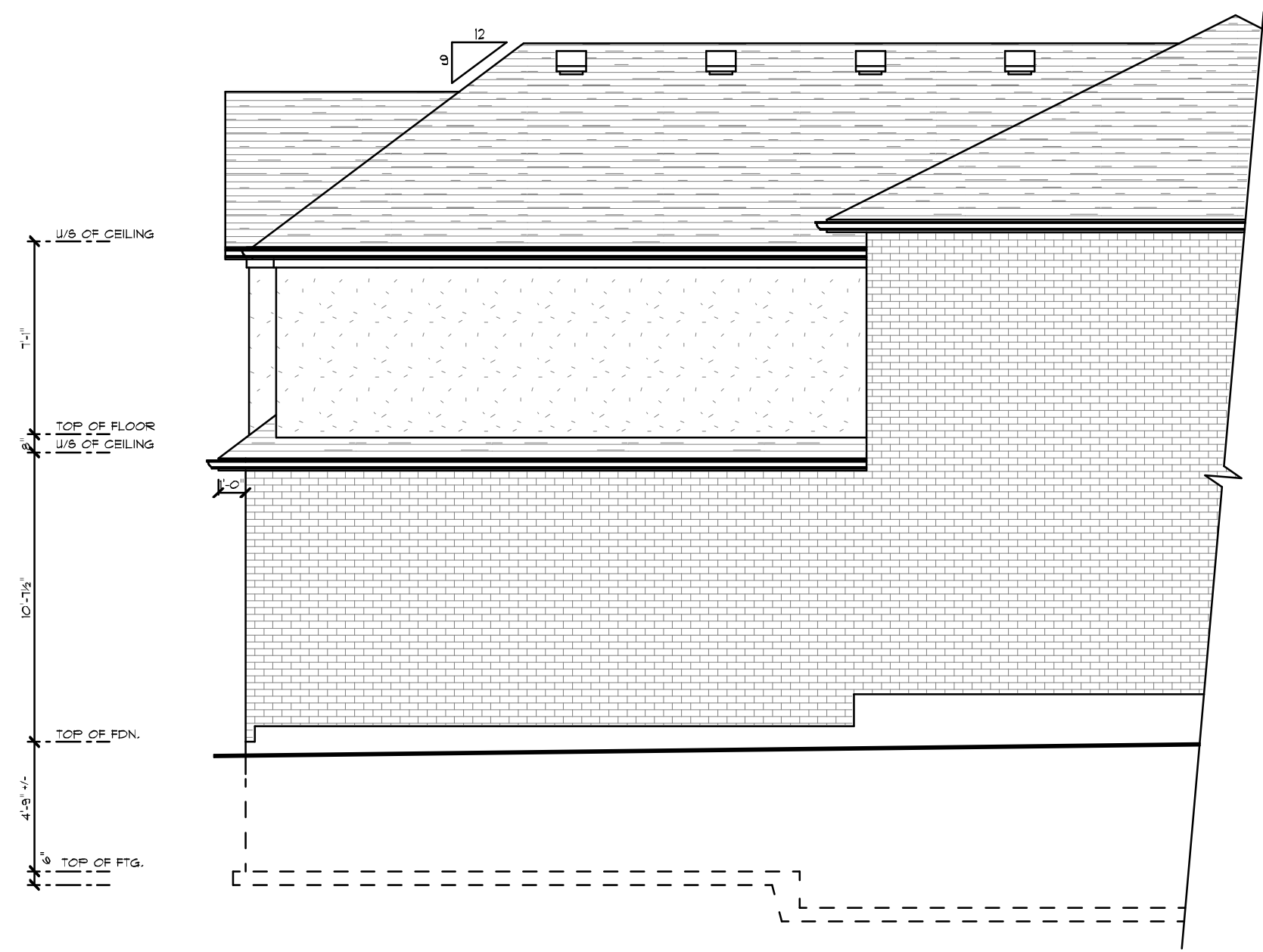
SCALE 3/16" = 1'-0"

DRAWN BY JIM J.

APPROVED

FILE NAME MACT-2005-21

DRAWING NUMBER
3 OF 8



RIGHT SIDE ELEVATION

DISCLAIMER/COPYRIGHT

ALL DESIGNS AND ANY DRAWINGS ASSOCIATED WITH THEM ARE THE PROPERTY OF JONKMAN DESIGN (DESIGNER) AND ARE PROTECTED BY COPYRIGHT

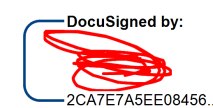
THE DRAWINGS AND DOCUMENTS ARE TO BE USED SOLELY FOR THE PROJECT TO WHICH SUCH PERMITS HAVE BEEN ISSUED. REPRODUCTION OF THESE DRAWINGS IN PART OR WHOLE FOR ANY OTHER PURPOSE THEN SAID PROJECT WITHOUT THE WRITTEN CONSENT OF JONKMAN DESIGN IS STRICTLY PROHIBITED

THE CONTRACTOR AND/OR SUB-CONTRACTOR MUST ENSURE THAT ALL WORK PERFORMED MUST BE IN ACCORDANCE WITH PART 9 OF THE ONTARIO BUILDING CODE AND ANY DISCREPANCIES MUST BE REPORTED TO THE DESIGNER BEFORE COMMENCING ANY WORK

GENERAL NOTES:

- 1) OWNER AND/OR CONTRACTOR TO BE RESPONSIBLE FOR CHECKING AND CONFIRMING ALL MEASUREMENTS
- 2) ALL CONSTRUCTION SHALL CONFORM TO THE ONTARIO BUILDING CODE (PART 9)
- 3) PLANS ARE TO BE REVIEWED BY THE LOCAL BUILDING DEPT. BEFORE PROCEEDING ANY WORK

I review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under sub-section 3.2.5. of Division C, of the Building Code Individual BCIN: 26172



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GENERAL NOTES:

PROJECT NAME

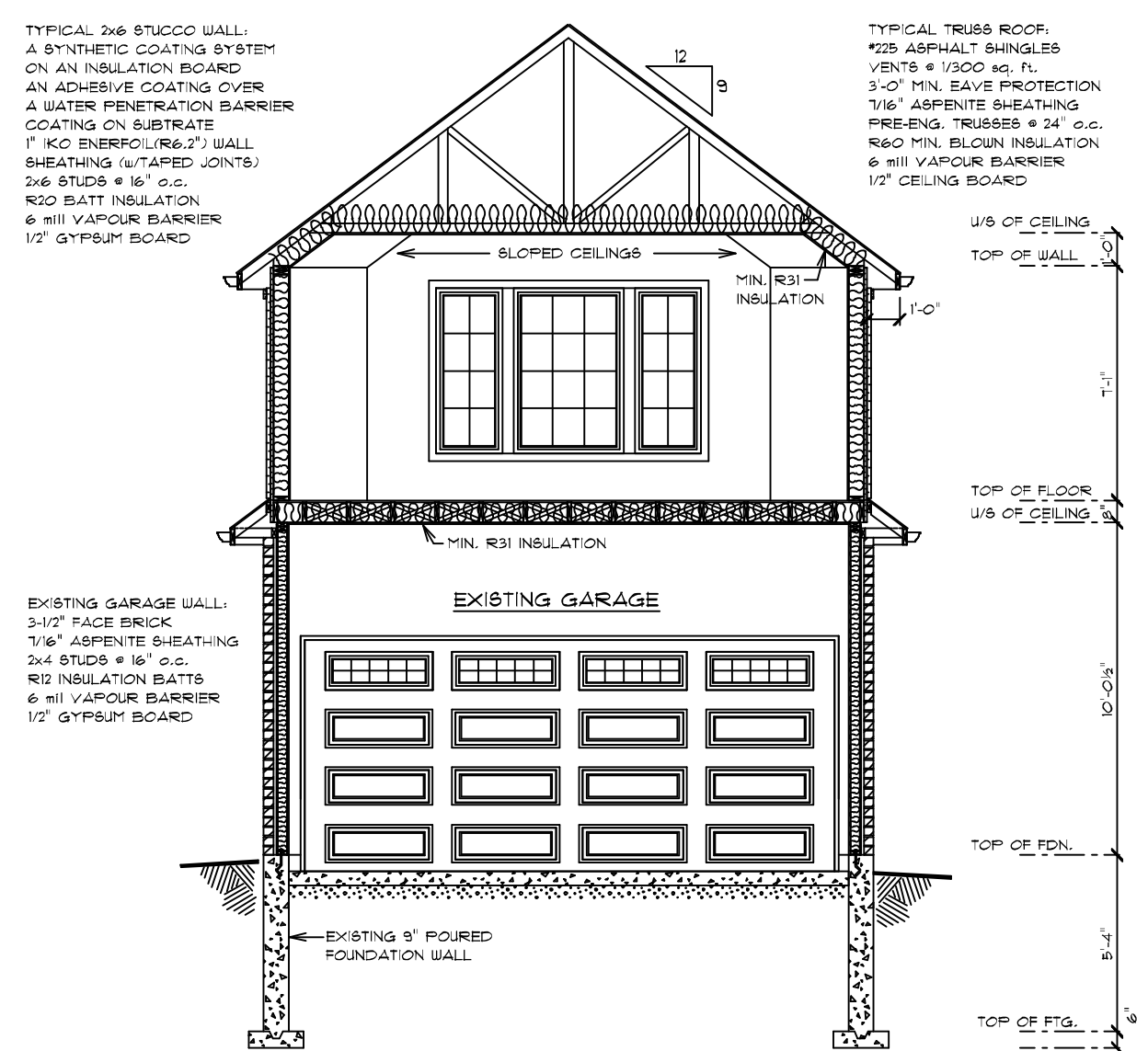
MacTAGGART RESIDENCE

PROJECT TITLE

31 WATERFORD CRES.
STONE CREEK

JONKMAN DESIGN

519-448-3214



CROSS-SECTION DETAIL

REVISIONS

DATE MAY 20/21

SCALE 3/16" = 1'-0"

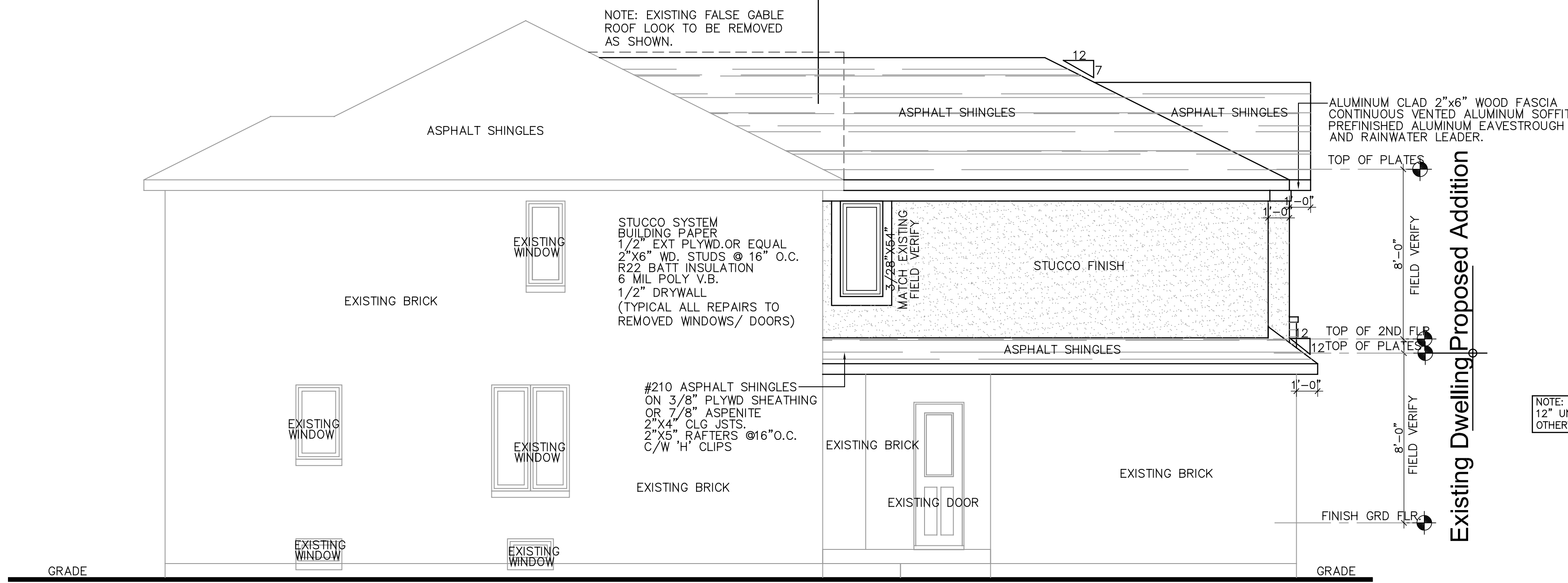
DRAWN BY JIM J.

