



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202
E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: SC/A-22:109

APPLICANTS: Agent YEJ Studio - H. Robah
Owners T. Papaviannia & C. Barnat

SUBJECT PROPERTY: Municipal address **517 Fruitland Rd., Stoney Creek**

ZONING BY-LAW: Zoning By-law 3692-92, as Amended

ZONING: "R2" (Single Residential) district

PROPOSAL: To permit the construction of a new second storey addition onto the existing single detached dwelling notwithstanding that:

1. A front yard setback of 5.3m shall be provided instead of the minimum required front yard setback of 6.0m.
2. A roofed-over unenclosed front porch may project a maximum of 2.2m into a required front yard setback instead of the maximum permitted projection of 1.5m.
3. A rear yard setback of 2.8m shall be provided instead of the minimum required rear yard setback of 7.5m

NOTES:

1. Please be advised that eaves and gutters associated with the principal dwelling are permitted to project a maximum distance of 0.5m into a minimum required yard. Furthermore, eaves and gutters associated with an accessory building are permitted to project a maximum distance of 0.25m into a required yard. Details respecting eave and gutters have not been provided in order to determine zoning compliance. As such, further variances may be required if compliance cannot be achieved.
2. Please be advised that each parking space is required to provide a width of 2.75m.
3. An accessory building is permitted to have a maximum height of 4.5m. Insufficient information has been provided in order to determine zoning compliance.

This application will be heard by the Committee as shown below:

DATE: Thursday, May 12th, 2022
TIME: 1:25 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

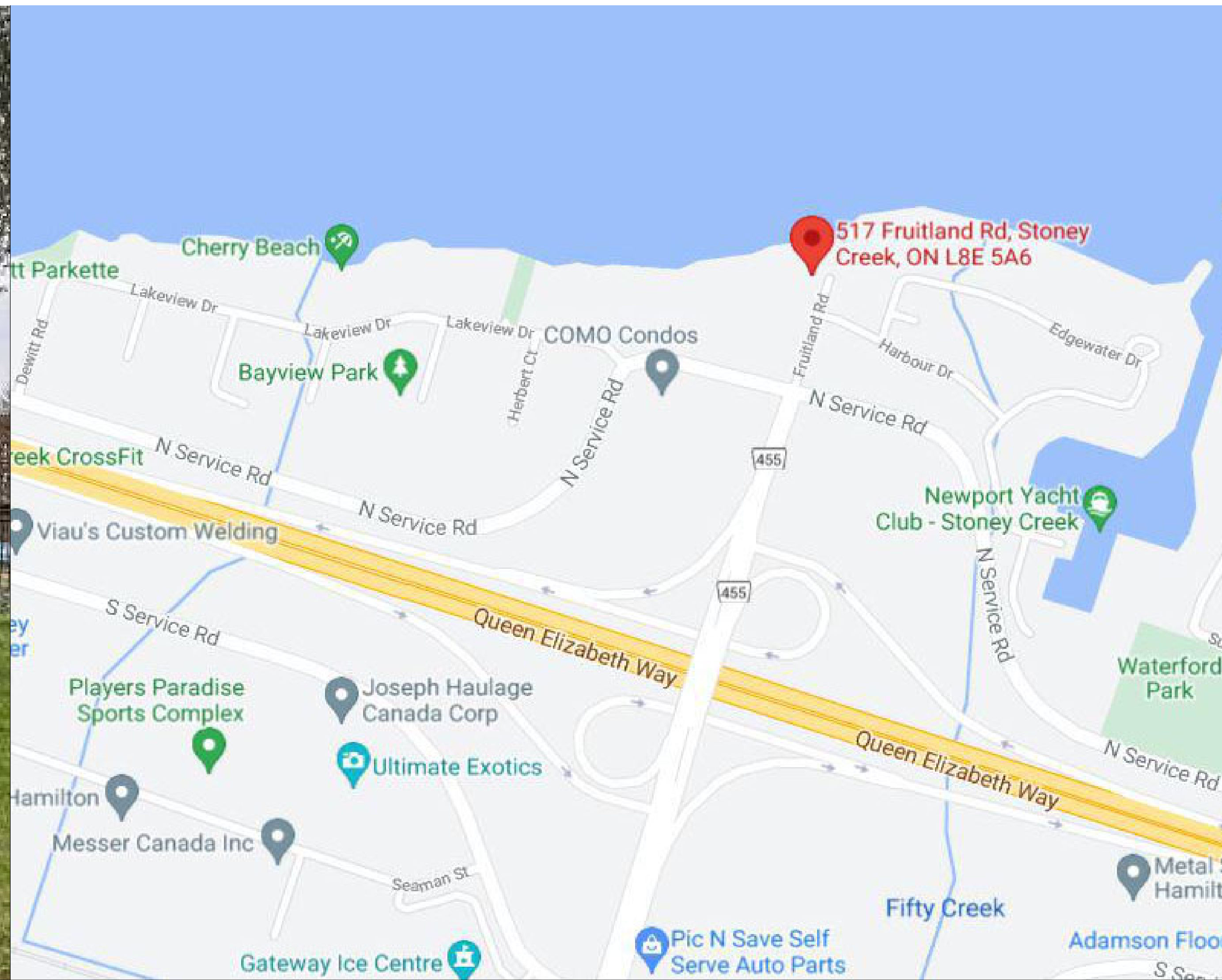
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: April 26th, 2022.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



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A1.05	ELEVATIONS
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A1.07	SECTIONS
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A1.09	DETAILS
AN-01	GENERAL & CONSTRUCTION NOTES
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S1.02	MAIN FLOOR FRAMING PLAN
S1.03	SECOND FLOOR FRAMING PLAN
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SP1.01	SITE PLAN



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ADDITION

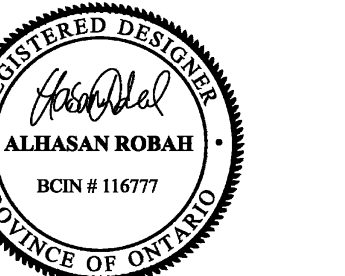
**517 FRUITLAND RD,
 HAMILTON, ON L8E 5A6**

REVISION:

No.	Description	Date
1	CLIENT REVIEW	Designer
2	REVISION	YY-MM-DD
3	ISSUED FOR PERMIT	YY-MM-DD

NOTES

- THE DRAWINGS SHALL NOT BE SCALED.
 - THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUM AND LEVELS PRIOR TO COMMENCING THE WORK. FAILURE TO THAT THE CONTRACTOR WILL BE LIABLE TO RECTIFY WITHOUT EXTRA COST.
 - ALL ERRORS AND OMISSIONS TO BE REPORTED IMMEDIATELY TO THE DESIGNER. VARIATIONS AND MODIFICATIONS TO WORK SHOWN ON THIS DRAWING SHALL NOT BE CARRIED OUT WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.
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 - ALL WORKS TO BE DONE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO PREVAILING ONTARIO BUILDING CODE.



THE UNDERSIGNED HAS REVIEWED AND TAKEN RESPONSIBILITY FOR THE DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION
 REQUIRED UNDER SECTION 2.2.5 OF THE BUILDING CODE

ALHASAN ROBAH 116777
 NAME SIGNATURE BCIN

ADDITION

TIM PAPAYIANNIS & CATHERINE BARNAT

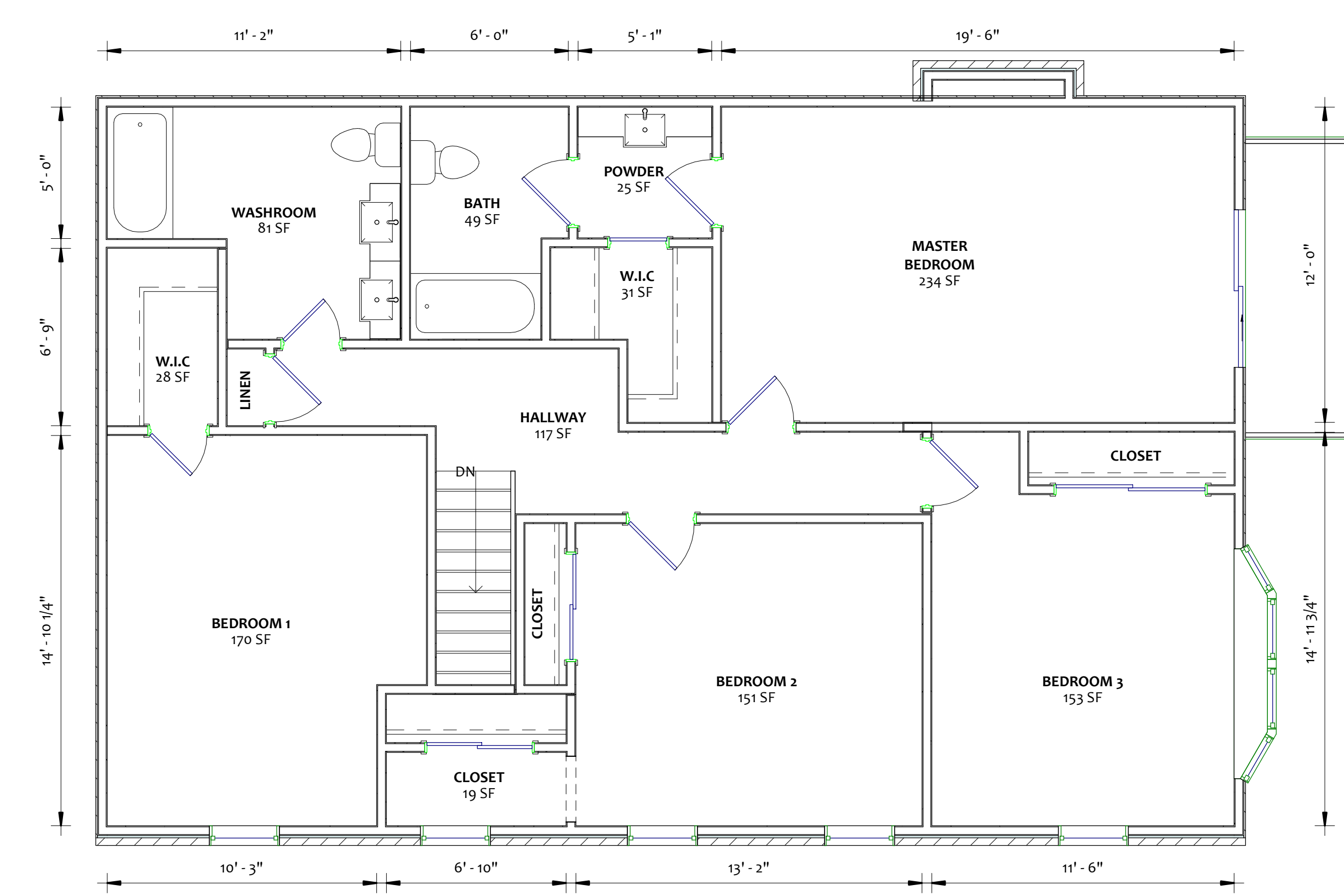
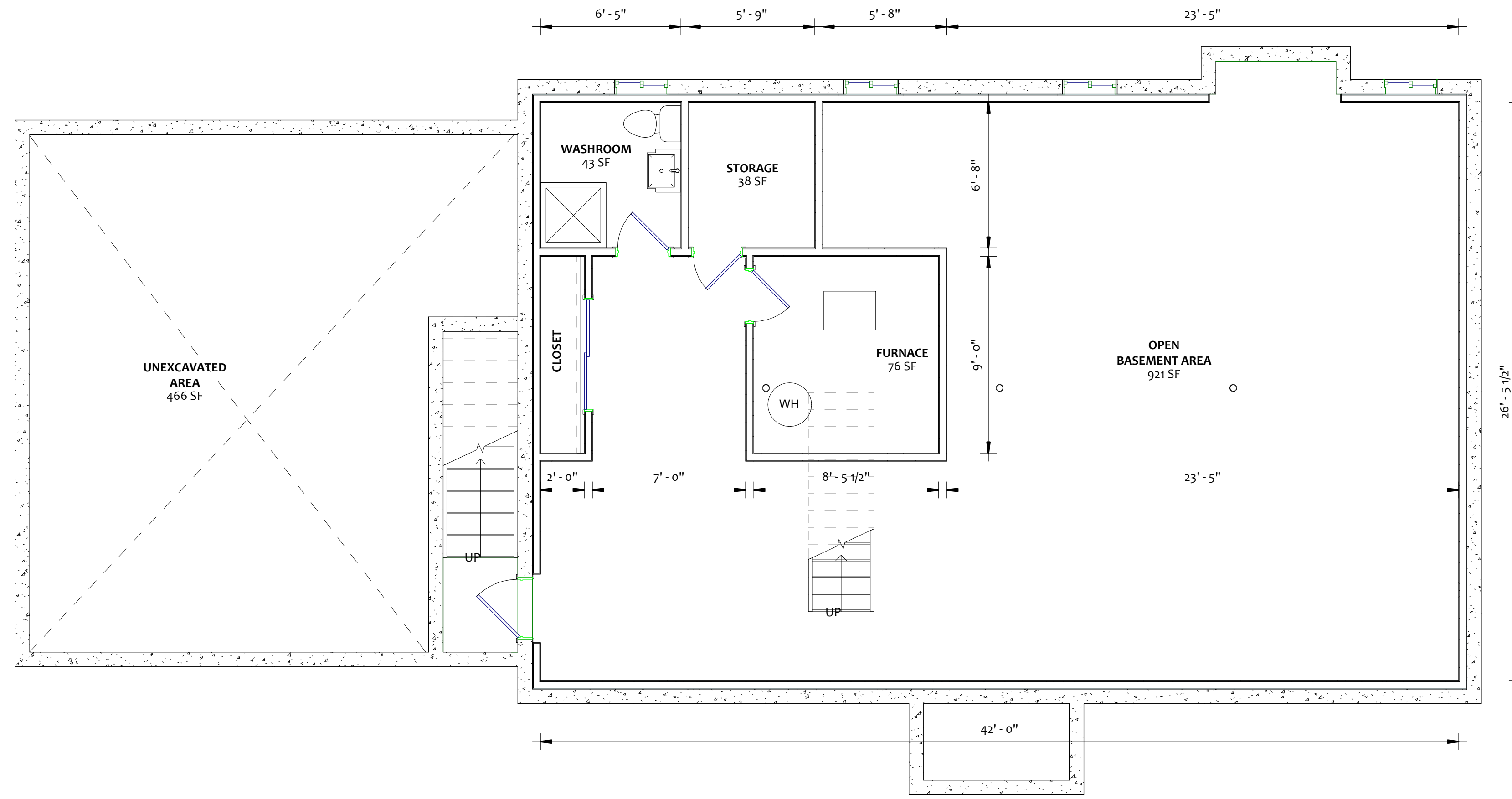
**517 FRUITLAND RD, HAMILTON,
 ON L8E 5A6**

COVER PAGE

Project number 21RE100 - 249
 Date 2021.09.20

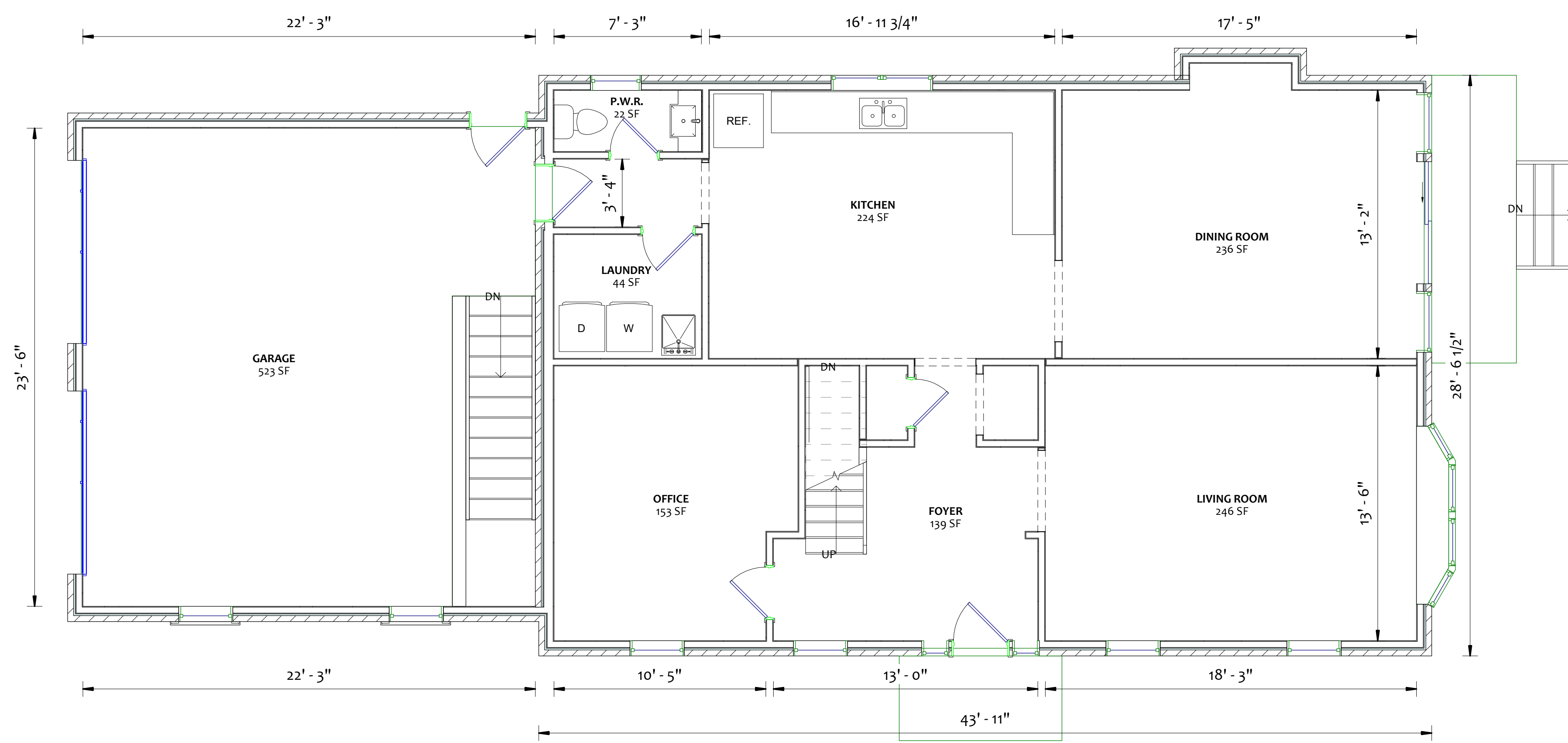
A1.00

Drawn by D.T
 Scale



1 Ext. BASEMENT
A1.02 1/4" = 1'-0"

3 Ext. SECOND FLOOR
A1.02 1/4" = 1'-0"



2 Ext. MAIN FLOOR
A1.02 1/4" = 1'-0"



ADDITION
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HAMILTON, ON L8E 5A6