APPROVED

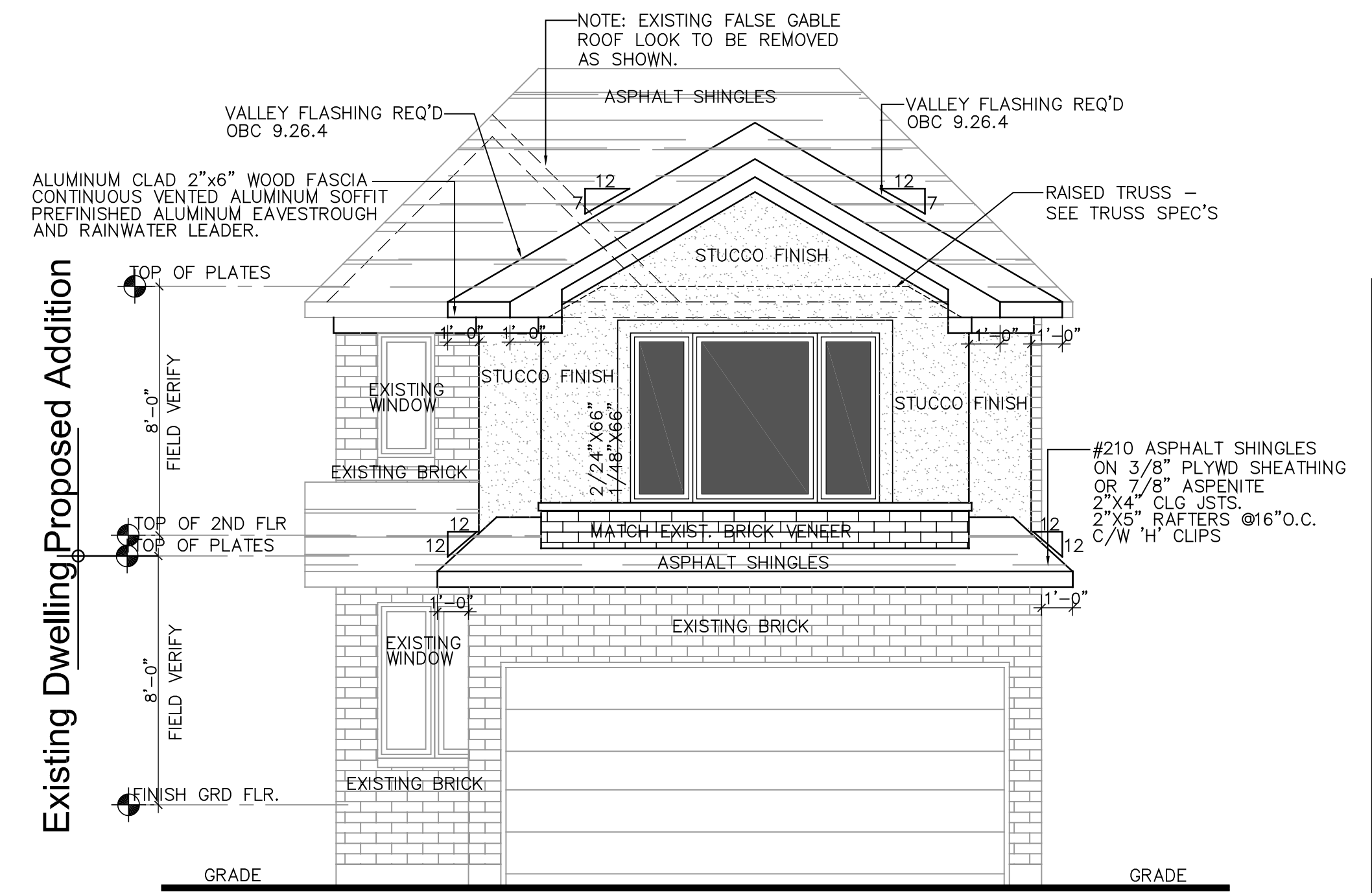
FILE NAME MACT-2005-21

DRAWING NUMBER
8 OF 8

Existing Dwelling Proposed Addition



LEFT SIDE ELEVATION

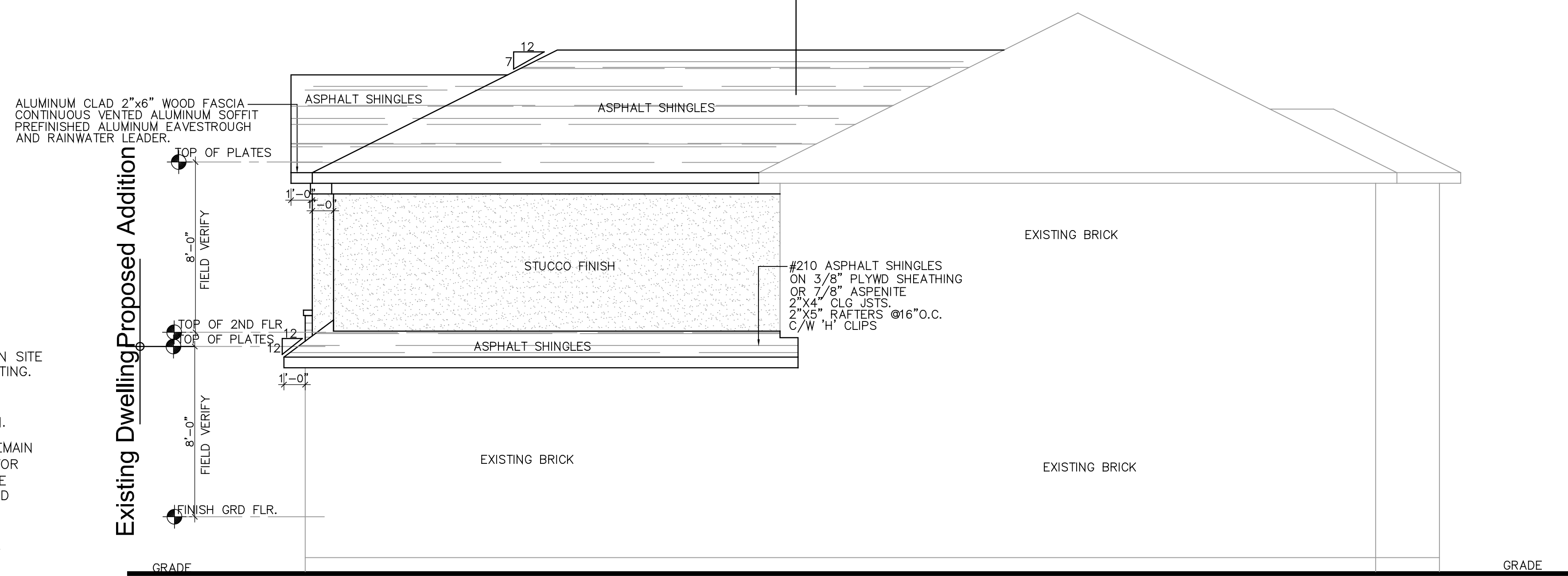


FRONT ELEVATION

IT SHALL BE THE RESPONSIBILITY OF THE BUILDER TO HAVE ALL GRADES AND SERVICES CHECKED AND VERIFIED GRADING AND SERVICES ENGINEERED. PROPOSED GRADE LINE AS INDICATED ARE FOR REFERENCE ONLY AND DO NOT NECESSARILY DEPICT FINISHED GRADING CONDITIONS.

NOTE: ALL PROPOSED RAIN WATER LEADERS TO DISCHARGE ANY RAIN WATER ON PROPERTY OR EXISTING SWALES. NO WATER IS TO BE DRAINED ON TO ADJACENT PROPERTIES OR WALKWAYS OR DRIVEWAYS.

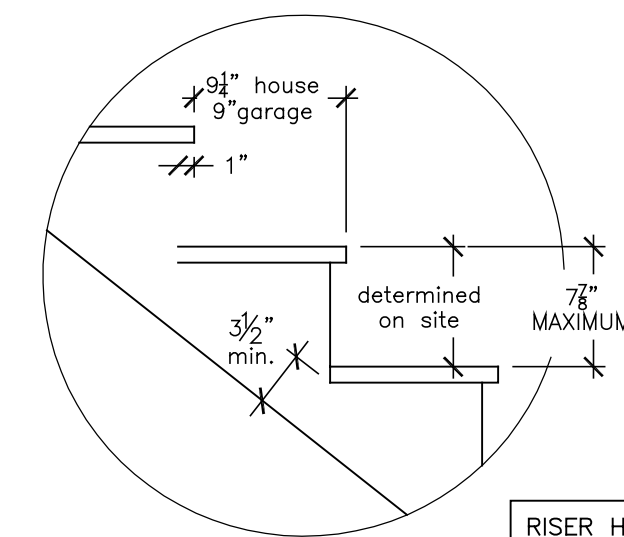
Proposed Addition Existing Dwelling



RIGHT SIDE ELEVATION

NOTE:

Note to Truss Manufacture.
The Truss Manufacture will; (1) Design and specify all Girder Trusses and Beams that only carry roof loads. (2) Ensure that all Roof Beams and Girder Trusses have been designed around the Architectural structural design and therefore have full bearing to the footings in the basement. (3) Automatically upgrade and provide calculations for any Architecturally specified beams that will carry roof point loads. (4) Design and specify all Conventional Roof Framing over and between manufactured roof trusses systems needed to complete overall roof shape. (5) Provide the Local Municipality with Engineered documents for any of the above mentioned items if required.



Stair Detail (typical throughout)

RISER HEIGHTS FOR STEPS/STAIRS MAY VARY THROUGHOUT DEPENDING ON FLOOR THICKNESSES (TO BE DETERMINED BY CONTRACTOR)

NOTE: ADJUST DIMENSIONS AS NEEDED ON SITE MEASURE ALL CUTS TWICE PRIOR TO CUTTING.
NOTE: ALL INTERIOR DIMENSIONS SHOWN ARE FIELD MEASURED AND ARE ALL +/- VERIFY ON SITE PRIOR TO CONSTRUCTION.
NOTE: EXISTING INTERIOR DRYWALL TO REMAIN ANY AREAS THAT ARE TO BE 'OPENED' FOR THE ADDITION OF BRG. POINTS SHALL BE REPAIRED TO ORIGINAL STATE. MAKE GOOD ALL NEW CONNECTIONS
NOTE: CONTRACTOR / BUILDER / OWNER TO BE CAREFUL WHEN CUTTING OUT NEW WINDOWS/OPENINGS. ENSURE PROPER SUPPORTS ARE IN PLACE DURING DEMOLITION PHASE.

NOTE: ALL EXISTING ROOM SIZES, DIMENSIONS TO BE VERIFIED BY THE OWNER CONTRACTOR, BUILDER PRIOR TO AND DURING CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE OWNER, CONTRACTOR, BUILDER TO FIELD VERIFY ALL EXISTING DIMENSIONS BEFORE ORDERING ANY MATERIALS.

NOTE: CONTRACTOR, BUILDER, OWNER TO MAKE ALL NECESSARY PRECAUTIONS WHEN REMOVING EXISTING WALLS AND ADDING NEW BEAM SUPPORTS. MAKE SURE CEILINGS ON BOTH SIDES ARE SHORED UP PRIOR TO REMOVING ANY LOAD BEARING WALLS.

NOTE: EXISTING STAIR TO BE REMOVED AND REPLACED WITH NEW STAIR WAY. OWNER/CONTRACTOR/STAIR MANUFACTURER TO VERIFY ALL RUNS/RISERS PRIOR TO ASSEMBLY.

| WINDOW OPENINGS | |
|---------------------------------|-----------|
| TOTAL WALLS: (4032.30 SQ.FT) | 374.61 M2 |
| TOTAL OPENINGS: (309.39 SQ.FT.) | 28.7 M2 |
| = 7.6% | |

DO NOT SCALE DRAWINGS

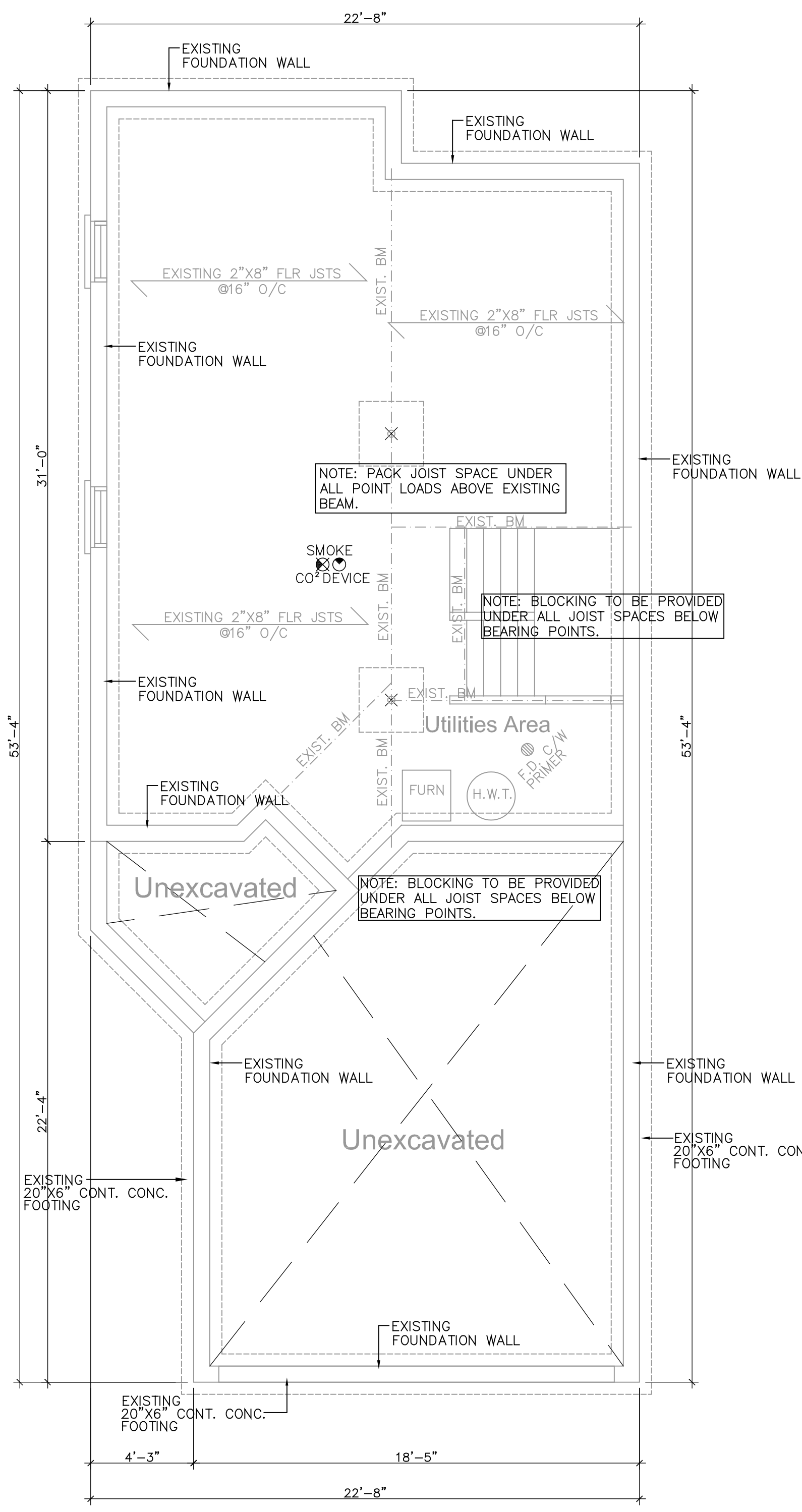
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Div.C, Article 3.2.5.1 of the Building Code
MAURO FORTUNATO
Name Signature 15084 BCN
REGISTRATION INFORMATION
Required unless design is exempt under Div.C, Article 3.2.4.1 of the Building Code
UNIQUE DESIGNS INC
Firm Name 31090 BCN

| No. | DATE | DESCRIPTION |
|-----|----------|-------------------|
| 1. | 04.17.22 | ISSUED FOR PERMIT |
| 2. | | |
| 3. | | |
| 4. | | |
| 5. | | |
| 6. | | |
| 7. | | |
| 8. | | |

UNIQUE DESIGNS INC. ELEVATIONS

MCTAGGART RESIDENCE
2 STOREY ADDITION / RENOVATION
31 WATERFORD CRST. STONEY CREEK, ONT.

| | |
|------------|------------|
| Drawn By | Scale |
| Date: | 1/4"=1'-0" |
| Job Number | A1 |
| 04.15.22 | 041022 |



EXISTING FOUNDATION PLAN

IT SHALL BE THE RESPONSIBILITY OF THE BUILDER TO HAVE ALL GRADES AND SERVICES CHECKED AND VERIFIED GRADING AND SERVICES ENGINEERED

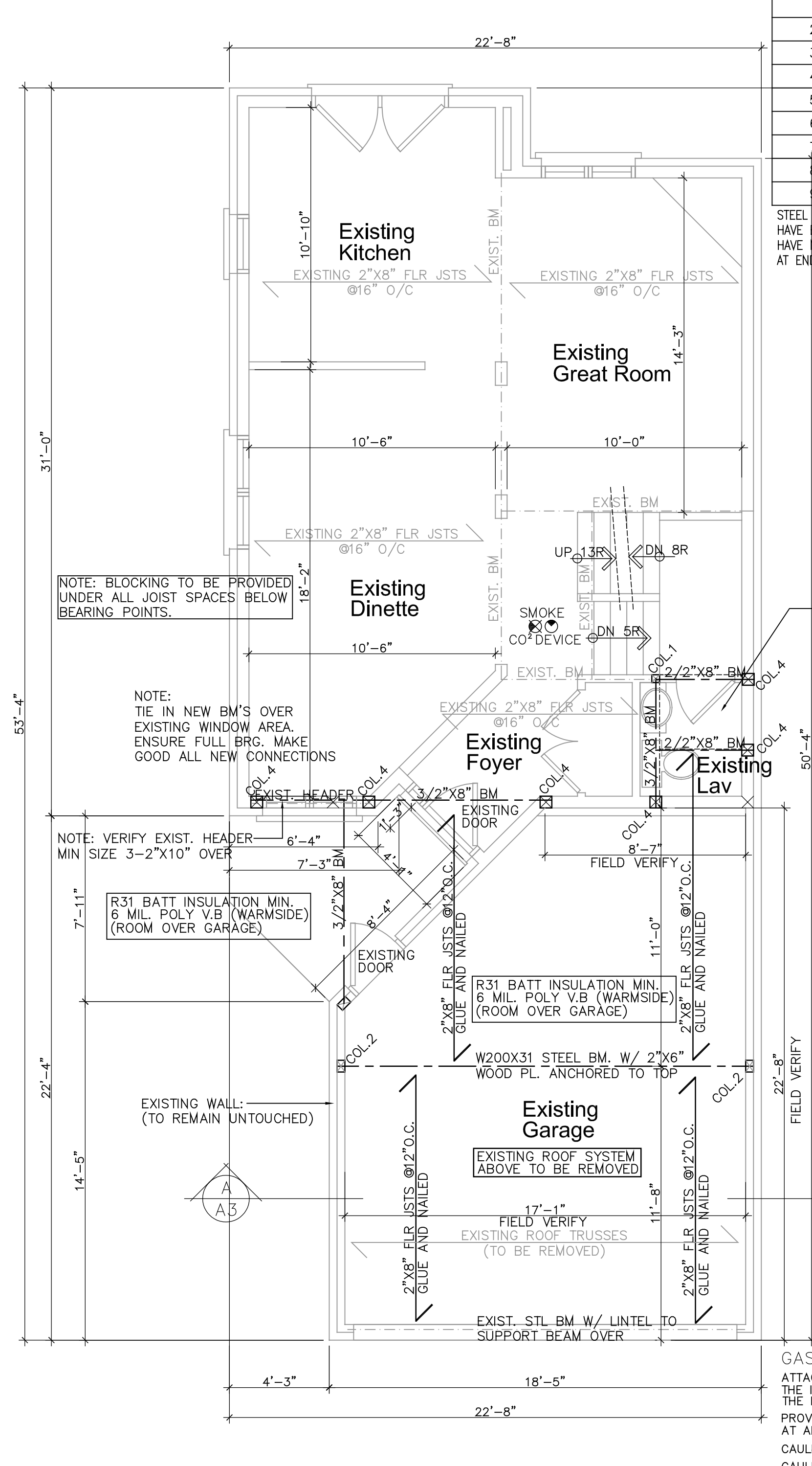
NOTE: CONTRACTOR / BUILDER / OWNER TO MAKE ALL NECESSARY PRECAUTIONS WHEN REMOVING EXISTING WALLS AND ADDING NEW BEAM SUPPORTS. MAKE SURE CEILING ON BOTH SIDES ARE SHORED UP PRIOR TO REMOVING ANY LOAD BEARING WALLS.

NOTE: ALL INTERIOR DIMENSIONS SHOWN ARE FIELD MEASURED AND ARE ALL +/- VERIFY ON SITE PRIOR TO CONSTRUCTION.

NOTE: VERIFY ALL GRADE AND FLOOR HEIGHTS PRIOR TO CONSTRUCTION. MAKE ANY ADJUSTMENTS REQUIRED TO NUMBER OF RISERS/ STEPS PRIOR TO COMMENCING CONSTRUCTION.

NOTE: NEW CONCRETE FOOTINGS AND FOUNDATION WALL SOIL BEARING CAPACITY IS ASSUMED AT 75 Kpa OR GREATER.

FOR Laterally Supported / UNSUPPORTED FOUNDATION WALLS AT TOP - SEE TABLE 9.15.4.2.A. FOR MAX. HT. PERMITTED



EXISTING FIRST FLOOR PLAN

NOTE: PROVIDE SOLID BLOCK IN JOIST SPACE AND IN ALL BEARING WALLS AS NOTED ON PLAN. REPORT ANY DISCREPANCY TO DESIGNER.

NOTE: ALL COLUMNS AT ROOF MUST TRANSFER TO GROUND FLOOR IF NOT PICKED UP BY A WINDOW, DOOR OR POST ABOVE.

| DOOR LEGEND | GENERAL NOTES: | FLOOR PLAN DIMENSIONS : |
|------------------|---|--|
| 1 1'8" x 6'8" | SMOKE ALARMS : | ALL DIMENSIONS ON FLOOR PLANS |
| 2 2'0" x 6'8" | NOTE ALL SMOKE ALARMS WITH-IN A SINGLE DWELLING UNIT SHALL BE INTERCONNECTED. | ARE FROM NOMINAL STUD FACE TO NOMINAL STUD FACE OR FACE OF EXTERIOR FINISH MATERIAL. |
| 3 2'4" x 6'8" | | |
| 4 2'6" x 6'8" | | |
| 5 2'8" x 6'8" | | |
| 6 3'0" x 6'8" | | |
| 7 SLIDERS TO FIT | | |

| COLUMN SCHEDULE | SMOKE ALARMS : | NOTE: OWNER TO VERIFY EXISTING MECH. AND ELECTRICAL PANEL MEETS OR EXCEEDS REQUIREMENTS OF THE O.B.C. AN INDEPENDANT QUALIFIED PERSON SHALL DETERMINE IF EXISTING MECH./ELECT. SERVICES MEETS THE REQUIRED INTENT OF THE USE TO BE PROVIDED. |
|-----------------|---|--|
| COL. 1=3-2x4 | NOTE ALL SMOKE ALARMS WITH-IN A SINGLE DWELLING UNIT SHALL BE INTERCONNECTED. | NOTE: ALL DIMENSIONS TO BE FIELD VERIFIED AND ADJUSTED ON SITE TO SUIT CONDITIONS PRIOR TO INSTALLATION. |
| COL. 2=4-2x4 | | |
| COL. 3=2-2x6 | | |
| COL. 4=3-2x6 | | |
| COL. 5=4-2x6 | | |

STEEL LINTEL SCHEDULE

| CLEAR SPAN | BRICK | STONE |
|------------|-----------------------|-------------------|
| 2'-6" | L 3"x3"x1/4" | L 4"x3"x1/4" |
| 3'-11" | L 3 1/2"x3 1/2"x1/4" | L 5"x3 1/2"x5/16" |
| 4'-11" | L 3 1/2"x3 1/2"x5/16" | L 5"x3 1/2"x5/16" |
| 5'-11" | L 4"x3 1/2"x5/16" | L 5"x5"x5/16" |
| 6'-11" | L 5"x3 1/2"x5/16" | L 5"x5"x5/16" |
| 7'-10" | L 5"x3 1/2"x5/16" | L 5"x5"x5/16" |
| 8'-10" | L 5"x3 1/2"x3/8" | L 5"x5"x3/8" |
| 9'-10" | L 6"x4"x3/8" | L 5"x5"x1/2" |

STEEL LINTELS SHOWN IN ABOVE CHART SHALL HAVE EVEN AND LEVEL BEARING AND SHALL HAVE NOT LESS THAN 6" LENGTH OF BEARING AT END SUPPORTS.

NOTE: ALL EXISTING DIMENSIONS TO BE VERIFIED BY CONTRACTOR OF EACH DISCIPLINE PRIOR TO COMMENCEMENT OF CONSTRUCTION. ADJUST AS NECESSARY TO ENSURE DESIGN ELEMENTS ARE MAINTAINED.

NOTE: REMOVE EXIST. FLR/ CLG IN NEW STAIR LOCATION AREA AND ADD BEAMS TO SUPPORT NEW STEPS TO ADDITION. EXISTING CEILING HT IN BATHROOM IS 11'-3" +/-.

NOTE: PROVIDE WOOD HOLES ALONG BEAM TOP FLANGE AT 24" O/C. STAGGERED FOR REQUIRED 1/4" SCREWS

-WOOD TOP PLATE TO BE PLACED ON TOP OF STEEL BEAM

GAS PROOFING NOTES :

ATTACHED GARAGES MUST BE COMPLETELY SEALED TO PREVENT THE INFILTRATION OF CARBON MONOXIDE AND GASOLINE FUMES INTO THE DWELLING.

PROVIDE 1/2" DRYWALL WITH MIN. 2 COATS OF JOINT COMPOUND AT ALL WALLS ADJACENT TO DWELLING.

CAULK BETWEEN GYP. BOARD AND OTHER SURFACES W/ ACOUSTIC SEALANT. CAULK ALL PENETRATIONS SUCH AS HOSE BIBS W/ ACOUSTIC SEALANT.

DOORS BETWEEN GARAGE AND DWELLING SHALL BE TIGHT FITTING AND WEATHERSTRIPPED AND PROVIDED WITH A SELF CLOSING DEVICE.

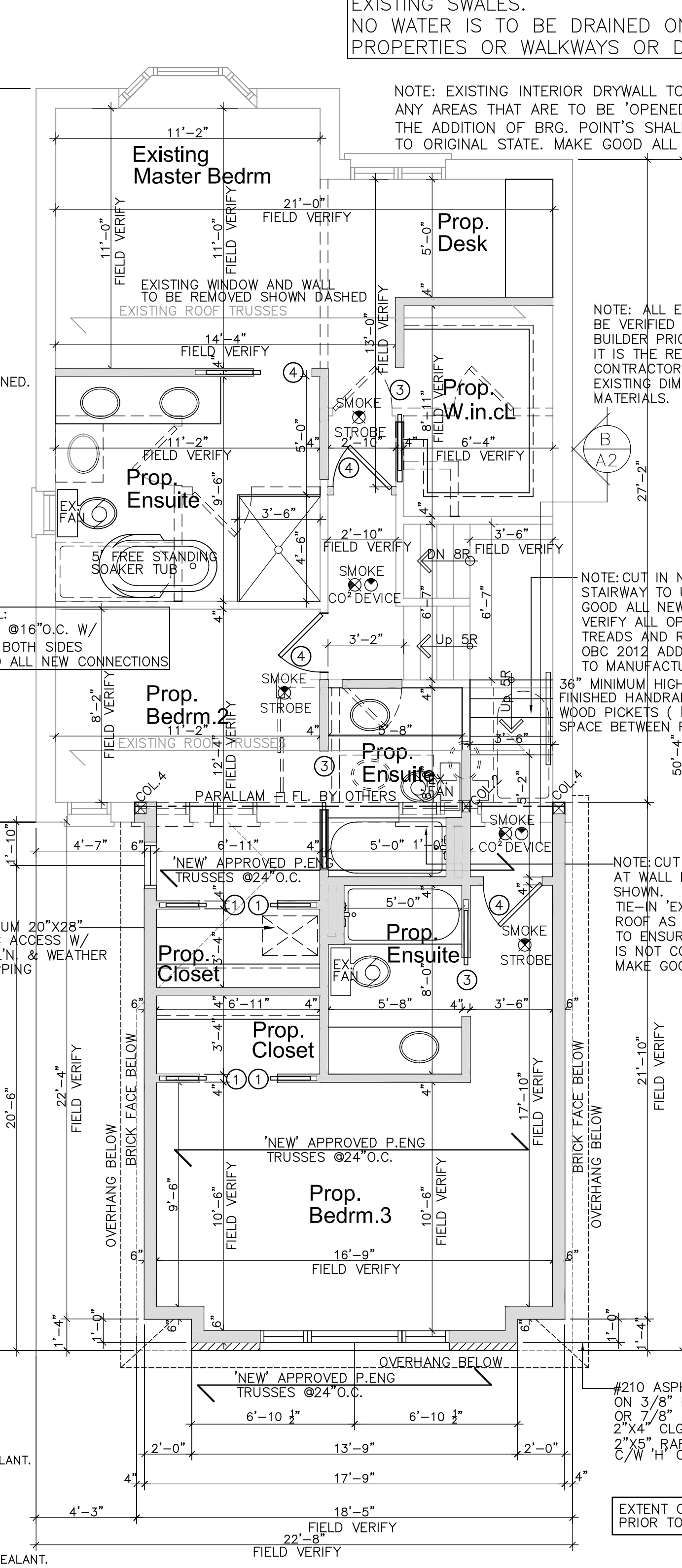
GARAGE SLAB SHALL BE SLOPED TO DRAIN OUTDOORS.