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REQUIRED UNDER SECTION 2.2.5 OF THE BUILDING CODE

ALHASAN ROBAH 116777
NAME: Alhasan Robah BCIN

EXISTING FLOOR PLANS

Project number 21RE100 - 249
Date 2021.09.20

A1.02

Drawn by D.T.
Scale 1/4" = 1'-0"

DOOR SCHEDULE									
Type	Ct.	Function	Room	Level	Width	Height	FR	Phase Created	Comments
D2	1	Interior		MAIN FLOOR	2'-4"	6'-8"		New Construction	
GD-1	1	Interior		GRADE	19'-0"	7'-0"		New Construction	
D4	1	Interior	CLOSET	MAIN FLOOR	4'-0"	6'-8"		New Construction	
D3	1	Interior	FURNACE	BASEMENT	2'-8"	6'-8"		New Construction	
D9	1	Exterior	GYM	BASEMENT	3'-7 1/2"	7'-6 1/2"		New Construction	
D2	1	Interior	P.W.D	MAIN FLOOR	2'-4"	6'-8"		New Construction	
D1	1	Interior	STORAGE ROOM	GRADE	2'-6"	6'-8"		New Construction	
D5	1	Exterior	THEATRE	MAIN FLOOR	5'-0"	6'-8"		New Construction	
Grand total: 8									

WINDOW SCHEDULE								
Type	Ct.	Level	Width	Height	Sill Height	AREA	Phase Created	Comments
NW1	1	MAIN FLOOR	7'-0"	4'-0"	3'-6"	28 SF	New Construction	
Grand total: 1								

WALL SCHEDULE

EXISTING WALLS

* REFER TO PREVIOUS BUILDING PERMIT

W-eF	EXISTING FOUNDATION WALL
W-eX	EXISTING EXTERIOR WALL
W-eP	EXISTING STUD PARTITION WALL
W-FS	EXISTING FIRE SEPARATION
W-eD	EXISTING DEMISING WALL (COMMERCIAL) EXISTING PARTY WALL (RESIDENTIAL)

EXTERIOR WALLS

W-e3	EXTERIOR - STUCCO FINISH ON STUD WALL
- 3 COATS OF STUCCO FINISH IN STUCCO LATCH	
- 1" R5 RIGID INSULATION	
- BUILDING PAPER LAYER	
- 1/2" PLYWOOD SHEATHING	
- 2"x6" @ 16" o.c. WOOD STUDS W/ MIN R24 BATT INSULATION	
- AIR/VAPOUR BARRIER	
- 1/2" GYPSUM WALL BOARD	

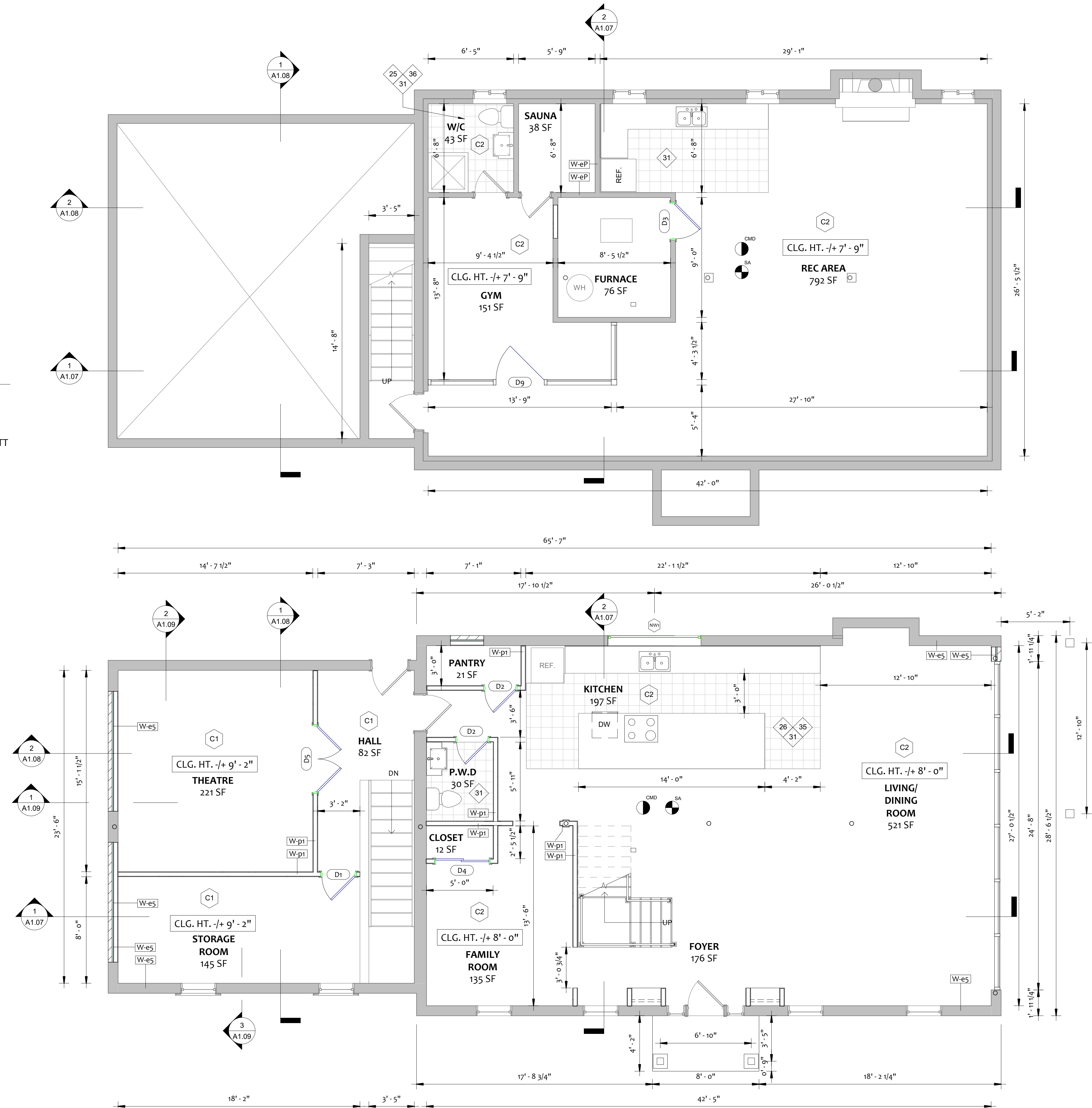
PARTITION WALLS

W-p1	NEW INTERIOR - STUD PARTITION
- 1/2" GYPSUM WALL BOARD	
- 2"x4" @ 16" o.c. WOOD STUDS	
- 1/2" GYPSUM WALL BOARD	

W-e5	EXTERIOR - BRICK FINISH ON STUD WALL
- EX. 4" COMMON BRICK	
- EX. BUILDING PAPER LAYER	
- EX. 1/2" PLYWOOD SHEATHING	
- EX. 2"x4" @ 16" o.c. WOOD STUDS W/ NEW MIN R24 SPRAY FOAM INSULATION	
- EX. AIR/VAPOUR BARRIER	
- EX. 1/2" GYPSUM WALL BOARD	

CEILING SCHEDULE

C1	NEW FULL HT CLG - TYPICAL CEILING CONSTRUCTION
- NEW FLOOR FINISH	
- NEW SUBFLOOR LAYER (REFER TO STRUCTURAL)	
- NEW FLOOR JOIST (REFER TO STRUCTURAL)	
- NEW 1 LAYER 1/2" GYPSUM BOARD	
C2	FULL HT CLG - EXISTING CEILING
- EX. FLOOR FINISH	
- EX. SUBFLOOR	
- EX. FLOOR JOIST	
- NEW 1 LAYER 1/2" GYPSUM BOARD	



2 Prop. MAIN FLOOR
A1.03 1/4" = 1'-0"



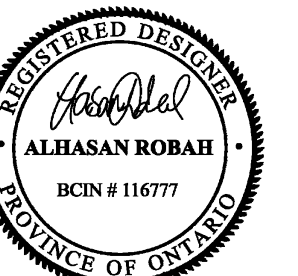
ADDITION
517 FRUITLAND RD,
HAMILTON, ON L8E 5A6

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REQUIRED UNDER SECTION 2.2.5 OF THE BUILDING CODE
ALHASAN ROBAH 116777
NAME: Alhasan Robah BCIN