WHERE AN ATTACHED GARAGE IS ADJACENT TO AN ATTIC SPACE, CARRY DRYWALL UP TO ROOF SHEATHING AND CAULK WITH ACOUSTIC SEALANT.

WHERE MASONRY WALLS FORM THE SEPARATION BETWEEN THE DWELLING AND ATTACHED GARAGE SHALL BE PROVIDED WITH 2 COATS OF SEALER OR COVERED WITH PLASTER OR GYP. BOARD ON THE GARAGE SIDE.

USE ONLY WHERE 'L.V.'S ARE NOT SPECIFIED

| WOOD LINTEL LEGEND |
|--|
| FOR WINDOW OPENINGS : |
| 44" OR LESS USE 2/2"x8" |
| 66" OR LESS USE 2/2"x10" |
| 88" OR LESS USE 2/2"x12" |
| PROVIDE INSUL. BETWEEN HEADERS IF POSSIBLE |



SECOND FLOOR PLAN

NOTE: ALL EXISTING HEADERS TO BE VERIFIED ON SITE. FOLLOW CHART TO ENSURE PROPER BEAM SIZE IS IN PLACE. ADJUST AS NEEDED ENSURE SITE INSPECTION IS CARRIED OUT.

NOTE: CONTRACTOR, BUILDER, OWNER TO MAKE ALL NECESSARY PRECAUTIONS WHEN REMOVING EXISTING WALLS AND ADDING NEW BEAM SUPPORTS. MAKE SURE CEILING ON BOTH SIDES ARE SHORED UP PRIOR TO REMOVING ANY LOAD BEARING WALLS.

| WINDOW OPENINGS |
|--|
| TOTAL WALLS: (4032.30 SQ.FT) 374.61 M2 |
| TOTAL OPENINGS: (309.39 SQ.FT) 28.7 M2 |
| = 7.6% |

DO NOT SCALE DRAWINGS

NOTE: ALL PROPOSED RAIN WATER LEADERS TO DISCHARGE ANY RAIN WATER ON PROPERTY OR EXISTING SWALES. NO WATER IS TO BE DRAINED ON TO ADJACENT PROPERTIES OR WALKWAYS OR DRIVEWAYS.

NOTE: EXISTING INTERIOR DRYWALL TO REMAIN ANY AREAS THAT ARE TO BE 'OPENED' FOR THE ADDITION OF BRG. POINTS SHALL BE REPAIRED TO ORIGINAL STATE. MAKE GOOD ALL NEW CONNECTIONS.

NOTE: ALL EXISTING ROOM SIZES, DIMENSIONS TO BE VERIFIED BY THE OWNER CONTRACTOR BUILDER PRIOR TOO AND DURING CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE OWNER, CONTRACTOR, BUILDER TO FIELD VERIFY ALL EXISTING DIMENSIONS BEFORE ORDERING ANY MATERIALS.

NOTE: CUT IN NEW OPENING FOR NEW STAIRWAY TO UPPER FLOOR. MAKE GOOD ALL NEW CONNECTIONS AND VERIFY ALL OPENINGS PRIOR TOO. TREADS AND RISERS TO BE AS PER OBC 2012 ADDITION. VERIFY PRIOR TO MANUFACTURING.

NOTE: CUT OFF EXISTING ROOF TAILS AT WALL LOCATION. ADD BEAM AS SHOWN. TIE-IN EXIST' ROOF TO 'NEW' ROOF AS SHOWN. PROVIDE SUPPORT TO ENSURE STRUCTURAL INTEGRITY IS NOT COMPROMISED. MAKE GOOD ALL NEW CONNECTIONS

TYPICAL 2ND FLOOR WALLS (8'-0"):

NEW STUCCO FINISH BUILDING PAPER 1/2" EXT PLYWD. OR EQUAL 2"x6" WD. STUDS @ 16" O.C. R22 BATT INSULATION 6 MIL POLY V.B. 1/2" DRYWALL

#210 ASPHALT SHINGLES ON 3/8" PLYWD SHEATHING OR 7/8" ASPENITE 2"x4" CLG JSTS. 2"x6" PLYWD @ 16" O.C.

EXTENT OF NEW TRUSSES TO BE FIELD VERIFY PRIOR TO ORDERING ANY NEW TRUSSES.



The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Div.C, Article 3.2.5.1 of the Building Code

MAURO FORTUNATO 15084
Name Signature BCN

REGISTRATION INFORMATION
Required unless design is exempt under Div.C, Article 3.2.4.1 of the Building Code

UNIQUE DESIGNS INC 31090
Firm Name BCN

| No. | DATE | DESCRIPTION |
|-----|----------|-------------------|
| 1. | 04.17.22 | ISSUED FOR PERMIT |
| 2. | | |
| 3. | | |
| 4. | | |
| 5. | | |
| 6. | | |
| 7. | | |
| 8. | | |

UNIQUE DESIGNS INC.

2 STOREY ADDITION / RENOVATION

FLOOR PLANS

MACTAGGART RESIDENCE

31 WATERFORD CRST. STONEY CREEK, ONT.

Drawn By Scale 1/4"=1'-0"

Date: 04.15.22

Job Number 041022

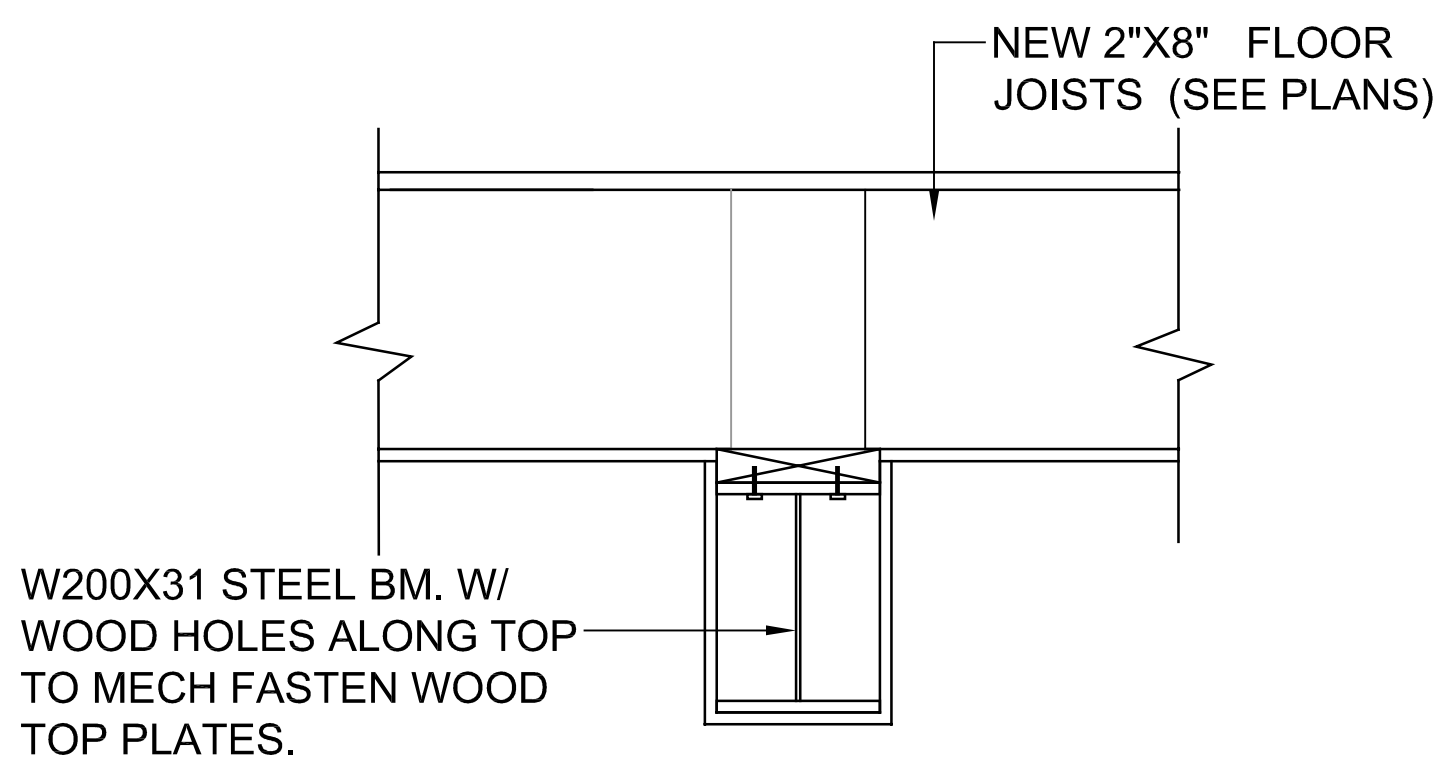
A2

| CEILING JOISTS | | | | SUBFLOORING | | | |
|----------------|----------|----------|----------|-------------------|-----------|---------|--------|
| JOIST SIZE | 12" o.c. | 16" o.c. | 24" o.c. | FLOOR JOIST UP TO | WAFER BD. | PLYWOOD | LUMBER |
| 2x4 | 10'-2" | 9'-3" | 8'-1" | 16" O.C. | 5/8" | 5/8" | 11/16" |
| 2x6 | 16'-0" | 14'-7" | 12'-9" | 20" O.C. | 5/8" | 5/8" | 3/4" |
| 2x8 | 21'-1" | 19'-2" | 16'-9" | 24" O.C. | 3/4" | 3/4" | 3/4" |

| ROOF SHEATHING | | |
|----------------|--|---|
| ROOF FRAMING | ROOF SHEATHING UNSUPPORTED EDGES | ROOF SHEATHING TONGUE & GROOVE, 'H'-CLIPS OR OTHER EDGE SUPPORT |
| 12" O.C. | 3/8" PLYWOOD, WAFER BD. OR 11/16" LUMBER | 5/16" PLYWOOD, 3/8" WAFER BD. OR 11/16" LUMBER |
| 16" O.C. | 3/8" PLYWOOD, 7/16" WAFER BD. OR 11/16" LUMBER | 5/16" PLYWOOD, 3/8" WAFER BD. OR 11/16" LUMBER |
| 24" O.C. | 1/2" PLYWOOD OR 3/4" LUMBER | 3/8" PLYWOOD, 7/16" WAFER BD. OR 3/4" LUMBER |