PROP. BASEMENT & MAIN FLOOR PLANS

Project number 21RE100 - 249
Date 2021.09.20

A1.03

Drawn by H.R.
Scale As indicated

DOOR SCHEDULE SECOND FLOOR									
Type	Ct.	Function	Room	Level	Width	Height	FR	Phase Created	Comments
D9	1	Interior		SECOND FLOOR	10' - 0"	7' - 0"		New Construction	
D1	1	Interior	BEDROOM 4	SECOND FLOOR	2' - 6"	6' - 8"		New Construction	
D1	1	Interior	BEDROOM 4	SECOND FLOOR	2' - 6"	6' - 8"		New Construction	
D6	1	Interior	CLOSET	SECOND FLOOR	5' - 8"	6' - 8"		New Construction	
D2	1	Interior	ENSUITE	SECOND FLOOR	2' - 4"	6' - 8"		New Construction	
D1	1	Interior	ENSUITE	SECOND FLOOR	2' - 6"	6' - 8"		New Construction	
D1	1	Interior	FAMILY ROOM	SECOND FLOOR	2' - 4"	6' - 8"		New Construction	
D6	1	Interior	FAMILY ROOM	SECOND FLOOR	5' - 8"	6' - 8"		New Construction	
D3	1	Interior	LAUNDRY	SECOND FLOOR	2' - 8"	6' - 8"		New Construction	
D7	1	Interior	MASTER BEDROOM	SECOND FLOOR	6' - 0"	7' - 0"		New Construction	
D8	1	Interior	MASTER BEDROOM	SECOND FLOOR	5' - 0"	6' - 8"		New Construction	
D5	1	Exterior	OFFICE	SECOND FLOOR	5' - 0"	6' - 8"		New Construction	
D2	1	Interior	W/C	SECOND FLOOR	2' - 4"	6' - 8"		New Construction	
Grand total: 13									

WINDOW SCHEDULE SECOND FLOOR								
Type	Ct.	Level	Width	Height	Sill Height	AREA	Phase Created	Comments
NW1	1	SECOND FLOOR	3' - 0"	6' - 0"	1' - 0"	18 SF	New Construction	
NW1	1	SECOND FLOOR	3' - 0"	6' - 0"	1' - 0"	18 SF	New Construction	
NW2	1	SECOND FLOOR	2' - 8"	6' - 0"	1' - 0"	16 SF	New Construction	
NW2	1	SECOND FLOOR	2' - 8"	6' - 0"	1' - 0"	16 SF	New Construction	
NW2	1	SECOND FLOOR	2' - 8"	6' - 0"	1' - 0"	16 SF	New Construction	
NW2	1	SECOND FLOOR	2' - 8"	6' - 0"	1' - 0"	16 SF	New Construction	
NW4	1	SECOND FLOOR	2' - 8"	2' - 8"	4' - 4"	7 SF	New Construction	
Grand total: 7								

WALL SCHEDULE

EXISTING WALLS

* REFER TO PREVIOUS BUILDING PERMIT

- W-eF** EXISTING FOUNDATION WALL
- W-eX** EXISTING EXTERIOR WALL
- W-eP** EXISTING STUD PARTITION WALL
- W-FS** EXISTING FIRE SEPARATION
- W-eD** EXISTING DEMISING WALL (COMMERCIAL)
EXISTING PARTY WALL (RESIDENTIAL)

EXTERIOR WALLS

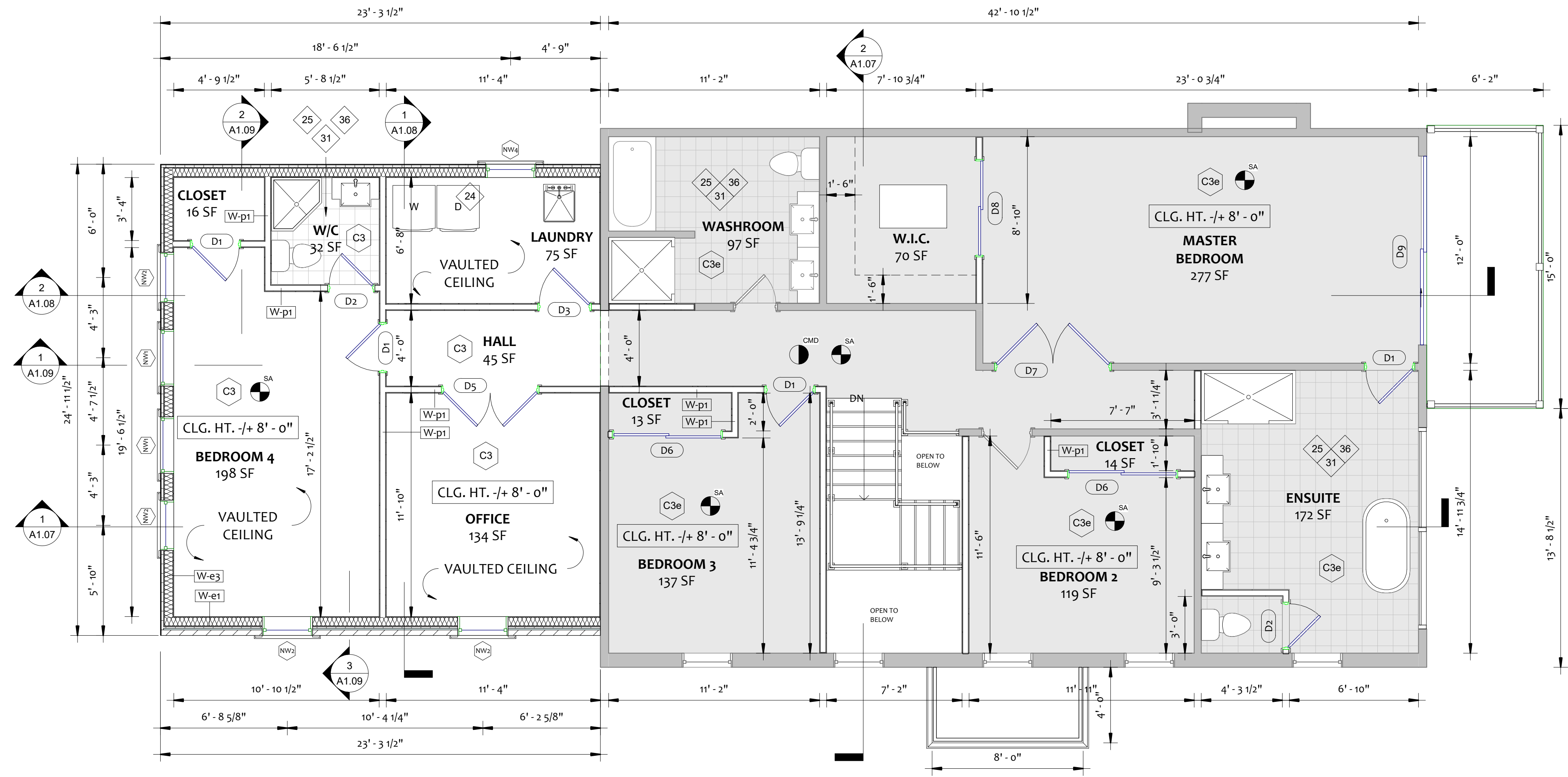
- W-e1** EXTERIOR - BRICK FINISH ON STUD WALL
 - 4" COMMON BRICK
 - 1" R5 RIGID INSULATION
 - BUILDING PAPER LAYER
 - 1/2" PLYWOOD SHEATHING
 - 2"x6" @ 16" o.c. WOOD STUDS W/ MIN R24 BATT INSULATION
 - AIR/VAPOUR BARRIER
 - 1/2" GYPSUM WALL BOARD

PARTITION WALLS

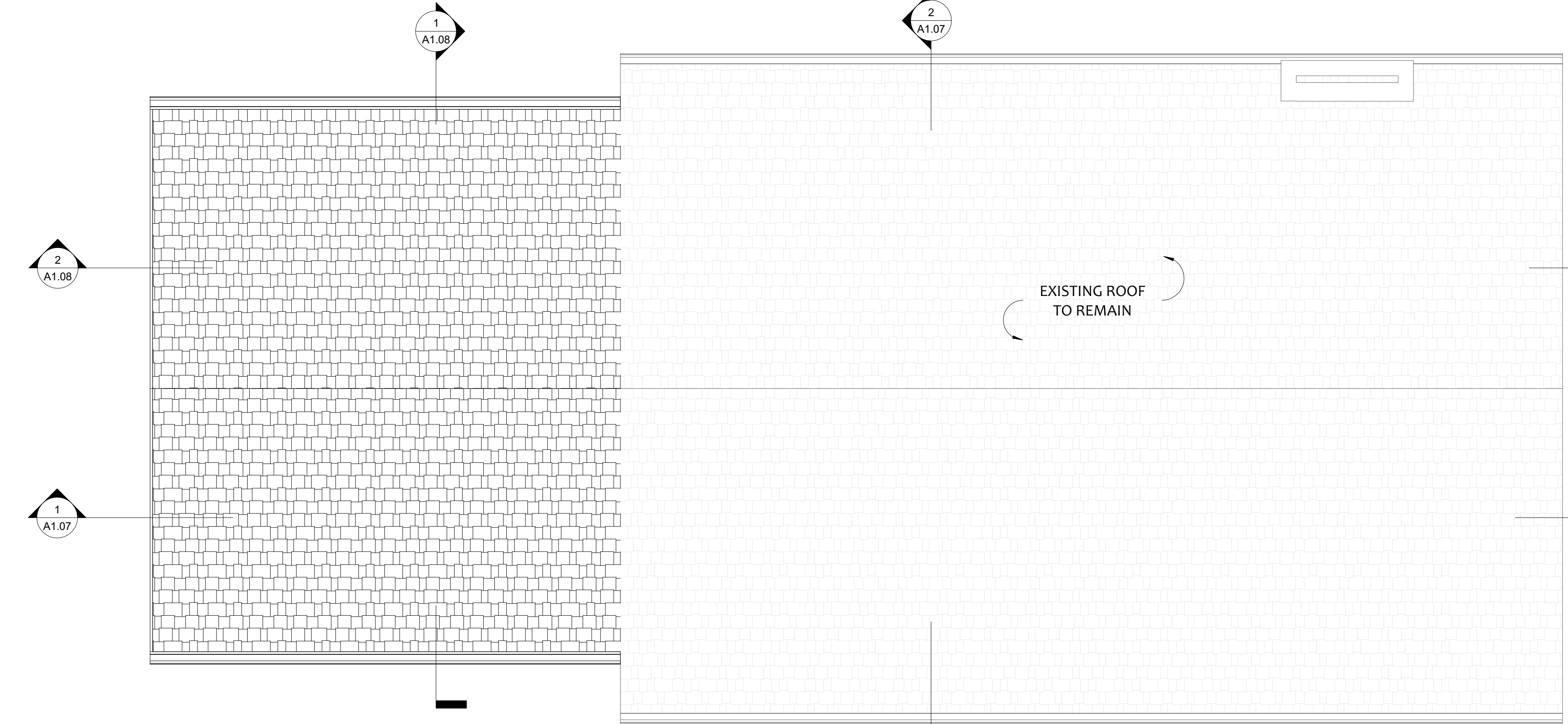
- W-p1** NEW INTERIOR - STUD PARTITION
 - 1/2" GYPSUM WALL BOARD
 - 2"x4" @ 16" o.c. WOOD STUDS
 - 1/2" GYPSUM WALL BOARD
- W-e3** EXTERIOR - STUCCO FINISH ON STUD WALL
 - 3 COATS OF STUCCO FINISH IN STUCCO LATCH
 - 1" R5 RIGID INSULATION
 - BUILDING PAPER LAYER
 - 1/2" PLYWOOD SHEATHING
 - 2"x6" @ 16" o.c. WOOD STUDS W/ MIN R24 BATT INSULATION
 - AIR/VAPOUR BARRIER
 - 1/2" GYPSUM WALL BOARD

CEILING SCHEDULE

- C3e** SECOND FLOOR CEILING (ROOF)
 - EXT. ROOF TRUSSES (BY MANUFACTURER)
 - EXT. R60 BATT INSULATION
 - EXT. 1 LAYER 1/2" GYPSUM BOARD
- C3** SECOND FLOOR CEILING (ROOF)
 - NEW ROOF TRUSSES (BY MANUFACTURER)
 - NEW R60 BATT INSULATION
 - NEW 1 LAYER 1/2" GYPSUM BOARD



1 Prop. SECOND FLOOR
A1.04 1/4" = 1'-0"



2 PROP. ROOF PLAN
A1.04 1/4" = 1'-0"



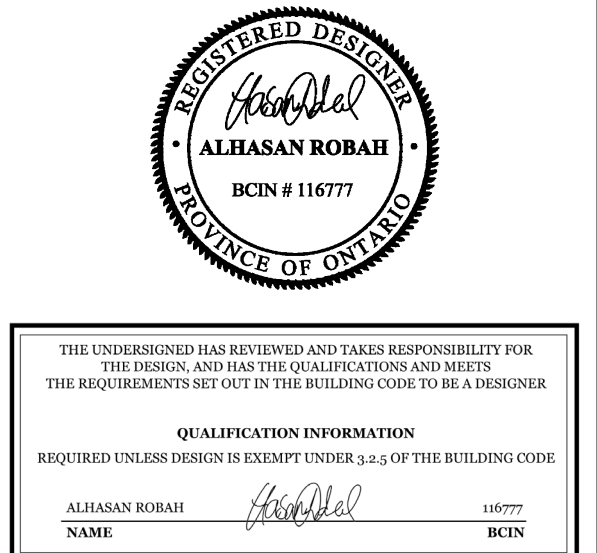
ADDITION
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PROP. SECOND FLOOR & ROOF PLANS

Project number: 21RE100 - 249
Date: 2021.09.20



1 SOUTH ELEVATION
A1.05 1/4" = 1'-0"



2 EAST ELEVATION
A1.05 1/4" = 1'-0"

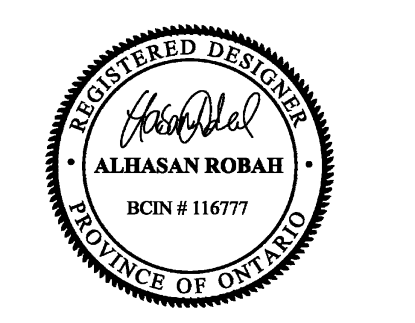
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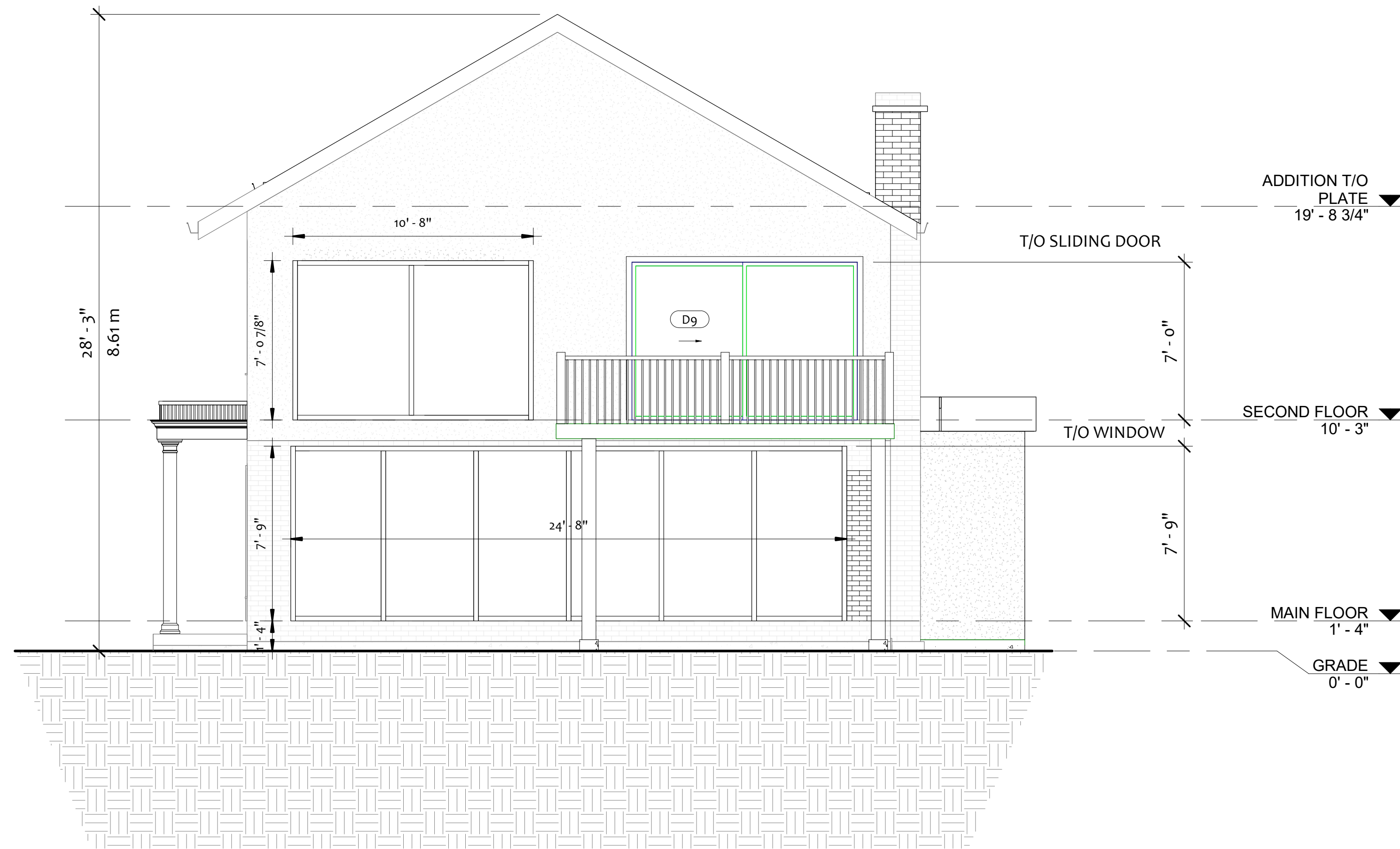
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QUALIFICATION INFORMATION
REQUIRED UNDER SECTION 2.2.5 OF THE BUILDING CODE

ALHASAN ROBAH NAME: *Alhasan Robah* 116777 BCIN

ELEVATIONS

Project number 21RE100 - 249
Date 2021.09.20



1 NORTH ELEVATION
A1.06 1/4" = 1'-0"



2 WEST ELEVATION
A1.06 1/4" = 1'-0"

LIMITING DISTANCE CALCULATIONS:
 SET BACK : 6'-4" (1.93 m)
 WALL AREA : 1243.06 SQFT (115.5m²)
 WINDOW GLAZING AREA : 43.61 SQFT (4.05m²)
 GLAZING % = 3.5 %
 ALLOWED GLAZED AREA = 7% (87 SQFT)