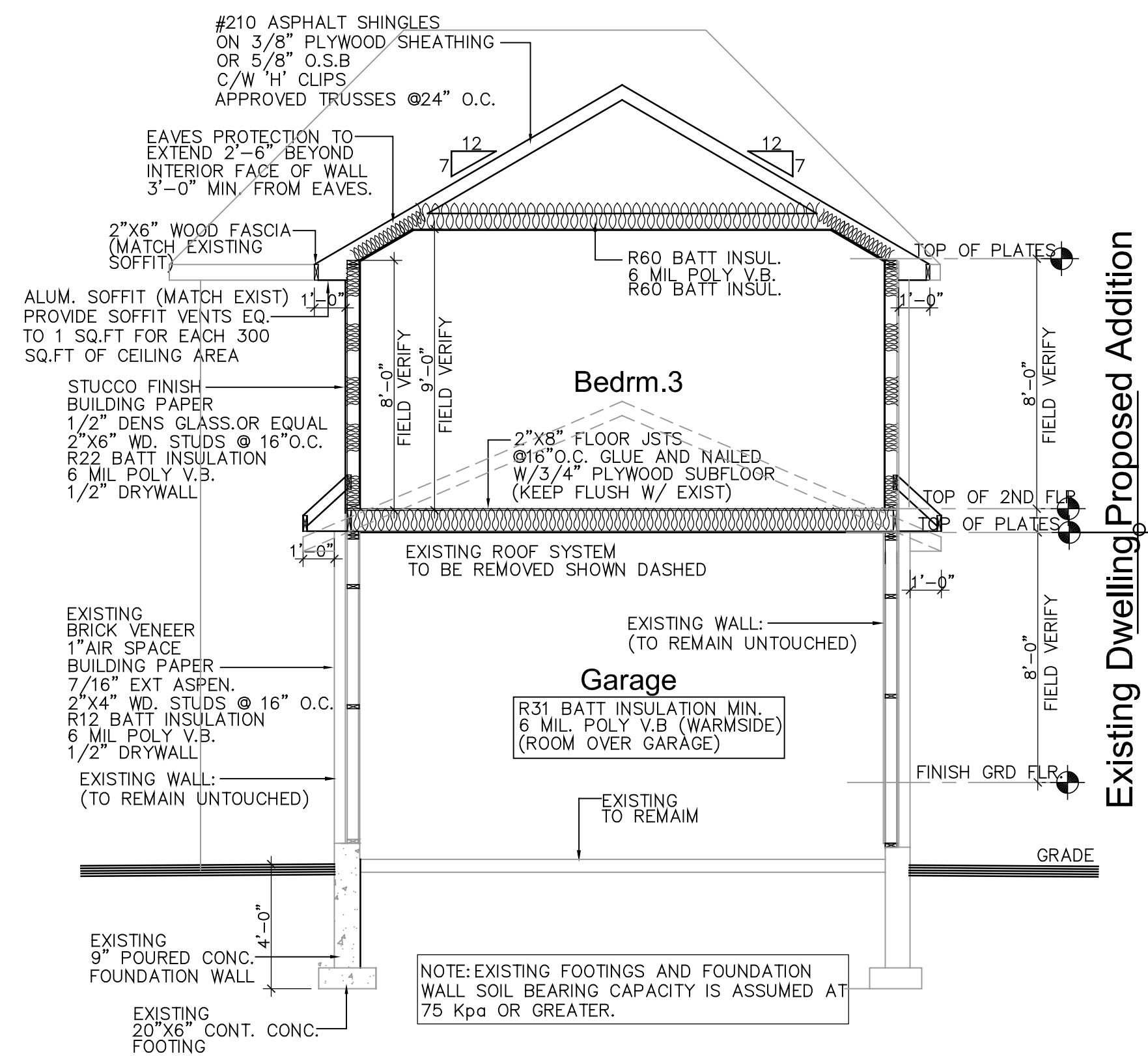
| ROOF JOISTS (WHERE CEILING IS INSTALLED) | | | | | | |
|--|-----------------------|----------|----------|-----------------------|----------|----------|
| JOIST SIZE | MAXIMUM CLEAR SPAN | | | | | |
| | ROOF SNOW LOAD 21 PSF | | | ROOF SNOW LOAD 31 PSF | | |
| | JOIST SPACING | | | | | |
| 2X4 | 12" O.C. | 16" O.C. | 24" O.C. | 12" O.C. | 16" O.C. | 24" O.C. |
| | 8'-1" | 7'-4" | 6'-5" | 7'-1" | 6'-5" | 5'-7" |
| | 12'-9" | 11'-6" | 10'-1" | 11'-1" | 10'-1" | 8'-9" |
| 2X6 | 16'-9" | 15'-2" | 13'-3" | 14'-7" | 13'-3" | 11'-7" |

| ROOF RAFTERS (WHERE NO CEILING IS INSTALLED) | | | | | | |
|--|-----------------------|----------|----------|-----------------------|----------|----------|
| RAFTER SIZE | MAXIMUM CLEAR SPAN | | | | | |
| | ROOF SNOW LOAD 21 PSF | | | ROOF SNOW LOAD 31 PSF | | |
| | RAFTER SPACING | | | | | |
| 2X4 | 12" O.C. | 16" O.C. | 24" O.C. | 12" O.C. | 16" O.C. | 24" O.C. |
| | 10'-2" | 9'-3" | 8'-1" | 8'-11" | 8'-1" | 7'-1" |
| | 16'-0" | 14'-7" | 12'-9" | 14'-0" | 12'-9" | 11'-1" |
| 2X6 | 21'-1" | 19'-2" | 16'-9" | 18'-5" | 16'-9" | 14'-5" |



NOTE STEEL BM : WOOD HOLES WHERE CALLED FOR PROVIDE 1/2" DIA. BOLTS AT 12" O.C. STAGGERED

SECTION AT STL BEAM



TYPICAL SECTION A A2

GENERAL SPECIFICATION

GENERAL NOTES

ALL CONSTRUCTION TO MEET OR EXCEED ONTARIO BUILDING CODE LATEST ADDITION (2012)

SITE VERIFY WHEN ADDING ON TO OR REMOVING FROM AN EXISTING BUILDING THAT ALL EXISTING OR NEW STRUCTURAL COMPONENTS ARE CAPABLE OF WITHSTANDING THE STRUCTURAL LOADS IMPOSED, AND REPORT ANY DISCREPANCIES AND/OR DEFICIENCIES TO THE DESIGNER.

ENSURE THAT ALL CONSTRUCTION, MATERIALS, METHODS OF INSTALLATION, AND BRACING COMPLY WITH REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION. MAKE GOOD ALL DISTURBED OR DAMAGED DURING CONSTRUCTION WHETHER SHOWN ON THE DRAWINGS OR NOT. REPORT ANY CONTEMPLATED DEVIATIONS FROM THE APPROVED DRAWINGS OR SPECIFICATIONS TO THE DESIGNER PRIOR TO MAKING ANY CHANGES. PROVIDE CUTTING, PATCHING AND REMEDIAL WORK IN ORDER TO ENSURE PARTS OF THE WORK COME TOGETHER PROPERLY. TEMPORARY BRACING TO BE USED WHEREVER NECESSARY TO WITHSTAND ALL LOADS DURING ERECTION AND SUBSEQUANT CONSTRUCTION.

CONCRETE FOOTINGS, FOUNDATION WALLS & SLABS

CONCRETE FOOTINGS TO REST ON UNDISTURBED SOIL CAPABLE OF SUSSTAINING A LOAD OF 2000 LBS. PER SQUARE FOOT MINIMUM 4'-0" BELOW GRADE. FOOTINGS TO CONFORM TO O.B.C. SECTION 9.15. STEPPED FOOTINGS MAX. 2'-0" HORIZONTAL AND VERTICAL STEP 2/3 HORIZONTAL STEP TO MAX. 5'-0". FOUNDATION WALLS TO BE MIN. 10" THICK UNLESS OTHERWISE NOTED. ALL FOUNDATION WALLS TO EXTEND MIN. 6" ABOVE GRADE. HABITABLE ROOMS ON CONCRETE SLABS TO BE DAMPROOFED WITH 6 MIL POLY VAPOUR BARRIER.

STEEL COLUMNS

STEEL COLUMN PLATES TO BE ANCHORED TO FOOTING WITH MIN. TWO 1/2" DIA. BOLTS MIN. 4" INTO FOOTING. STEEL COLUMN PLATES TO BE CONNECTED TO STEEL BEAMS WITH MIN. TWO 1/2" DIA. BOLTS, OR WELD PLATES TO BEAM FLANGES. STEEL COLUMNS TO BE MINIMUM 3 1/2" OUTSIDE DIAMETER AND 3/16" WALL THICKNESS. STEEL COLUMNS SHALL BE TREATED WITH AT LEAST ONE COAT RUST INHIBITIVE PAINT.

WOOD FRAMING

ALL FRAMING LUMBER TO O.B.C. STANDARDS. ALL FRAMING LUMBER INDICATED ON DRAWINGS TO BE S.P.F. No.2 UNLESS OTHERWISE SPECIFIED. BEAMS TO HAVE MIN. BEARING OF 3 1/2". LATERAL SUPPORT - WALLS SUPPORTING JOISTS, ANCHOR SILL PLATE WITH 1/2" DIA. ANCHOR BOLTS MAX. 7'-10" O.C. EMBEDDED 4" INTO MASONRY OR ANCHORED EVERY 4TH JOIST NOT RESTING ON A PLATE WITH 3/16"x 1 1/2" STEEL JOIST ANCHORS. LATERAL SUPPORT - WALLS PARALLEL TO JOISTS, BEND 3/16"x 1 1/2" STEEL STRAP 3" INTO MASONRY AND FIX TO 3 PARALLEL JOISTS OR FIX SILL PLATE TO 3 RIGIDLY CONNECTED FLOOR JOISTS AT 7'-10" MAX. ALL JOISTS TO HAVE BRIDGING OVER INTERIOR BEARING WALLS AND BEAMS. MIN. SILL PLATE 2"x6". SILL PLATES ANCHORS TO BE MIN. 1/2" DIA. BOLTS EMBEDDED 4" INTO FOUNDATION WALLS. SPACE FLOOR JOISTS AT 12" O.C. FOR CANTILEVERS. MIN. 1 1/2" END BEARING REQUIRED FOR FLOOR JOISTS, CEILING JOISTS, ROOF JOISTS AND RAFTERS. PROVIDE METAL JOIST HANGERS FOR SUPPORT OF JOISTS FRAMING INTO SIDES OF WOOD BEAMS, HEADER AND TRIMMER JOISTS WHEN REQUIRED.

PRE-MANUFACTURED WOOD FRAMING

- ALL FRAMING MATERIALS AND METHODS FOR PRE-MANUFACTURED WOOD CONSTRUCTION (WOOD "I" FLOOR JOISTS) ARE TO BE INSTALLED AS PER MANUFACTURERS DETAILS AND SPECIFICATIONS.
- PRE-MANUFACTURED WOOD SUPPLIER SHALL SUBMIT SHOP DRAWINGS SHOWING LOCATION, LOADING, ALLOWABLE AND ACTUAL DESIGN STRESSES, DEFLECTION LIMITATIONS, TEMPORARY AND PERMANENT BRACINGS, CONNECTION AND BEARING DETAILS AND SHALL BEAR THE SEAL OF A PROFESSIONAL ENGINEER LICENCED AND INSURED TO PRACTICE IN THE PROVINCE OF ONTARIO.
- SHOP DRWINGS ARE TO BE SUBMITTED TO THE DESIGNER FOR APPROVAL PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

GLUE LAMINATED WOOD BEAMS

- ALL FRAMING MATERIALS AND METHODS FOR GLUE LAMINATED WOOD BEAMS TO BE INSTALLED AS PER MANUFACTURERS DETAILS AND SPECIFICATIONS.
- ALL BEAM TO BEAM, AND BEAM TO COLUMN CONNECTIONS SHALL BE MIN. 1/4" METAL PLATE CONNECTIONS C/W MIN. 2 - 5/8" DIA. THROUGH BOLTS AT EACH MEMBER BEING CONNECTED.
- ALL EXPOSED CONNECTIONS INCLUDING BOLTS MUST BE COATED TO RESIST CORROSION.
- SUBSTITUTION OF BEAMS FOR DIFFERENT SIZES OR MATERIALS MUST BE APPROVED BY THE DESIGNER PRIOR TO INSTALLATION. BEAM SUPPLIER SHALL SUBMIT SHOP DRAWINGS AND ENGINEERING CALCULATIONS FOR BEAMS SHOWN ON DRAWINGS OR FOR SUBSTITUTIONS BEING PROPOSED AND SHALL BEAR THE SEAL OF PROFESSIONAL ENGINEER LICENCED AND INSURED TO PRACTICE IN THE PROVINCE OF ONTARIO. SHOP DRAWING MUST BE SUBMITTED TO THE DESIGNER FOR APPROVAL PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

MASONRY VENEER WALLS

- MIN. 3 5/8" THICKNESS UP TO 24'-0" MAX. HEIGHT.
- MASONRY TIES TO BE GALVANIZED, CORROSION RESISTANT CORRUGATED 22ga., 7/8" WIDE SPACED 16" O.C. HORIZONTALLY, AND 24" O.C. VERTICALLY NAILED TO STUDS THROUGH THE SHEATHING.

ROOF CONSTRUCTION

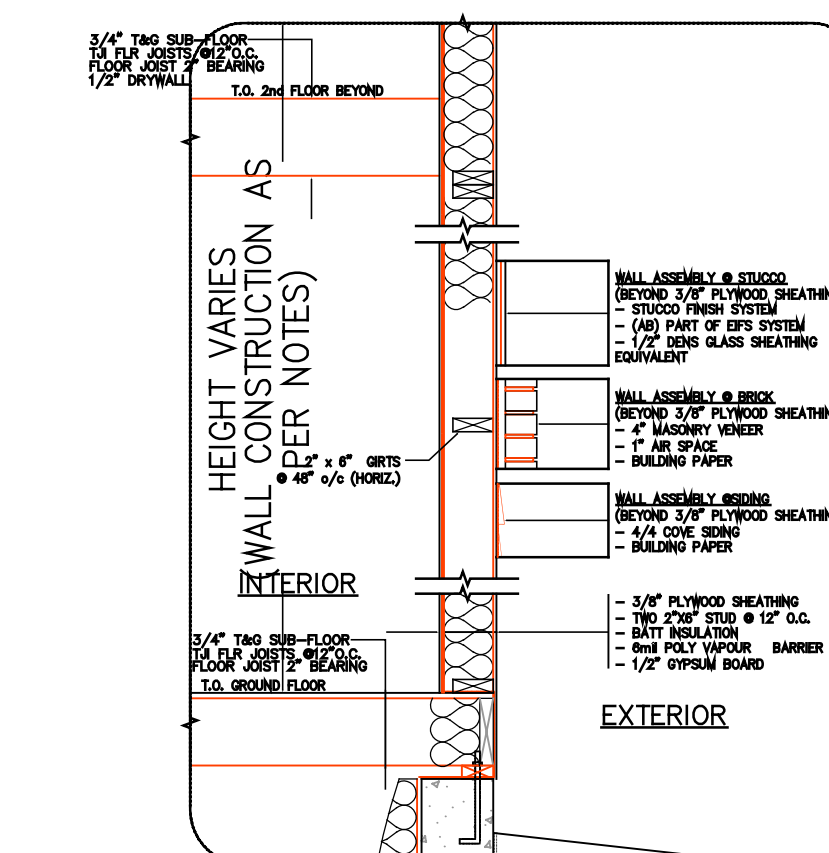
- ALL ROOF TRUSSES MUST BE DESIGNED AND FABRICATED IN ACCORDANCE WITH O.B.C./ N.B.C. PART 4.
- TRUSS SUPPLIER SHALL SUPPLY ALL NECESSARY PLANS INCLUDING PLACING DRAWING SHOWING LOCATION, LOADING, ALLOWABLE STRESSES, TEMPORARY AND PERMANENT BRACINGS AND SHALL BEAR THE SEAL OF PROFESSIONAL ENGINEER LICENCED AND INSURED TO PRACTICE IN THE PROVINCE OF ONTARIO. TRUSS DRAWINGS MUST BE SUBMITTED TO THE DESIGNER & THE CHIEF BUILDING OFFICIAL FOR APPROVAL AND TO VERIFY ALL BEAM AND LINTEL SIZES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- HIP AND VALLEY RAFTERS TO BE 2" DEEPER THAN COMMON RAFTERS.
- ROOF EDGE SUPPORTS TO BE MIN. 2"x2" BLOCKING.
- PROVIDE 1"x4" CONTINUOUS TRUSS BRIDGING AT 7'-0" O.C. MAXIMUM.
- PROVIDE 2"x4" WALL TIES ACROSS JOINTS OR BOTTOM TRUSS CORDS AT MIN. 4'-0" O.C. FOR ROOF SLOPES 4/12 OR GREATER.

FLASHING

- FLASHING IS REQUIRED UNDER ALL JOINTED SILLS AND OVERHEADS OF WINDOWS AND DOORS IN EXTERIOR WALLS IF DISTANCE BELOW EAVE IS MORE THAN 1/4 OF THE ROOF OVERHANG.
- CHIMNEY FLASHING IS REQUIRED AT INTERSECTION WITH ROOF. FLASH OVER A CHIMNEY SADDLE WHEN WIDTH OF CHIMNEY EXCEEDS 1'-6".
- FLASHING REQUIRED AT INTERSECTION OF ROOFS AND WALL, VALLEYS, AND OVER PARAPET WALLS.
- FLASHING BETWEEN ROOF SHINGLES AND WALL SIDING TO BE 20ga. GALV. METAL AND TO EXTEND 3" VERTICALLY & HORIZONTALLY.

HEATING

- HEATING DESIGN HAS BEEN LOCATED AS A SUGGESTED GUIDE ONLY. INSTALLATION AND DESIGN IS TO BE AS PER THE ONTARIO BUILDING CODE, PART 6. HEATING PLANS AND HEAT LOSS/HEAT GAIN CALCULATIONS ARE TO BE SUBMITTED TO THE LOCAL BUILDING OFFICIAL AND THE DESIGNER FOR REVIEW AND APPROVAL PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.



TYP. CLEAR STOREY FRAMING DETAIL

| WINDOW OPENINGS | |
|--------------------------------|-----------|
| TOTAL WALLS: (4032.30 SQ.FT) | 374.61 M2 |
| TOTAL OPENINGS: (309.39 SQ.FT) | 28.7 M2 |
| | = 7.6% |

DO NOT SCALE DRAWINGS

| No. | DATE | DESCRIPTION |
|-----|----------|-------------------|
| 1. | 04.17.22 | ISSUED FOR PERMIT |
| 2. | | |
| 3. | | |
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| 6. | | |
| 7. | | |
| 8. | | |

UNIQUE DESIGNS INC.
SECTION, DETAILS, NOTES

2 STOREY ADDITION / RENOVATION

MACTAGGART RESIDENCE
31 WATERFORD CRST. STONEY CREEK, ONT.



The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Div.C, Article 3.2.5.1 of the Building Code

MAURO FORTUNATO 15084
Name Signature BCN

REGISTRATION INFORMATION
Required unless design is exempt under Div.C, Article 3.2.4.1 of the Building Code

UNIQUE DESIGNS INC 31090
Firm Name BCN

Drawn By Scale
1/4"=1'-0"

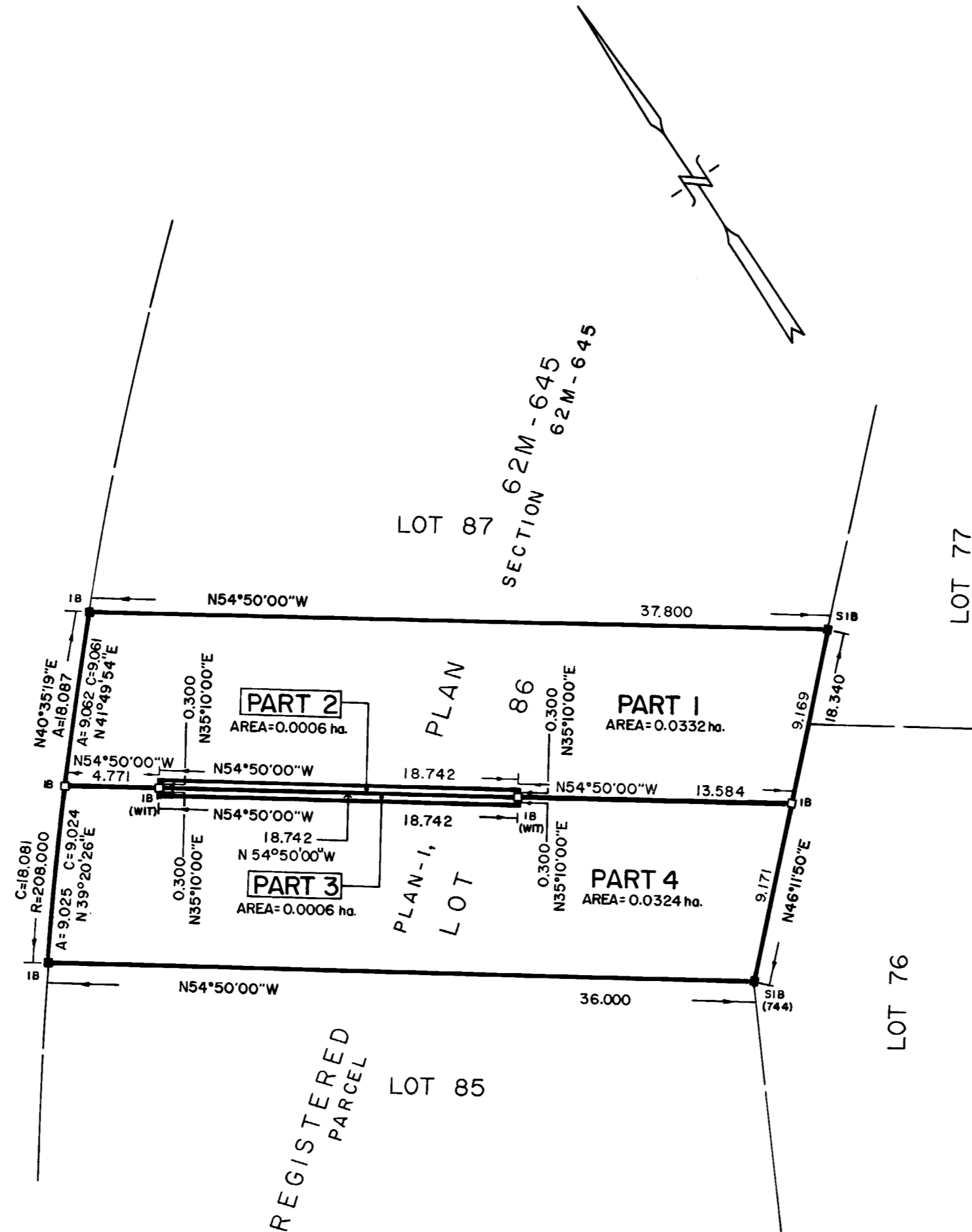
Date: 04.15.22

Job Number 041022

A3

62R-11722

WATERFORD CRESCENT
(INDICATED BY REGISTERED PLAN 62M-645)
PARCEL STREETS-I, SECTION 62M-645



PLAN 62R-11722

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

RECEIVED AND DEPOSITED

DATE APRIL 18TH, 1991

DATE 1991-04-18

S. J. Balaban
S. J. BALABAN
ONTARIO LAND SURVEYOR.

M. Hunter
LAND REGISTRAR FOR THE
LAND TITLES DIVISION OF
WENTWORTH (N° 62)

PARTS 1 TO 4 (BOTH INCLUSIVE) - PART OF PARCEL PLAN - I, SECTION 62M-645

PLAN OF SURVEY OF
LOT 86
REGISTERED PLAN 62M-645
CITY OF STONEY CREEK
REGIONAL MUNICIPALITY OF HAMILTON-WENTWORTH
SCALE 1:250

J. D. BARNES LIMITED - 1991

J. D. BARNES LIMITED - 1991

METRIC DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NOTES:

BEARINGS HEREON ARE ASTRONOMIC AND ARE REFERRED TO THE NORTHEAST LIMIT OF LOT 86, HAVING A BEARING OF N 54° 50' 00" W IN ACCORDANCE WITH REGISTERED PLAN 62M-645.

- DENOTES SURVEY MONUMENT FOUND
- ◻ DENOTES SURVEY MONUMENT PLANTED
- SIB DENOTES STANDARD IRON BAR
- IB DENOTES IRON BAR
- WIT DENOTES WITNESS
- P1 DENOTES REGISTERED PLAN 62M-645
- 744 DENOTES MATTHEWS AND CAMERON LTD.

ALL FOUND SURVEY MONUMENTS WERE SET BY J. D. BARNES LIMITED, UNLESS OTHERWISE NOTED.

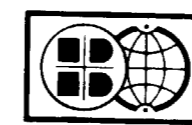
CAUTION THIS PLAN IS NOT A PLAN OF SUBDIVISION WITHIN THE MEANING OF THE PLANNING ACT.

SURVEYOR'S CERTIFICATE

- I CERTIFY THAT:
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE THEREUNDER.
 - THE SURVEY WAS COMPLETED ON THE 3RD DAY OF APRIL, 1991.

DATE APRIL 12, 1991

S. J. Balaban
S. J. BALABAN
ONTARIO LAND SURVEYOR



J.D. BARNES
LIMITED

SURVEYING MAPPING
LAND INFORMATION SERVICES

OFFICE OF ORIGIN:
45 FRID STREET, UNIT 1
HAMILTON ONTARIO L8P 4M3
TELEPHONE (416) 522-3511
FAX (416) 572-9115

DRAWN BY: R. D.

CHECKED BY: D. S.

REFERENCE NO.:
90-29-836-05-86

16X

JDB-4

March 16, 2022

Via Email

City of Hamilton
Committee of Adjustment
71 Main Street West, 5th Floor
Hamilton, ON L8P 4Y5

Attention: Jamila Sheffield, Secretary-Treasurer

**RE: 31 Waterford Crescent, City of Hamilton, Ontario
Application for Minor Variance**

On behalf of my clients, Paul and Patti-Lynne MacTaggart (registered owners), I am pleased to submit this application for minor variance relative to 31 Waterford Crescent, and the requisite information in support of this application:

- Minor Variance Application Form (1 copy)
- Site Plan Sketch (showing proposed addition)
- Floor Plans & Building Elevations, prepared by Jonkman Design
- Updated Plan of Survey – certified on March 1, 2022 by JD Barnes Ltd.
- Original Plan of Survey – dated August 20, 1991
- PIN 17347-0209(LT) and related deed and plan for the easement (62R11722)
- Application fee in the amount of \$3465 made payable to Treasurer, City of Hamilton (paid online)

A. Development Proposal:

The MacTaggarts wish to construct a 394 sq.ft. second-storey addition immediately above the existing attached garage of their dwelling unit. There will be no increase or expansion to the existing building footprint or height of the dwelling. The shed and cabana are existing structures in the rear yard.

B. Nature and extent of relief applied for:

In order to construct a second-storey addition above the existing garage (while maintaining the location of the existing shed and cabana in the rear yard), relief from Zoning By-law No.3692-92, Sections 6.6.3(a) and 6.1.4(a) is required.

In accordance with Section 45(1) of the Planning Act, this planning justification brief will demonstrate the following:

- The requested variances are minor
- The variances are desirable for the appropriate development of the lands
- The application conforms to the general intent and purpose of the Zoning By-law
- The application conforms to the general intent and purpose of the Official Plan

The requested minor variances are as follows:

| | Zoning By-law No.3692-92 Section | Purpose |
|----|----------------------------------|---|
| 1. | Section 6.6.3(a) | To permit an interior side yard setback of 0.93m whereas a minimum of 1.25m is required (southern side yard) |
| 2. | Section 6.6.3(a) | To permit an interior side yard setback of 1.20m whereas a minimum of 1.25m is required (northern side yard) Note: The original survey from 1991 identifies a 1.25m side yard (excerpt from survey attached). |
| 3. | Section 6.1.4(a) | To allow a minimum side yard of 0.17m for an accessory building (cabana) whereas a minimum of 0.5m is required |
| 4. | Section 6.1.4(a) | To allow a minimum side yard of 0.09m for an accessory building (shed) whereas a minimum of 0.5m is required |
| 5. | Section 4.19.1(b) | To permit the eaves to be located a distance of 0.63m from the side property line. <u>Note:</u> The eaves will only project 0.3m from the edge of the applicant's dwelling into the required yard. Our interpretation of Section 4.19.1(b) is that so long as the eaves don't project more than 0.5m from the building (into a required yard), a variance would not be necessary. As such, we don't believe this variance is required but are including it in the application, as a precaution, on the advice of the City's Building Division. Please remove this requested variance if it is deemed unnecessary |

A signed copy of the March 2022 survey is appended to the back of this report.