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 WWW.YEJSTUDIO.COM

ADDITION

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QUALIFICATION INFORMATION
 REQUIRED UNDER DESIGN IS EXEMPT UNDER 2.2.3 OF THE BUILDING CODE

ALHASAN ROBAH NAME: *Alhasan Robah* 116777 BCIN

ELEVATIONS

Project number 21RE100 - 249
 Date 2021.09.20

A1.06

Drawn by H.R.
 Scale 1/4" = 1'-0"



1 Section 1
A1.07 1/4" = 1'-0"



2 Section 2
A1.07 1/4" = 1'-0"

ADDITION
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HAMILTON, ON L8E 5A6

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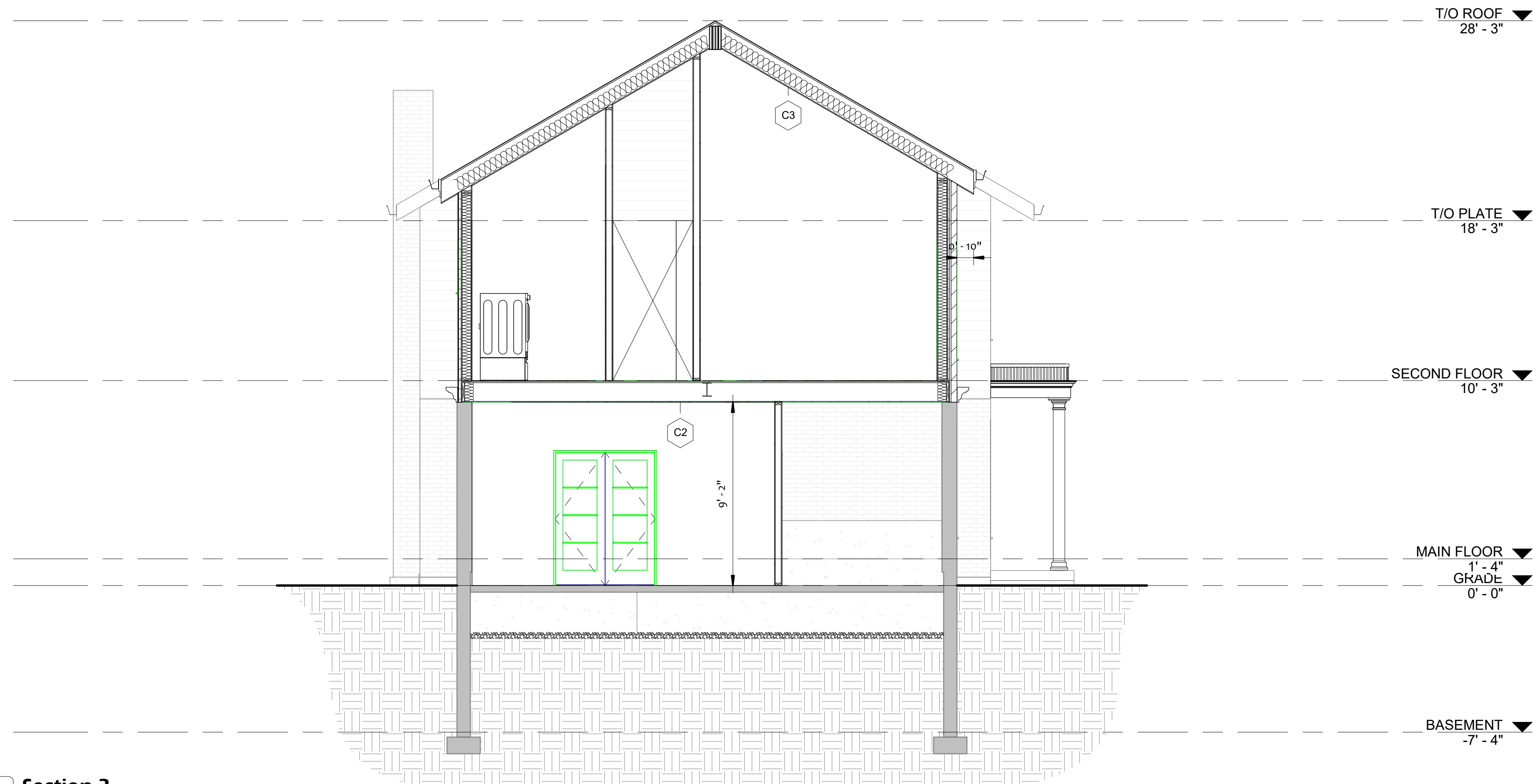
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QUALIFICATION INFORMATION
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ALHASAN ROBAH 116777
NAME: Alhasan Robah BCIN

SECTIONS

Project number 21RE100 - 249
Date 2021.09.20



1 Section 3
A1.08 1/4" = 1'-0"



2 Section 4
A1.08 1/4" = 1'-0"

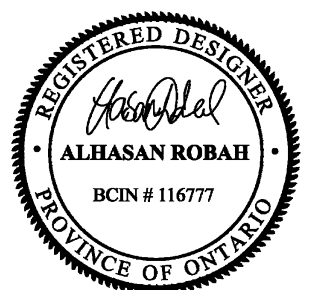
ADDITION
517 FRUITLAND RD,
HAMILTON, ON L8E 5A6

REVISION:

No.	Description	Date
1	CLIENT REVIEW	Designer
2	REVISION	YY-MM-DD
3	ISSUED FOR PERMIT	YY-MM-DD

NOTES

- THE DRAWINGS SHALL NOT BE SCALED.
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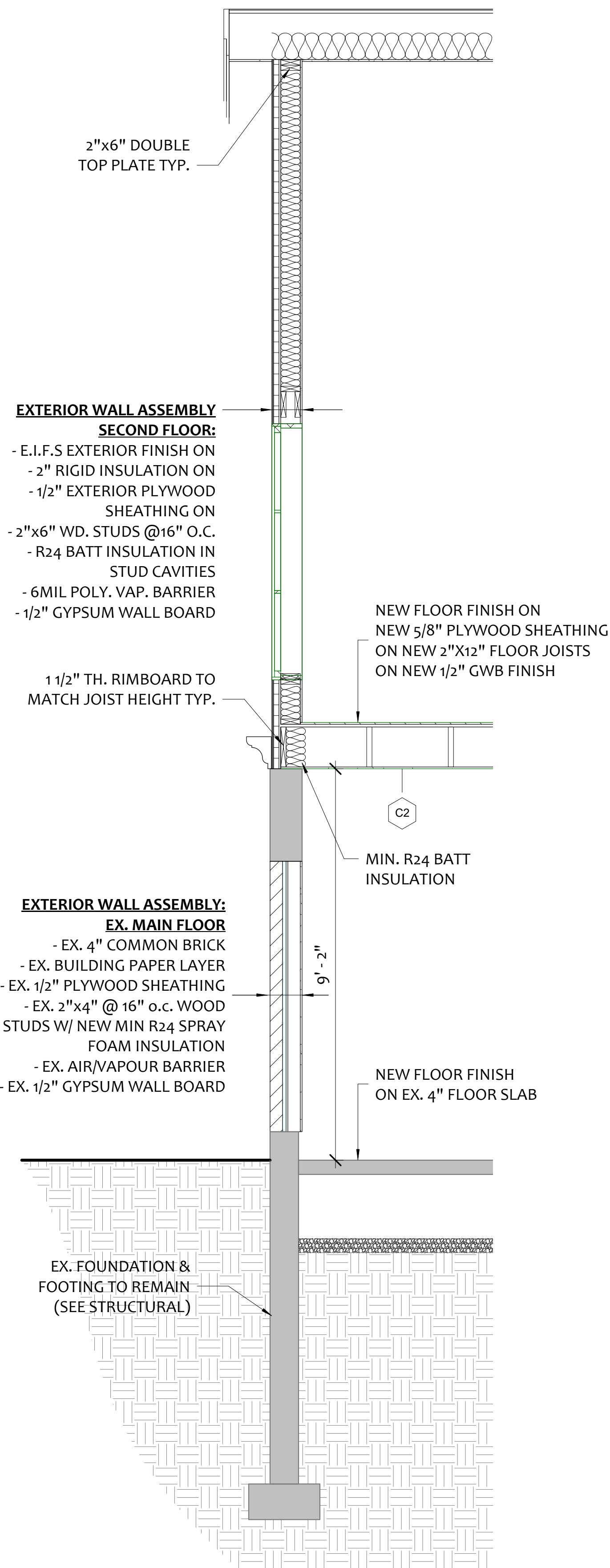
THE UNDERSIGNED HAS REVIEWED AND TAKEN RESPONSIBILITY FOR THE DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
REQUIRED UNDER SECTION 2.2.5 OF THE BUILDING CODE