C. Background:

The dwelling was constructed in 1991 as part of the Bayview Estates subdivision (Registered Plan No. 62M-645), within the former City of Stoney Creek. The MacTaggarts are the original owners. Above ground, the house appears to be a detached dwelling however it is connected below ground, which is recognized by its special exemption zoning (R5-1):

Section 6.6.7 R5-1

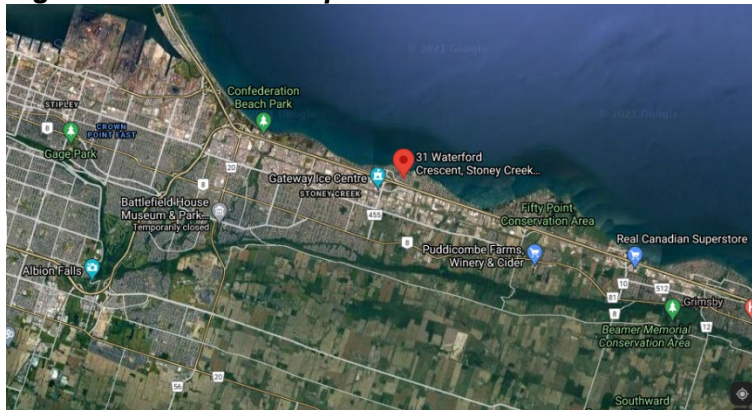
Notwithstanding the definition of a semi-detached dwelling unit of this By-law, on those lands zoned "R5-1" by this By-law, the units may be connected below ground only. Notwithstanding the provisions of paragraph (a) of Section 6.6.3 of the Residential "R5" Zone, on those lands zoned "R5-1" by this By-law, the minimum lot area shall be 600 square metres and the minimum lot area for any semi-detached lot which has been divided for the purpose of individual ownership shall be 300 square metres.

The residence is defined as a semi-detached dwelling on a divided lot.

D. Site Context:

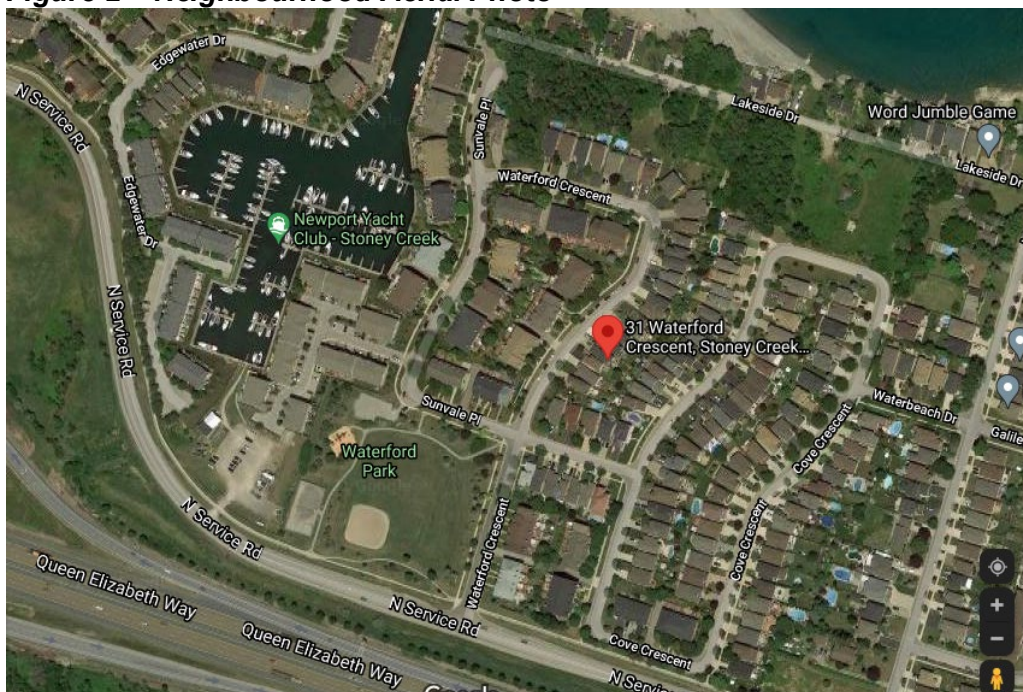
The subject property is located on Waterford Crescent, in the northeast quadrant of the Fruitland Road / Q.E.W. interchange, near the Newport Yacht Club and Lake Ontario.

Figure 1 – Location Map



The neighbourhood is characterized by a mix of residential housing types ranging from single detached homes in the Lakeside Drive area to semi-detached and street townhouses in the interior to block townhouses that border and envelop the Yacht Club. Nearby Waterford Park is well-appointed with playground equipment, a splash pad, a pavilion and a basketball court.

Figure 2 – Neighbourhood Aerial Photo



E. Existing Streetscape:

The semi-detached dwellings along the east side of Waterford Crescent are mainly two-storeys, while the street townhouses along the west side are two and a half (2 ½) storeys.



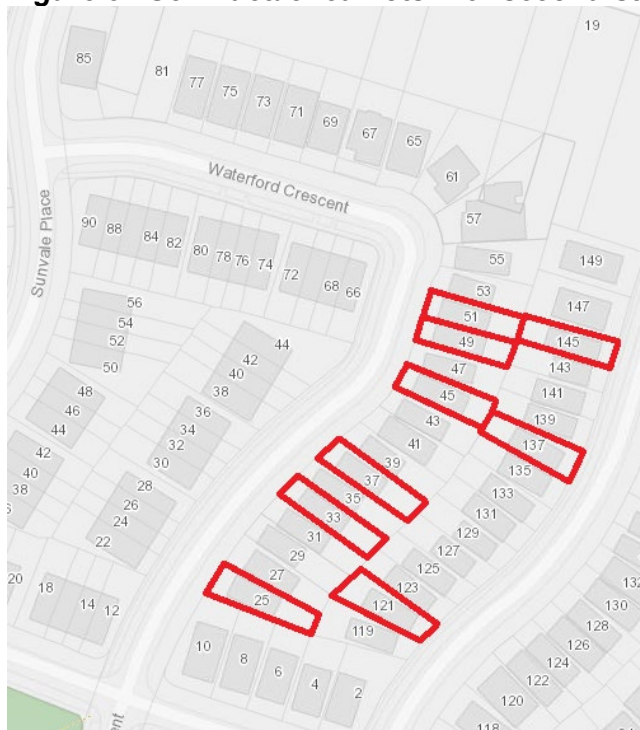
East side of Waterford (semis)
(Subject Property – 31 Waterford)



West side of Waterford (street towns)
(directly across from subject property)

Many of the semi-detached dwellings in the immediate neighbourhood have second-storey living space above the garages (see Figure 3). These living spaces were likely part of the original construction in 1991.

Figure 3 - Semi-detached Lots with second-storey living space above garages



25 Waterford Crescent



49 Waterford Crescent

As there is no front yard parking for the street townhouses along the opposite/west side of Waterford Crescent, the on-street parking tends to be well-utilized (see below photo on right).



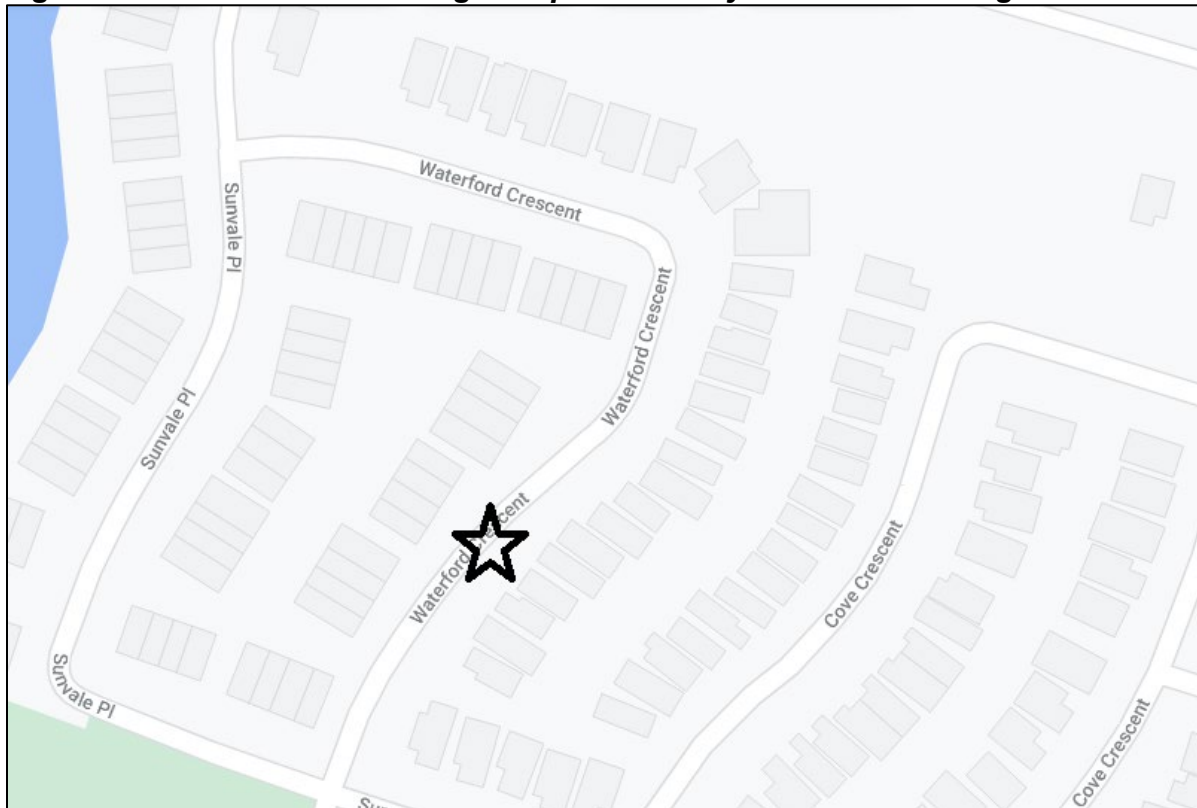
No front yard parking



On-street parking

The building footprints for the semi-detached dwellings along Waterford and Cove Crescents (which are zoned R5-1) are extremely close together, as depicted in Figure 4. From a desktop review, it appears that almost all of the semis in the R5-1 zone (connected below ground) do not meet the minimum 1.25m interior side yard requirement.

Figure 4 – Location of Building Footprints in Bayview Estates Neighbourhood



F. Site Description:

The existing dwelling at 31 Waterford is commonly described as a “snout house”. These types of houses tend to conceal the living space and dominate the street frontage. Access to the dwelling is tucked behind the garage, located within a recessed area along the northerly interior side yard.



Various photos of the subject property are shown below:



Front Yard – adequate parking



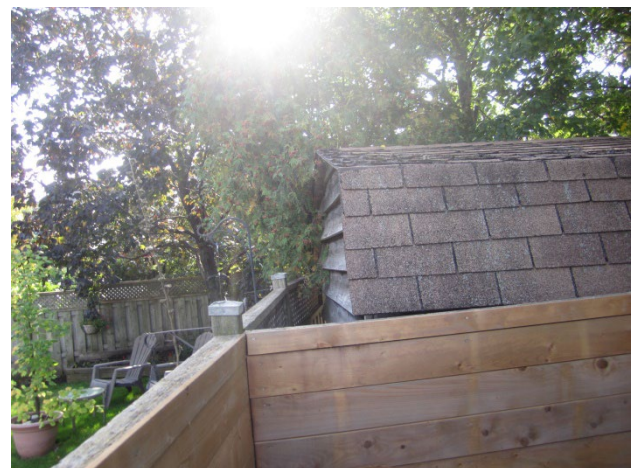
Rear Yard – showing cabana and shed
(variances required – located within 0.5m of property line)



Northerly Interior Side Yard (1.20m)
(variance required – less than 1.25m)



Southerly Interior Side Yard (0.93m)
(variance required – less than 1.25m)



Rear Yard sheds at the edges of property lines are common in this neighbourhood

G. Planning Policy Analysis:

Provincial Policy Statement, 2020

The subject property is located within an urban settlement area as defined and guided by the PPS. The proposed application is supported by Section 1.1.3.3...“Planning Authorities shall identify appropriate locations and promote opportunities for *transit-supportive* development, accommodating a significant supply and range of *housing options* through *intensification* and *redevelopment* where this can be accommodated” and Section 1.1.3.4 – “Appropriate development standards should be promoted which facilitate ***intensification, redevelopment and compact form***, while avoiding or mitigating risks to public health and safety.”

This application is further supported by the Housing policies (Section 1.4) of the PPS and the requirement for municipalities to “provide for an appropriate range and mix of *housing options* and densities” as well as to “**permit and facilitate all types of residential intensification**” subject to certain policies.

Urban Hamilton Official Plan (UHOP)

The subject property is designated “Neighbourhoods” on Schedule E (Urban Structure) and Schedule E1 (Urban Land Use Designations) of the Official Plan. A second-storey addition above the existing garage is considered to be a form of residential intensification which “*shall be encouraged throughout the entire built-up area.*” (B 2.4.1.1).

The Neighbourhoods designation *permits and provides the opportunity for a full range of housing forms, types and tenure...*(E 2.6.4) and, “***changes compatible with the existing character or function of the neighbourhood shall be permitted***”. (E 2.6.7). Applications for development and residential intensification within Neighbourhoods shall be reviewed in consideration of the local context and shall be permitted in accordance with Sections B.2.4 – Residential Intensification and E.3.0 – Neighbourhoods Designation.