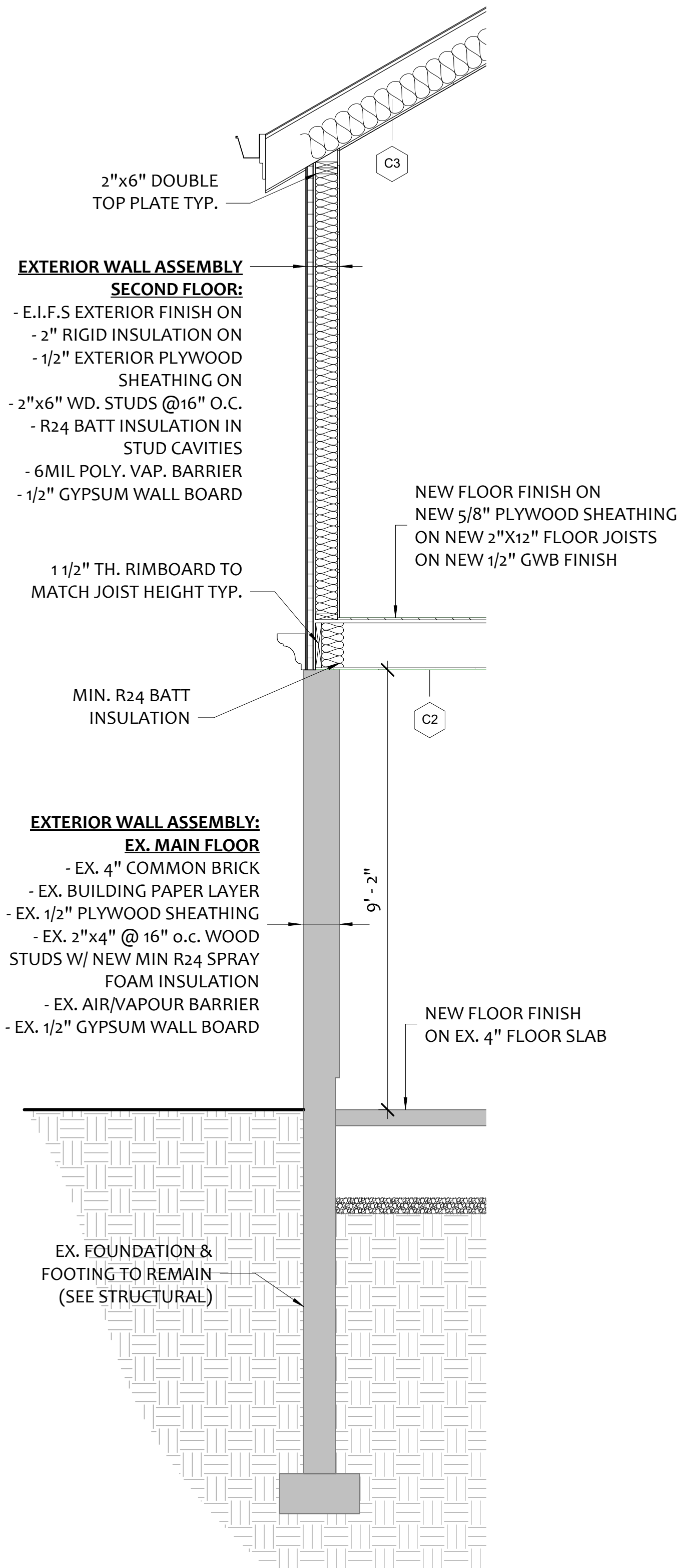
ALHASAN ROBAH
NAME: *Alhasan Robah* 116777
BCIN

SECTIONS

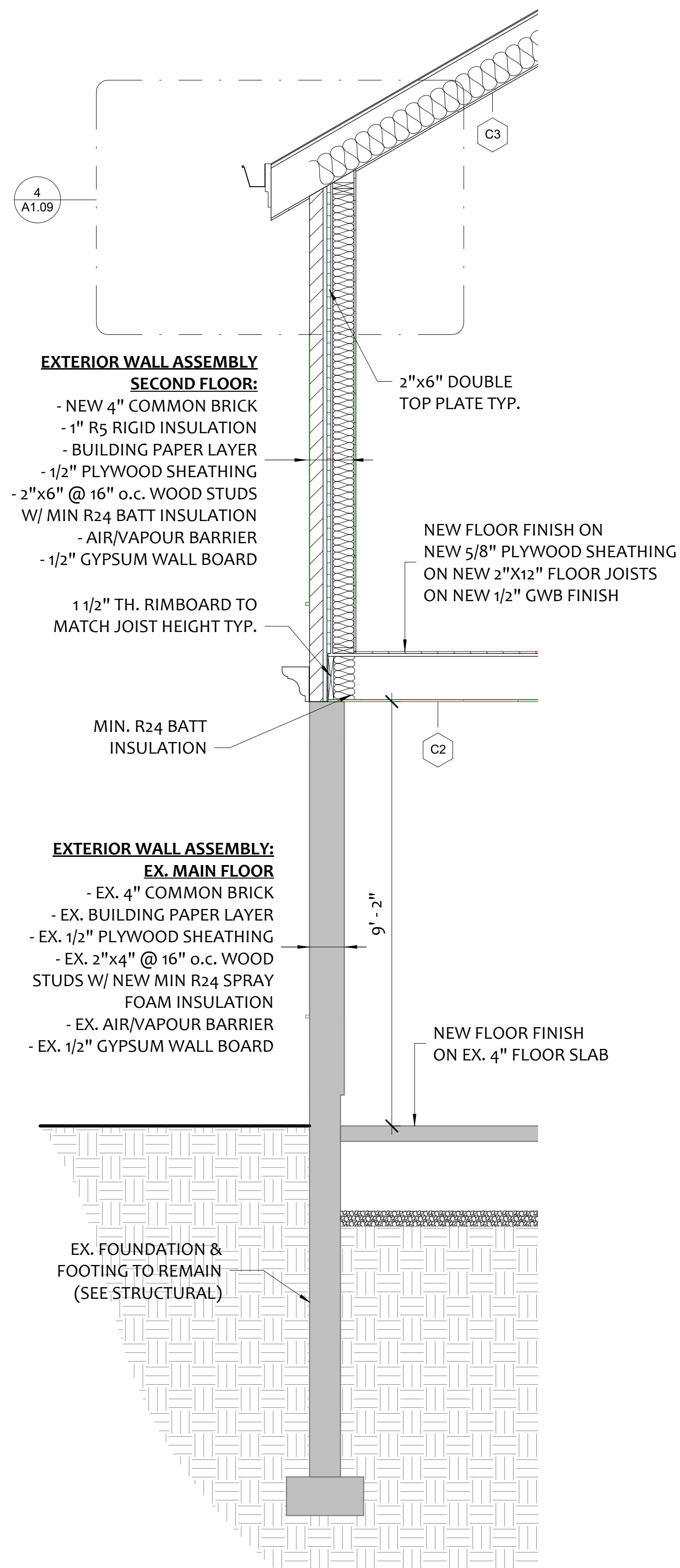
Project number 21RE100 - 249
Date 2021.09.20



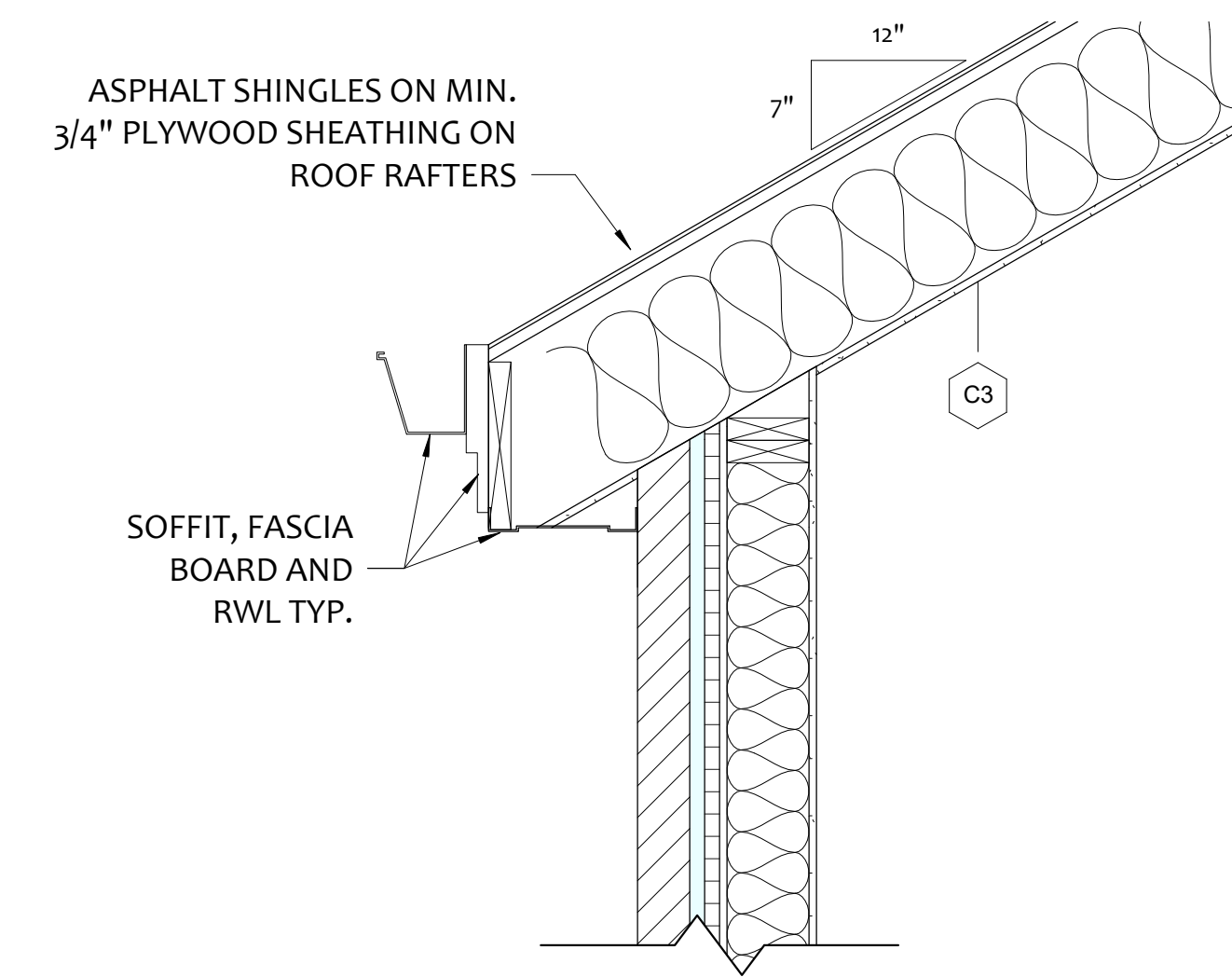
1 WALL SECTION 1
A1.09 1/2" = 1'-0"