B 2.4 – Residential Intensification

B 2.4.1.4 Residential intensification developments shall be evaluated based on the following criteria:

- a) a balanced evaluation of the criteria in b) through g), as follows;*
- b) the relationship of the proposal to existing neighbourhood character so that it maintains, and where possible, enhances and builds upon desirable established patterns and built form;*

- c) the development's contribution to maintaining and achieving a range of dwelling types and tenures;*
- d) the compatible integration of the development with the surrounding area in terms of use, scale, form and character. In this regard, the City encourages the use of innovative and creative urban design techniques;*
- e) the development's contribution to achieving the planned urban structure as described in Section E.2.0 – Urban Structure;*
- f) infrastructure and transportation capacity; and,*
- g) the ability of the development to comply with all applicable policies.*

2.4.2.2 When considering an application for a residential intensification development within the Neighbourhoods designation, the following matters shall be evaluated:

- a) the matters listed in Policy B.2.4.1.4;*
- b) compatibility with adjacent land uses including matters such as shadowing, overlook, noise, lighting, traffic, and other nuisance effects;*
- c) the relationship of the proposed building(s) with the height, massing, and scale of nearby residential buildings;*
- d) the consideration of transitions in height and density to adjacent residential buildings;*
- e) the relationship of the proposed lot(s) with the lot pattern and configuration within the neighbourhood;*
- f) the provision of amenity space and the relationship to existing patterns of private and public amenity space;*
- g) the ability to respect and maintain or enhance the streetscape patterns including block lengths, setbacks and building separations;*
- h) the ability to complement the existing functions of the neighbourhood;*
- i) the conservation of cultural heritage resources; and,*
- j) infrastructure and transportation capacity and impacts.*

E.3.0 – Neighbourhoods Designation

The intent of the Neighbourhoods designation is to describe neighbourhood functions, identify appropriate scales of *development* and design requirements for various land uses, and allow for the continued evolution of neighbourhoods. One of the goals for the Neighbourhood designation (Policy 3.1.4) “*is to promote and support design which enhances and respects the character of existing neighbourhoods while at the same time allowing their ongoing evolution.*” Another key goal (3.1.5) is to “*promote and support residential intensification of appropriate scale and in appropriate locations throughout the neighbourhoods.*”

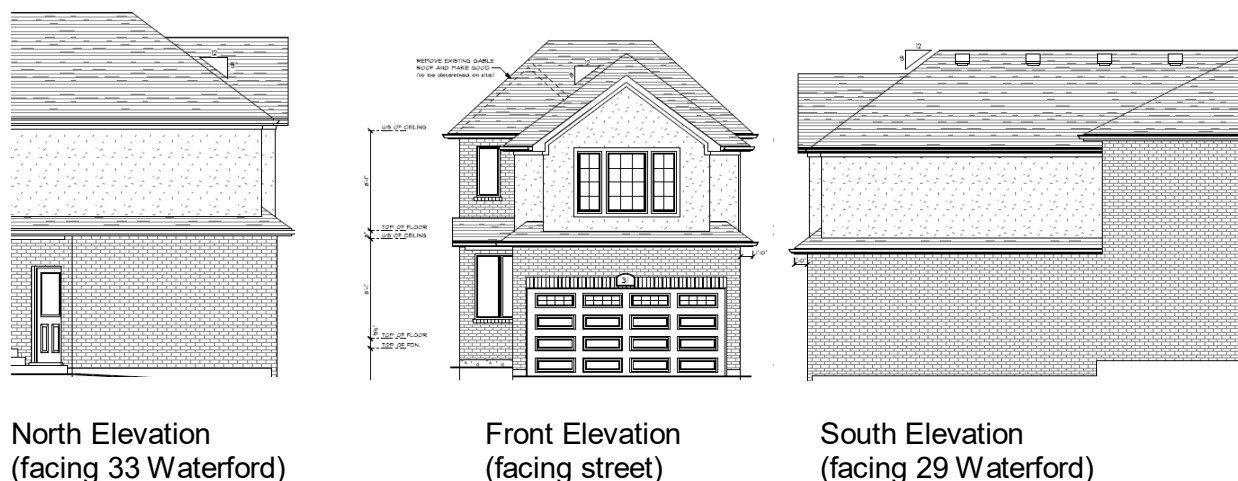
Uses permitted in low density residential areas (Policy 3.4.3) include single-detached, **semi-detached**, duplex, triplex, and street townhouse dwellings. In terms of the scale and design of residential intensification, the most relevant policy to this application is 3.2.7 (b), which states, “**garages, parking areas, and driveways along the public street shall not be dominant.**”

Analysis:

The key criteria to consider are the compatibility of the proposal with the surrounding neighbourhood, whether it will integrate with the existing scale, character and form, and the potential impacts on adjacent land uses with respect to shadowing, overlook, lighting, etc.

The existing zoning permits a building height of 11m (or 3 storeys). Many of the semi-detached dwellings in the immediate neighbourhood already have second-storey living space above the garage, including the adjacent residence at 33 Waterford. The proposed elevations for 31 Waterford show no windows or lights along the northern and southern walls which should ensure no impacts related to overlook, excessive brightness, and privacy for the adjacent residences at 29 and 33 Waterford.

Figure 5 – 31 Waterford Building Elevations



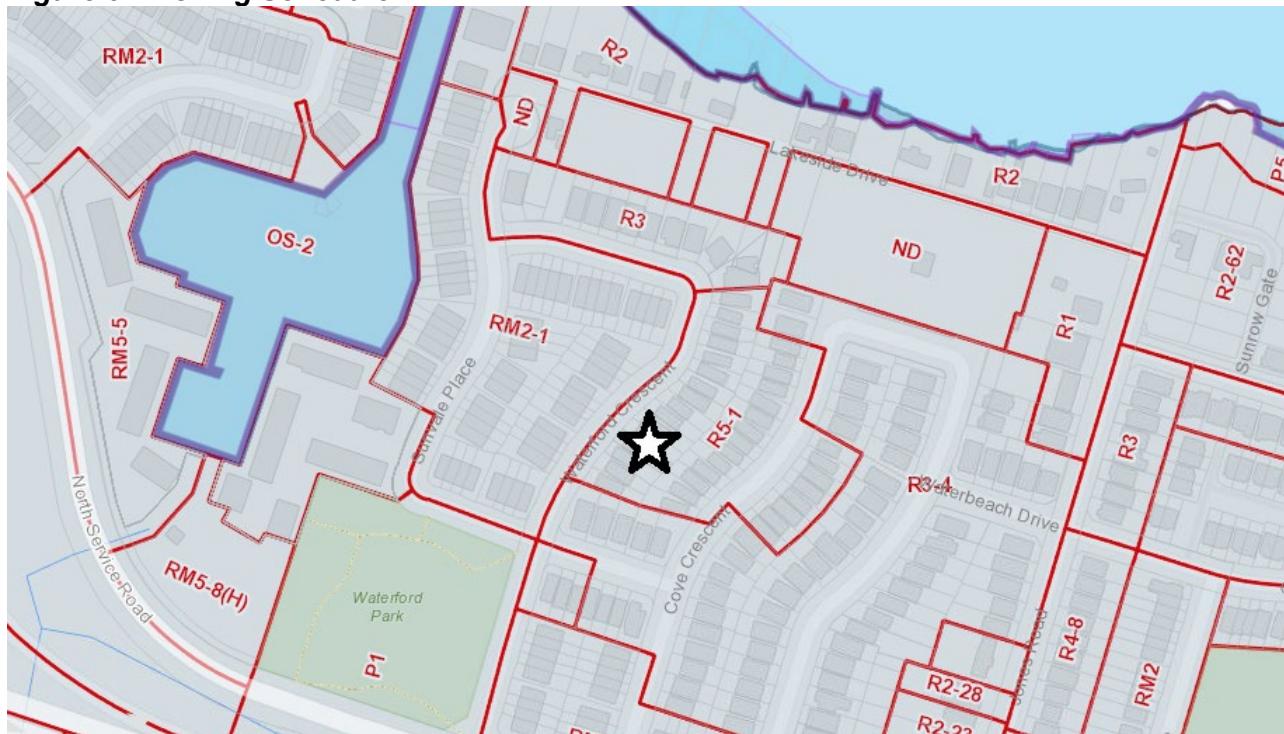
The proposed second-storey addition is desirable from the standpoint that it will enhance the streetscape aesthetic by diminishing the visual impact of the existing two-car garage while maintaining a scale and form that is already prevalent in the neighbourhood.

The application conforms to the general intent of the Official Plan.

H. Zoning:

The subject property is zoned Residential 5-1 (Bayview Estates Lands).

Figure 5 – Zoning Schedule



**R5-1 (Section 6.6.7 - Special Exemption) – permits semi-detached dwellings to be connected below ground only, with a minimum lot area of 300 sq.m. for any semi-detached lot that has been divided for individual ownership.*

| R5-1 Zone | | |
|---|------------------------------|--|
| Section 6.6.3 | Required | Proposed |
| a) Minimum Lot Area 2. Divided Semi-detached lot | 300 sq.m. | 337.4 sq.m. |
| b) Minimum Lot Frontage 2. Divided Semi-detached lot | 9m | 9.06m |
| c) Minimum Front Yard | 6m | 6.26m |
| d) Minimum Side Yard | 1.25m 1.25m | *0.93m (southerly side yard) *1.20m (northerly side yard) |
| e) Minimum Rear Yard | 7.5m | 14.1m |
| f) Maximum Building Height | 11m | 2-storey (>11m) |
| g) Maximum Lot Coverage | 40% | 33.6% |
| Section 6.6.4 Regulations for Parking | 2 / dwelling unit | 2 / dwelling unit |
| Section 6.6.5 Regulations for Accessory Buildings Refer to Section 6.1.4 | | |
| a) Yard Requirement | Shed - 0.5m Cabana – 0.5m | *0.09m *0.17m |
| b) Maximum Lot Coverage | 10% | 4.4% |

***denotes variance required**

Analysis:

Semi-detached dwellings are a permitted use on divided lots. Uses, buildings or structures accessory to a permitted use are also permitted by Section 6.6.2(c). Accessory buildings (which would include a shed and a cabana), are permitted in the R5-1 zone.

Apart from the side yard variances required, the lot is capable of accommodating all 3 buildings. The maximum lot coverage is 40% and only 33.6% is being achieved. The maximum lot coverage for accessory buildings alone is 10% and only 4.4% is occupied by the cabana and shed. There is a significant rear yard setback (14.1m) for the dwelling unit and a large, rear yard amenity area.



The application conforms to the general intent of the Zoning By-law.

I. Are the requested variances minor?:

There should be no material impact as a result of the requested variances. In 1991, had the original dwelling been constructed 0.32m (or 1 ft.) to the north, the proposed second-storey addition would have proceeded directly to the building permit stage. This application is seeking what many of the existing dwellings in the neighbourhood already have (with similarly deficient side yards).

Accessory buildings are permitted to locate 0.5m from property lines. This is simply to ensure that structures aren't constructed in other lots as the 0.5m allowance provides no usable space between the structure and the lot line. While it is unfortunate that the cabana and shed were positioned too close to the rear property line, this is a common occurrence within the Bayview Estates neighbourhood as property owners seek the largest rear yard amenity space possible. Thus, accessory structures are pushed to the extremities of the yards.

The application is minor as it proposes to recognize an existing condition.

J. Are the variances desirable for the appropriate development or use of the land, building or structure?:

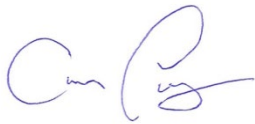
The variances are desirable as it will improve the aesthetics of the streetscape and neighbourhood.

K. Conclusion:

Having regard for the matters under Section 45(1) of the Planning Act, it is my opinion that the requested variances are in keeping with the general intent of the Official Plan and Zoning By-law, are minor in nature, and desirable for the appropriate use of the land. The proposed variances represent good planning.

If you require further information, please do not hesitate to contact me.

Respectfully submitted,



Cam Lang, M.E.S.
Principal Planner / Urban Designer
CVL PlanningWorks Ltd.

c.c.: Paul and Patti-Lynne MacTaggart (Registered Owner)

Attachments provided separately (via email).

- Minor Variance Application Form
- 1991 Plan of Survey Excerpt
- March 2022 Plan of Survey
- Site Plan Sketch (showing proposed second-storey addition above garage)
- Floor Plans and Building Elevations
- PIN 17347-0209(LT) and related deed and plan for the easement
 - o 62R-11722
 - o LT305146



Hamilton

Committee of Adjustment

City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

| | |
|-----------------------------|--|
| FOR OFFICE USE ONLY. | |
| APPLICATION NO. _____ | DATE APPLICATION RECEIVED _____ |
| PAID _____ | DATE APPLICATION DEEMED COMPLETE _____ |
| SECRETARY'S SIGNATURE _____ | |

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

| | |
|-----------------------------|------------------------|
| 1, 2 | MAILING ADDRESS |
| Registered Owners(s) | |
| Applicant(s)* | |
| Agent or Solicitor | |

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Reference Plan 62R11722
Easement is for general maintenance & repairs on the structure (0.3m x 18.742m)
Parts 1 & 2 (31 Waterford) have an easement over Part 3;
Parts 3 & 4 (29 Waterford) have an easement over Part 2
The semi-detached dwelling shares a foundation - it is connected below ground only

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for: See Planning Justification Report for details.

Second Dwelling Unit Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial

Agricultural Vacant

Other _____

8.1 If Industrial or Commercial, specify use _____

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

_____ Date

PMT Patti-Lynne MacTaggart
Signature Property Owner(s)

_____ Patti-Lynne MacTaggart
Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage _____

Depth _____

Area _____

Width of street _____

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _

Proposed

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

Proposed:

13. Date of acquisition of subject lands:

14. Date of construction of all buildings and structures on subject lands:

15. Existing uses of the subject property (single family, duplex, retail, factory etc.):

16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):

17. Length of time the existing uses of the subject property have continued:

18. Municipal services available: (check the appropriate space or spaces)
Water _____ Connected _____
Sanitary Sewer _____ Connected _____
Storm Sewers _____
19. Present Official Plan/Secondary Plan provisions applying to the land:
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)
 No Yes
If yes, please provide the file number:
- 21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?
 Yes No
- 21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being “received” for processing.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 No Yes
23. Additional Information (please include separate sheet if needed)
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.