2 WALL SECTION 2
A1.09 1/2" = 1'-0"



3 WALL SECTION 3
A1.09 1/2" = 1'-0"



4 ROOF DETAIL
A1.09 1" = 1'-0"

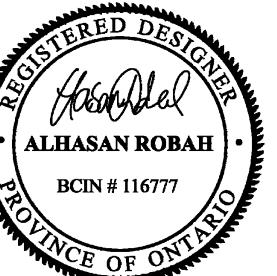
ADDITION
517 FRUITLAND RD,
HAMILTON, ON L8E 5A6

REVISION:

No.	Description	Date
1	CLIENT REVIEW	Designer
2	REVISION	YY-MM-DD
3	ISSUED FOR PERMIT	YY-MM-DD

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QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.2.5 OF THE BUILDING CODE

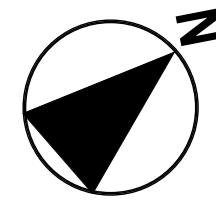
ALHASAN ROBAH 116777
NAME: Alhasan Robah BCIN

DETAILS

Project number 21RE100 - 249
Date 2021.09.20

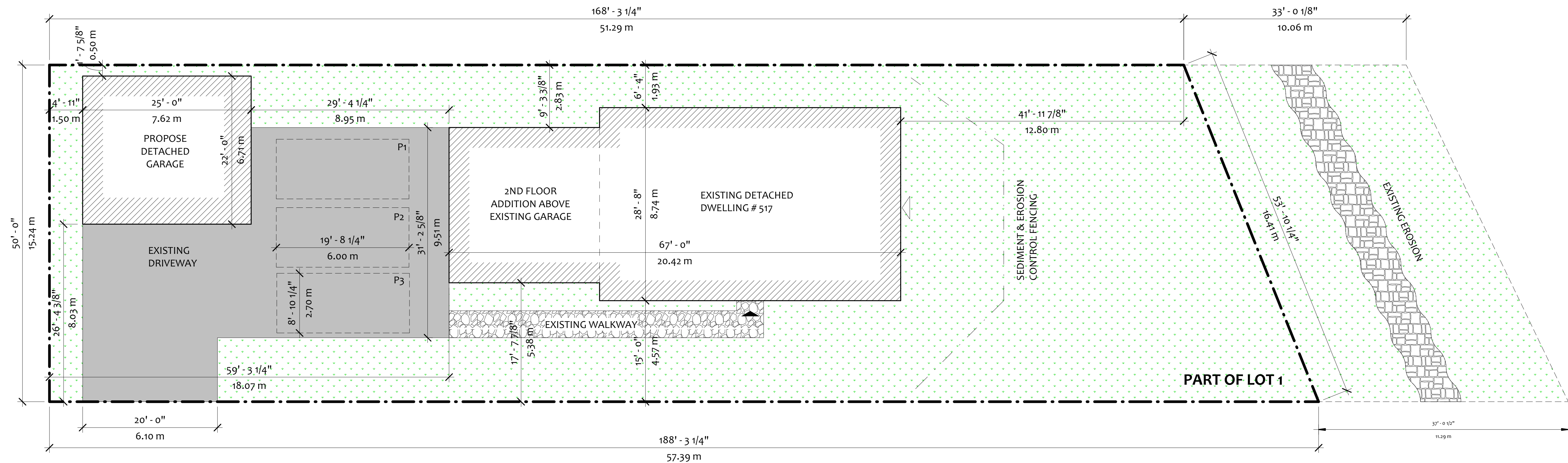
A1.09

Drawn by A.H.
Scale As indicated



▶ MAIN ENTRANCE

▷ SECONDARY ENTRANCE



1 SITE PLAN
SP1.01 1/8" = 1'-0"

FRUITLAND ROAD

ZONING INFORMATION	ZONING CATEGORY : R2						
	LOT AREA	MAX. LOT COVERAGE	MAX HEIGHT	REAR SETBACK	SIDE SETBACK	SIDE SETBACK	FRONT SETBACK
PERMITTED	EXT.	331.24 M ²	11 M	7.5 M	1.25 M		6 M
PROPOSED	EXT.	217.89 M ²	8.61 M	1.93 M	18.07 M	12.80 M	4.57 M

BUILDING AREA	EXISTING		ADDITION		TOTAL	
	SQFT	SQM	SQFT	SQM	SQFT	SQM
FIRST FLOOR	1153.7	107.2	522.9	48.6	1676.6	155.8
SECOND FLOOR	1172.8	109	524.1	48.7	1696.9	157.7
THIRD FLOOR	N/A	N/A	N/A	N/A	N/A	N/A
TOTAL BUILDING AREA					3373.5	313.5

SITE PLAN ANALYSIS	
LOT AREA	828.1 M ²
BUILDING AREA	OVERALL SOFT LANDSCAPE AREA
166.8 M ²	450.37 M ²
GARAGE AREA	PAVED DRIVE WAY AREA
51.1 M ²	146.7 M ²

FLOOR AREA	AREA	
	SQFT	SQM
INTERIOR ALTERATION	2293.9	213.11
SECOND FLOOR ADDITION	581.25	54
NEW DETACHED GARAGE	550	51.1
TOTAL BUILDING AREA	3425.15	318.21



ADDITION

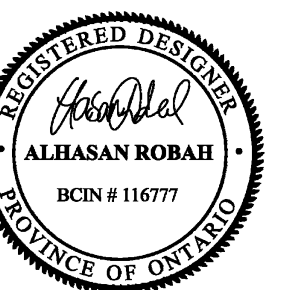
517 FRUITLAND RD,
HAMILTON, ON L8E 5A6

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QUALIFICATION INFORMATION
REQUIRED UNDER SECTION 2.2.5 OF THE BUILDING CODE

ALHASAN ROBAH
NAME: *Alhasan Robah* 116777
BCIN

SITE PLAN

Project number 21RE100 - 249

Date 2021.09.20

SP1.01

Drawn by D.T
Scale As indicated



Hamilton

Committee of Adjustment

City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	MAILING ADDRESS	
Registered Owners(s)			
Applicant(s)*			
Agent or Solicitor			

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

to allow a second floor addition with front yard and rear yard setbacks of 5.38m and 2.83m whereas the bylaw requires 6m and 7.5m respectively

Second Dwelling Unit Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

the existing dwelling does not comply with the required setbacks

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

Pt Lt 1, PI 673, Part 1, 62R6615

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial

Agricultural Vacant

Other _____

8.1 If Industrial or Commercial, specify use _____

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?
based on site inspections and the age of the existing building


8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

_____ Date


_____ Signature Property Owner(s)

_____ Print Name of Owner(s)

10. Dimensions of lands affected:

Frontage	15.24 m
Depth	57.39 m
Area	828.1 m ²
Width of street	

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: _

TWO STOREY ETACHED DWELLING
GROUND FLOOR GFA = 107.2 m²
TOTAL GFA = 216.2 m²
20.42 m LONG x 8.74 m WIDE

Proposed

EXISTING TWO STOREY DETACHED DWELLING TO REMAIN
GROUND FLOOR GFA = 155.8 m²
TOTAL GFA = 313.5 m²
20.42 m LONG x 8.74 m WIDE

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

FRONT YARD SETBACK = 4.57m
REAR YARD SETBACK = 1.93m
SIDE YARD SETBACK = 18.07m
SIDE YARD SETBACK = 12.80m

Proposed:

ALL EXISTING SETBACKS TO REMAIN

13. Date of acquisition of subject lands:
2020
-
14. Date of construction of all buildings and structures on subject lands:
UNKNOWN
-
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
SINGLE FAMILY DWELLING
-
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
SINGLE FAMILY DWELLING
-
17. Length of time the existing uses of the subject property have continued:
SINCE BUILT
-
18. Municipal services available: (check the appropriate space or spaces)
Water AVAILABLE Connected _____
Sanitary Sewer AVAILABLE Connected _____
Storm Sewers AVAILABLE
19. Present Official Plan/Secondary Plan provisions applying to the land:
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
R2, stoney-creek-zoning-by-law-3692-92
21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)
 Yes No
If yes, please provide the file number:
- 21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?
 Yes No
- 21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No
23. Additional Information (please include separate sheet if needed)
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.